



REQUEST: **Certificate of Appropriateness for Major Alteration**
 • **New 1-Story Addition to Existing 2-Story Residence.**

Case Number	PLN-HP-19110003	FMSF#	
Owner	Rachel Steele		
Applicant	Rachel Steele		
Address	1009 SW 4 th Street		
General Location	Approximately 125' west from the intersection of SW 4 th Street and SW 10 th Avenue on the north side of the street.		
Legal Description	WAVERLY PLACE 2-19 D LOT 5 BLK 107		
Existing Use	Single-Family Residential		
Proposed Use	Single-Family Residential		
Zoning	RML-25		
Applicable ULDR Sections	47-24.11.D.3.c.i, 47-17.7.B		
Authored By	Trisha Logan, Urban Planner III		

Property Background:

The structure located at 1009 SW 4th Street was constructed in 1938 according to the Broward County Property Appraiser. Within the 2009 survey of the Sailboat Bend Historic District, the structure was identified as Contributing to the historic district. In 2014, the main house on the site was moved forward on the lot to its current location and was rehabilitated.



Front Façade of Main House on Site

COA FOR MINOR ALTERATION:

Plans request construction of a one-story addition on the northeast corner of the existing two-story house. The addition will extend off the rear of the property requiring the removal of an existing rear door and steps, as well as existing siding. Overall the new addition will be 36'-0" in depth and 14'-6" in width. Approximately 10'-0" of the front



elevation of the new addition will be visible from the right-of-way where it extends into the side yard.

The visible portion of the front elevation of the new addition is setback 50'-10" from the front property line and provides for a 5'-0" setback from the side property line. Housed within the new addition will be an extension to the existing kitchen and a new bedroom. Capped with a standing seam metal gable roof, the new addition will be clad with stucco. From the right-of-way, the roof line appears to be a shed roof with a metal roof overhang supported by wood posts creating a secondary entrance with a full lite French door. This secondary entrance creates a small porch area that is clad with wood siding. Facing the rear yard, the new addition creates an outdoor deck space covered by a portion of the shed roof with a sliding glass door leading off of the bedroom space and a set of French doors from the kitchen area.

Applicable Sections of Historic Preservation Design Guidelines

General: Additions to Existing Buildings	Encouraged: <input type="checkbox"/> <ul style="list-style-type: none"> • Location of additions at rear or side elevations, whenever possible, in a manner that is subordinate to the historic building and compatible with the design of the property and surrounding neighborhood.<input type="checkbox"/> • Construction of additions so that the historic building fabric is not radically changed, obscured, damaged, or destroyed.
Scale: Height and Width	Construct an addition that is smaller or similar in scale to the existing building or those on adjacent sites
Building Form and Massing	<ul style="list-style-type: none"> • Construct an addition with similar form and massing to the existing building and buildings on adjacent sites. • Construct roof forms, wings, bays and other projecting elements that are similar to those found on the existing building and the block of the proposed building.
Setbacks: Yards (Front, Side and Rear)	<p>Additions should be positioned to have the least visible impact from the street, with additions at front façades generally discouraged and rear additions generally most appropriate. Additions at side elevations are rarely appropriate, and if proposed they should be held back as far as possible from the street.</p> <p>It is Generally Appropriate to...</p> <ul style="list-style-type: none"> • Construct the addition at the rear of the building or at the side elevation as far back on the site as possible. • Use landscape elements, such as walls and fences, to visually screen the addition.
Orientation	<p>When adding to an existing building, the addition should be located, planned and detailed so as to not confuse the dominant historic orientation of the original building. The addition should not have the effect of creating a new primary façade. It should not be visually dominant, and it should be screened from the public right-of-way as much as possible.</p> <p>It is Generally Appropriate to...</p> <ul style="list-style-type: none"> • Maintain the visual prominence of the historic front door.
Façade Proportions; Window and Door Patterns	Windows and doors on additions should be of similar size, shape, design, proportion, spacing and placement to those in the existing building.
Trim and Details	In the same way that form and mass of an addition should be compatible but not necessarily copy historic buildings, new details should be compatible but not necessarily copy historic trim and details. Existing details and trim may be used as the basis for those on additions and be simplified to provide compatibility without requiring duplication of historic features. When used, details and trim should create a unifying effect on a building and should be compatible with the context of the neighborhood.



Criteria for Certificate of Appropriateness (COA):

Pursuant to ULDR, Section 47-24.11.D.3.c.i, in approving or denying applications for certificates of appropriateness for major alterations, new construction, major demolition or relocation, the Historic Preservation Board (HPB) shall use the following general criteria:

ULDR, Section 47-24.11.D.3.c.i	Staff Response
<p>a) <i>The effect of the proposed work on the landmark or the property upon which such work is to be done;</i></p>	<p>Size and placement of the new addition is appropriate, with a small portion visible from the right-of-way that is setback 50'-10' from the front property line.</p> <p>An existing gravel driveway terminates at the location of the front street-facing elevation of the new addition. On this elevation, a secondary entrance is created with a full lite French doors and a small porch covered by a metal shed roof overhang supported by wood posts. Surrounding the entryway, wood siding is used rather than stucco which is used throughout the new addition.</p> <p>Although the new addition is setback from the right-of-way and is not visually prominent, by creating this additional entrance on the street facing elevation it appears to detract from the prominence of the main entrance. Relocation or removal of this secondary entrance would be more appropriate.</p> <p>Partially Meets Criterion</p>
<p>c) <i>The extent to which the historic, architectural, or archeological significance, architectural style, design, arrangement, texture, materials and color of the landmark or the property will be affected;</i></p>	<p>The primary form of the existing residence will remain and the new addition is proposed to be attached to the rear of the existing structure, causing a limited amount of necessary alterations.</p> <p>Meets Criterion</p>
<p>f) <i>Whether the plans comply with the "United States Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings."</i></p>	<p>9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</p> <p>Within the City's Historic Preservation Design Guidelines it states, "...an addition to a historic building should be subordinate to the historic building and read clearly as an addition. The subordinate appearance of an addition can be achieved through its placement, form, size, massing, materials and details."</p> <p>Meets Criterion</p> <p>10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</p> <p>The primary form of the existing residence will remain and the new addition is proposed to be attached to the rear of the existing structure, causing a limited amount of necessary alterations to the essential form.</p> <p>Meets Criterion</p>



Sailboat Bend Historic District material and design guidelines

In addition, pursuant to ULDR, Section 47-17.7.B, the Sailboat Bend Historic District material and design guidelines shall be read in conjunction with the existing guidelines provided in this section and shall be utilized as additional criteria for the consideration of an application for a certificate of appropriateness for new construction, alterations, relocation, and demolition.

Materials Used in Applicable Sections of ULDR Section 47-17.7.B	Staff Response
<p>1.Exterior building walls. a.Materials and finish. i.Stucco: smooth ii.Wood: clapboard</p>	<p>Meets Criterion</p>
<p>2.Windows and doors. a.Materials. i.Glass: clear v.Steel and aluminum.</p>	<p>Product Approvals/Notice of Acceptance (NOA):</p> <p><u>Windows:</u> PGT Industries Series SH-700 Single-Hung Window; NOA No. 17-0630.08 PGT Industries Series CA-740 Outswing Aluminum Casement Window; NOA No. 17-0614.14 PGT Industries Series CA-740F Fixed Casement Window; NOA No. 17-0614.15</p> <p><u>Doors:</u> PGT Industries Series SGD-780 Aluminum Sliding Glass Door; NOA No. 17-0420.04 PGT Industries: Series FD-750 Outswing Aluminum French Door; NOA No. 17-0504.04</p> <p>Meets Criterion</p>
<p>3.Roofs and gutters. a.Roof—materials. iv.Steel standing seam.</p>	<p>Meets Criterion</p>
<p>6.Arcades and porches. a.Materials and finish. ii.Wood: posts and columns.</p>	<p>Meets Criterion</p>

Summary Conclusion:

Staff finds that the application for a COA for Major Alterations under case number PLN-HP-19110003 located at 1009 SW 4th Street partially meets the criteria as outlined in Section 47-24.11.D.3.c.i. of the ULDR, and meets the criteria for consideration of materials as listed under 47-17.7.B. of the ULDR.

Suggested Conditions:

1. All glass shall be clear with the option of Low-e coating.
2. All muntins shall have a raised profile.
2. This application is subject to the approval by Building, Zoning, and all ULDR requirements.

Board Action

Motion to **(approve, approve with conditions, or deny)** the resolution for a Certificate of Appropriateness for Major Alterations under case number PLN-HP-19110003 located at 1009 SW 4th Street based on the following findings of fact (i.e. Based on facts and findings as outlined in the staff memorandum) and (if conditions apply) is subject to the following conditions (state applicable conditions on the record).



SUSTAINABLE DEVELOPMENT – URBAN DESIGN & PLANNING

HISTORIC PRESERVATION BOARD (HPB) SAILBOAT BEND HISTORIC DISTRICT CERTIFICATE OF APPROPRIATENESS APPLICATION

Rev: 1 | Revision Date: 2/23/2017 | Print Date: 2/23/2017
I.D. Number: SBHDCOAA

HISTORIC PRESERVATION BOARD (HPB)

SAILBOAT BEND HISTORIC DISTRICT Certificate of Appropriateness Application

- Cover:** Deadline & Fees
- Page 1:** Applicant Information Sheet
- Page 2:** Technical Specifications of Application
- Page 3:** Technical Specifications of Application - continued
- Page 4:** Submittal Checklist

DEADLINE: Submittals must be received by 4:00 PM by submittal deadline (see website for dates). Pursuant to Section 47-24.1(1), the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via email, if plans do not meet the submittal requirements and if changes are required.

FEES: All applications for a development permit shall have an application fee as established by the City Commission as set forth by resolution, as amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit.

Certificate of Appropriateness for:

<input type="checkbox"/>	Minor Alteration/Review & Comment	\$ 230.00
<input checked="" type="checkbox"/>	Major Alteration/Addition to Existing	\$ 310.00
<input type="checkbox"/>	New Construction ≤ 2000 SF GFA	\$ 310.00
<input type="checkbox"/>	New Construction > 2000 SF GFA	\$ 560.00
<input type="checkbox"/>	Demolition – Accessory	\$ 230.00
<input type="checkbox"/>	Demolition – Primary	\$ 560.00
<input type="checkbox"/>	Relocation	\$ 490.00

Page 1: HPB - Applicant Information Sheet

INSTRUCTIONS: Please print or type all information. The application must be filled out accurately and completely. Answer all questions. Do not leave an item blank. If an item does not apply, write N/A (Not Applicable). The following information requested is per Unified Land Development Regulations (ULDR). Incomplete applications will not be accepted.

NOTE: To be filled out by Department

Case Number	
Date of complete submittal	
Zoning Review	
Landscape Review	

NOTE: For purpose of identification, the PROPERTY OWNER is the APPLICANT

Property Owner's Name	RACHEL STEELE
Property Owner's Signature	<i>Rachel Steele</i> <small>If a signed agent letter is required on the application by the owner</small>
Address, City, State, Zip	1009 Tequesta St, Ft. Lauderdale, FL 33312
E-mail Address	rachel.msteele@hotmail.com
Phone Number	954 609 7472
Proof of Ownership	<input type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record

NOTE: If AGENT is to represent OWNER, notarized letter of consent is required

Applicant / Agent's Name	
Applicant / Agent's Signature	
Address, City, State, Zip	N/A
E-mail Address	
Phone Number	
Letter of Consent Submitted	

Development / Project Name	TEQUESTA STREET ALTERATIONS
Development / Project Address	Existing: 1009 SW 4TH ST New: SAME
Legal Description	LOT-79, BLOCK-107, WANDERLY PLACE, PLAT BOOK-21, PAGE-19, MIAMI-DADE CO, SITUATE IN BROWARD, CO.
Tax ID Folio Numbers (For all parcels in development)	7042-09-09-0090
Request / Description of Project	2-BEDROOM ADDITION IN REAR YARD, 1-STORY
Applicable ULDR Sections	ULDR SEC 47-9 / RML-29 ULDR SEC 47-17 / SBHD
Total Estimated Cost of Project	\$ 120,000 (including land costs)

Future Land Use Designation	MEDIUM HIGH - 29
Current Zoning Designation	RML-29
Current Use of Property	RESIDENTIAL
Residential SF (and Type)	3-BEDROOM FAMILY RESIDENCE W/ DETACHED ACCESSORY DWELLING (COTTAGE)
Number of Residential Units	2
Non-Residential SF (and Type)	N/A
Total Bldg. SF (include structured parking)	1829.6 SF C. PRINCIPAL RESIDENCE
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Dimensional Requirements	Required	Proposed
Lot Size (SF / Acreage)	7000.0 SF / .11 ACRE	8790.0 SF / .20 ACRE
Lot Density	29 UNITS/AC. = 2.73	2 (EXISTING)
Lot Width	70'	70' (EXISTING)
Building Height (Feet / Levels)	7'9"	13'-10" AT ADDITION
Structure Length	N/A	70'-0" AT ADDITION
Floor Area Ratio	N/A	
Lot Coverage	N/A	
Open Space	N/A	
Landscape Area	N/A	
Parking Spaces	3	3 (EXISTING)

NOTE: State north, south, east or west for each yard.

Setbacks/Yards*	Required	Proposed
Front []	29'-0"	29'-0" EXISTING / 70'-10" AT ADDITION
Side []	5'-0"	5'-0" AT ADDITION
Side []	7'-0"	21'-0" AT ADDITION
Rear []	10'-0"	88'-2" AT ADDITION

Page 2: Technical Specifications of Application

TECHNICAL SPECIFICATIONS:

Applicant must provide a narrative indicating that the following criteria has been satisfied:

Description of the Project

1. **Yards.** Is a Yard Reduction or Minimum Distance Separation Required? Yes No
(If Yes, please complete the remainder of this section)
 - Front of Building Faces: North South East West Other
 - Principal Structure Yard Setbacks (Feet): Front _____ Rear _____ Left Side _____ Right Side _____
Street Side? N/A Left Right
 - Accessory Structure #1 Yard Setbacks (Feet): Front _____ Rear _____ Left Side _____ Right Side _____
Street Side? N/A Left Right
 - Accessory Structure #2 Yard Setbacks (Feet): Front _____ Rear _____ Left Side _____ Right Side _____
Street Side? N/A Left Right
 - Distance Between Structures (Feet): Principal Structure and Accessory Structure #1: _____
Principal Structure and Accessory Structure #2: _____
2. **Alterations to Non-Conforming Structures?** Yes No
Nature of Non-Conformity: Yard Setbacks Alterations exceed 50% of Value of Structure
 Existing Use NOT permitted under current zoning and alterations exceed 50% of value of structure
3. **Material and Design Guidelines.** Shown below are the Sailboat Bend Historic District Material and Design Guidelines. If you choose to use a material or design not listed in the guidelines, check the "Other*" box and be prepared to present to the Historic Preservation Board your justification for proposing a material or design which does not conform to the guidelines.
 - a) **Exterior Building Walls** N/A
 - 1) Stucco
Finish: Float; Smooth; Coarse; Machine Spray; Dashed; Trowelled; Other* _____
 - 2) Wood
Finish: Clapboard, 3 1/2"-7" to the weather; Shingles, 7" to the weather;
 Board and Batten, 8"-12" to the weather; Shiplap Siding Smooth Face, 4"-8" to the weather;
 Other* _____
 - 3) Masonry
Finish: Coral; Keystone; Split Face Block; Truncated Block; Stack Bond Block; Other* _____
 - b) **Windows and Doors** N/A
 - 1) Glass Block
 - 2) Glass: Clear; Stained; Leaded; Beveled; Non-Reflective-Tinted; Other* _____
 - 3) Translucent Glass: Side Elevation; Rear Elevation; Other* _____
 - 4) Skylights: Flat Skylights in Sloped Roofs; Domed Skylights in Flat Roofs Behind Parapet; Other* _____
 - 5) Window Frame Materials: Wood-Painted or Stained; Wood-Vinyl Clad; Wood-Aluminum Clad
 Steel; Aluminum; Other* _____
 - c) **Configurations** N/A
 - 1) Garage Doors - 9' Maximum Width; Other* _____
 - 2) Windows (check all applicable): Square; Rectangular; Circular; Semi-Circular; Semi-Ellipse;
 Octagonal; Diamond; Triangular-Gables End Only; Other* _____
 - d) **Window Operations** N/A
 Single Hung; Double Hung; Casement; Fixed with Frame; Awning;
 Sliders-Side and Rear Only; Jalousie; Louvers; Other* _____
 - e) **General** N/A
 - Operable Shutters Sized to Match Openings; Non-Operable Shutters*
 - Jalousies: Wood; Metal
 - Awnings: Wood; Canvas; Other* _____
 - Interior Security Grilles
 - Bahama Shutters: Wood; Other* _____
 - Screened Windows; Screened Doors; Other* _____

Page 3: Technical Specifications of Application – continued

- f) Roofs and Gutters () N/A
- 1) Roofs Materials: () Terra-Cotta; () Cement Tiles; () Cedar Shakes; () Steel Standing Seam; 5-V Crimp
 () Galvanized Metal Shingles; () Fiberglass/Asphalt Shingles; () Copper Shingles;
 () Built-Up Roof behind Parapets; () Victorian Pattern; () Diamond Pattern;
 () Other* _____
- 2) Gutters: () Exposed Half-Round; () Copper; () ESP Aluminum; Galvanized Steel; () Wood-Lined with Metal;
 () Other* _____
- 3) Roof Configuration: Type - Simple Gable; () Hip
 Pitch - () No less than 3:12 and no more than 8:12 (< 3:12 or > 8:12 requires DRC approval)
 () Shed Roof attached to a higher wall (Any pitch less than 3:12 requires HPB approval)
 () Tower Roof (Any slope is allowed)
 () Flat with Parapet; () Flat with Railings; Other* _____
 () Rafters in Overhangs to be Exposed; Other* _____
 () Solar Collectors or Turbine Fans (Rear Part of Roof)

- g) Outbuildings N/A
- () Outbuilding rider attached

- h) Garden Walls and Fences N/A
- 1) Materials/Style: () Stucco Finish () Float; () Smooth; () Coarse; () Machine Spray;
 () Dashed or Trowelled;
 () Other* _____
- () Wood () Picket; () Lattice; () Vertical Wood Board;
 () Other* _____
- () Masonry () Coral; () Keystone; () Split Face Block;
 () Truncated Block; () Stacked Bond Block;
 () Other* _____
- () Metal () Wrought Iron; () ESP Aluminum;
 () Chainlink (Green Vinyl Coated);
 () Other* _____
- 2) Configurations: () Front Yards spacing between pickets maximum 6" clear

- i) Arcades and Porches () N/A
- Materials/Style: () Stucco Finish (At Piers and Arches only) () Float; () Smooth; () Coarse;
 () Dashed; () Trowelled; () Machine Spray;
 () Other* _____
- Wood (Posts and Columns)
- () Masonry (At Piers and Arches only) () Coral; () Keystone; () Split Face Block;
 () Truncated Block; () Stacked Bond Block;
 () Other* _____
- () Metal (At Railings only) () Wrought Iron; () ESP Aluminum;
 () Other* _____

Page 4: Submittal Checklist

SUBMITTAL CHECKLIST:

Applicant shall provide to the Planning and Zoning counter a complete application, one (1) full set of plans, and any additional requirements, as specified below. Within five (5) days of receipt, Urban Design & Development staff shall review the application to determine its completeness and compliance with the ULDR.

For those applications that can be approved administratively (See Sec. 47-17.4), once the application is deemed complete the applicant shall submit seven (7) additional sets of plans/applications/photos with additional requirements as listed below. For cases that require a hearing before the Historic Preservation Board, the applicant will be required to submit one (1) original and fifteen (15) additional sets of plans/applications/photos with any additional requirements.

FOR ALL APPLICATIONS:

- Complete application. No items are to be left blank. If it does not apply, indicate with 'n/a'.
- Provide Proof of Ownership
- Property owners signature and/or agent letter signed by the property owner
- 1 sealed survey
- 1 vicinity map (typically on the survey)
- 1 zoning and land use map of lands within a 700' radius

NEW CONSTRUCTION & ALTERATION:

- Photos of that part of the building that will be modified (e.g., if front elevation is to be modified, supply a photo of the front and label it with the direction it faces [i.e. FRONT - NORTH]).
- 1 set of sealed drawings that include the site plan, building elevations and floor plan. All drawings must be drawn to scale. Scale cannot exceed 1" = 30'. In addition, drawings shall include the following: proposed exterior alterations, additions, changes, architectural design of buildings/structures, including proposed materials, textures and colors, including walls, walks, terraces, plantings, accessory buildings, signs and lights.
- 1 landscape plan for any multi family or non-residential development.
- 1 set of Product Approvals, Manufacturers' Specifications, or brochures for all building features to be modified (see page 2 of the application). For example, windows, doors, roofs, fences, siding, garages, carports, etc...

FOR NEW CONSTRUCTION ONLY:

- Photos or elevation drawings of buildings adjacent to the subject site.

DEMOLITION:

- Demolition Rider completely filled out, signed and dated.
- A site plan showing the proposed demolition.
- Photos of all sides of structure to be demolished and label the direction each side faces.
- Mail requirements: The applicant must submit a tax map, property owners list, stamped, addressed standard envelopes. The mail affidavit must be signed.
- Sign posting requirements: The applicant must post signs and return the signed affidavit prior to the meeting.

RELOCATION:

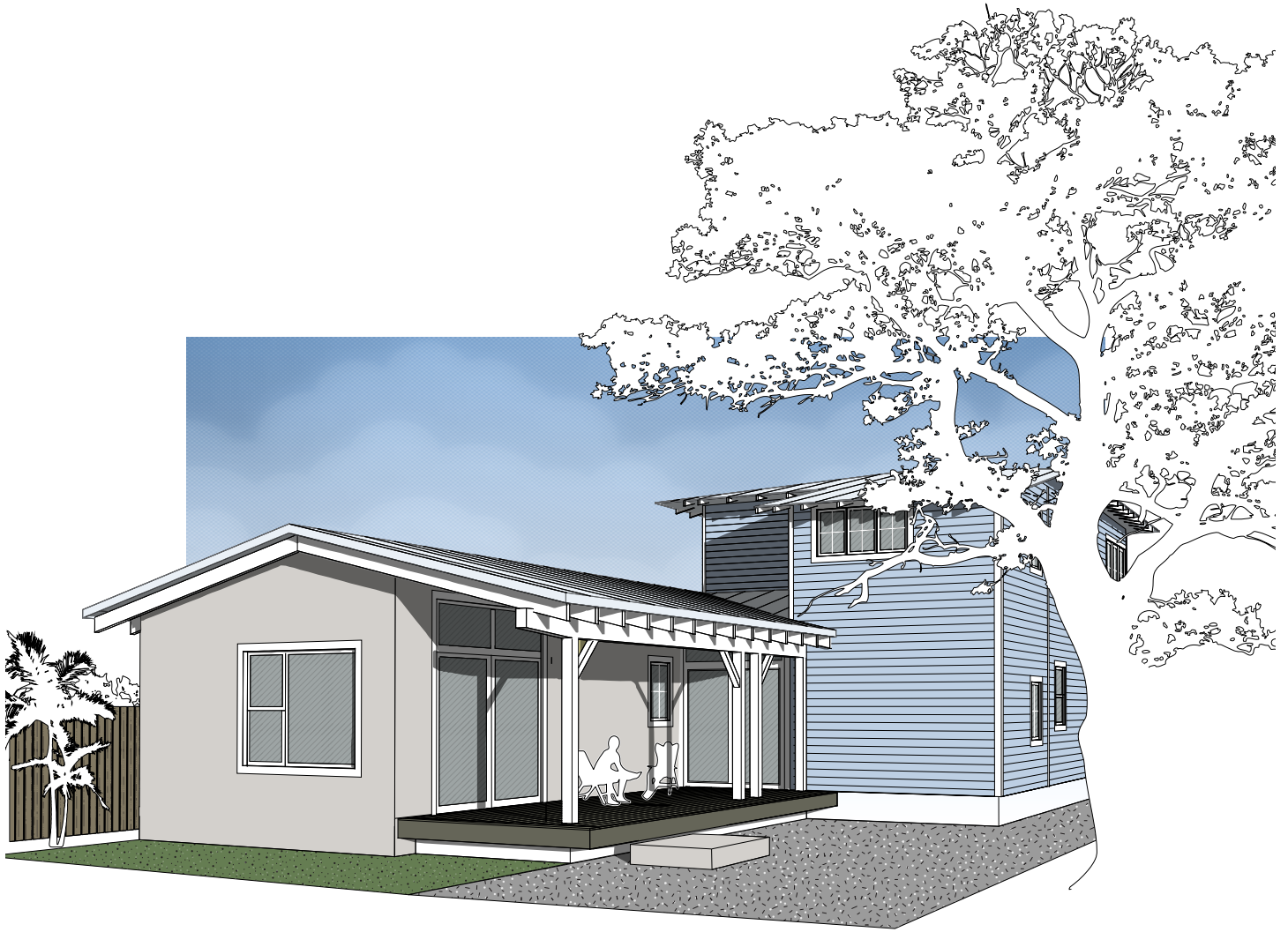
- A site plan showing the property as it currently exists and a proposed site plan of how the property will look once the building is relocated.
- Narrative describing what the plans are for the site to be vacated, whether the building or structure can be moved without sufficient damage to its physical integrity, and the compatibility of the building or structure to its proposed site and adjacent properties.
- Photos of all sides of structure to be relocated and label the direction each side faces. If structure is to be relocated to another site, photos of that site as well.

HISTORIC DESIGNATION:

- Application (page 1 and 2) must be COMPLETELY FILLED OUT (all blanks filled-in or marked N/A). Proof of ownership if owner is applicant. If applicant is not property owner, this shall be noted on the application).
- Legal description of the landmark site, historic building or district written out.
- Photographs of subject building from all four sides and label the direction each side faces.
- Narrative describing (1) the architectural, historical, or archaeological significance of the proposed landmark, landmark site, (2) date of construction of the structures on the property, (3) names of current and past owners and, if possible, their dates of ownership.

I acknowledge that the Required Documentation and Technical Specifications of the application are met:	
Print Name	<u>JAMES ARCHER</u>
Signature	<u>[Signature]</u>
Date	<u>11/14/17</u>
PE / AIA Seal	<u>[Seal]</u>

For Design & Development staff use only:	
Date	_____
Received By	_____
Tech. Specs Reviewed By	_____
Case No.	_____



TEQUESTA STREET ALTERATIONS

Fort Lauderdale, FL

JAA

HPB Application
November 15th, 2019

PROJECT INFORMATION

Tequesta Street Alterations

11/14/2019

City of Ft. Lauderdale Building Services

700 NW 19 Avenue

Ft. Lauderdale, Florida 33311

ATTN: Urban Design and Planning

RE: HPB / SBHD Application Narrative

Dear Urban Design and Planning,

Attached, please find the certificate of appropriateness application and submittal package for the property located at 1009 SW 4th Street (Tequesta Street) Ft. Lauderdale, FL. 33312.

The attached application, drawings and documents outline the proposed work for a one story bedroom addition to the existing two story single family residence. The addition will be located in the rear yard and include related interior alterations for relocation of the kitchen.

The existing residence is a two story frame vernacular building originally located on a double lot comprised of the current lot and adjoining lot to the east. At the time, the house was in need of major repairs and a restoration project was undertaken by the previous owner who relocated and reconstructed the house to its current single lot location and condition. Architectural work for that project was provided by this architectural studio, and as a restoration project, was conducted with the intention of being faithful to the original structure.

The proposed addition will be the first alteration to the existing residence since completion of the restoration work. The design intention for the new addition is to complement yet contrast the original structure while avoiding historical imitation and providing needed space for the current owner.

The project pursues this objective by continuing the vernacular tradition of adding new space through assemblage of simple geometric building forms. In this case, a one story gable roofed typology is positioned in a linear arrangement to the rear of the house producing a horizontal contrast to the more cubic and vertical arrangement of the original two story house. This contrast by location, scale and orientation places the addition as subordinate to the primary two story structure.

Contrast is further developed through selection of a masonry and stucco structure for material and texture, as well as, durability, safety and budgetary concerns.

Complementary strategies include matching roof slopes and roofing material, use of door and windows similar in proportion, operation and material to existing and use of exposed roof timber for porch elements

Landscape and site alterations maintain existing character as the gravel drive remains essentially unchanged from its current configuration and current landscaping is maintained.

Together, the composition maintains the historical character of the original home while expressing the new addition as a complimentary extension of its own nature, time and place while maintaining an appropriate scale and mass for the project, the adjacent neighborhood and the district.

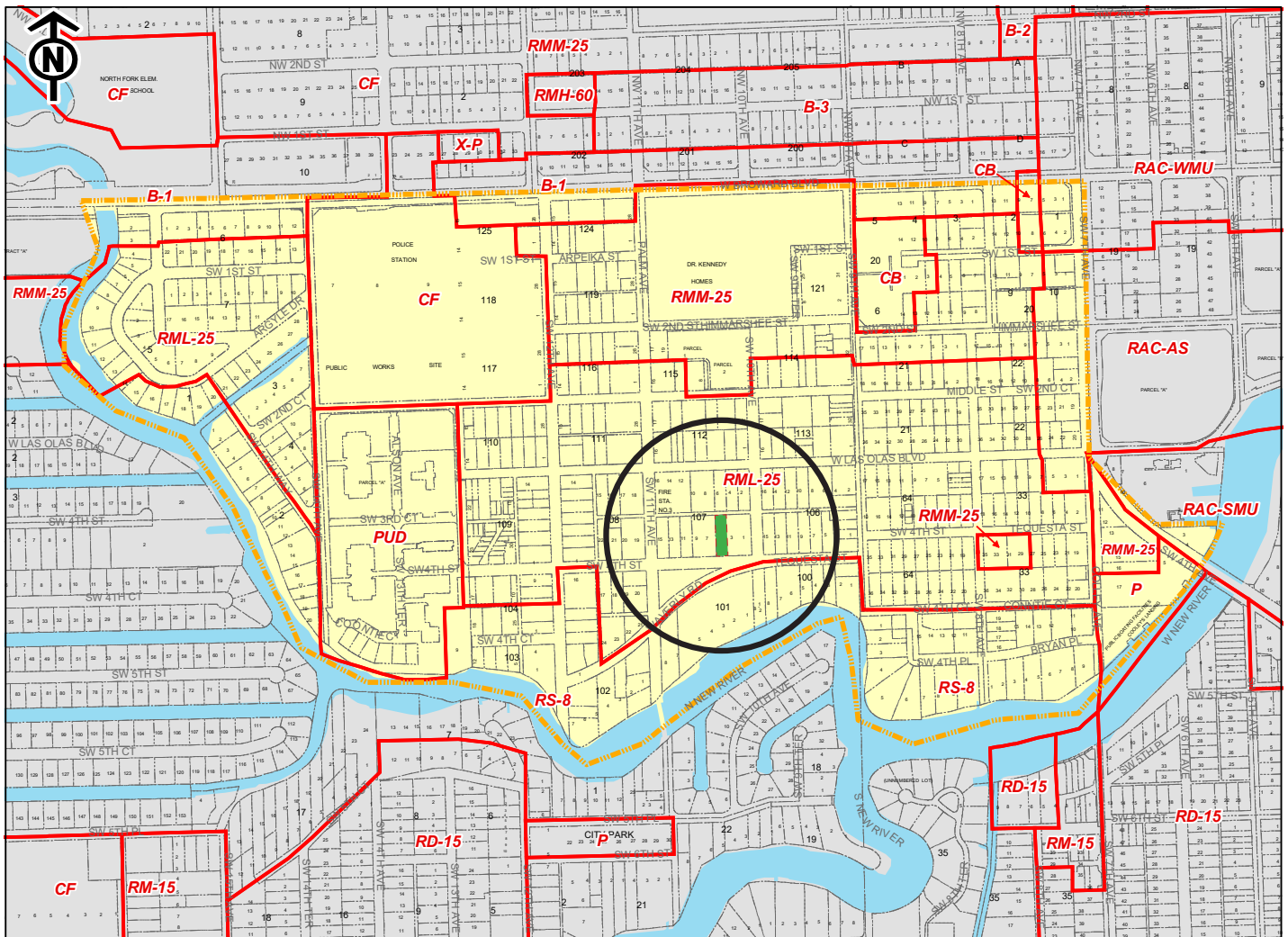
Questions or comments can be addressed by phone at the above listed number or by email at jnaarcht@bellsouth.net.

Thank you for your consideration of this project,

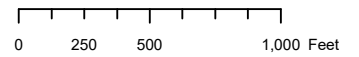
James Archer AIA

VICINITY MAP

Project Information

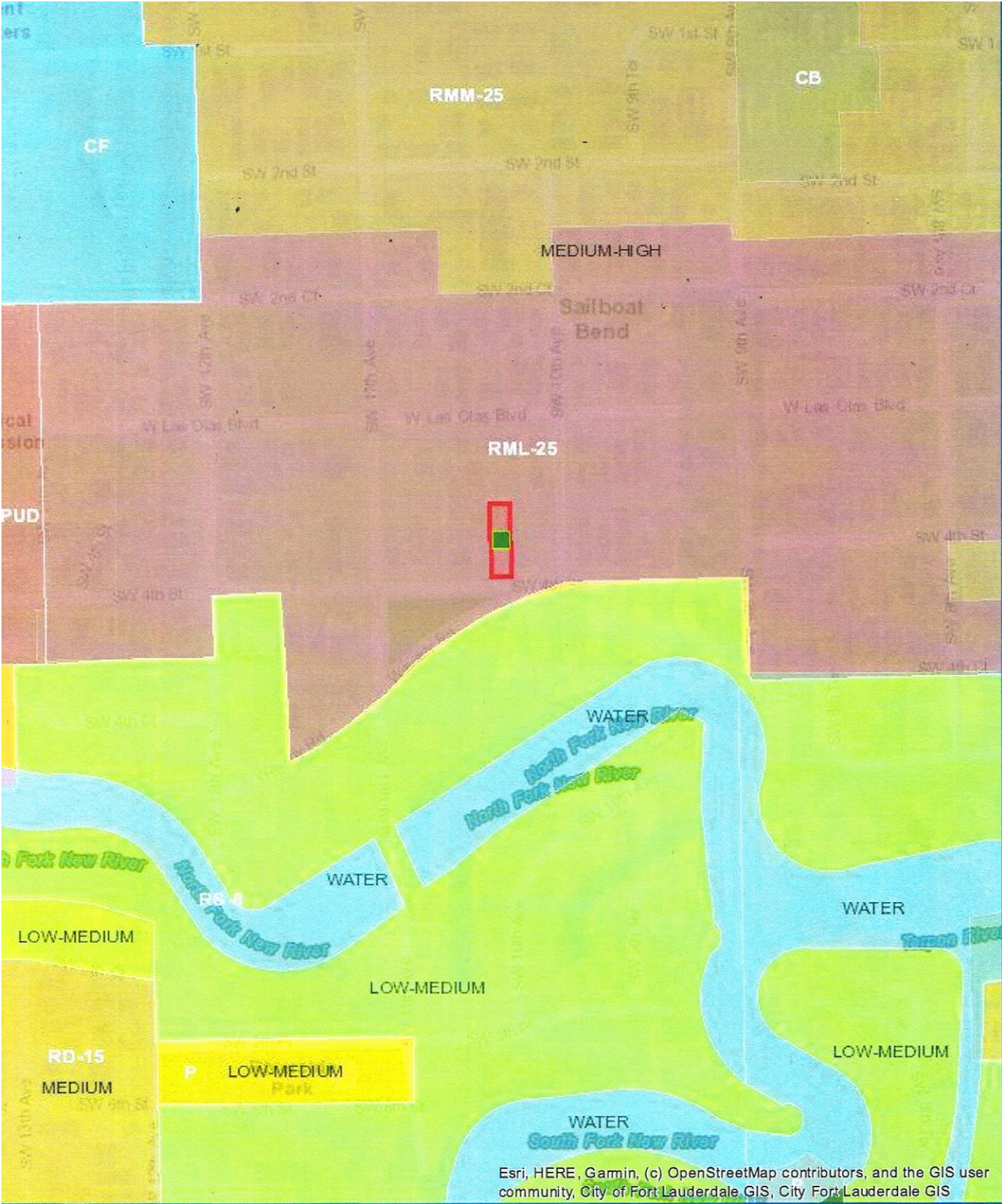


Saiboat Bend Historic District Zoning Designations



ZONING/LAND USE MAP

Project Information



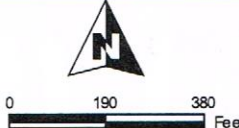
Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community, City of Fort Lauderdale GIS, City Fort Lauderdale GIS



1009 SW 4 ST/Zoning & Land Use Map

CITY OF FORT LAUDERDALE

Map Created by City of Fort Lauderdale Zoning GIS



Printed on: 11/12/2019

BOUNDARY SURVEY

Date of Field Work: 05/18/2017

Drawn By: O.G.

Order #: 1000008656

File #: 17-186

1009 SW 4TH STREET, FT. LAUDERDALE, FL 33312

LEGAL DESCRIPTION:

LOT 5, BLOCK 107, WAVERLY PLACE ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 19, PUBLIC RECORDS OF MIAMI-DADE COUNTY FLORIDA SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

CERTIFIED TO:

- RACHEL ANSARA
- AMERICAN TITLE SERVICES, INC.
- ANGEL OAK MORTGAGE SOLUTIONS LLC
- OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

FLOOD ZONE:

12011C0557H
ZONE: X
EFF. 8/18/2014

SURVEY NOTES:

- This survey is for conveyance purposes only and not intended for construction purposes without permission of this surveyor.
- **NO NOTABLE CONDITIONS FOUND**

LEGEND

A/C -AIR CONDITIONER
AL -ARC LENGTH
(C) -CALCULATED
D.E. -DRINAGE EASEMENT
(M) -MEASURED
P.O.B. -POINT OF BEGINNING
P.O.C. -POINT OF COMMENCING

P.B. -PLAT BOOK
P.G. -PAGE
P.U.E. -PUBLIC UTILITY EASEMENT
R -RADIUS
(R) -RECORD
U.E. -UTILITY EASEMENT
WM -WATER METER

-X- -FENCE
-NUMBER
- ASPHALT
-CONCRETE
-PAVER/BRICK
-WOOD
-LIGHT POLE
-WELL

-WATER VALVE
-CENTER LINE
-CATCH BASIN
-FIRE HYDRANT
-POLE
-MANHOLE
-TOPOGRAPHIC ELEVATION



561.508.6272
www.NexGenSurveying.com

5601 Corporate Way
Suite 103
West Palm Beach, FL 33407



IMAGES OF HOME AND STREET ELEVATIONS

Tequesta Street Alterations



STREET VIEW



BACKYARD VIEW



1017 SW 4TH ST
(TEQUESTA STREET)



1009 SW 4TH ST
(TEQUESTA STREET)



1001 SW 4TH ST
(TEQUESTA STREET)

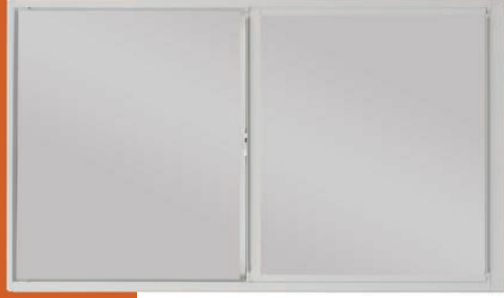
PRODUCT APPROVALS

Tequesta Street Alterations



ALUMINUM | IMPACT

WINDOWS



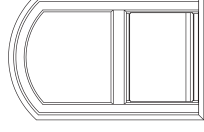
Single Hung (SH700)

Pre-tensioned spiral balance system

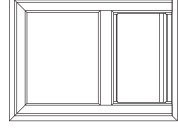
- Provides smooth, easy opening and closing

Integrated lift rails and deluxe swivel locks

- Allow easy fingertip operation



Radius Top



Proview/Oriel



Horizontal Roller (HR710)

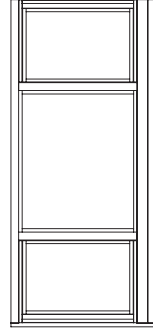
Available in 2- and 3-lite configurations

Low-friction brass tandem rollers in a nylon housing

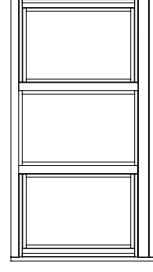
- Provide smooth, durable, adjustable operation

Removable sash design

- For easy exterior cleaning



Unequal Lite



Equal Lite



DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER)
BOARD AND CODE ADMINISTRATION DIVISION

MIAMI-DADE COUNTY
PRODUCT CONTROL SECTION
11805 SW 26 Street, Room 208
T (786) 315-2590 F (786) 315-2599

NOTICE OF ACCEPTANCE (NOA)

www.miamidade.gov/economy

PGT Industries, Inc.
1070 Technology Drive
North Venice, FL 34275

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County RER - Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

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This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.-

DESCRIPTION: Series "SH-700" Aluminum Single Hung Window – L.M.I.

APPROVAL DOCUMENT: Drawing No. **4040-20**, titled "Alum. Single Hung Window, Impact", sheets 1 through 11 of 11, dated 09/01/05, with revision G dated 06/06/17, prepared by manufacturer, signed and sealed by Anthony Lynn Miller, P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant.

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, model/series, and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

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ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA# **16-0714.06** and consists of this page 1 and evidence pages E-1, E-2 and E-3, as well as approval document mentioned above.

The submitted documentation was reviewed by **Manuel Perez, P.E.**



Manuel Perez
11/30/17

NOA No. 17-0630.08
Expiration Date: March 26, 2021
Approval Date: November 30, 2017
Page 1

Casement (CA740)

Available in various configurations

- Single unit hinged for opening either left or right
- Double unit hinged for opening: one left, one right
- Triple unit hinged for opening: one left, one right, fixed center unit

Multi-point locking system

- Provides added strength and security

Egress hinge standard

Optional washable hinge

- For easy cleaning from inside the home

Optional fold away handle

- Will not interfere with your window treatments



Awning (AW740)

Available in single vent

- Individual vent units can be mullied vertically or horizontally for custom configurations

Multi-point locking system

- Provides added strength and security





DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER)
BOARD AND CODE ADMINISTRATION DIVISION

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NOTICE OF ACCEPTANCE (NOA)

www.miamidade.gov/economy

PGT Industries, Inc.
1070 Technology Drive
North Venice, FL 34275

SCOPE:

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This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.-

DESCRIPTION: Series "CA-740" Outswing Aluminum Casement Window - L.M.I.

APPROVAL DOCUMENT: Drawing No. MD-CA740-LM, titled "Casement Window Details - LM & SM", sheets 1 through 11 of 11, dated 08/08/12, with revision C dated 05/25/17, prepared by manufacturer, signed and sealed by Anthony Lynn Miller, P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, model/series, and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

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INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises and renews NOA# 16-0629.21 and consists of this page 1 and evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by **Manuel Perez, P.E.**



Handwritten signature and date: MP 9/6/17

NOA No. 17-0614.14
Expiration Date: April 11, 2023
Approval Date: September 14, 2017
Page 1

WINDOWS



Picture Window / Fixed Lite Architectural (PW/AR720)

Available in a variety of shapes & sizes

- Provides maximum amount of light
- Can serve as standalone or companion window

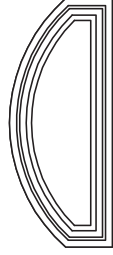
Installation covers

- For a complete, clean appearance

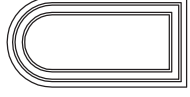
Popular Fixed Lite Architectural Shapes



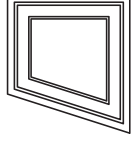
Half Circle



Eyebrow



Arch



Trapezoid

Other standard and custom shapes available.

Casement Picture Window (CA740)

Available in a variety of sizes

- Provides maximum amount of light
- Can serve as standalone or companion window
- To be used in conjunction with the Casement or Awning window for matching sight lines

Installation screw covers

- For a complete, clean appearance





DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER)
BOARD AND CODE ADMINISTRATION DIVISION

MIAMI-DADE COUNTY
PRODUCT CONTROL SECTION

11805 SW 26 Street, Room 208
T (786) 315-2590 F (786) 315-2599

NOTICE OF ACCEPTANCE (NOA)

www.miamidade.gov/economy

PGT Industries, Inc.
1070 Technology Drive
North Venice, FL 34275

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County RER - Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

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This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.-

DESCRIPTION: Series "CA-740F Fixed Casement" Aluminum Fixed Window - L.M.I.

APPROVAL DOCUMENT: Drawing No. MD-CA740F-LM, titled "Fixed Casement Window Details - LM", sheets 1 through 11 of 11, dated 08/08/12, with revision C dated 05/25/17, prepared by manufacturer, signed and sealed by Anthony Lynn Miller, P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, model/series, and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

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INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises and renews NOA# 16-0629.22 and consists of this page 1 and evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by **Manuel Perez, P.E.**



Handwritten signature and date: 10/02/17

NOA No. 17-0614.15
Expiration Date: April 11, 2023
Approval Date: October 12, 2017
Page 1

DOORS



Premium Sliding Glass Door (SGD780)

French door-look

- Standard 4" bottom rail
- Optional 9" bottom rail

Expansions of up to 40 feet

- Amazing, uninterrupted views and a great source of natural light

Panels up to 4' x 12' or 5' x 10'

- Sizes available for every opening

By-pass, pocket, and 90-degree or 135-degree corner door configurations

- Customizable with multiple tracks from 2 to 8 panels

Dual-point locking mechanism

- Provides added security for your home by restricting panels from being lifted off the tracks

Heavy-duty tandem rollers

- Allow easy opening with just your fingertips

Optional unique, stylish handles available

Optional screens available

- Standard or box screen



DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER)
 BOARD AND CODE ADMINISTRATION DIVISION
NOTICE OF ACCEPTANCE (NOA)

PGT Industries, Inc.
 1070 Technology Drive
 North Venice, FL 34275

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County RER -Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

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This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Series "SGD-780" Aluminum Sliding Glass Door w/90° & 135° corner (Reinf/Non-Reinf)– **L.M.I.**

APPROVAL DOCUMENT: Drawing No. **MD-780.0 Rev B** titled "Aluminum Sliding Glass Door (LM)", sheets 1 through 18 of 18, dated 10/05/15 and last revised on 07/17/17, prepared by PGT Industries, signed and sealed by Anthony Lynn Miller, P. E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and Expiration date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

Limitations:

1. Max Panels configuration is allowed per tables 1 thru 3, not to exceed 462.11 ft². The inside/outside 90° & 135° corner units are limited to straight panel each corner side per tables 1 thru 3.
2. See sheets 7 & 8 for Design Pressure (DP), glass type, sill type for positive DP limit, applicable reinforcement and anchorage quantity requirements. See sheet 11 for glass options. See sheets 12 thru 15 for anchors lay out at tracks and corners. See Pocket anchor details in sheet 6.
3. Pockets wall, cavity are not part of this approval. Exterior/Interior Pocket wall & applicable Egress requirement to be reviewed by Building official.

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and series and following statement: "Miami-Dade County Product Control Approved", noted herein.

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This NOA revises and renews NOA #16-0629.10 and consists of this page 1 and evidence pages E-1 & E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by **Ishaq I. Chanda, P.E.**



4
 7/20/17



Essential French Door (FD101H)

Pre-hung

- Available as a single or a double door

Heavy duty hinge

- Allows easy operation

Optional side lites available

- Beautifully fills large openings and provides additional light

Concealed 2-point locking system

- Provides added strength and security

Prepped for industry-standard hardware

- Accommodates an array of handle and deadbolt hardware

Preferred French Door (FD750)

Heavy-duty, hidden piano hinge

- Supports the weight of the door
- Allows enduring optimal operation

3-point, stainless steel locking mechanism

- Secures the door to the frame or adjoining door in three places

Prepped for European-style hardware

- Trim-sets are available

Optional side lites

- Full jamb
- Narrow jamb





DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER)
BOARD AND CODE ADMINISTRATION DIVISION

MIAMI-DADE COUNTY, FLORIDA
PRODUCT CONTROL SECTION
11805 SW 26 Street, Room 208
T (786) 315-2590 F (786) 315-2599

NOTICE OF ACCEPTANCE (NOA)

www.miamidade.gov/economy

PGT Industries, Inc.
1070 Technology Drive,
Nokomis, Fl. 34275

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County RER-Product Control Section to be used in Miami-Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

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This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Series "FD-750" Outswing Aluminum French Door w/ Sidelites - L.M.I.

APPROVAL DOCUMENT: Drawing No. 8000-11, titled "Alum. French Door & Side Lites, Impact", sheets 1 through 12 of 12, dated 12/23/04, with revision "G" dated 04/10/17, prepared by manufacturer, signed and sealed by Anthony Lynn Miller, P. E., bearing the Miami-Dade County Product Control Section Revision stamp with the Notice of Acceptance number and Expiration date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, model/ series, and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

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This NOA revises NOA No. 16-0629.16 and consists of this page 1 and evidence pages E-1, E-2, E-3 and E-4, as well as approval document mentioned above.

The submitted documentation was reviewed by **Jorge M. Plasencia, P. E.**

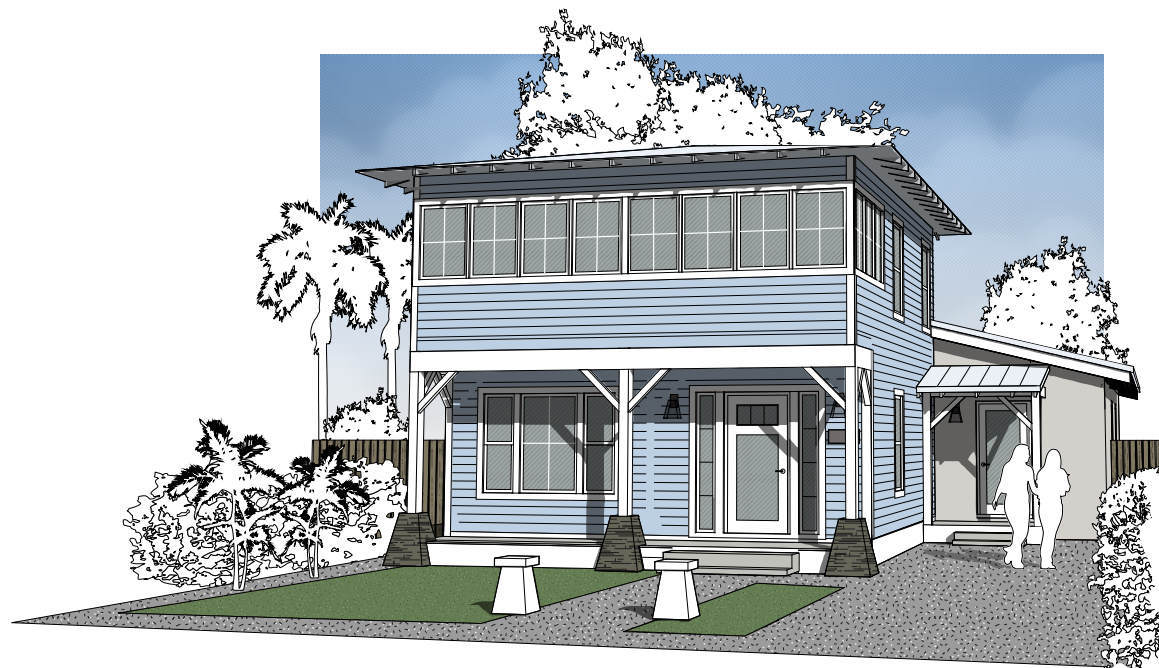


JMP
11/29/17

NOA No. 17-0504.04
Expiration Date: February 24, 2020
Approval Date: December 07, 2017
Page 1

DRAWINGS AND DOCUMENTS

Tequesta Street Alterations



TEQUESTA STREET ALTERATIONS

FORT LAUDERDALE, FL

JAA

PROJECT DATA:
 PROPERTY ADDRESS:
 1009 SW 4TH STREET (TEQUESTA STREET)
 FT. LAUDERDALE, FLORIDA 33312

OWNER:
 RACHEL STEELE
 1009 SW 4TH STREET (TEQUESTA STREET)
 FT. LAUDERDALE, FLORIDA 33312

LEGAL DESCRIPTION:
 LOT-5, BLOCK 101, WAVERLY PLACE, ACCORDING TO THE PLAT THEREOF, AS
 RECORDED IN PLAT BOOK 2, PAGE 19, PUBLIC RECORDS OF MIAMI-DADE COUNTY,
 FLORIDA, SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

ZONING CODE:
 CITY OF FT. LAUDERDALE ULD.R. RESIDENTIAL ZONING DISTRICTS - SECTION 41-5

ZONING DESIGNATION: RPL-25, RESIDENTIAL MID-RISE MULTIFAMILY / MEDIUM LOW
 DENSITY OVERLAY DESIGNATION: 68HD, SAILBOAT BEND HISTORIC DISTRICT (ULD.R.
 41-11)

ALLOWABLE USES: RESIDENTIAL, MULTI RESIDENTIAL, MIXED USE
 PROVIDED: SINGLE FAMILY RESIDENTIAL

ALLOWABLE DENSITY: 25 UNITS / ACRE (NET) + 25,600 +/- 15 D.U.
 PROVIDED: 1 D.U. W/ 1 EXISTING ACCESSORY DWELLING

LOT AREA:
 REQUIRED: 9000.0 SF.
 PROVIDED: 8150.0 SF. (20 ACRE)

LOT WIDTH:
 REQUIRED: 50'-0" PER RESIDENTIAL DWELLING
 PROVIDED: 50'-0" (ADDRESS FRONTAGE)

LOT COVERAGE:
 REQUIRED: UNSPECIFIED % MAXIMUM COVERAGE - UNSPECIFIED % MINIMUM
 LANDSCAPING
 PROVIDED: N/A (1291.9 SF. / 8,150.0 SF. + 15 (100) + 15%)

YARD SETBACKS:
 REQUIRED: FRONT - 25'-0", SIDE - 5'-0" (REAR - 15'-0")
 PROVIDED: FRONT - 25'-6" TO FACE OF PRINCIPLE STRUCTURE AND 50'-10" AT
 ADDITION
 PROVIDED SIDE - 5'-1" AT ADDITION
 PROVIDED REAR - 80'-2" AT ADDITION.

HEIGHT:
 ALLOWABLE: 35'-0" ABOVE BASE FLOOD ELEVATION (REF. GRADE)
 PROVIDED: 13'-10" ABOVE BASE FLOOD ELEVATION AT HIGHEST POINT OF ROOF AT
 ADDITION (REF. GRADE)

FLOOR AREA RATIO:
 ALLOWABLE: UNSPECIFIED
 PROVIDED: N/A (EXISTING HOUSE - 1285.5 SF. / 8,150.0 SF. + 14)

PARKING:
 CITY OF FT. LAUDERDALE ULD.R. PARKING AND LOADING REQUIREMENTS - SECTION
 41-20

REQUIRED: 2 - RESIDENTIAL UNIT PLUS 1 / ACCESSORY DWELLING + 3 SPACES TOTAL
 PROVIDED: 3 - IN DESIGNATED DRIVE AREAS
 PRINCIPAL STRUCTURE - 2 SPACES
 ACCESSORY DWELLING - 1 SPACE

FLOOD ZONE:
 REQUIRED: FEMA DESIGNATED FLOOD ZONE - 'X'
 BASE FLOOD ELEVATION + N/A NAVD88
 DESIGN FLOOD ELEVATION + N/A NAVD88 (MATCH EXISTING)
 FLOOD MAP PANEL NUMBER - 1201005514

SEE SURVEY BY NEXGEN SURVEYING, INC. (5/18/2017)

PROVIDED:
 BASE FLOOD ELEVATION + N/A / EXISTING, NO CHANGE, NEW WORK TO MATCH EXISTING FF.

BUILDING AREAS:
 REQUIRED: 150 SF. PER RESIDENTIAL UNIT IN 68HD
 PROVIDED: SEE TABLE BELOW

EXISTING RESIDENCE LIVING _____ 1285.5 SQ. FT.
NEW ADDITION LIVING _____ 538.1 SQ. FT.

TOTAL PROPOSED GROSS BUILDING AREA / RESIDENCE _____ 1823.6 SQ. FT.

EXISTING COTTAGE (N/A) _____ 512 SQ. FT.

GROSS BUILDING AREA _____ 2,394.8 SQ. FT.

BUILDING CODE:
 FLORIDA BUILDING CODE, FLORIDA BUILDING CODE / RESIDENTIAL, 2017, 6TH EDITION
 FLORIDA BUILDING CODE, PLUMBING AND MECHANICAL, 2017, 6TH EDITION
 NATIONAL ELECTRICAL CODE, NFPA-70

OCCUPANCY:
 RESIDENTIAL GROUP-R, SUB CLASSIFICATION R-3, RESIDENTIAL SINGLE FAMILY DWELLING
 (FBC/8 CH-3)

CONSTRUCTION TYPE:
 ALLOWABLE HEIGHT - 3 STORIES, 40' MAXIMUM (FBC TBL 503)
 ALLOWABLE AREA - UNLIMITED (FBC TBL 503)
 ALLOWABLE TYPE - V-B UNRATED (FBC TBL 601)
 FIRE RESISTANCE PER BUILDING ELEMENT - 0 HR. (FBC TBL 601)

GENERAL NOTES

SUMMARY OF WORK: THE PROJECT CONSISTS OF ALTERATIONS TO THE EXISTING TWO STORY SINGLE FAMILY RESIDENCE FOR NEW MASTER BEDROOM ADDITION, KITCHEN REMODEL AND RELATED REPAIRS TO THE EXISTING HOUSE AS NEEDED FOR A COMPLETE INSTALLATION.

SCOPE OF WORK: THE G.C. AND ALL SUBCONTRACTORS SHALL INCLUDE ALL LABOR AND MATERIAL FOR THE PROJECT, AS SHOWN, AND AS IS CONSISTENT WITH THE INTENT OF THE DRAWINGS AND SHALL INCLUDE ALL IMPROVEMENTS TO THE SITE AS REQUIRED FOR A COMPLETE AND FULLY OPERATIVE PROJECT.

EXECUTION OF THE WORK: ALL WORK SHALL BE PERFORMED BY FLORIDA LICENSED AND INSURED GENERAL CONTRACTOR AND SUB CONTRACTORS, AS REQUIRED BY LAW WHO SHALL COMPLY WITH THE FOLLOWING:

- 1) THE WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FLORIDA BUILDING CODE (FBC + FBC/R-2017, 6TH EDITION) AND ALL OTHER APPLICABLE NATIONAL, STATE, AND LOCAL CODES AND ORDINANCES.
- 2) TO ENSURE PROPER INSTALLATION AND ASSEMBLY, THE GENERAL CONTRACTOR SHALL VERIFY AND MAKE THEMSELVES FAMILIAR WITH ALL EXISTING CONDITIONS OF THE SITE AND PROJECT AREA AND SHALL VERIFY ALL DIMENSIONS AND COORDINATE LAYOUTS WITH SUBCONTRACTORS PRIOR TO BEGINNING AND ORDERING ANY PORTION OF THE WORK. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF AND RESOLVE DISCREPANCIES BEFORE PROCEEDING WITH INSTALLATION OF THE WORK OR PORTIONS THEREOF.
- 3) REVISIONS TO THE SCOPE OF WORK AS DESCRIBED BY THE APPROVED PERMIT SET, SHALL BE PERFORMED BY APPROVED CHANGE ORDER ONLY, WHICH SHALL BE AGREED TO PRIOR TO PERFORMING THE REVISED WORK.
- 4) THE GENERAL CONTRACTOR SHALL DELIVER THE COMPLETED PROJECT IN A FULLY OPERATIVE MANNER FREE AND CLEAR OF DEFECTS AND SHALL PROVIDE A ONE YEAR GUARANTEE ON ALL MATERIAL AND WORKMANSHIP AND SHALL CORRECT DEFECTS FREE OF CHARGE FROM DATE OF FINAL ACCEPTANCE IDENTIFIED BY ISSUANCE OF A C.O. (CERTIFICATE OF OCCUPANCY) FROM THE LOCAL AUTHORITY HAVING JURISDICTION.
- 5) THE GENERAL CONTRACTOR SHALL COOPERATE AND COORDINATE WITH THE OWNER, ARCHITECT, BUILDING AUTHORITY AND OTHER TRADES, AS NEEDED, FOR AN ORDERLY, TIMELY, AND WORKMANLIKE INSTALLATION.
- 6) UNLESS SPECIFIED, ALL MATERIALS ARE TO BE NEW AND FREE OF DEFECTS AT THE TIME OF INSTALLATION.

- 7) THE GENERAL CONTRACTOR SHALL REGULARLY REMOVE CONSTRUCTION DEBRIS FROM THE SITE IN ORDER TO MAINTAIN SAFE AND ORDERLY WORKING CONDITIONS.
- 8) DRAWINGS AND DOCUMENTS: THE DRAWINGS AND DOCUMENTS HAVE BEEN PREPARED FOR THE SPECIFIC USE OF THE OWNER FOR THIS PROJECT ONLY. THE ARCHITECT RETAINS ALL COMMON LAW COPYRIGHTS OF THE WORK WHICH SHALL NOT BE REUSED IN ANY FORM WITHOUT THE ARCHITECT'S WRITTEN PERMISSION AND/OR COMPENSATION.
- 9) THE DRAWINGS AND DOCUMENTS HAVE BEEN PREPARED TO COMPLY WITH THE BUILDING CODE REQUIREMENTS NECESSARY FOR A BUILDING PERMIT (MINIMUM). NO WARRANTY IS MADE OR IMPLIED AS TO CODE COMPLIANCE AS THE AUTHORITY HAVING JURISDICTION RESERVES THE RIGHT OF FINAL INTERPRETATION OF THE CODE.
- 10) THE DRAWINGS AND DOCUMENTS SUBMITTED AND APPROVED AS THE PERMIT SET ARE CONSIDERED THE BASIC SCOPE OF WORK. ANY REVISIONS AND DETAILED OR SPECIAL DESIGN WORK AND DRAWINGS BEYOND THE SCOPE DESCRIBED IN THE PERMIT SET SHALL BE CONSIDERED SUPPLEMENTAL AND ADDITIONAL.
- 11) THE ARCHITECT'S AGGREGATE LIABILITY IS LIMITED TO THE AMOUNT OF FEE PAID FOR BASIC SERVICES IN PREPARING THE PERMIT SET.

DESIGN CONFORMANCE: THE DRAWINGS ARE A REPRESENTATION OF THE ACTUAL INTENDED RESULT AND DO NOT DESCRIBE EVERY MINOR DETAIL OF CONSTRUCTION. THE ARCHITECT RESERVES THE RIGHT TO REVIEW AND REJECT ANY PORTION OF THE WORK WHICH IS CONSIDERED TO BE OF SUBSTANDARD WORKMANSHIP OR NOT IN CONFORMANCE WITH THE DESIGN INTENT OF THE DRAWINGS AND MAY ORDER MINOR CHANGES OR ADJUSTMENTS IN THE WORK WITHOUT REQUIRING WRITTEN CHANGE ORDERS OR APPROVALS BY OTHERS.

REVISIONS OF THE WORK: ALL REVISIONS OF THE WORK, AS DIFFERING FROM THE APPROVED PERMIT SET, ARE TO BE PERFORMED BY WRITTEN CHANGE ORDER AND IN ACCORDANCE WITH REVISION DRAWINGS AND/OR DOCUMENTS OR OTHER SUBMITTALS, REVIEWED AND ACCEPTED BY THE OWNER, ARCHITECT, GENERAL CONTRACTOR, AND AUTHORITY HAVING JURISDICTION, AS APPLICABLE.

DEMOLITION: THE GENERAL CONTRACTOR SHALL PROVIDE ALL REQUIRED DEMOLITION ON SITE AND WITHIN THE PROJECT AREA AS NEEDED FOR INSTALLATION OF NEW WORK.

- 1- VERIFY LOCATION OF ALL UTILITY AND BUILDING SERVICES, DISCONNECT OR CAP-OFF, ALL EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES, CONNECTIONS, SERVICES, ETC., PRIOR TO BEGINNING ANY DEMOLITION WORK.
- 2- PROVIDE ALL TEMPORARY SHORING AND/OR ENGAGE CONSULTING SPECIALTY ENGINEER FOR DESIGN OF STRUCTURAL SHORING, TO MAINTAIN INTEGRITY OF ALL STRUCTURES OR PORTIONS OF STRUCTURES TO REMAIN.
- 3- PERFORM ALL REQUIRED SITE AND BUILDING DEMOLITION, INCLUDING REMOVAL OF ALL ABOVE GROUND AND UNDERGROUND STRUCTURES AND OBJECTS, CLEAR AND REMOVE ALL DEBRIS, VEGETATION, STUMPS, AND OTHER ORGANIC MATERIAL.
- 4- ROUGH GRADE AND PREPARE THE PROJECT/SITE AREA FOR INSTALLATION OF NEW WORK.
- 5- REMOVE PORTIONS OF EXISTING STRUCTURE AS INDICATED, VERIFY LOCATIONS AND DIMENSIONS OF NEW WORK WITH SITE CONDITIONS PRIOR TO REMOVAL AND RESOLVE DISCREPANCIES WITH ARCHITECT PRIOR TO INSTALLATION OF NEW WORK.
- 6- PROTECT EXISTING PORTIONS OF THE HOUSE TO REMAIN FROM DAMAGE, MAINTAIN SECURITY AND WEATHER RESISTANCE.
- 7- REMOVE AND TAP OFF ALL PLUMBING AFFECTED BY DEMOLITION AND MAINTAIN SANITARY AND WATER SERVICE FOR USE IN THE PROJECT AREA, MAINTAIN SERVICE, AS APPLICABLE, TO REMAINDER OF AREAS NOT INCLUDED.
- 8- REMOVE ALL A/C DUCTWORK AND EQUIPMENT AFFECTED BY DEMOLITION, MAINTAIN SERVICE, AS APPLICABLE, TO REMAINDER OF AREAS NOT INCLUDED.
- 9- REMOVE ELECTRICAL SERVICE, PANELS AND ALL DEVICES AND EQUIPMENT AFFECTED BY DEMOLITION, PROVIDE SERVICE FOR USE IN THE PROJECT AREA, MAINTAIN SERVICE, AS APPLICABLE, TO REMAINDER OF AREAS NOT INCLUDED.

LANDSCAPE: EXISTING LANDSCAPING TO REMAIN. THE GENERAL CONTRACTOR SHALL PROVIDE FINAL SITE CLEARING AND ROUGH GRADING READY AT THE PROJECT AREA READY FOR INSTALLATION AND REPLACEMENT OF PLANT MATERIAL AND REPAIRS TO IRRIGATION SYSTEMS ALTERED BY THE WORK. INSTALLATION SHALL BE BY A QUALIFIED LANDSCAPE SUBCONTRACTOR AND INCLUDE ALL PLANT MATERIAL AND IRRIGATION WORK IN ACCORDANCE WITH APPROVED LANDSCAPE CODES OR PLANS, AS APPLICABLE.

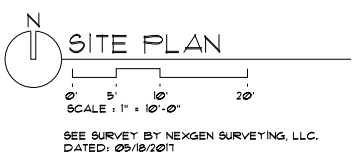
INDEX OF DRAWINGS

A-1 SITE PLAN AND PROJECT DATA
 A-2 EXISTING AND DEMOLITION PLANS
 A-3 FLOOR PLANS
 A-4 ROOF PLAN
 A-5 ELEVATIONS

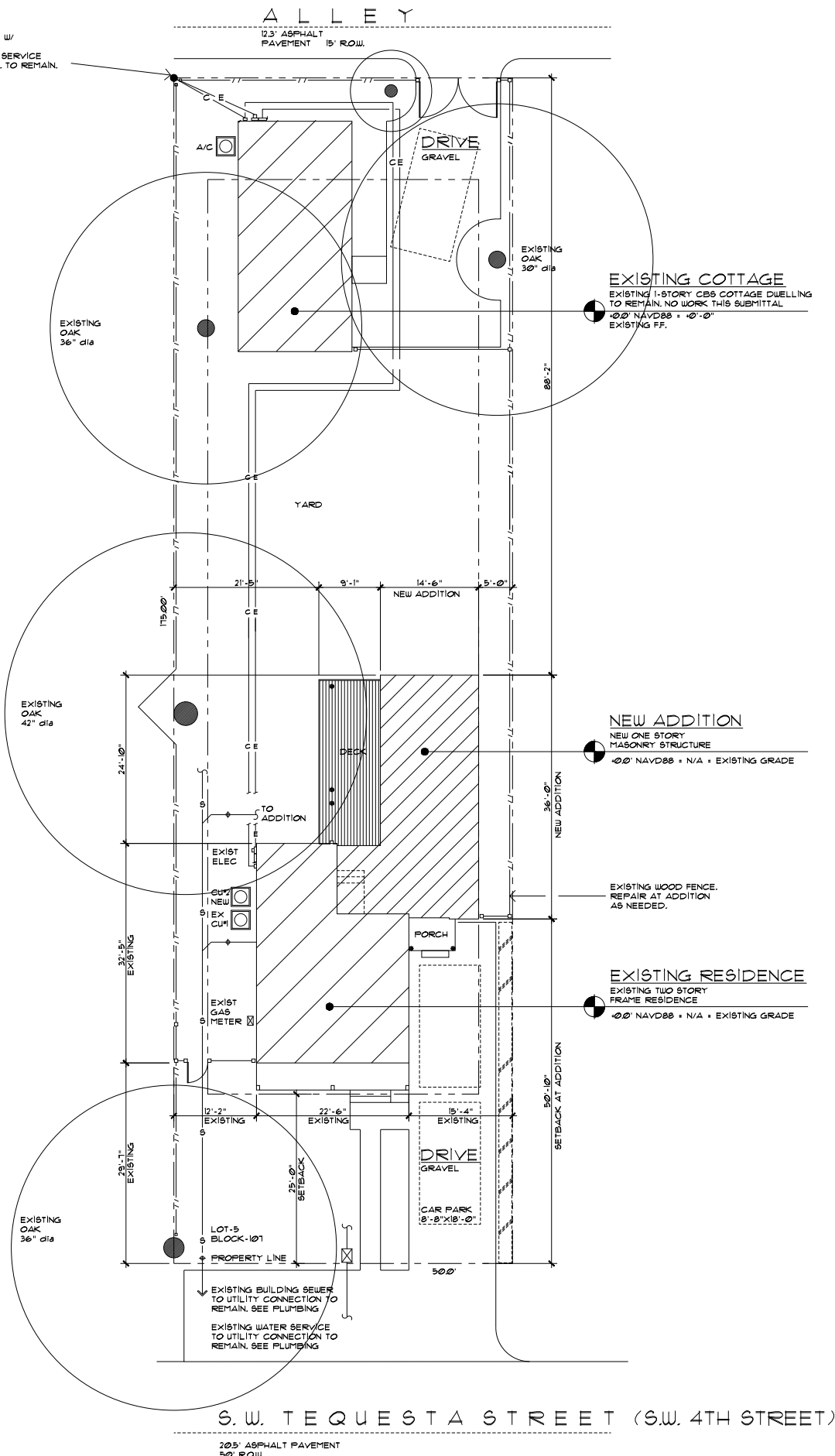
CITY OF FT. LAUDERDALE NOTICE:

THE SUBJECT PROPERTY IS LOCATED WITHIN A FEMA DESIGNATED FLOOD PLAIN AND REQUIRES TWO (2) APPROVED ELEVATION CERTIFICATES BEFORE THE STRUCTURE CAN BE OCCUPIED.

PLEASE BE INFORMED THAT THE TWO (2) REQUIRED ELEVATION CERTIFICATES DURING THE DEVELOPMENT PROCESS ARE:
 1. FOUNDATION ELEVATION CERTIFICATE
 2. FINAL (AS-BUILT) ELEVATION CERTIFICATE AND A FINAL BUILDING INSPECTION ARE REQUIRED BEFORE THE STRUCTURE IS OCCUPIED.



EXISTING UTILITY POWER POLE W/
 OVERHEAD ELECTRICAL AND
 COMMUNICATIONS SERVICE TO SERVICE
 METER MAIN DISC. AND 200 A. TO REMAIN.
 SEE ELEC.



JAMES ARCHER ARCHITECT, P.A.

514 SW Seventh Street
 Ft. Lauderdale, Fl. 33315
 954.525.2835p
 CO#306296 FL#AA26001407
 MA#31008 NC#10646

Submittals:
 HPB: 11/14/2019

Revisions:

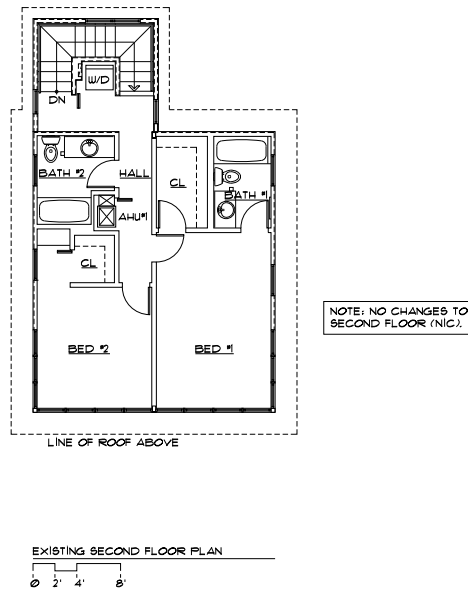
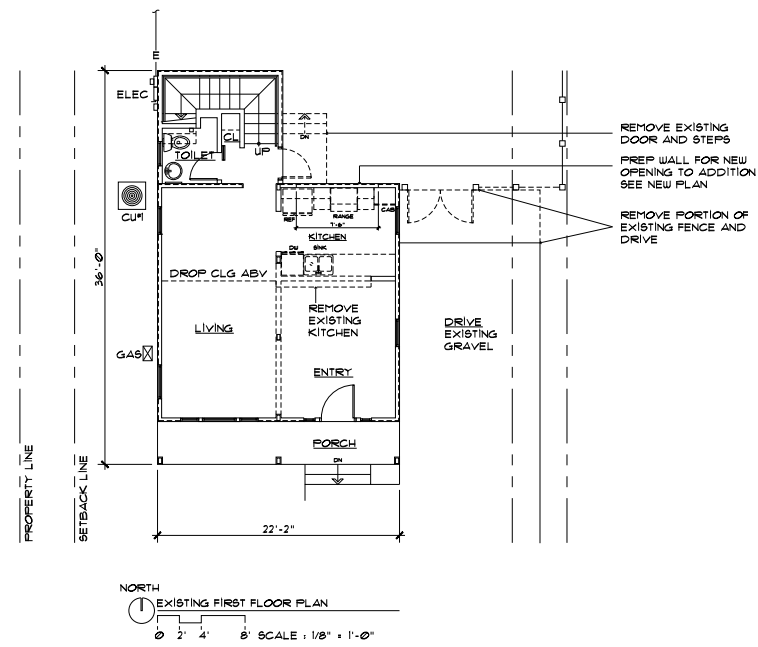
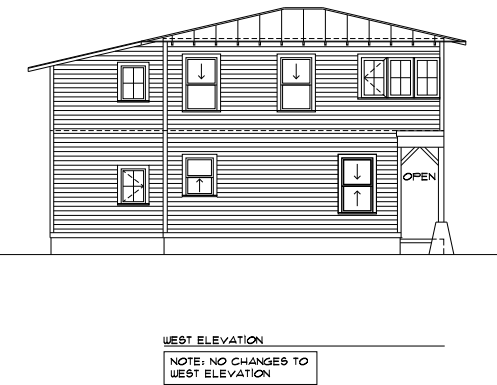
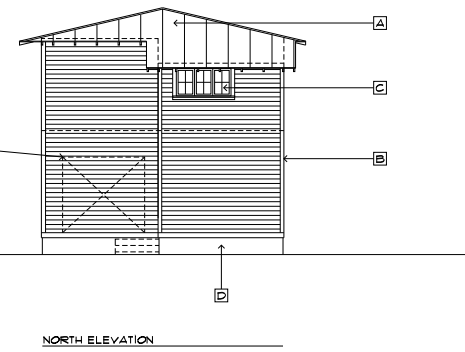
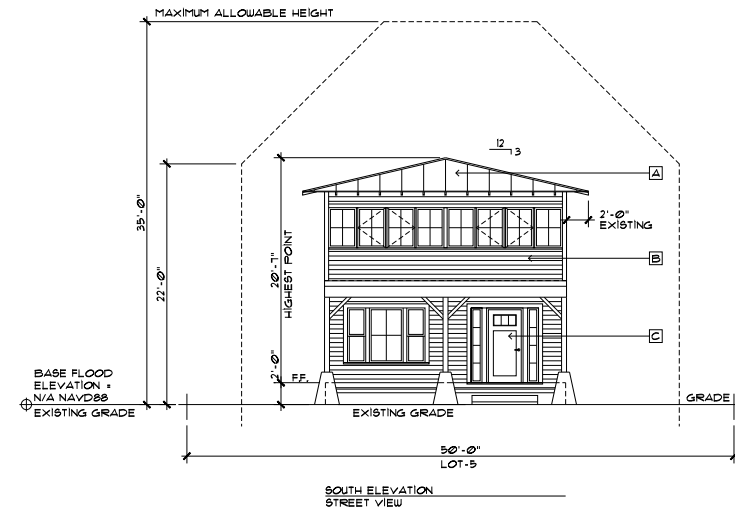
TEQUESTA STREET ALTERATIONS
 1001 S.W. TEQUESTA STREET (SW 4TH STREET)
 FORT LAUDERDALE, FLORIDA 33312

SITE PLAN AND PROJECT DATA

Date: 11-14-2019
 Scale:
 Drawn:
 Job:
 Sheet:

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of Sheets



MATERIAL LEGEND	
A	EXISTING 5-V CRIMP GALVALUME ROOFING
B	EXISTING WOOD COVE SIDING
C	EXISTING ALUMINUM WINDOWS & DOORS / IMPACT APPROVED
D	STUCCO ON MASONRY
E	NEW 5-V CRIMP GALVALUME ROOFING
F	NEW WOOD COVE SIDING
G	NEW ALUMINUM WINDOWS & DOORS / IMPACT APPROVED

WALL LEGEND	
(---)	EXISTING TO BE REMOVED NOW
(---)	EXISTING TO REMAIN
(---)	NEW STRUCTURE

TEQUESTA STREET ALTERATIONS
 1001 S.W. TEQUESTA STREET (SW 4TH STREET)
 FORT LAUDERDALE, FLORIDA 33312
 EXISTING PLAN AND DEMOLITION PLAN

Date 11-14-2019

Scale

Drawn

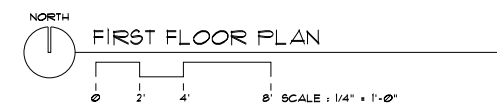
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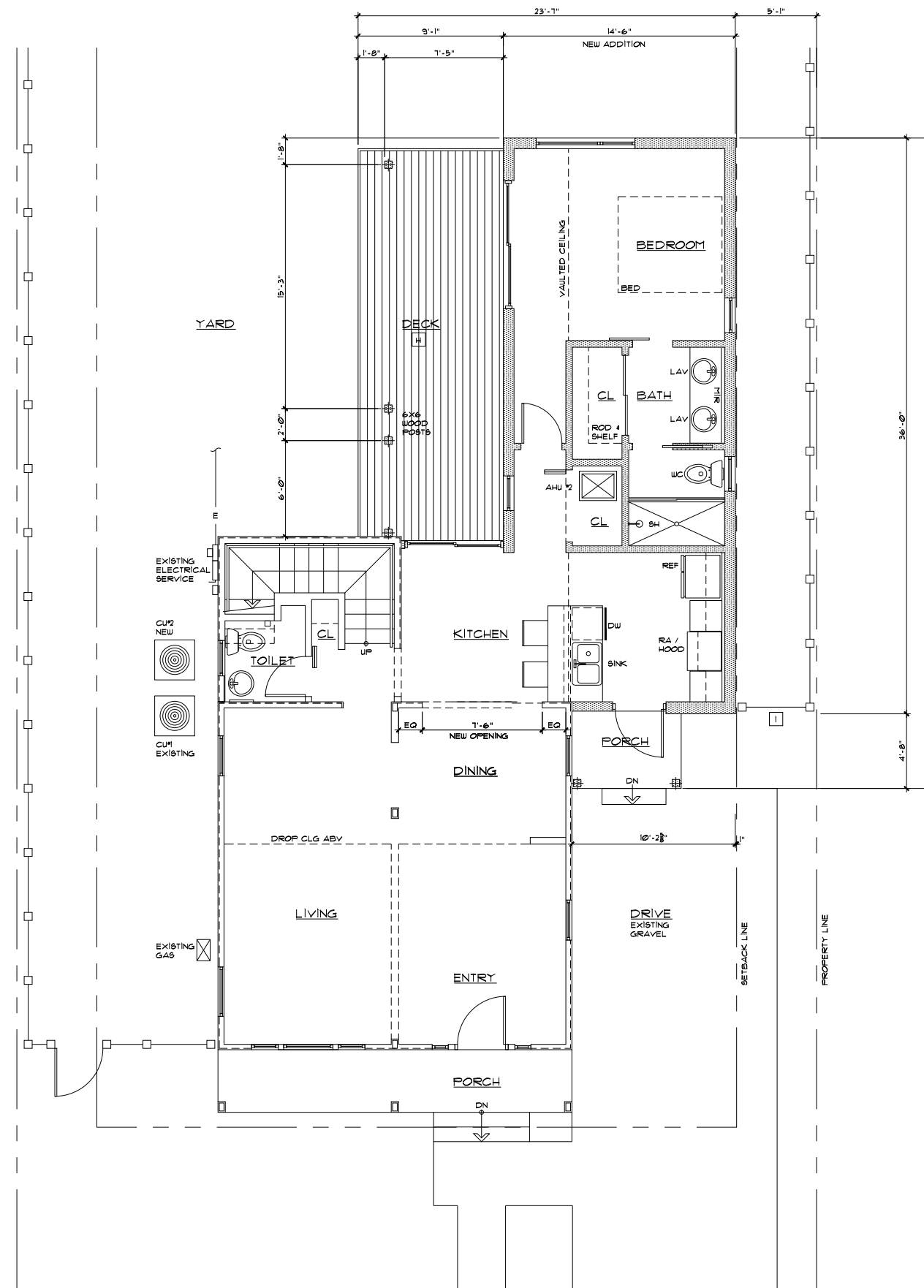
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MATERIAL LEGEND	
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B	EXISTING WOOD COVE SIDING
C	EXISTING ALUMINUM WINDOWS & DOORS / IMPACT APPROVED
D	STUCCO ON MASONRY
E	NEW 5-V CRIMP GALVALUME ROOFING
F	NEW WOOD COVE SIDING
G	NEW ALUMINUM WINDOWS & DOORS / IMPACT APPROVED
H	WOOD DECK AND POSTS
I	WOOD FENCE



WALL LEGEND	
[---]	EXISTING TO BE REMOVED (UCN)
[---]	EXISTING TO REMAIN
[---]	NEW STRUCTURE



TEQUESTA STREET ALTERATIONS
 1001 S.W. TEQUESTA STREET (SW 4TH STREET)
 FORT LAUDERDALE, FLORIDA 33312

ROOF PLAN

Date 11-14-2019

Scale

Drawn

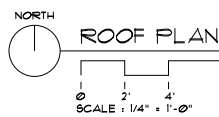
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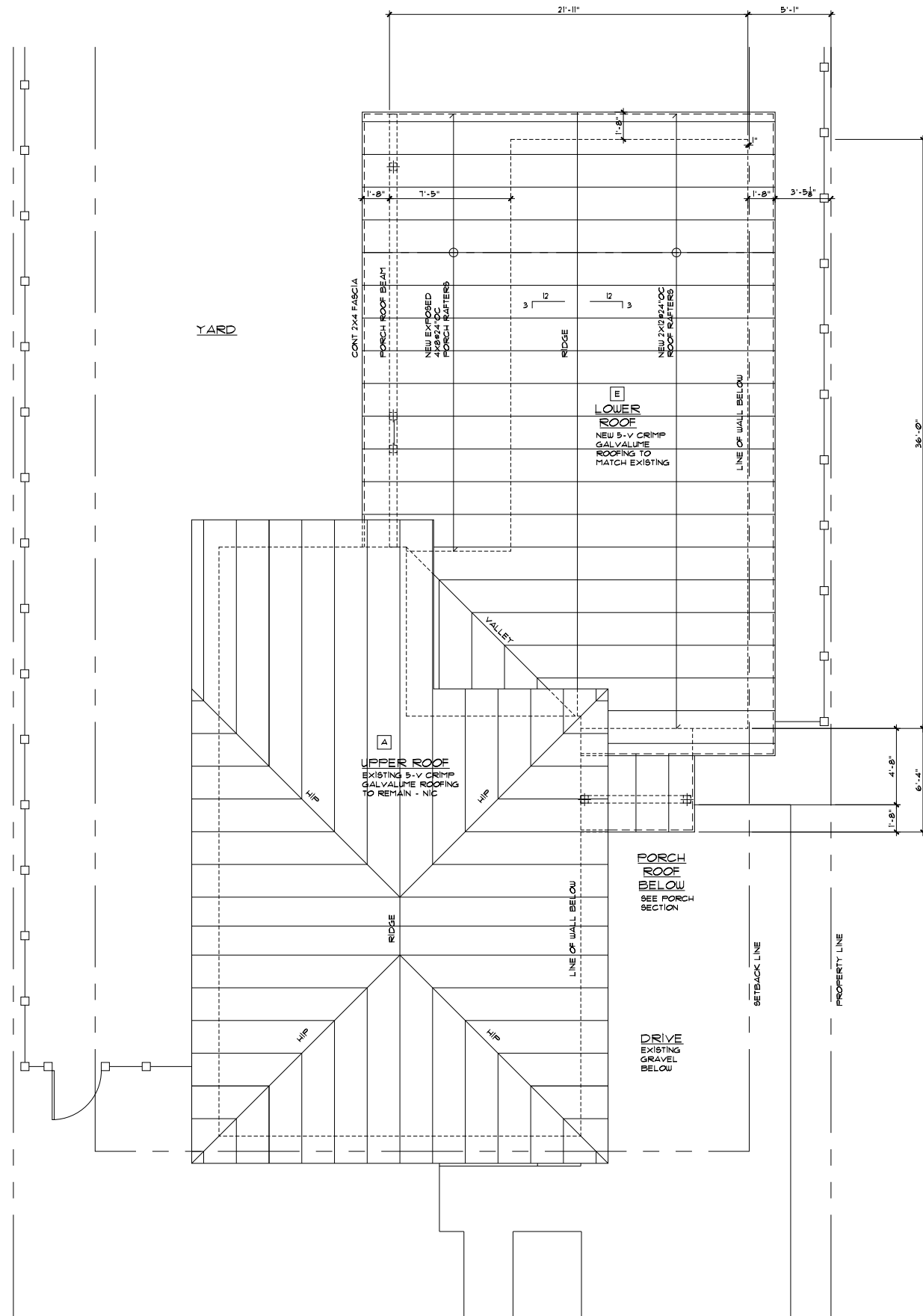
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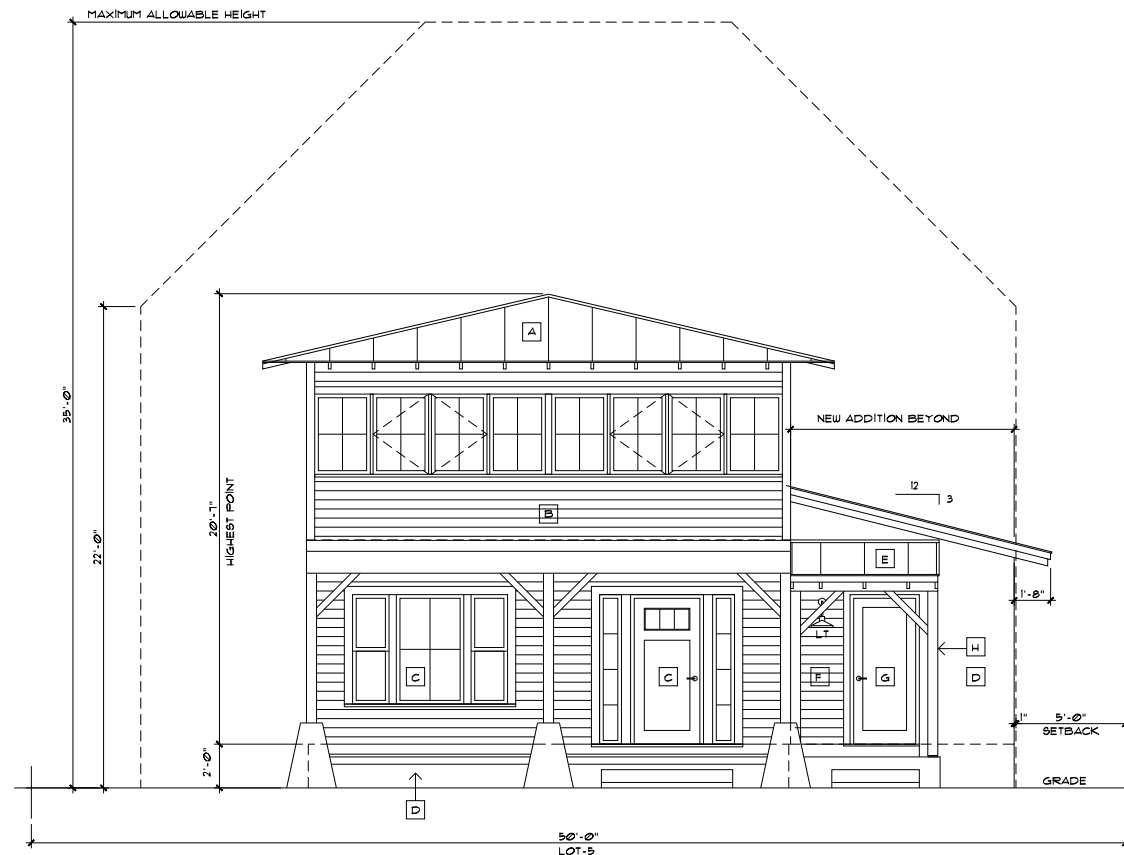
MATERIAL LEGEND	
A	EXISTING 5-V CRIMP GALVALUME ROOFING
B	EXISTING WOOD COVE SIDING
C	EXISTING ALUMINUM WINDOWS & DOORS / IMPACT APPROVED
D	STUCCO ON MASONRY
E	NEW 5-V CRIMP GALVALUME ROOFING
F	NEW WOOD COVE SIDING
G	NEW ALUMINUM WINDOWS & DOORS / IMPACT APPROVED
H	WOOD DECK AND POSTS
I	WOOD FENCE



WALL LEGEND	
	EXISTING CMU BLOCK WALL OR PARTITION
	EXISTING INTERIOR STUD WALL OR PARTITION
	NEW CMU BLOCK WALL OR PARTITION
	NEW INTERIOR STUD FRAMED PARTITION, NON-RATED NON-LOAD BEARING. SEE TYPICAL WALL SECTIONS
	EXISTING TO BE REMOVED (WON)

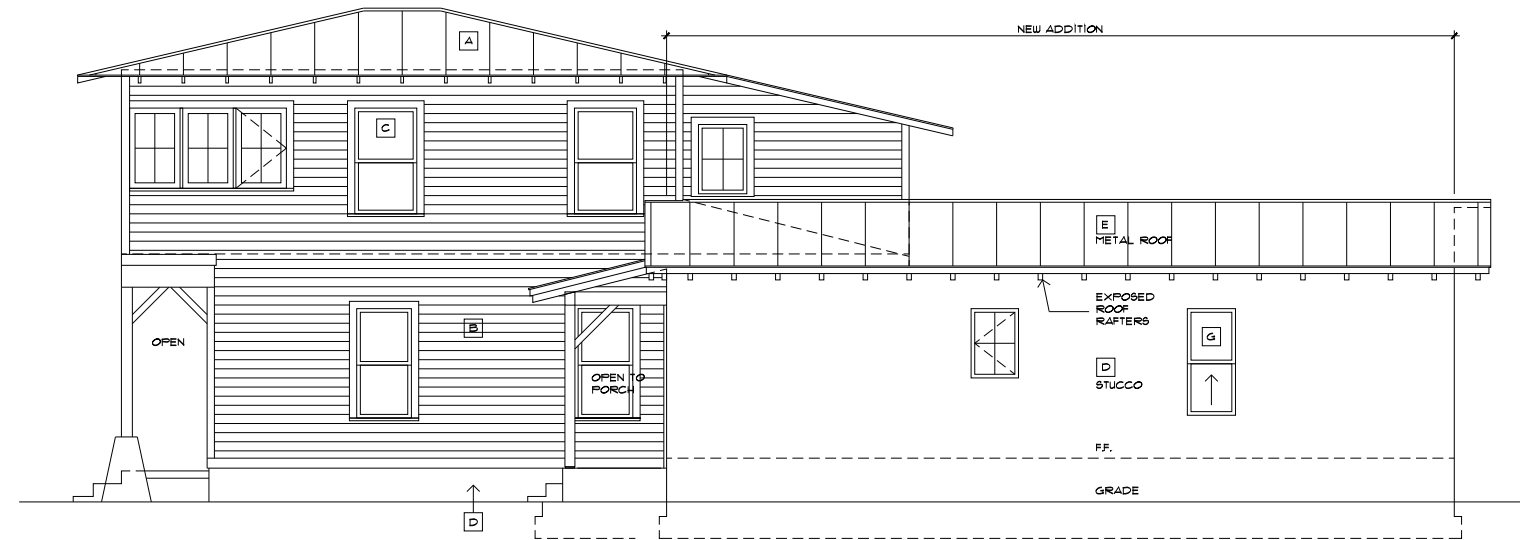
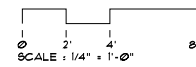


MATERIAL LEGEND	
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B	EXISTING WOOD COVE SIDING
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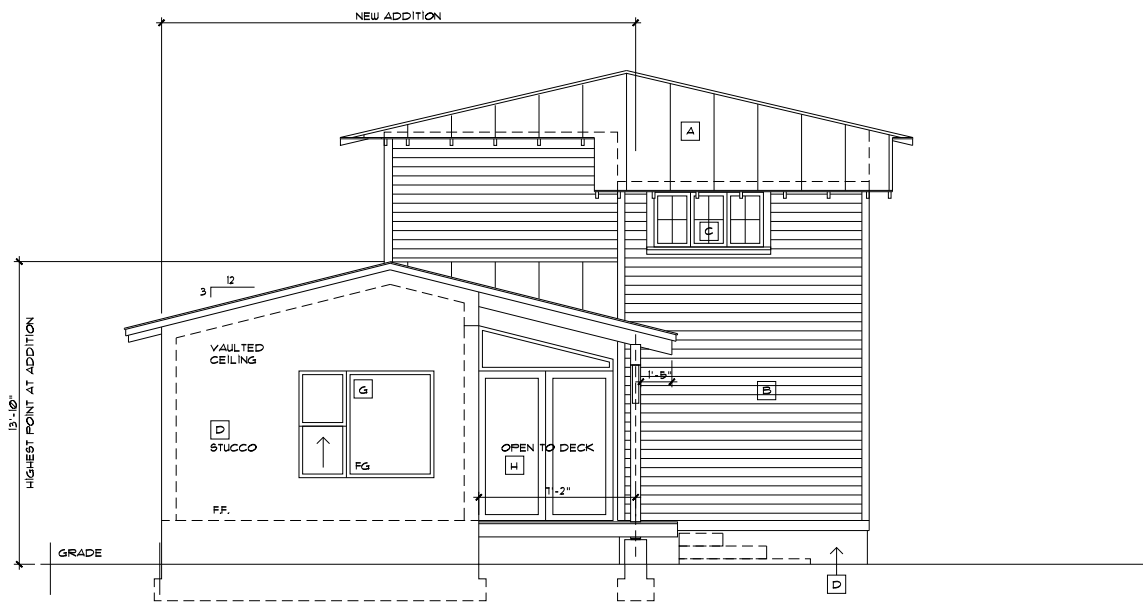


SOUTH ELEVATION

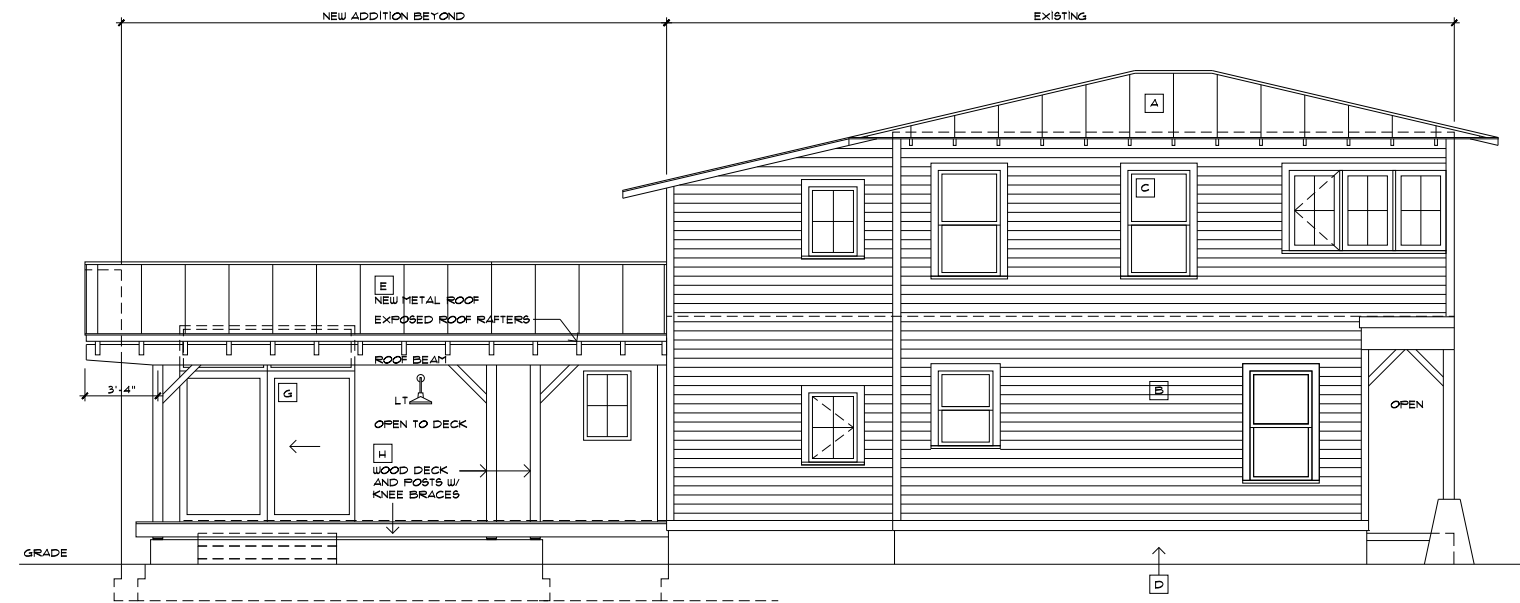
STREET VIEW



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

TEQUESTA STREET ALTERATIONS
 1001 S.W. TEQUESTA STREET (SW 4TH STREET)
 FORT LAUDERDALE, FLORIDA 33312

ELEVATIONS

Date 11-14-2019

Scale

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Job

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