



# DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

**MEETING DATE:** June 22, 2021

**PROPERTY OWNER:** Las Olas Riverfront, LP.

**APPLICANT/AGENT:** Courtney Crush, Crush Law, P.A.

**PROJECT NAME:** Riverfront Open Space Easement Vacation

**CASE NUMBER:** UDP-EV21003

**REQUEST:** Easement Vacation

**LOCATION:** Portion of SW 1st Avenue Between Las Olas Boulevard  
and N. New River Drive West

**ZONING:** Regional Activity Center – City Center (RAC-CC)

**LAND USE:** Downtown Regional Activity Center

**CASE PLANNER:** Jim Hetzel



Case Number: UDP-EV21003

**CASE COMMENTS:**

Please provide a written response to each of the following comments:

1. Per ULDR Section 47-24.1, provide written documentation that easement to be considered for vacation meets the City's development review criteria per ULDR Section 47-25.2 (Adequacy Review) and ULDR Section 47-24.7 (Vacation of Easement Requirements).
2. Demonstrate compliance with Adequacy Review requirements per ULDR Sections 47-25.2.C (Drainage facilities) and 47-25.2.L (Stormwater), that the easement area to be considered for vacation will not adversely affect adjacent streets and properties.
3. Provide a signed and sealed boundary and topographic survey showing all above ground improvements, utilities, rights of way dimensions and all easements. This survey shall be based on a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale. If any encumbrances are found in the property, provide a copy of the recorded documents accordingly (i.e. easements, agreements, etc).
4. Provide copy of latest corresponding Site Plan, so that it can be reviewed for consistency. Confirm that limits of proposed Easement vacation are consistent with Site Plan.
5. Applicant to provide recorded copy of easement documents from Broward County records for background and purpose.
6. Provide letters from all franchise utility providers, as appropriate (i.e. if easement being vacated is public), demonstrating their interests in maintaining or no objection to the vacation of this Easement; the letters should specifically state whether or not the franchise utility providers have existing facilities within the Easement vacation area that will need to be relocated or abandoned.
7. Sanitary sewer utilities may be located within the requested easement. Please obtain a no objection letter from Public Works. Please contact Igor Vassiliev at [ivassiliev@fortlauderdale.gov](mailto:ivassiliev@fortlauderdale.gov).
8. Please be advised that the vacating ordinance shall not be in full force and effect until an Engineer's Certificate is executed by the City Engineer or designee. This Engineer's Certificate shall be executed by the proper authorities and recorded in the public records of Broward County. A copy of the recorded certificate is to be provided to the City upon recordation. The City Engineer's certificate shall also state that all existing facilities located within the vacated easement have been relocated or abandoned to the satisfaction of the respective utility owners.
9. Please be advised that additional Easements may need to be dedicated to the City resulting from the Vacation of Easement approval process, including Utility Easement(s) and Access Easement(s).

As applicable, provide documents such as easement and/or right-of-way deed, joinders, consents and Attorney's Opinion of Title. Please refer to City's Web site:



---

<http://fortlauderdale.gov/departments/sustainable-development/building-services/engineering-forms-and-info> (under 'Engineering Forms' and 'Dedicated Public Rights of Way and Easements') or click on <http://www.fortlauderdale.gov/home/showdocument?id=1558>.

10. Additional comments may be forthcoming at the meeting.



Case Number: UDP-EV21003

**CASE COMMENTS:**

Comments may be forthcoming.

**GENERAL COMMENTS:**

Please address comments below where applicable.



Case Number: UDP- EV21003

**CASE COMMENTS:**

Please provide a response to the following:

- 1) The applicant is strongly encouraged to contact all neighborhood associations located within three hundred feet (300)' of the development site, to advise of this proposal (a map and listing of all neighborhood associations are listed on the City's website).
- 2) The proposed project requires review approval by the City Commission. A separate application and fee are required for City Commission review. Staff will notify the applicant when submittal is required.
- 3) Signoffs from the City Surveyor and the Urban Design Engineer will be required prior to City Commission submittal. The signoff for the City Surveyor will be routed by Planning Staff.
- 4) Letters must be provided from Florida Power & Light, AT&T, Comcast Cable, TECO Gas and the City of Fort Lauderdale Public Works Department indicating no objections to the vacation. If any easements are required, legal and easement documents must be provided prior to item being scheduled for City Commission. If any facilities need to be relocated, plans satisfactory to that agency must be approved prior to City Commission submittal.

Contact Information for utilities is as follows:

**AT&T**

Dyke Tittle  
954-577-5602  
[dt5431@att.com](mailto:dt5431@att.com)

**Florida Power and Light (FP&L)**

Lucas Cornish  
954-717-2062  
[Lucas.Cornish@fpl.com](mailto:Lucas.Cornish@fpl.com)

**City of Fort Lauderdale,  
Public Works Department**  
Elkin Diaz  
954-828-6539  
[Ediaz@fortlauderdale.gov](mailto:Ediaz@fortlauderdale.gov)

**TECO Peoples Gas**

David Rivera  
954-453-0794  
[DRRivera@tecoenergy.com](mailto:DRRivera@tecoenergy.com)

**Comcast**

Leonard Maxwell-Newbold  
954-447-8405  
[leonard\\_maxwell-newbold@comcast.com](mailto:leonard_maxwell-newbold@comcast.com)

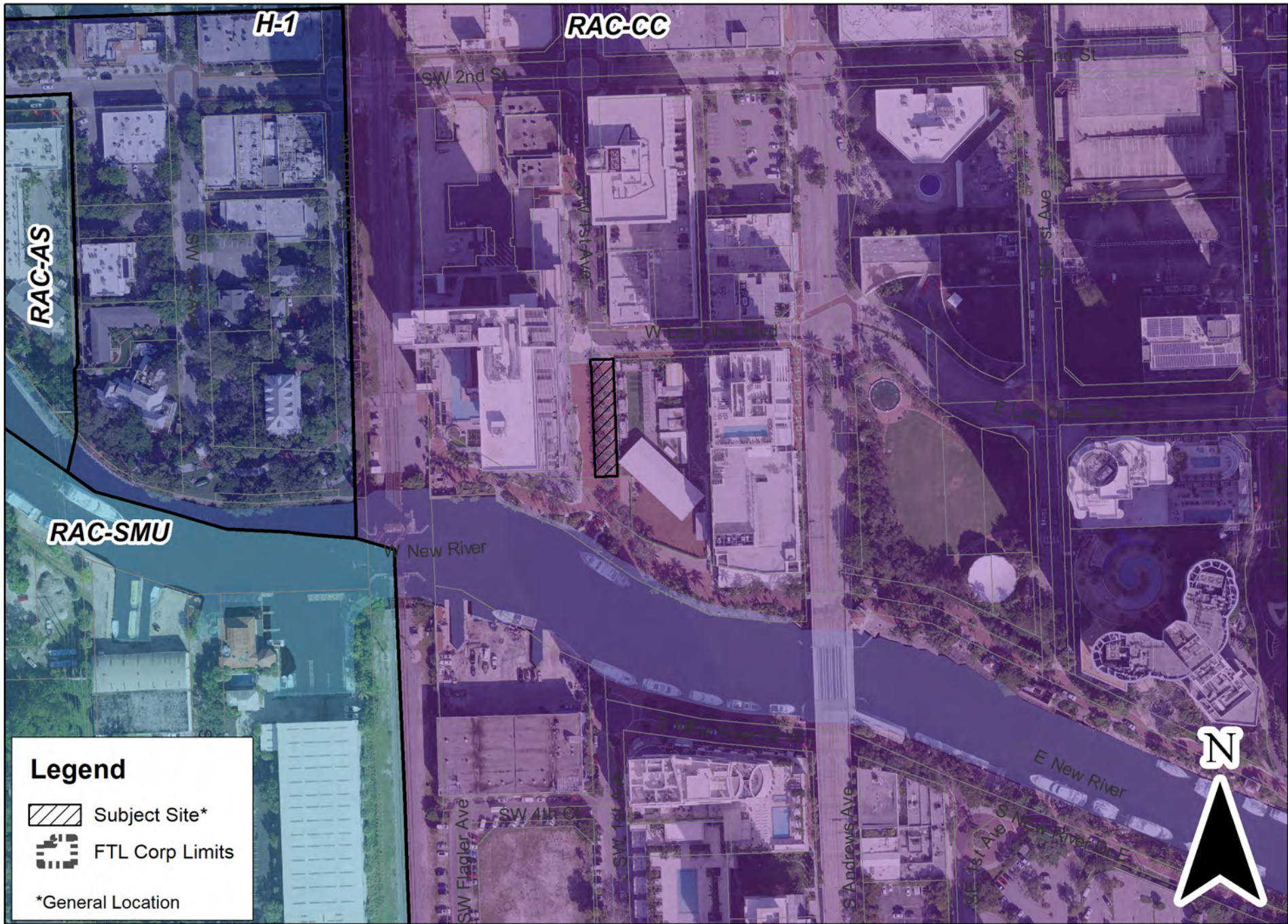
- 5) The resolution approving the vacation of easement shall be recorded in the public records of Broward County within (30) days after adoption.

**GENERAL COMMENT**

- 6) Be advised that pursuant to State Statute, Section 166.033, states that development permits which require a quasi-judicial or public hearing decision must be complete within 180 days unless an extension of time is mutually agreed upon between the City and the applicant.
- 7) The following easement documents must be reviewed and approved by City Staff prior to final approval:
  - a. Attorney's Opinion of Title
  - b. Easement Deed
  - c. Survey, Sketch and Legal Description
  - d. Joinder, Consent, and Partial Release by Mortgagee/Lien Holder

The instructions and templates for these documents may be found at

<https://www.fortlauderdale.gov/departments/sustainable-development/building-services/engineering-forms-and-info> listed under the topic "Dedicated Public Rights of Way and Easements." Please submit these documents electronically to Caroline Yeakel at [CYeakel@fortlauderdale.gov](mailto:CYeakel@fortlauderdale.gov).



# UDP-EV21003

