



DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

MEETING DATE: September 14, 2021

PROPERTY OWNER: 808 Victoria Park TH, LLC.

APPLICANT/AGENT: Stewart Robin, Architect

PROJECT NAME: Victoria Park Townhomes

CASE NUMBER: UDP-S21037

REQUEST: Site Plan Level II Review: 10-Unit Townhouse
Development

LOCATION: 800 NE 2nd Street

ZONING: Residential Multifamily Mid Rise/ Medium High Density
(RMM-25)

LAND USE: Medium High Residential

CASE PLANNER: Yvonne Redding



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CASE COMMENTS:

Please provide a response to the following:

1. Specify the Florida Building Code 7th edition on plan for the proposed development [FBC 2020-101.2]
2. Specify uses and occupancy classification per 2020 FBC Residential volume [FBC 2020-R101.2]
3. Specify fire-resistance separation requirements based on section R302 of FBC 2020 Residential Volume.

GENERAL COMMENTS

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. Florida Building Code Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances and accessed at;

- a. https://www.municode.com/library/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

Please consider the following prior to submittal for Building Permit:

1. On December 31st, 2020 the 7th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations;
 - a. <http://www.fortlauderdale.gov/departments/sustainable-development/building-services>
 - b. https://floridabuilding.org/bc/bc_default.aspx
 - c. <http://www.broward.org/codeappeals/pages/default.aspx>

General Guidelines Checklist is available upon request.



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DEDICATION OF RIGHTS-OF-WAY: Per ULDR Section 47-25.2.M.5, property shall be conveyed to the public by plat, deed or grant of easement as needed in accordance with the Broward County Trafficways Plan, the city's comprehensive plan, subdivision regulations and accepted applicable traffic engineering standards:

- a. Provide 25' corner chord permanent Right-of-Way Easement or dedication on southeast corner of NE 2nd Street & NE 8th Avenue intersection per ULDR Section 47-24.5.D.p; ensure to label delineation on the plans.
- b. Provide 10' x 15' (min.) permanent Utility Easement for any 4 Inch or larger water meter and/or the first private sanitary sewer manhole located within the proposed development (for City Maintenance access); label delineation on the plans as appropriate.

CASE COMMENTS:

Prior to Final DRC sign-off, please provide updated plans and written responses to the following review comments:

1. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department in order to meet adequacy requirements per ULDR Section 47-25.2 of the City's Code of Ordinances. Submit water and wastewater capacity availability request form and documents/plans at <https://www.fortlauderdale.gov/departments/sustainable-development/building-services/engineering-forms-and-contact-info/development-review-committee-service-demand-calculations-for-water-sewer-request-form>
2. Please email CRBARRETT@FORTLAUDERDALE.GOV to obtain copies of the City utility maps as applicable to the project location and show existing City utilities and easements (water, sewer, force main, and stormwater utilities) in proposed engineering plans (utility demolition, stormwater pollution prevention plan (SWPPP), and civil plans).
3. In order to reduce overcrowding of the ROW, please modify the southernmost sewer lateral to illustrate a perpendicular connection to the existing sewer main. Please note that the lateral as illustrated (i.e., running diagonally across NE 8th Ave) is not acceptable.
4. In addition to the above, please illustrate the plumbing lines within the private property and their respective connection to each townhome. Please be reminded that the use of 'Ys' are not acceptable within the City ROW. Please modify the plans as applicable. Also note that the sewer main servicing the subject site has been lined/rehabilitated. Therefore, all proposed connections to the main shall illustrate the appropriate connection details (LMK fittings, doghouse manholes, etc.).
5. Provide the disposition of the northernmost water meter and modify the plans as applicable.
6. Please note that the subject site is located within the Victoria Park Civic Association which is within the City Drainage Master Plan. Therefore, additional coordination maybe required. Please contact Rares Petrica (Public Works) at 954-828-6720 or rpetrica@fortlauderdale.gov
7. Provide storm runoff calculations, signed and sealed by a Florida registered professional engineer, which demonstrate how minimum criteria regarding adjacent street crown, water quality and finished floor elevations are met. For the 25-year, 3-day storm, please demonstrate that the design stage is equal to or less than the pre-condition, or revise and resubmit all affected plans showing the perimeter grade (including entrance and exit driveways) at or above the 25-year, 3-day design storm stage. Please also comply with the City of Fort Lauderdale Comprehensive Plan (Ordinance C-08-18),



Objective 4.1 under Infrastructure Elements, and be advised that effective 7/1/2017, all projects must comply with the Broward County 'Future Conditions Average Wet Season Groundwater Level' map.

8. If dewatering activities are anticipated, a notarized City dewatering affidavit along with a dewatering permit shall be solicited at City's building department. Please contact Gabriel Garcia (Ggarcia@fortlauderdale.gov) for a list of submittal requirements for a dewatering plan.
9. Show and label all existing and proposed utilities (utility type, material and size) on civil and landscaping plans for potential conflicts. A min. 5 feet and 10 feet horizontal clearance horizontal separation is required between city utilities infrastructure and proposed small and large trees, respectively (including proposed water and sewer services to the development). Any new trees (located within or adjacent to City Right-of-Way) should be placed with sufficient horizontal and vertical distances (per City, County, and State guidelines) to/from City's public infrastructure, including stormwater assets, to allow for continued Public Works maintenance without obstruction. If this cannot be accommodated due to field conditions, then the developer shall relocate the existing City public infrastructure to resolve the conflict(s) and to comply with City, County & State engineering standards/permits/policies. Ensure separation is provided and include a note regarding horizontal clearance requirement on the landscape plans.
10. Existing public sidewalk along NE 2 ST must be inspected by Engineer of Record to ensure existing sidewalk meets ADA standards and is in good condition. A signed and sealed assessment must be provided indicating sidewalk was inspected (with required repairs included). Plans shall reflect extent of sidewalk replacement/repairs accordingly.
11. Within adjacent City Right-of-Way, staging/storage will not be allowed, construction fence shall not encroach within intersection corner sight triangles, construction fence gates shall not swing into the public Right-of-Way, and any loaded Jib Crane radius shall not extend beyond private property boundaries. Any City Right-of-Way closure over 72 hours requires a Revocable License Agreement, processed by Property Right-Of-Way Committee (DRC) and approved by the City's Commission, prior to Right-of-Way permit issuance by the Department of Sustainable Development for Maintenance of Traffic.
12. Provide Maintenance Agreement Area Exhibit, which provides a visual representation of the area within the adjacent public Right-of-Way (adjacent to the proposed development) to be maintained in perpetuity by the developer. Label all proposed improvements, including asphalt and other specialty paving, specialty sidewalks, landscaping, irrigation, lighting, curb and gutter etc. that will be maintained by the Applicant throughout the life of the improvements.
13. Evaluate the possibility of utilizing a sustainable stormwater approach with the possibility of low impact (cisterns, pervious pavers, bioswales, raingardens, etc.) uses for landscaping along the streetscape.
14. For Engineering General Advisory DRC Information, please visit our website at <https://www.fortlauderdale.gov/home/showdocument?id=30249>
15. Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.



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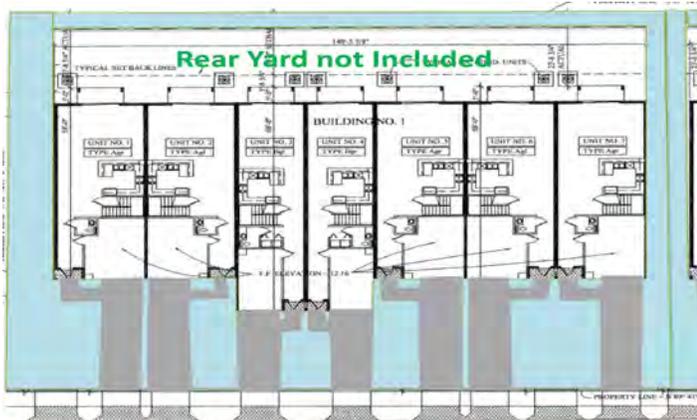
CASE COMMENTS:

Please provide a response to the following.

1. Tree disposition sheet unable to clearly read, please provide clearly legible sheet.
2. Tree preservation requirements apply and should be followed. Please investigate relocation of trees and palms that would be candidates for relocation.
3. During staff meeting it was mentioned that NE 2nd Street is to have a landscape area between the pedestrian realm of the sidewalk and the travel lane. Please provide landscape area and materials within this area that will count towards site code requirement of street trees. As an example of the streetscape, please see the site development located from NE 7th AVE to NE 8th AVE between NE 3rd Street and NE 4th Street.
4. Please provide shade tree street trees in the right of way swale area, as per ULDR 47-21.13.B.16. Street trees are to be a minimum of 12 feet tall and provided at a ratio of one street tree per forty feet of street frontage or greater fraction thereof not subtracting ingress and egress dimensions. When overhead utilities exist, required street trees may be small maturing trees provided at a minimum of a ratio of one street tree per twenty feet frontage or greater fraction thereof not subtracting ingress and egress dimensions.
5. The use of structural soil is required in paved sites to provide adequate soil volumes for tree roots under pavements, as per ULDR Section 47-21.13. Structural soil details and specifications can be obtained at <http://www.hort.cornell.edu/uhi/outreach/index.htm#soil> This is to be provided at a minimum of 8' radii of tree trunks, and is to be consistently illustrated and noted on landscape, site and civil plans. The structural soil drain is required when percolation rates are less than 4" vertical clearance per hour. Provide documentation of report used to prove this calculation. The drain and connections are to be illustrated on civil plans.
 - a. Demonstrate hashing on landscape, site, and civil plans as to the extent of use of the Structural Soil.
 - b. Provide Structural Soil Detail and composition.
6. Please review Section 47-21.12. VUA requirements and provide shade trees, flowering trees, palms, and optional. Trees to count toward the VUA must be within 10 feet of the edge of pavement and on site.
7. Please demonstrate site requirements and how they are being provided within required / provided listing.
8. A VUA buffer landscape strip of a minimum 2.5 feet is required to a neighboring property other than a right of way.
9. Please provide frond length plus 2 feet for Royal palm and overhead power lines.



10. Trees encroaching the public realm of the sidewalk to have a minimum 6 feet clear canopy height, those within the area of the sight triangle to have a minimum 8 feet canopy clearance.
11. No landscape obstructions to be in the 5 feet pedestrian easement area.
12. RMM-25 requires 35% landscape requirement, please see exhibit below from page 33 of the Neighborhood Design Criteria Revisions "NDCR" for where the 35% Landscape area is calculated. 5feet pedestrian path along the rear yard, total side yards, and front yard landscape area (driveway/sidewalk area in front yard is not included towards the calculation of reduction of landscape area, yet pools will be included).



13. Additional comments may be forthcoming prior to DRC sign off.

GENERAL COMMENTS

The following comments are for informational purposes.

Please consider the following prior to submittal for Building Permit:

1. A separate sub-permit application for Tree Removal, Relocation, and General Landscaping for site is required at time of master permit submittal. These are Landscape and Tree permit application documents different than the Broward County standard applications. Please not at this time of DRC submittal.
2. Proposed landscaping work in the City's right of way requires engineering permit and approval (GLandscape permit). This approval requires documents to be submitted for Engineering review. Note that Landscape will not approve permit review without these Engineering documents being submitted.
3. Provide separate Plumbing sub permit application for irrigation. Irrigation plans are required at time of Building permit submittal. Plans are to be in compliance with ULDR 47-21.6.A.11 and 47-21.10. Note that planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that a particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Illustrate hydrozones on planting plan and include calculations in table.



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CASE COMMENTS:

Please provide a response to the following:

1. Garbage and Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your business creates, and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
4. Service Days shall be per the City's residential routing schedule.
5. Containers: must comply with 47-19.4
6. Roll-Out: provide container staging area on private property.
7. Solid Waste charges shall be included in monthly maintenance fee as prescribed in owner's association documents (Multi-family).
8. Provide on the site plan a garbage truck turning radii for City review. Indicate how truck will circulate within property.
9. Solid Waste Collection shall be on private property and the containers shall not be placed, stored or block the public street to perform service (large multifamily and commercial parcels).
10. Submit a Solid Waste Management Plan on your letterhead containing name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
 - o This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to dwilson@fortlauderdale.gov. Letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and container requirements to meet proposed capacity.
 - o Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.

GENERAL COMMENTS

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. None



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CASE COMMENTS:

1. All parking must be provided in accordance with design and construction standards of the ULDR Section 47-20.11. Show dimensions for: stall width, depth of stall 90 degrees to aisle, aisle width, width of stall parallel to aisle, module width, angle of parking stalls.
 - a. Show garage, Driveway dimensions on plan set.
 - b. As per 47-19.2.4 "A driveway shall be constructed at a minimum length of eighteen (18) feet measured from the property line when used as stacking or as a parking space."
2. Illustrate clear sight triangle for the intersections and driveways.
3. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices and indicate on the site plan. This includes all access to/from the site entrance. Add the dimension, clearances and slopes of the walkways.
4. Bicycle parking is strongly encouraged. Consult the APBP Bicycle Parking Guidelines, city of Fort Lauderdale Parking Standards and Broward County End-of-Trip Bicycle Facilities Guide. Look to provide the minimum long term and short-term bicycle parking based on requirements in the guide and include total counts on the site plan data sheet. Bicycle parking needs to be located on the site so that it is accessible to the public.
5. Additional comments may be provided upon further review.

GENERAL COMMENTS:

Please address comments below where applicable.

1. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.
2. Please note that any work within the City's right-of-way will require an MOT approved by Transportation and Mobility and Engineering for permitting. Any full closures of roadways, alleys, or sidewalks that are over 72 hours will require a Revocable License Agreement (RLA) with the City of Fort Lauderdale.



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CASE COMMENTS:

Please provide a response to the following:

1. The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a map and listing of officially-recognized neighborhood associations is provided on the City's website: <http://www.fortlauderdale.gov/neighborhoods/index.htm>). Provide acknowledgement and/or documentation of such outreach.
2. The site is designated Medium-High Residential on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
3. Provide a Plat Determination Letter from Broward County Planning Council verifying whether the property needs to be platted or re-platted. If a plat or re-plat is not required, contact the Broward County, Development Management and Environmental Review Section, at (954) 357-8695 to ensure that the proposed project is consistent with the latest recorded plat restriction(s). If a plat note or non-vehicular access line (NVAL) amendment is needed, a separate application is required, which is reviewed administratively and can be found here: [Administrative Review Application](#).
4. As 800 NE 2nd Street has been identified as a potential historic landmark in a recent Architectural Resource Survey and has been documented through a Florida Master Site File Historic Structures Form (FMSF Number: BD07649). Prior to demolition of this structure, provide color photos of the exterior and interior of the structure to the City's Historic Preservation Planner, Trisha Logan (tlogan@fortlauderdale.gov) to be included in the Florida Master Site File documentation that is held by the State of Florida's Historic Resources Division.
5. Provide a construction staging plan which includes anticipated hours of operation on site, debris mitigation plan, and map indicating where crane operations and employee and/or equipment parking and storage will be placed. A revocable license application and a traffic circulation plan may be required if the sidewalk or right-of-way requires to be closed at any time, which should be filed under a separate application and coordinated through the City's Maintenance of Traffic (MOT) process with the Transportation and Mobility Department.
6. Pursuant to 47-20.2.D, Table 1, Townhouse developments with five or more units require 2 per dwelling unit and 0.25 parking spaces for guests. It appears that your site plan is deficient in parking. When units or measurements result in a requirement of a fraction, any such fraction equal to or greater than exactly fifty percent (50%) shall require the full requirement, unless otherwise provided for in the ULDR.
7. Provide the following changes on site plan:
 - a. Verify setback dimensions shown on the site plan;
 - b. Provide location of trash and recycle bins during the pick-up times;
 - c. Provide 24-foot aisle between the provided guest spaces;
 - d. Orient Unit #812 to face the right-of-way, including the landing and sidewalk;
 - e. Ensure properly labeling of landscape materials on all sheets; and
 - f. Provide dimensions from pool equipment to adjacent lot line.
 - g. Correct parking calculation in site plan data table.



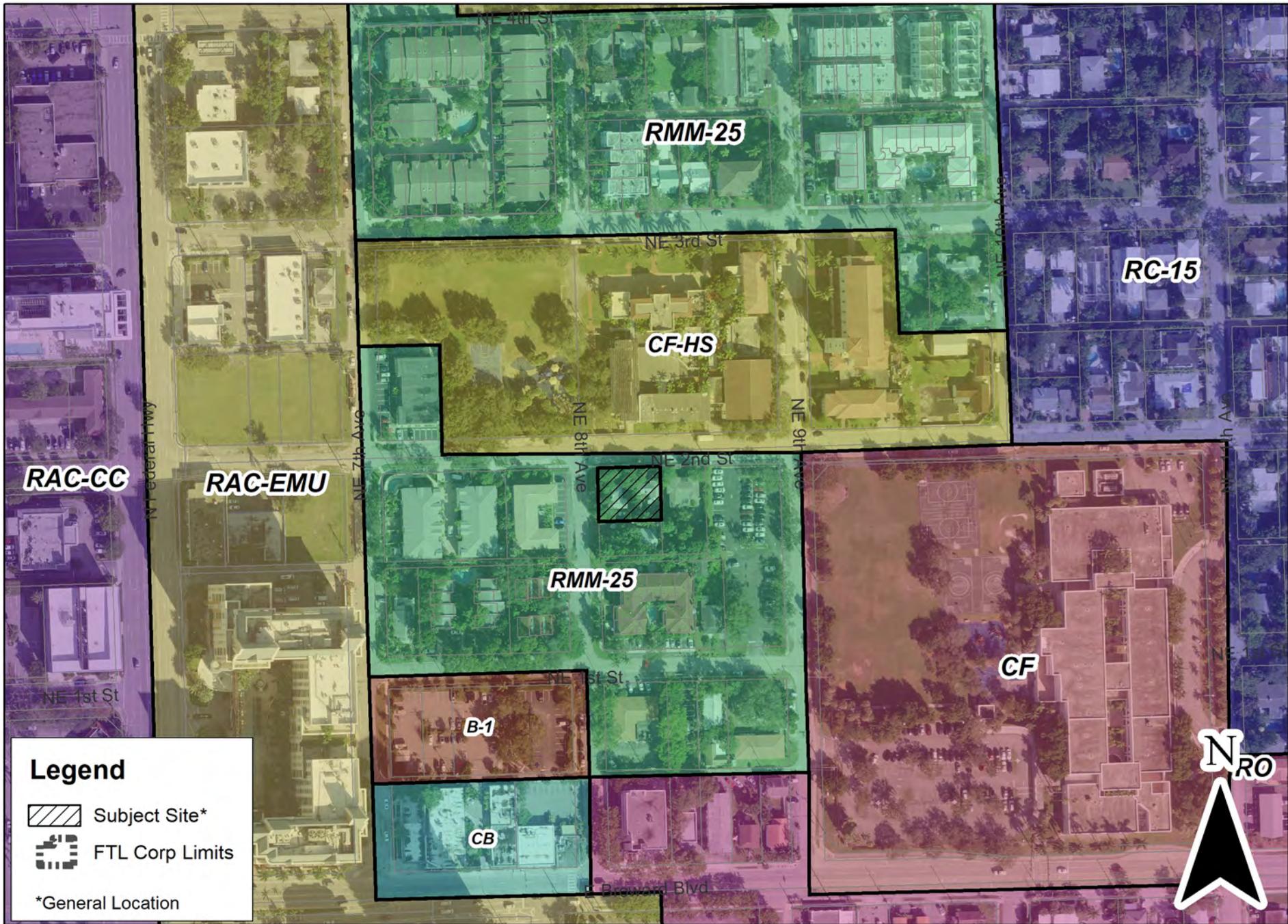
the requirements of public school concurrency, or a School Capacity Availability Determination (SCAD) letter that confirms that capacity is available, or if capacity is not available, that mitigation requirements have been satisfied. The City cannot accept a building permit application, nor issue a building permit, for new or additional residential units, unless the applicant presents evidence from Broward County that the impact of the proposed development on public educational sites and facilities has been mitigated by payment of school impact fees.

15. The City's Vision is to support sustainable infrastructure. Consider employing green building practices throughout the project such as, but not limited to; charging stations, tank-less water heaters, rain collection systems, pervious pavement where appropriate, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs. The plans indicate the project will be LEED certified. Staff recommends the applicant provide a preliminary LEED worksheet for the application file.
16. An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments.

GENERAL COMMENTS

The following comments are for informational purposes.

17. Be advised that State Statute, Section 166.033, states that development permits which require a quasi-judicial public hearing decision must be completed within 180 days unless an extension of time is mutually agreed upon between the City and the applicant. Please note this requirement.
18. If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on an additional site plan, to avoid additional review in the future. Ensure details and locations receive approval from the Building Service Department's DRC Representative.
19. Additional comments may be forthcoming at the DRC meeting.



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