

**CITY OF FORT LAUDERDALE  
CENTRAL CITY REDEVELOPMENT ADISORY BOARD (CCRAB)  
REGULAR **HYBRID** MEETING**

**WEDNESDAY – NOVEMBER 17, 2021**

**2:30 P.M.**

**CITY HALL – 8<sup>TH</sup> FLOOR CHAMBER ROOM  
100 NORTH ANDREWS AVENUE  
FORT LAUDERDALE, FL 33301**

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- |       |                                                                                                                                                                                                                                                                                          |                                                                                                                       |
|-------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------|
| I.    | The Pledge of Allegiance                                                                                                                                                                                                                                                                 | Luis Castillo-Olivera<br>CCRAB Chair                                                                                  |
| II.   | Call to Order & Determination of Quorum                                                                                                                                                                                                                                                  | Luis Castillo-Olivera<br>CCRAB Chair                                                                                  |
| III.  | Approval of Minutes <ul style="list-style-type: none"><li>• Regular Meeting October 6, 2021</li></ul>                                                                                                                                                                                    | Luis Castillo-Olivera<br>CCRAB Chair                                                                                  |
| IV.   | NE 4 <sup>th</sup> Avenue Streetscape Project<br>90 % Design Presentation                                                                                                                                                                                                                | Istvan Virag<br>Project Manager<br>Transportation &<br>Mobility<br>and<br>Jonathan Haigh, PLA,<br>ASLA<br>Kimley Horn |
| V.    | Program and Project Status Update <ul style="list-style-type: none"><li>• Budget Amendment \$666,807<ul style="list-style-type: none"><li>○ Rezoning Project – increase of scope</li><li>○ Incentive Programs</li></ul></li><li>• Event Funding Application – December 4, 2021</li></ul> | Cija Omengebar<br>CRA Planner                                                                                         |
| VI.   | Discussion of 1210 NE 5 Terrace                                                                                                                                                                                                                                                          | Bob Wojcik<br>CRA Housing and<br>Economic<br>Development<br>Manager                                                   |
| VII.  | Communication to City Commission                                                                                                                                                                                                                                                         | Luis Castillo-Olivera<br>CCRAB Chair                                                                                  |
| VIII. | Old/New Business <ul style="list-style-type: none"><li>• FDOT Project Flyer – Powerline Road &amp; Sunrise</li><li>• December Agenda Items<ul style="list-style-type: none"><li>○ CRA Basics Presentation</li><li>○ Incentive Program Inquiries</li></ul></li></ul>                      | Cija Omengebar<br>CRA Planner                                                                                         |
| IX.   | Adjournment                                                                                                                                                                                                                                                                              | Luis Castillo-Olivera<br>CCRAB Chair                                                                                  |

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**THE NEXT CCRAB REGULAR MEETING WILL BE HELD ON WEDNESDAY – DECEMBER 1, 2021**

**HYBRID MEETING ALLOWS FOR VIRUTAL PARTICIPATION; MUST BE REGISTER ONLINE TO**

**PARTICIPATE:**

<https://www.fortlauderdale.gov/government/departments-a-h/city-clerk-s-office/advisory-boards-committees-authorities-agendas-and-minutes/central-city-redevelopment-advisory-board>

**Purpose:** To review the Plan for the Central City CRA and recommend changes; make recommendations regarding the exercise of the City Commission's powers as a community redevelopment agency in order to implement the Plan and carry out and effectuate the purposes and provisions of Community redevelopment Act in the Central City Redevelopment CRA; receive input from members of the public interested in redevelopment of the Central City Redevelopment CRA and to report such information to the City Commission sitting as the Community Redevelopment Agency.

**Note:** Two or more Fort Lauderdale City Commissioners or Members of a City of Fort Lauderdale Advisory Board may be in attendance at this meeting.

**Note:** If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings and for such purpose he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Anyone needing auxiliary services to assist in participation at the meeting should contact the City Clerk at (954) 828-5002, two days prior to the meeting.

**Note:** Advisory Board members are required to disclose any conflict of interest that may exist with any agenda item prior to the item being discussed.

**Note:** If you desire auxiliary services to assist in viewing or hearing the meeting or reading agendas or minutes for the meetings, please contact the City Clerk's Office at 954-828-5002 and arrangements will be made to provide these services.

**I. The Pledge of Allegiance**

**Luis Castillo-Olivera  
CCRAB Chair**

**II. Call to Order & Determination of Quorum**

**Luis Castillo-Olivera  
CCRAB Chair**

- III. Approval of Minutes**
- **Regular Meeting October 6, 2021**

**Luis Castillo-Olivera**  
**CCRAB Chair**



CITY OF FORT LAUDERDALE

**DRAFT**  
**MEETING MINUTES**  
**CITY OF FORT LAUDERDALE**  
**CENTRAL CITY REDEVELOPMENT ADVISORY BOARD**  
**REGULAR HYBRID MEETING**  
**VIRTUAL/IN PERSON**  
**WEDNESDAY, OCTOBER 6, 2021 – 3:30 PM**  
**CITY HALL - 8<sup>th</sup> FLOOR CONFERENCE ROOM**  
**FORT LAUDERDALE, FL 33301**

<b>Board Members</b>	<b>Present/Absent</b>	<b>Cumulative Attendance</b>	
		<b>September 2021-August 2022</b>	<b>Present</b>
Luis Castillo-Olivera, Chair	P	2	0
Ray Thrower, Vice Chair	P	2	0
Robert Ayen	A	1	1
Adam Gellar	P	2	0
Charlene Gunn	P	2	0
Shane Jordan	P	2	0
Christina Robinson	A	0	1
Dennis Ulmer	P	2	0
Moshe Yehoshoua	P	2	0

At this time, there are 9 appointed members to the Board; therefore, 5 constitute a quorum.

**Staff:**

Cija Omengabar, CRA Planner/Liaison  
Clarence Woods, CRA Manager  
Tania Bailey-Watson, Senior Administrative Assistant  
Crysta Parkinson, Prototype Inc.

**Public:**

Abby Laughlin  
Barry Curtis  
Dylan Lagi  
Marisa Valdez  
Carmen Smith

**I. Pledge of Allegiance**

The Board recited the Pledge of Allegiance.

## **Call to Order & Determination of Quorum**

Chair Castillo-Olivera called the meeting to order at 3:30 p.m. and Roll was called, and it was noted that a quorum was present.

### **II. Approval of Minutes**

- Regular Meeting September 1, 2021

Mr. Thrower wanted to clarify that on page three of the previous meeting minutes, he was referring to consideration of spending CRA funds, and the high pedestrian area in need of sidewalks was on NW 7<sup>th</sup> Avenue between Sunrise Boulevard and NW 13<sup>th</sup> Street.

**Motion** made by Ms. Gunn, seconded by Mr. Thrower, to approve all minutes as presented. In a voice vote, motion passed unanimously.

### **IV. 13<sup>th</sup> Street Craft Beer & Wine Festival and Car Show Event Funding Application \$20,000 Recommendation**

Barry Curtis, President, Central City Alliance and Abby Laughlin Vice President,  
Central City Alliance

Mr. Curtis and Ms. Laughlin gave a Power Point presentation regarding the request.

Mr. Ulmer asked when the event had received funding and Ms. Laughlin stated they had received nothing for the first year and \$20,000 for the second year. She said their business plan indicated a reduction in funding requests over time and they would become independent.

Mr. Ulmer stated he supported this event and had purchased a ticket, but he could not support \$20,000 because he recalled how often the Board did not have funding for other projects. He thought it was time to spend money on other things and suggested providing \$5,000. Mr. Jordan agreed.

Ms. Gunn noted that part of the program for the CRA was marketing and visibility and she felt \$5,000 was nothing. Mr. Thrower stated this had been one of the best events ever and he supported the request for \$20,000.

Chair Castillo-Olivera had volunteered at the event the first two years and stated it was well-run and the money was well-spent. There was also a booth at the event promoting the CRA. He remarked on how challenging the year had been and suggested granting the full amount.

Ms. Laughlin informed the Board that businesses in the area were counting on the activation this would bring. This was a critical year because of the effects of the pandemic on businesses.

### Public Comments

Marisa Valdez felt the full amount was needed for marketing and expenses for the event. She agreed that the community needed this event.

Carmen Smith, South Middle River resident, agreed with Mr. Ulmer and said that it appeared all the funds were going to one area, She wondered why more funds were not invested in the Sunrise Boulevard area. Ms. Omengabar explained that The City had a funding application for the purpose of marketing the Central City CRA. The Central City Alliance had applied for the funds for this event for \$20,000. She said they were using the funds to bring awareness back to the community. The opportunities were available for businesses on Sunrise Boulevard but right now, they had no other applications. Ms. Smith suggested better outreach to Sunrise businesses.

Mr. Ulmer stated the funding the CRA provided this event allowed them to pass the money on to another non-profit. He believed they therefore did not need all the funds they were requesting. Ms. Omengabar explained that the application included questions about how the funds would be spent and only acceptable expenses were reimbursable. She said the total cost of the event was between \$37,000 and \$45,000 and they were requesting \$20,000.

**Motion** made by Mr. Ulmer to approve funding for \$5,000 for his event. Motion died for lack of a second.

**Motion** made by Mr. Thrower, seconded by Ms. Gunn, to approve the request at \$20,000. In a roll call vote, motion passed 5-2 with Mr. Ulmer and Mr. Jordan opposed.

Ms. Laughlin agreed to come back to the Board after the event for a report.

### **V. Program and Project Status Update**

- Rezoning Project

Ms. Omengabar said Commissioner Glassman had brought this up at the last City Commission meeting and she hoped the item would be on the next CRA Board meeting agenda on October 19 for discussion. She would confirm this for Board members.

Chair Castillo-Olivera clarified that the rezoning project applied to the entire Central City CRA.

- NE 4<sup>th</sup> Avenue Streetscape Project

Ms. Omengabar reported they had held some internal meetings to go over the design options. She would bring this back to the Board, most likely once the design was at 90%.

- Incentive Programs

No update.



**V. Communication to City Commission**

None

**VI. Old/New Business**

None

**Board Discussion**

Mr. Ulmer reported landscaping had been added to the median on 9<sup>th</sup> Avenue.

Mr. Jordan said he had asked Mr. Woods at the last meeting which businesses had asked for a loan and which had requested another loan but Mr. Woods had not replied. Ms. Omengebar agreed to prepare a report for the Board's next meeting.

Mr. Thrower asked if three CCRAB members could attend a civic association meeting, Ms. Omengebar said she had asked the City Attorney's office about this before, and if an item came up at another meeting that could come before the CCRAB, Board members could not discuss it. They could choose not to comment or to leave the room. Mr. Jordan said he had been asked to provide updates at a civic association meeting and Ms. Omengebar said this was permissible. Board members could not discuss any item that may later come before the Board.

Ms. Omengebar said she may need to schedule a special meeting for the Board for the NE 4<sup>th</sup> Avenue Streetscape Project 90% design review between now and November.

Mr. Jordan wanted to create a priority list for how to spend their funds this year. He was in favor of spending for sidewalks and street lighting. Ms. Omengebar agreed to bring the budget to show how they had voted to program the funds. She said all the ideas were in the redevelopment plan. Chair Castillo-Olivera thought it would be a good idea to know how other CRAs had provided funding. Ms. Omengebar would prepare something to answer those questions for the next meeting.

Ms. Smith said as a resident of South Middle River, she felt very neglected because all the development seemed to be happening elsewhere. She said Sunrise Boulevard looked terrible. Chair Castillo-Olivera explained that the other areas had been rezoned and many people had invested millions in those areas.

**VII. Adjournment**

Motion to adjourn the meeting was duly made and seconded. There being no further business, the meeting was adjourned at 4:25 p.m.

[Minutes written by J. Opperlee, Prototype, Inc.]

**IV. NE 4<sup>th</sup> Avenue Streetscape Project  
90 % Design Presentation**

**Istvan Virag  
Project Manager  
Transportation &  
Mobility**

**and**

**Jonathan Haigh  
Kimley Horn, PLA,  
ASLA**

**Attachments:**

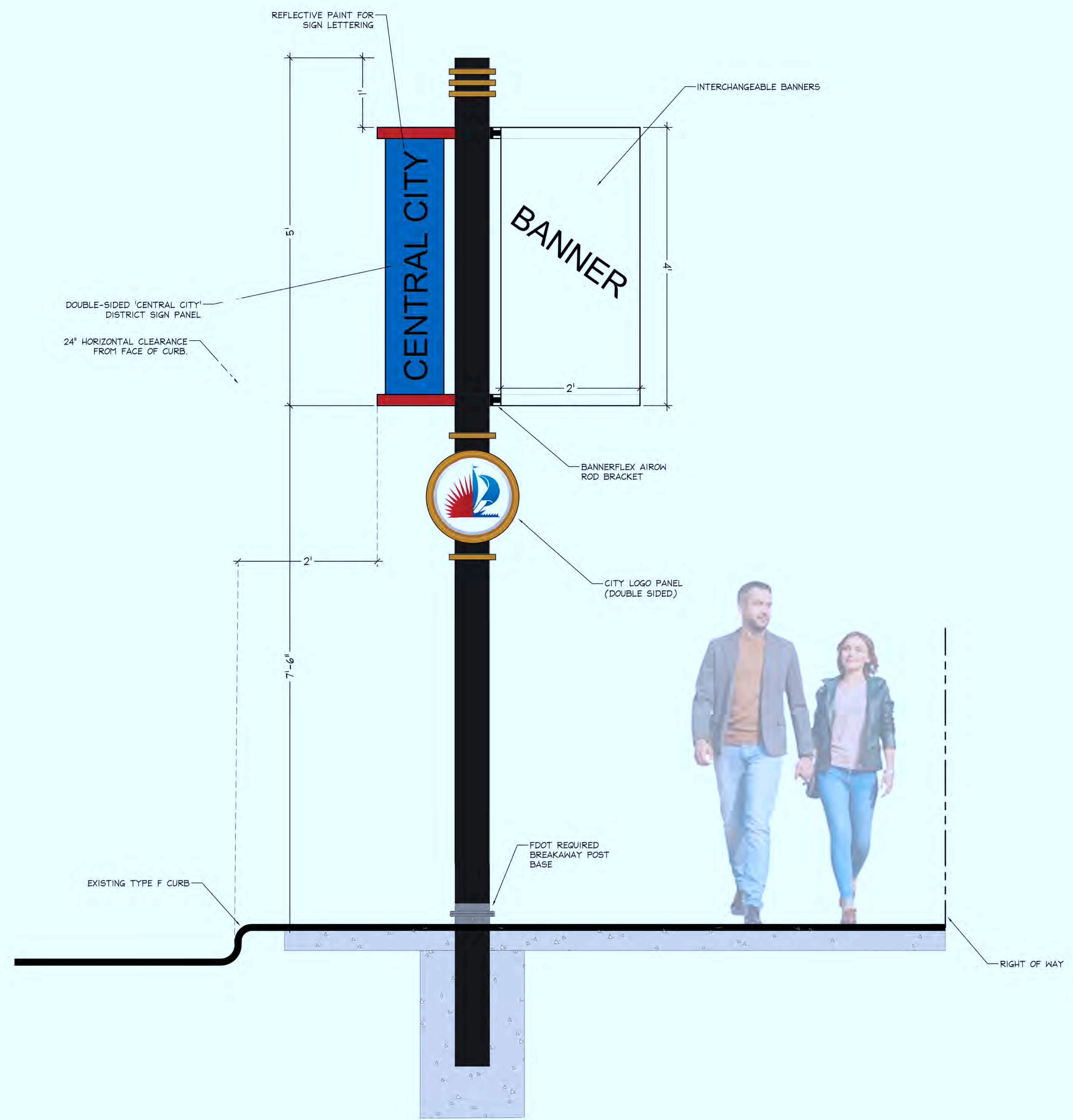
- 1. District Sign Exhibit**
- 2. Crosswalk Exhibit**
- 3. Full Plan Set-render**
- 4. Photoism**

**\*Full Set of Plans Available Online:**

**<https://www.fortlauderdale.gov/government/departments-a-h/city-clerk-s-office/advisory-boards-committees-authorities-agendas-and-minutes/beach-business-improvement-district-advisory-committee>**



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**90% SUBMITTAL - NOT FOR CONSTRUCTION**

PROJECT # 12557  
 NE 4TH AVENUE STREETSCAPE PROJECT  
 E SUNRISE BLVD TO NE 13TH ST  
 FORT LAUDERDALE, FL  
 DISTRICT SIGN EXHIBIT

NO.	DATE	REVISIONS	
		BY	CHKD

CITY OF FORT LAUDERDALE  
 TRANSPORTATION & MOBILITY



290 NE 3RD AVE., FORT LAUDERDALE, FL 33301

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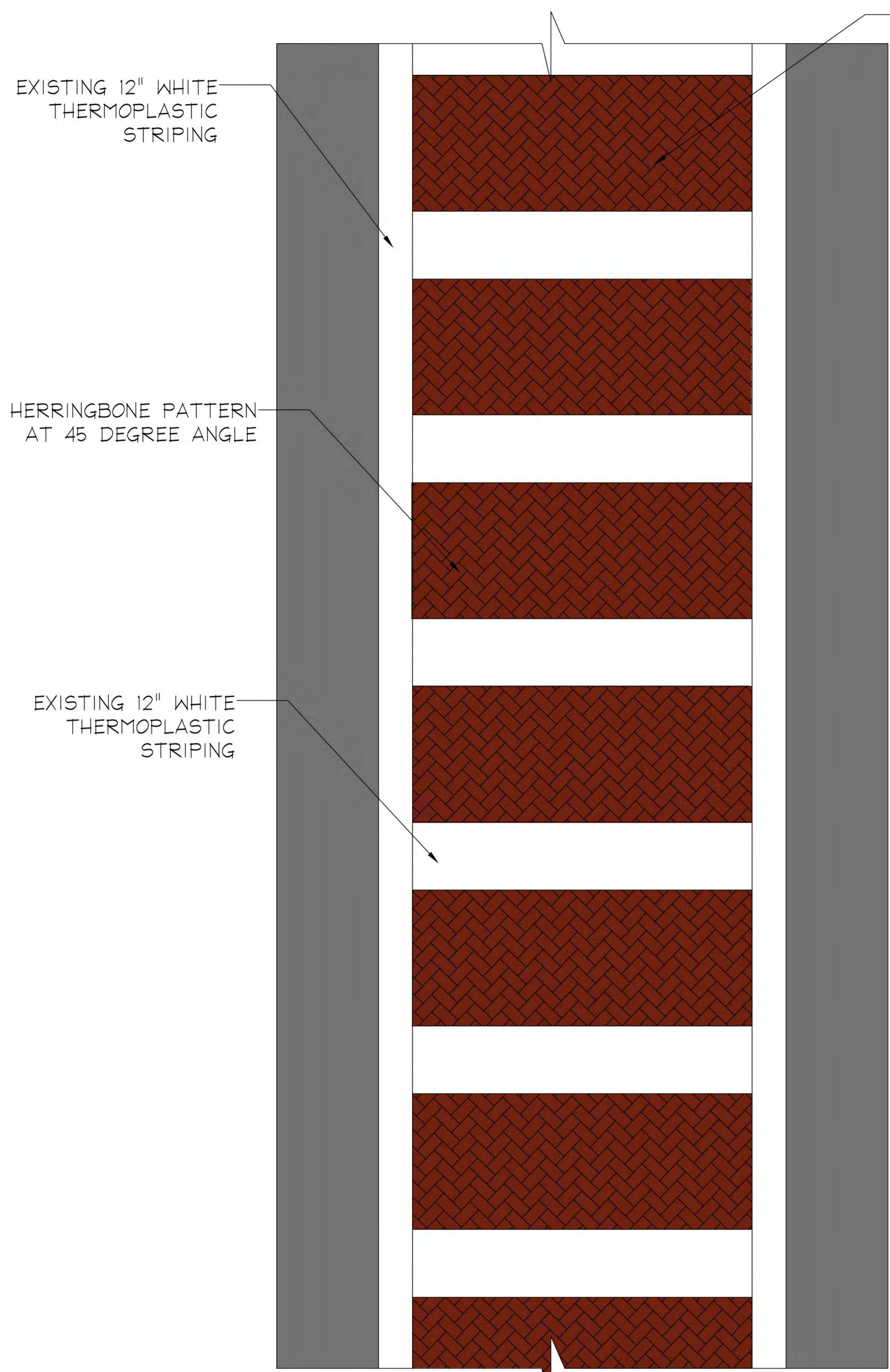
JONATHAN D. HAIGH, PLA  
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 LA #6666795

**Kimley»Horn**  
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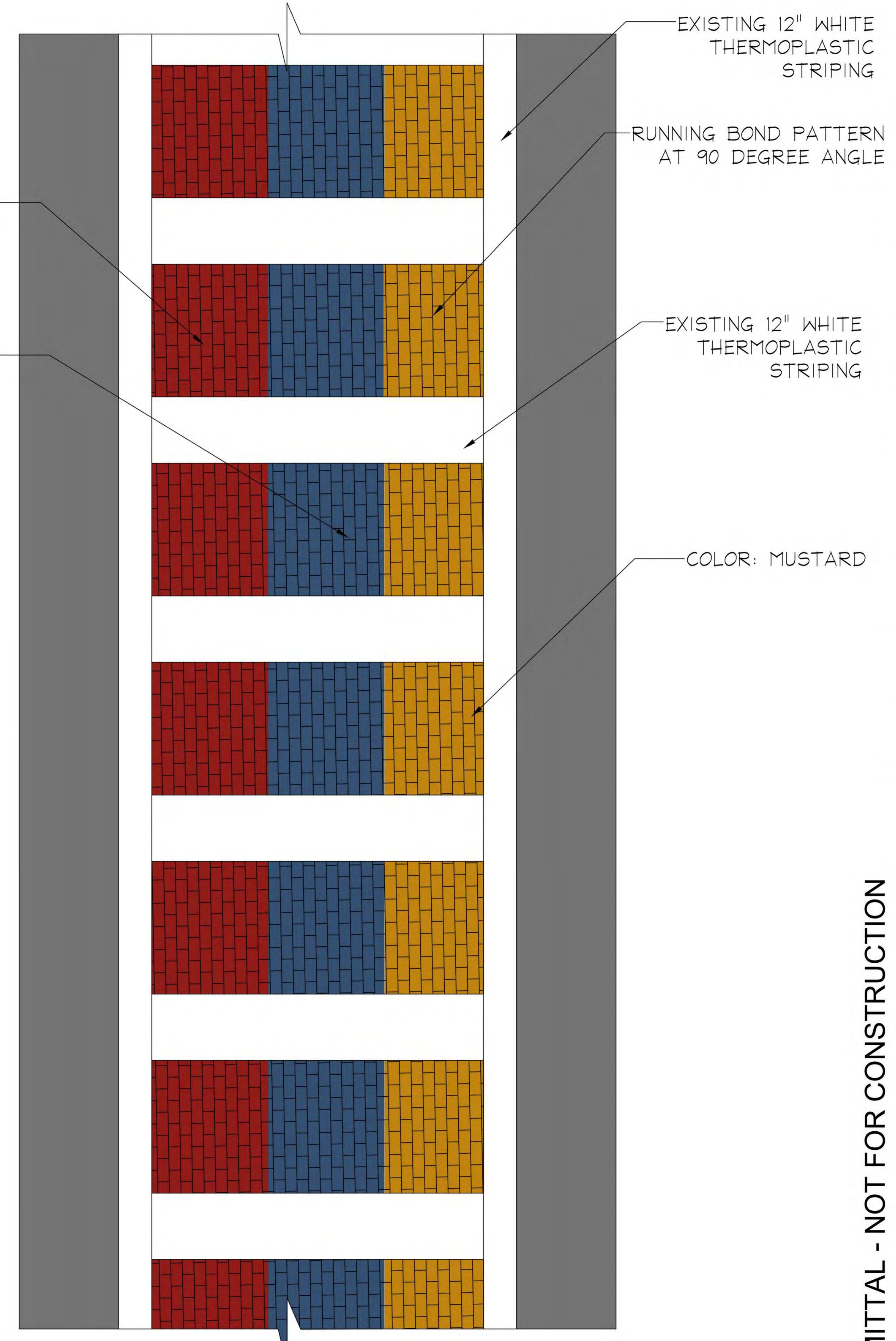
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CROSSWALK COLOR SELECTION A



CROSSWALK COLOR SELECTION B

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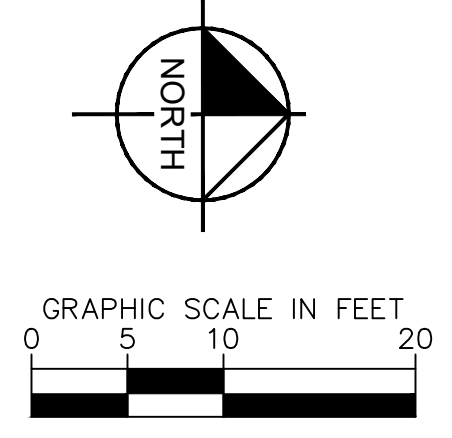
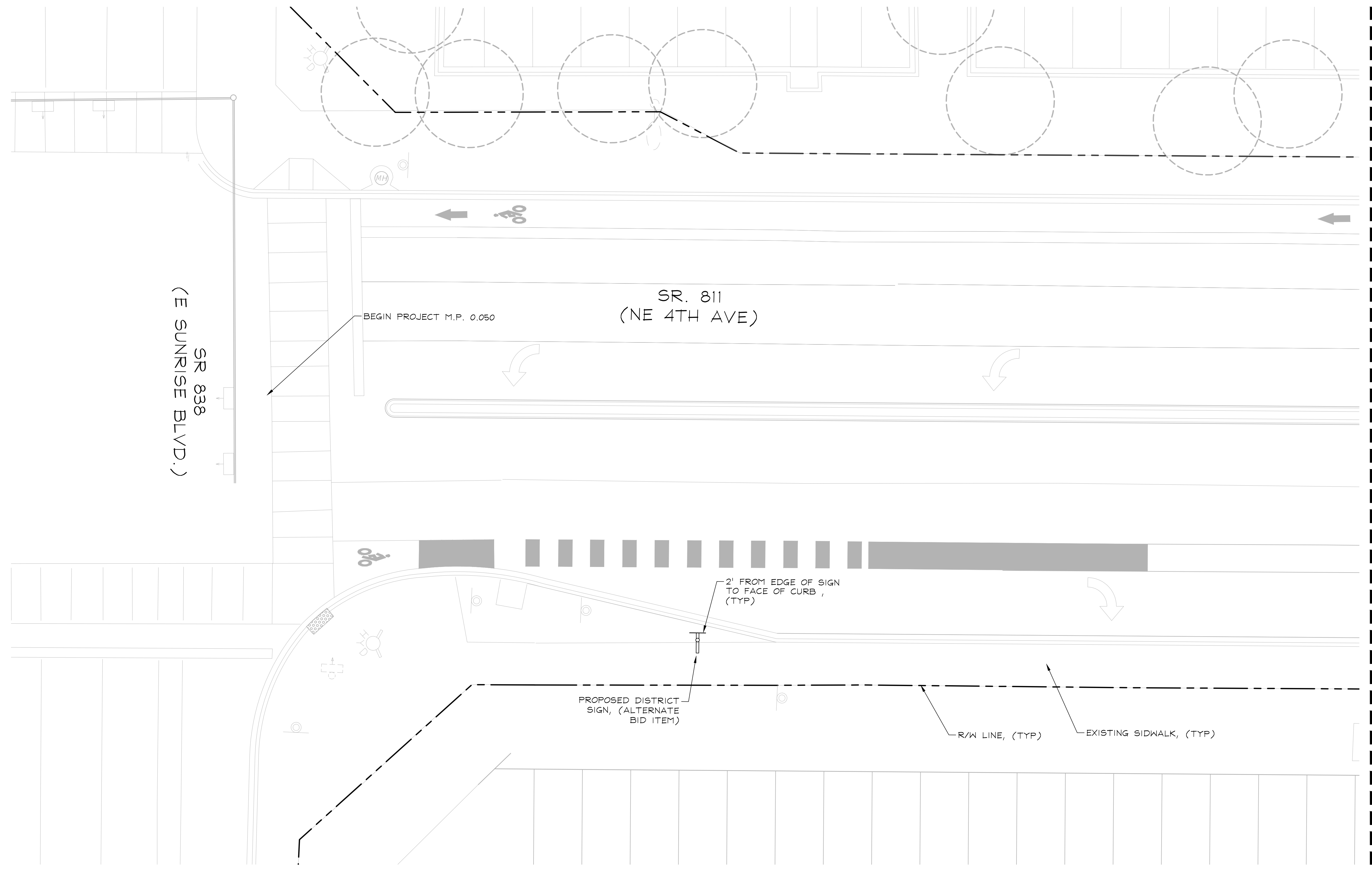
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 CROSSWALK EXHIBIT

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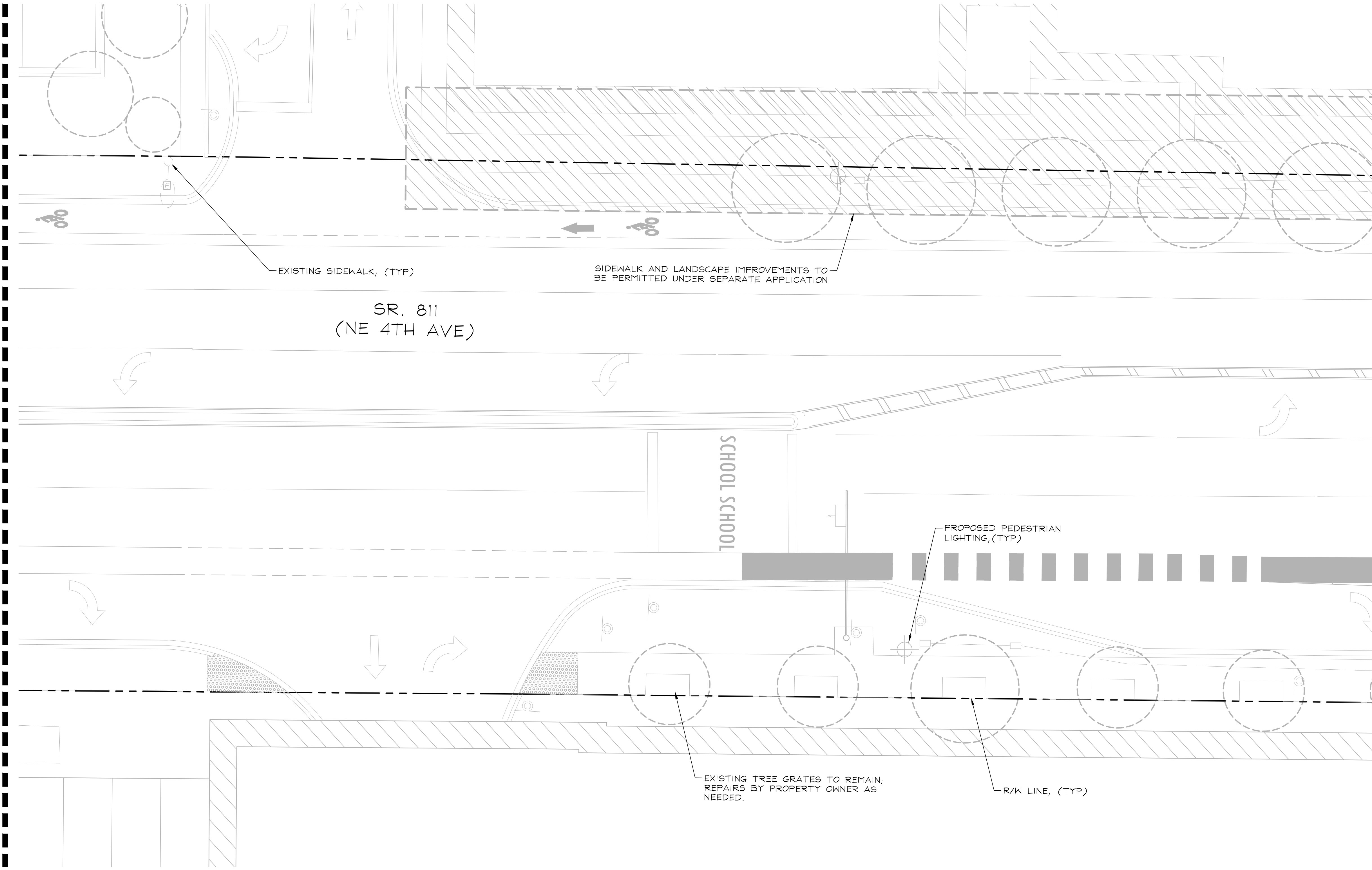
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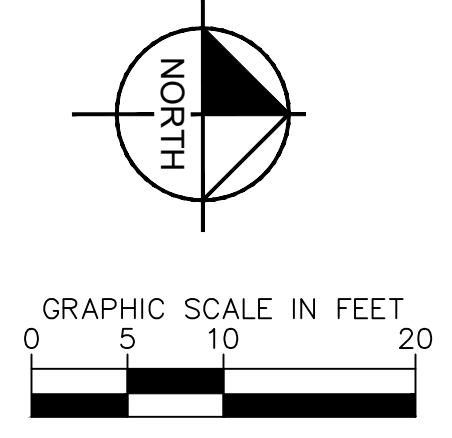
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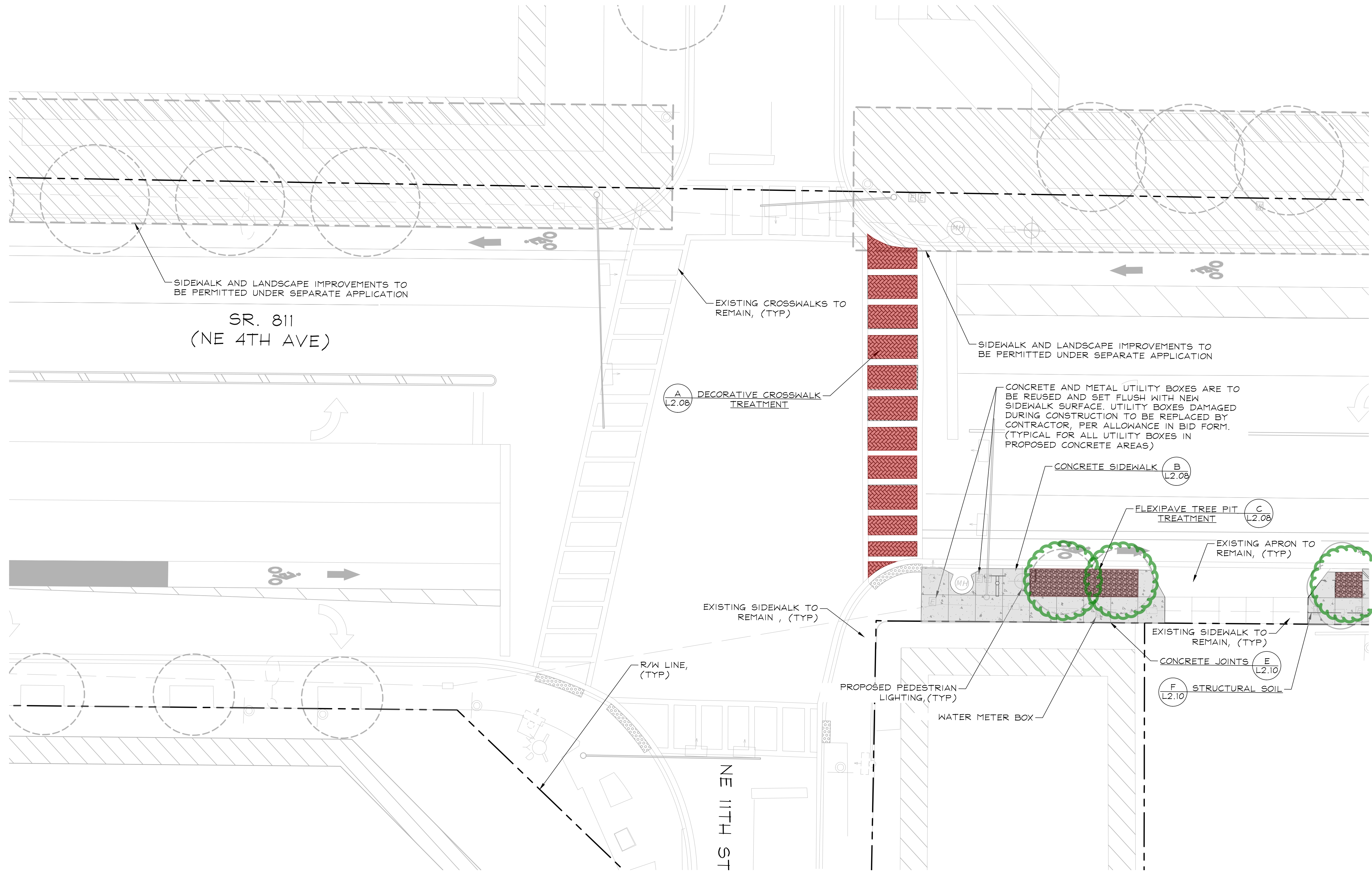
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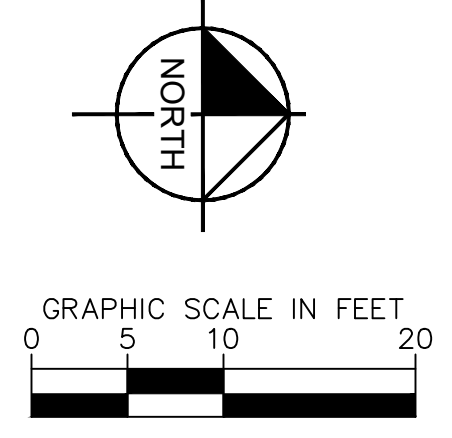


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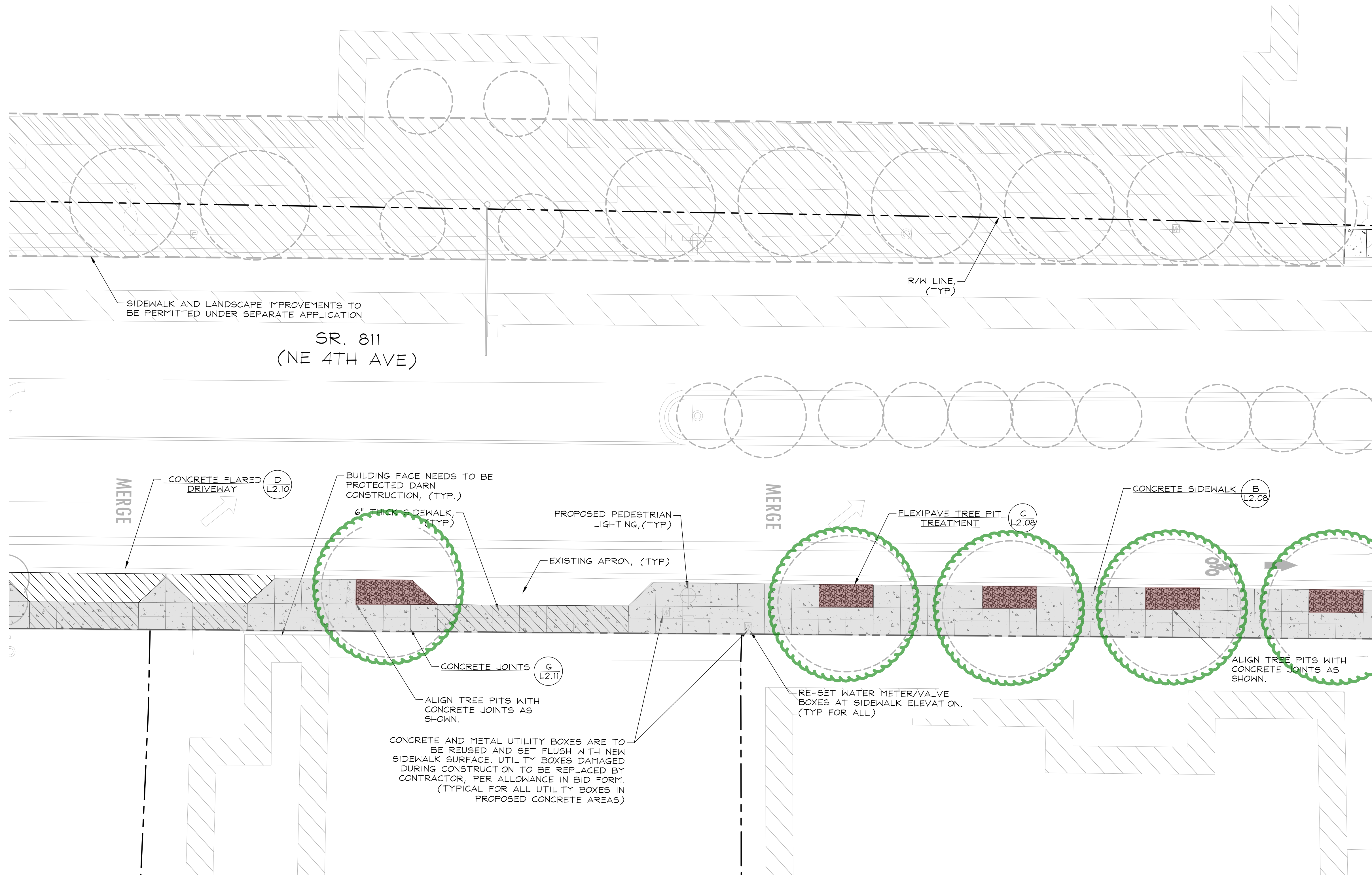
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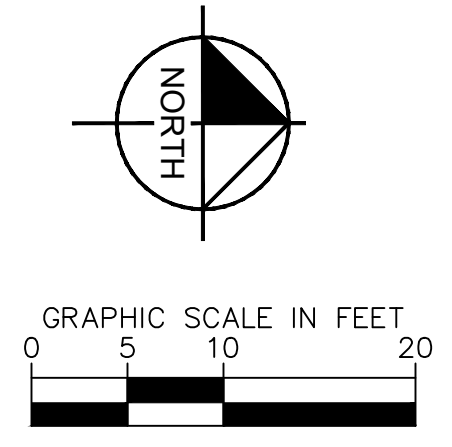


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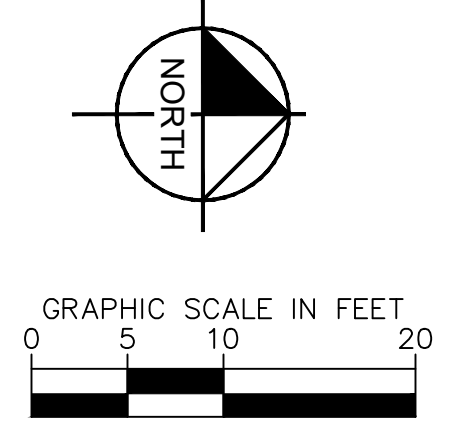
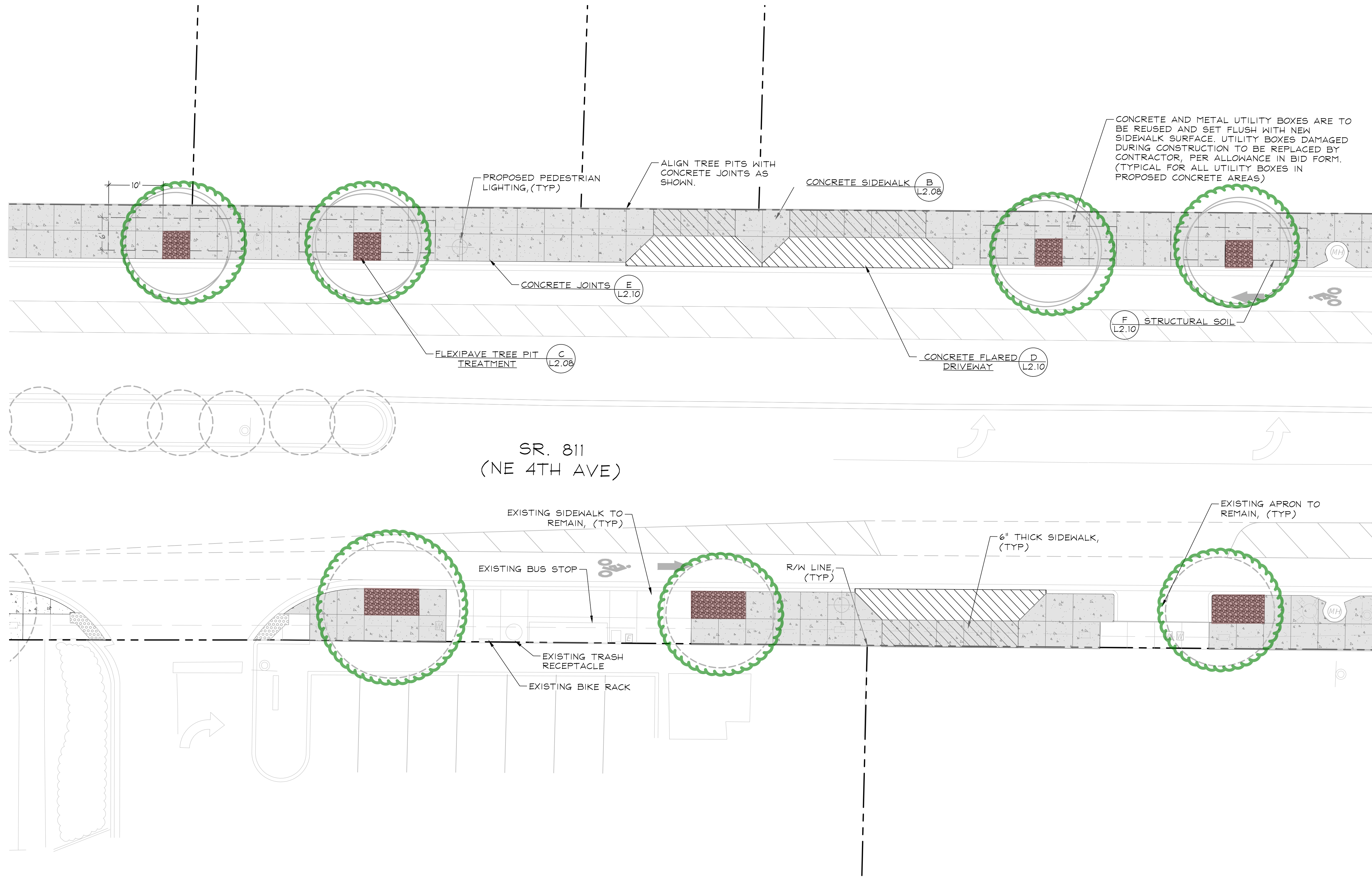
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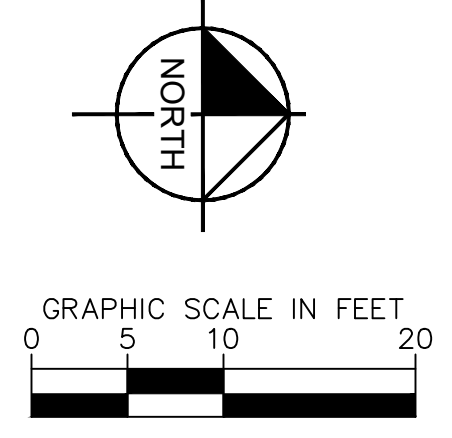
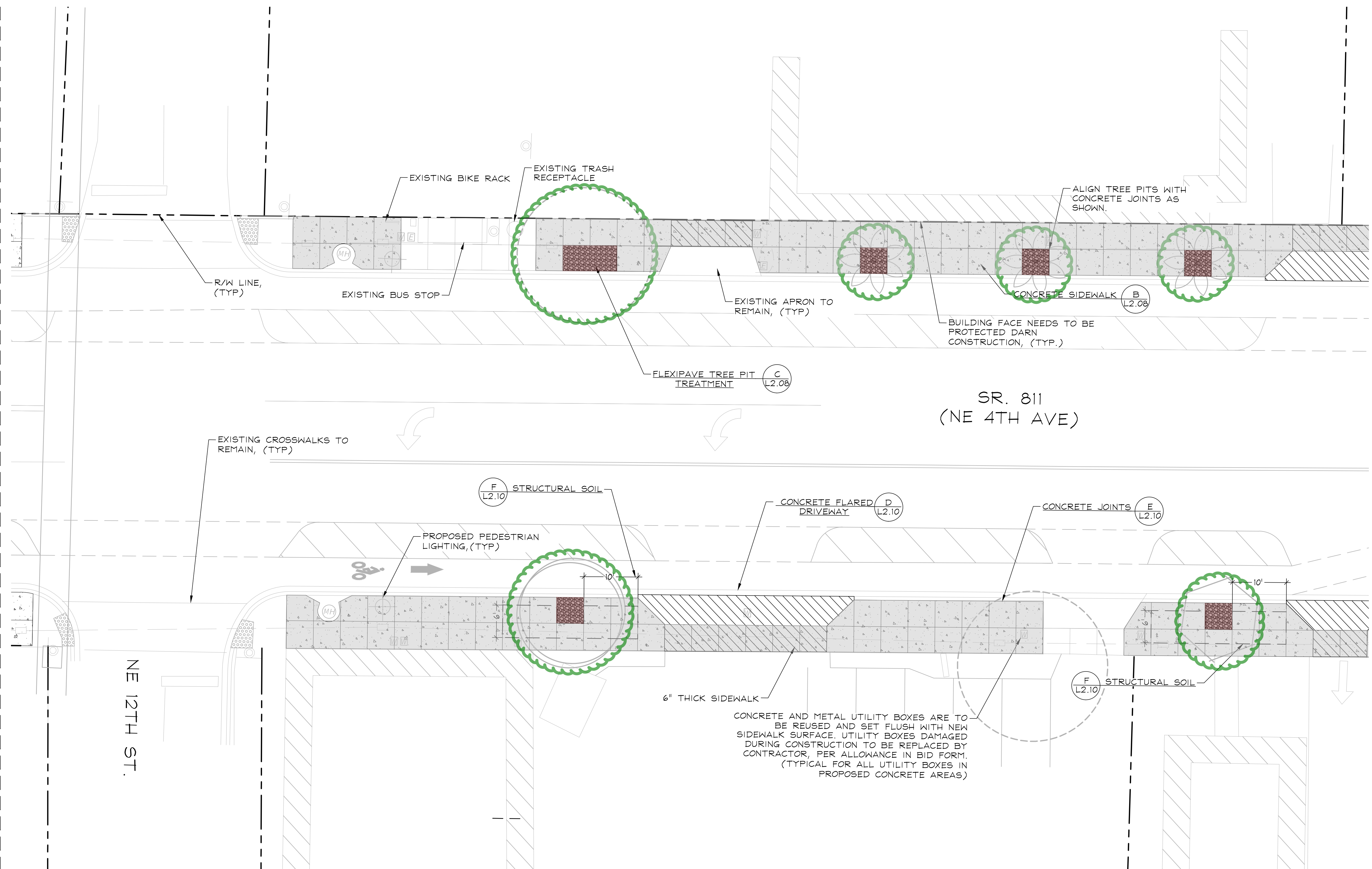
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 FORT LAUDERDALE, FL  
 HARDSCAPE PLAN

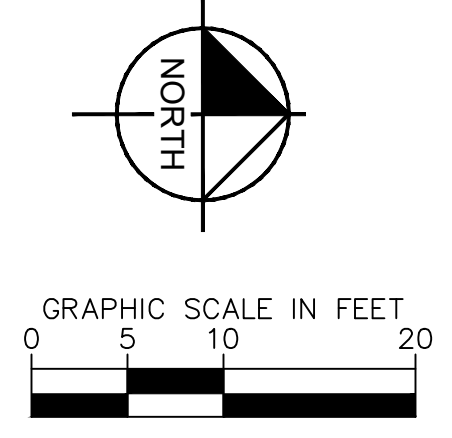
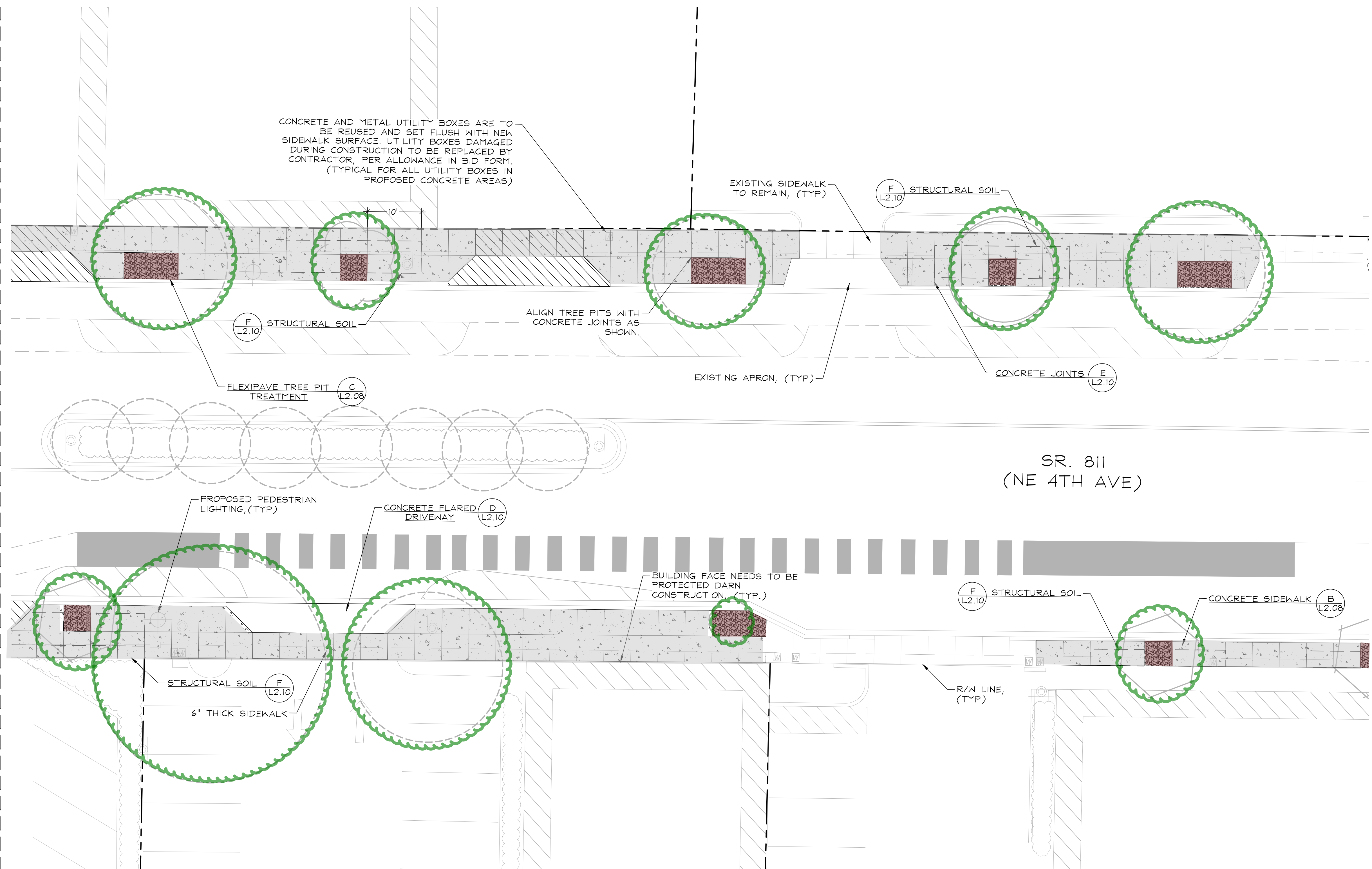
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SEE SHEET L2.05 FOR CONTINUATION

SEE SHEET L2.07 FOR CONTINUATION



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 10/19/2021

DATE: 07/01/2021  
 DESIGNED BY: AS  
 CHECKED BY: SHOWN  
 FIELD BOOK:

CITY OF FORT LAUDERDALE  
 TRANSPORTATION & MOBILITY  
 250 NE 3RD AVE., FORT LAUDERDALE, FL 33301

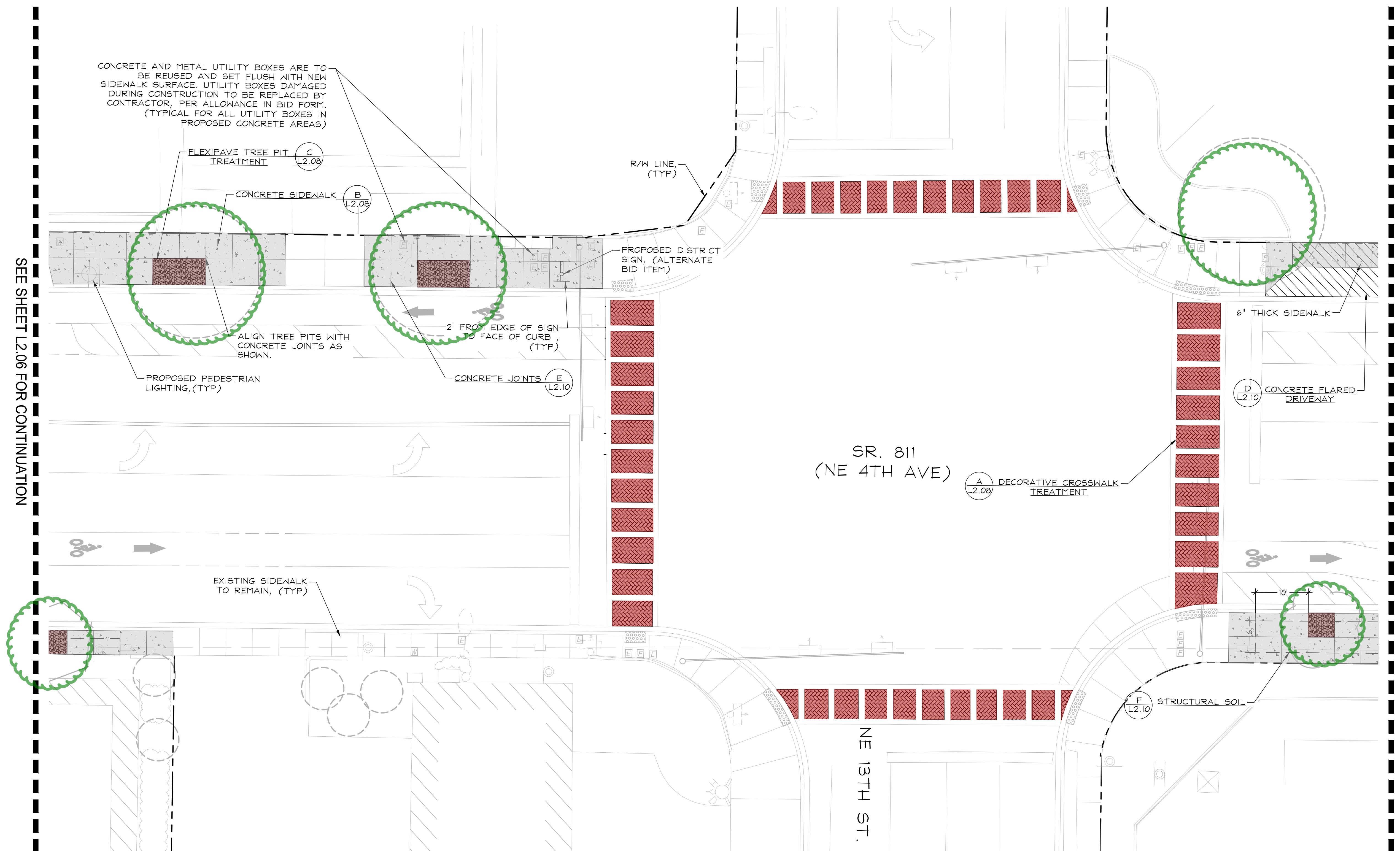
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PROJECT # 12557  
 NE 4TH AVENUE STREETSCAPE PROJECT  
 E SUNRISE BLVD TO NE 13TH ST  
 FORT LAUDERDALE, FL  
 HARDSCAPE PLAN

SHEET NO.  
**L2.06**

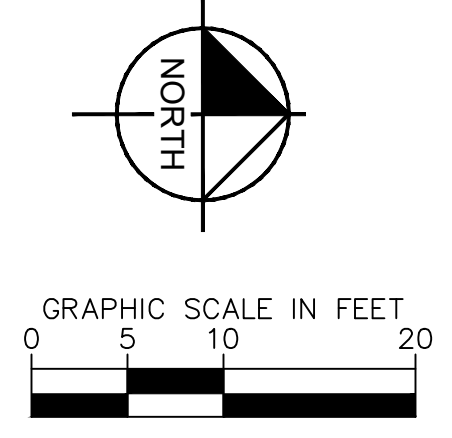


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SEE SHEET L2.06 FOR CONTINUATION

SEE SHEET L2.08 FOR CONTINUATION



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REVISIONS		DESCRIPTION
NO.	DATE	BY

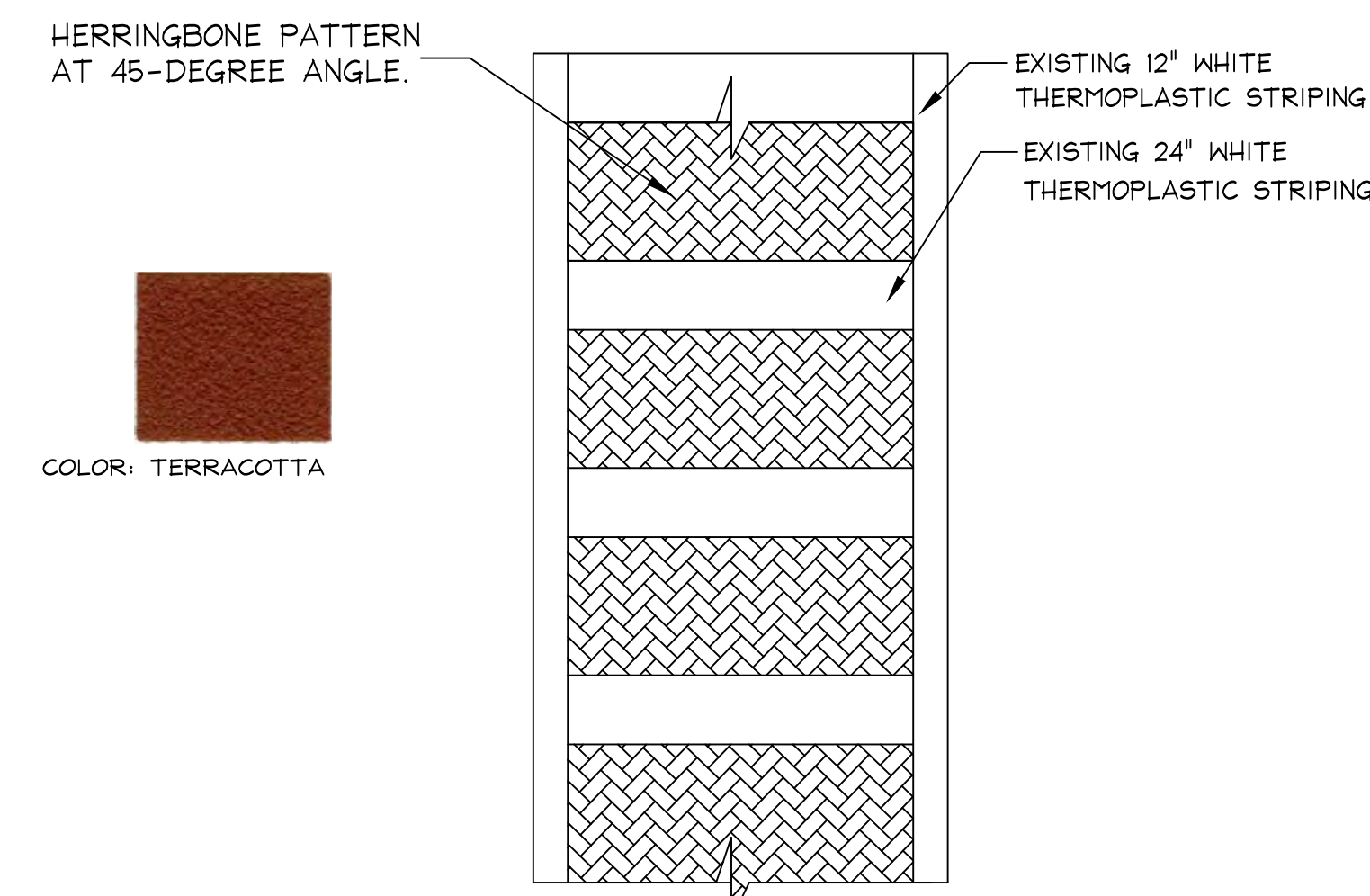
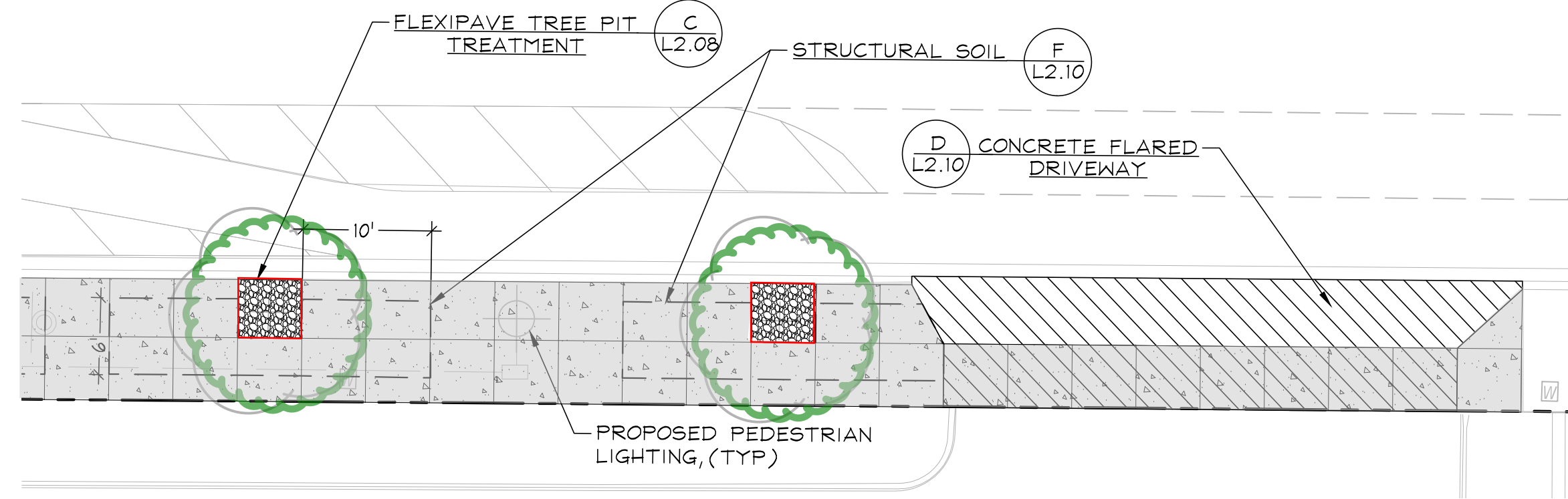
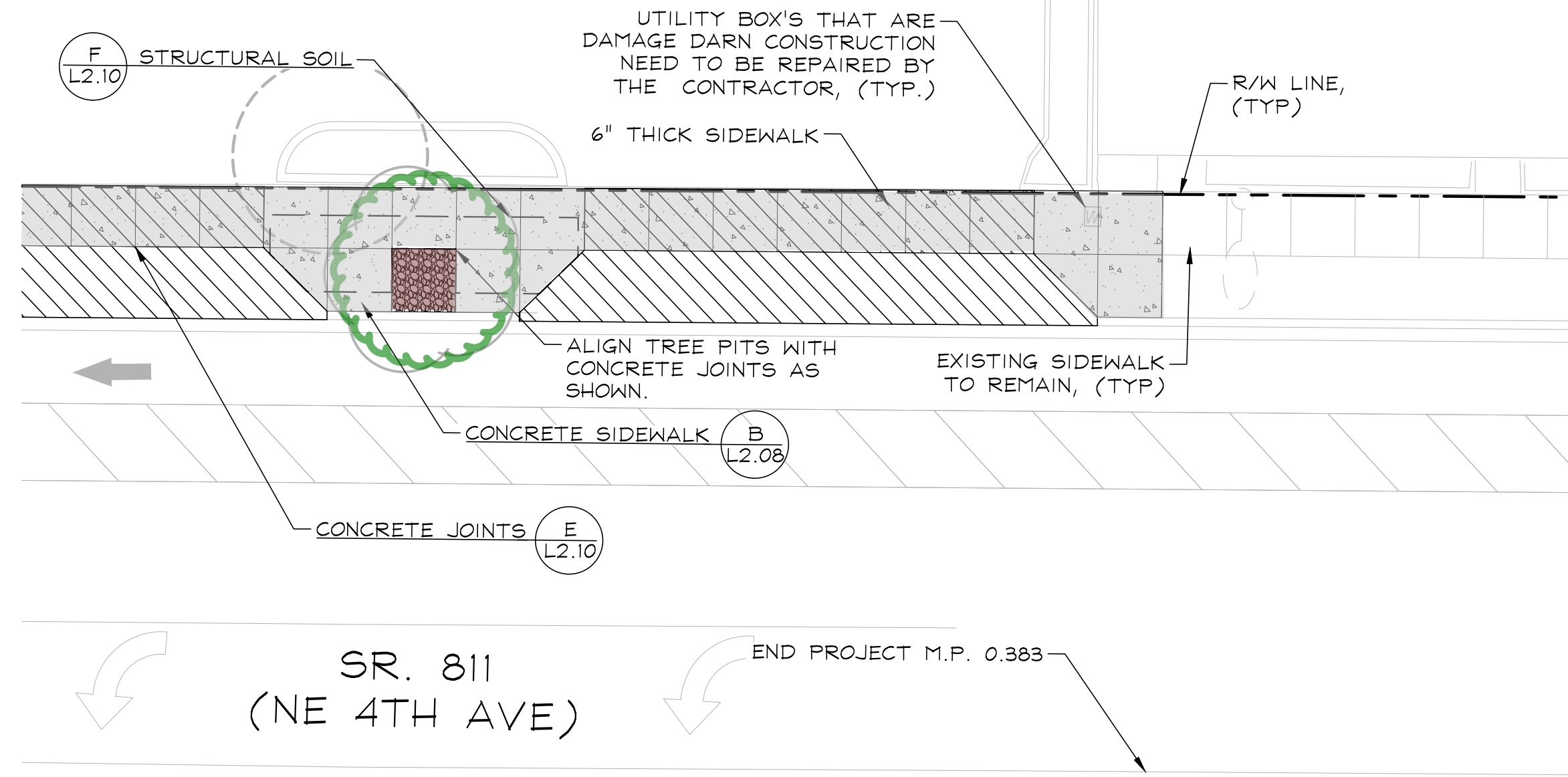
PROJECT # 12557  
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E SUNRISE BLVD TO NE 13TH ST  
FORT LAUDERDALE, FL  
HARDSCAPE PLAN

SHEET NO.  
L2.07



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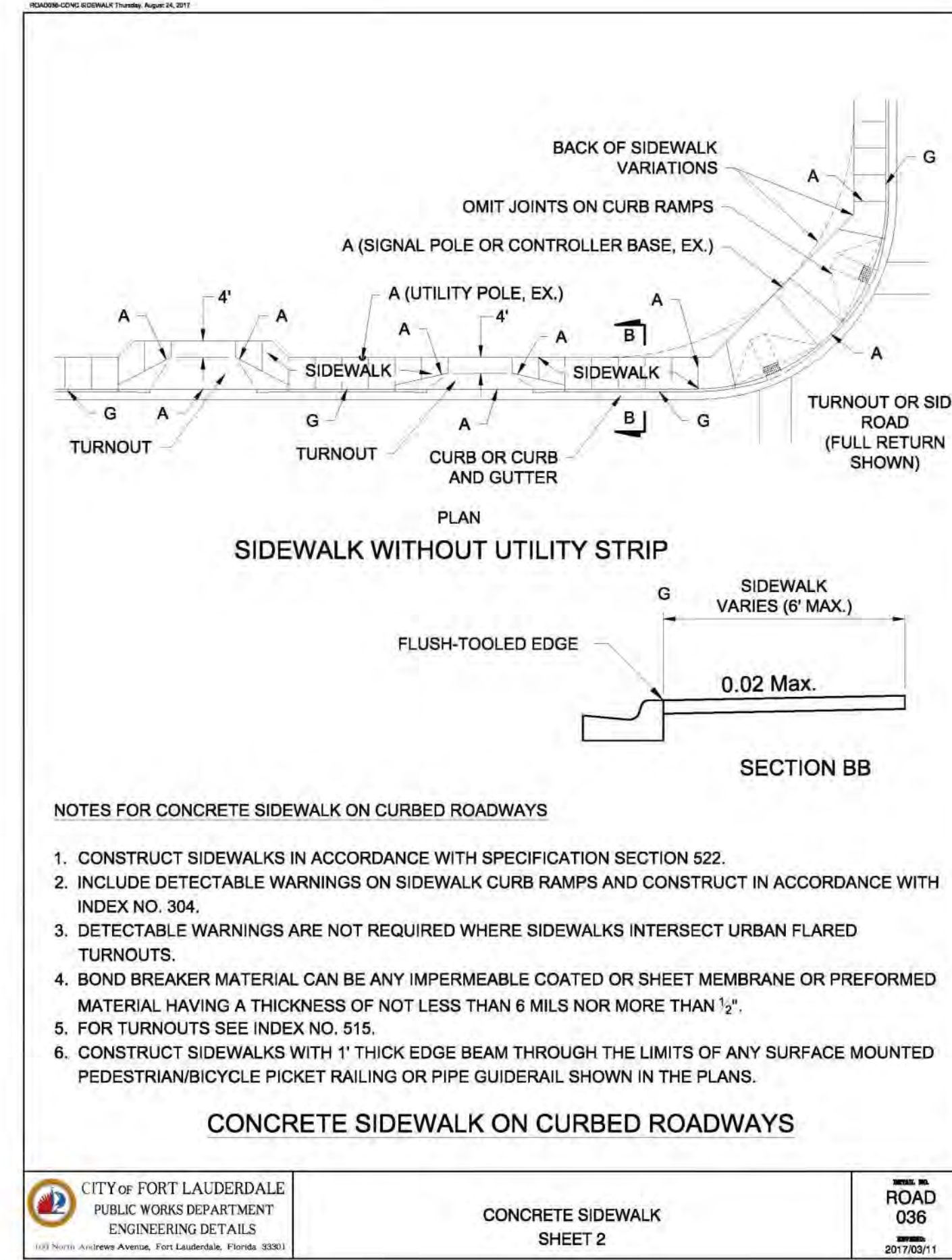
SEE SHEET L2.07 FOR CONTINUATION



- NOTES:
- PATTERNED TEXTURED PAVEMENT: STREETBRICK XL BY ATLANTIC PAVING CO. (305)513-8632 (OR ALTERNATIVE FDOT APL PRODUCT) FDOT APL CERFICATION 523-000-020
  - SUBMIT COLOR SAMPLE TO OWNER FOR APPROVAL PRIOR TO INSTALLATION.
  - INSTALL PER MANUFACTURE'S SPECIFICATION WITHIN VOIDS EXISTING CROSSWALK MARKINGS.

**A** DECORATIVE CROSSWALK TREATMENT

NTS



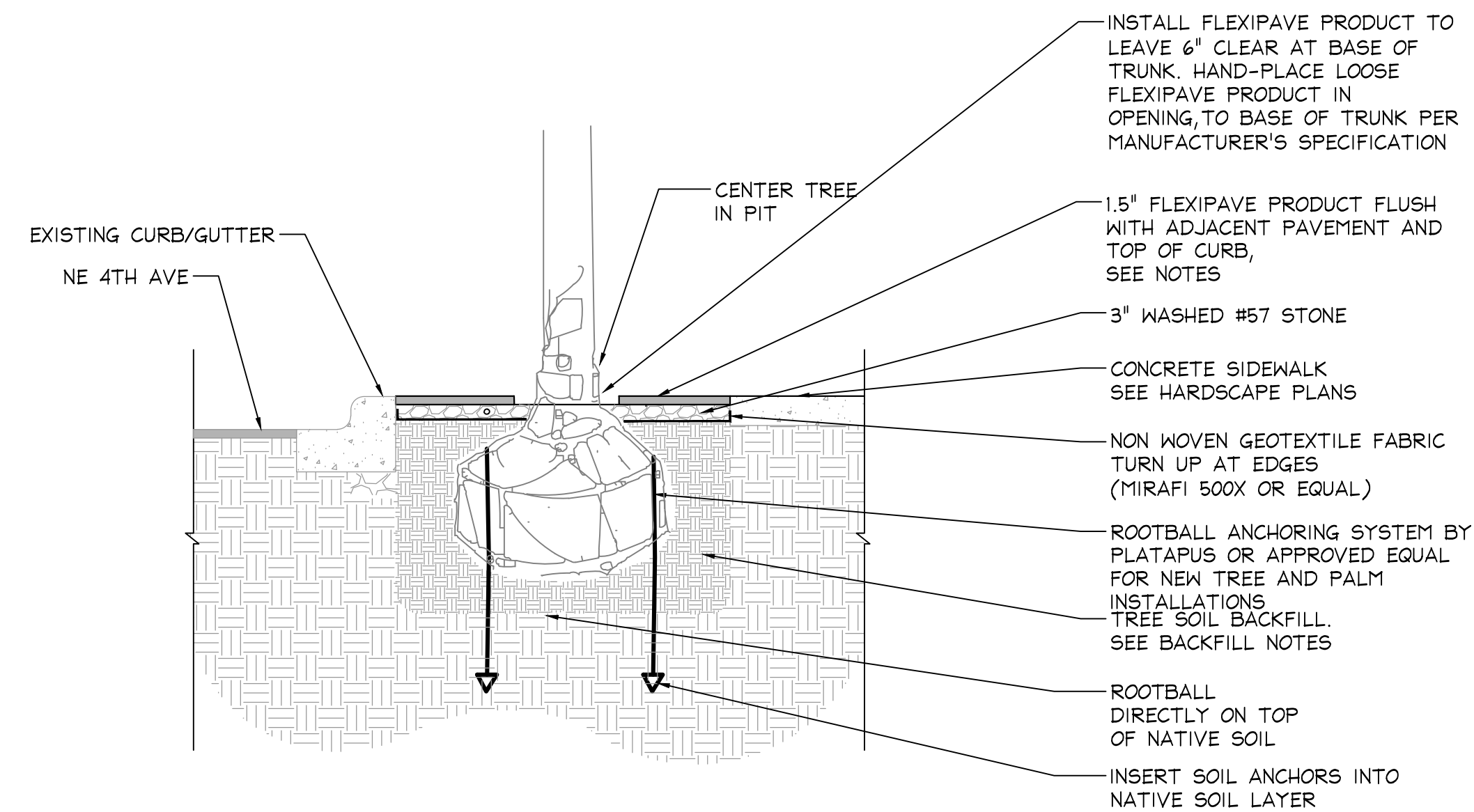
- NOTES FOR CONCRETE SIDEWALK ON CURBED ROADWAYS
- CONSTRUCT SIDEWALKS IN ACCORDANCE WITH SPECIFICATION SECTION 522.
  - INCLUDE DETECTABLE WARNINGS ON SIDEWALK CURB RAMP AND CONSTRUCT IN ACCORDANCE WITH INDEX NO. 304.
  - DETECTABLE WARNINGS ARE NOT REQUIRED WHERE SIDEWALKS INTERSECT URBAN FLARED TURNOUTS.
  - BOND BREAKER MATERIAL CAN BE ANY IMPERMEABLE COATED OR SHEET MEMBRANE OR PREFORMED MATERIAL HAVING A THICKNESS OF NOT LESS THAN 6 MILS NOR MORE THAN 1/2".
  - FOR TURNOUTS SEE INDEX NO. 515.
  - CONSTRUCT SIDEWALKS WITH 1" THICK EDGE BEAM THROUGH THE LIMITS OF ANY SURFACE MOUNTED PEDESTRIAN/BICYCLE PICKET RAILING OR PIPE GUIDERAIL SHOWN IN THE PLANS.

CONCRETE SIDEWALK ON CURBED ROADWAYS

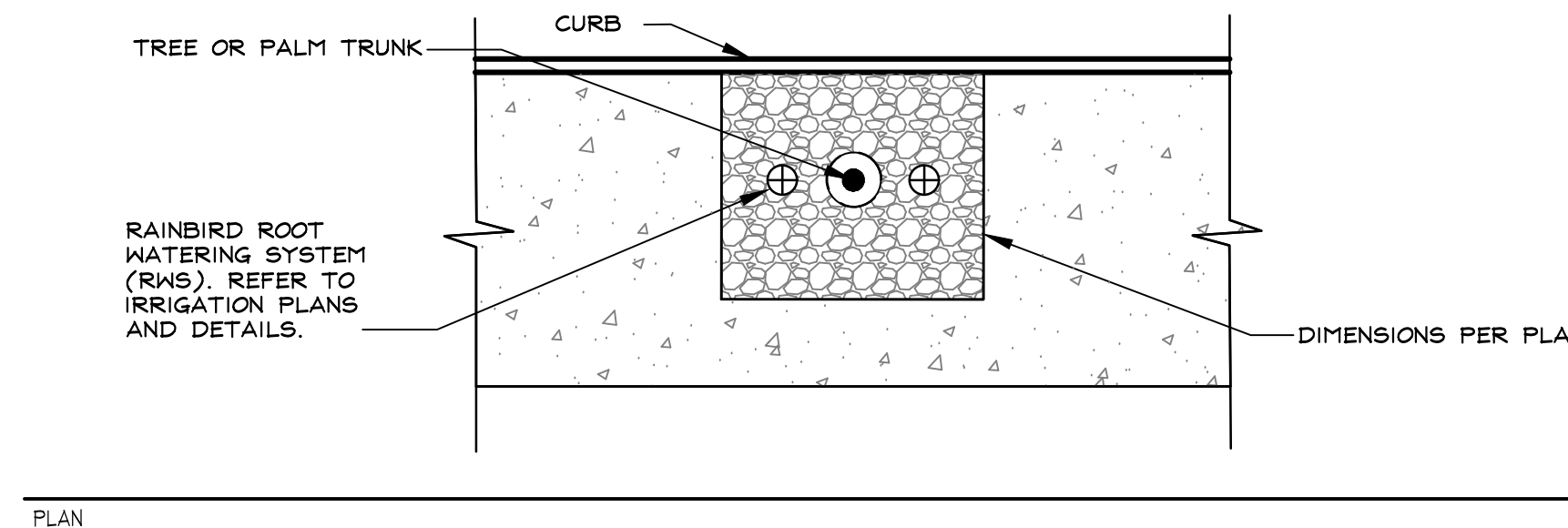
CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS  
 CONCRETE SIDEWALK SHEET 2  
 ROAD 036  
 20170311

**B** CONCRETE SIDEWALK ON CURBED ROADWAYS

NTS



SECTION



PLAN

**C** FLEXIPAVE TREE PIT TREATMENT

NTS

**RUBBERIZED TREE PIT NOTES:**

- IRRIGATION BUBBLERS: INSTALL TWO (2) 4" ROUND RWS BUBBLERS, SPACED EQUALLY AROUND THE TREE. REFER TO IRRIGATION PLANS AND DETAILS TOP OF RWS GRATE TO BE FLUSH WITH FLEXIPAVE SURFACE.
- RUBBERIZED TREE PIT PRODUCT BY KBI INDUSTRIES INC. (777) 723-3300 FLEXIPAVE HD2000 THICKNESS: 1.5" - OR AS REQUIRED BY MANUFACTURER COLOR: CYPRESS QUANTITY: 60 SQUARE PITS (5'x5')
- FILL VOID BETWEEN RUBBERIZED TREE PIT PRODUCT AND TOP OF ROOT BALL PER DETAIL.
- KBI QUALIFIED INSTALLER.

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NO.	DATE	BY	CHK'D	DESCRIPTION

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 E SUNRISE BLVD TO NE 13TH ST  
 FORT LAUDERDALE, FL  
 HARDSCAPE PLAN

SHEET NO.  
**L2.08**



**SIGN FABRICATION AND INSTALLATION NOTES:**

1. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. SIGN CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN IN CONTRACT DOCUMENTS.
2. FOR ALL SIGNS INSTALLED WITHIN FDOT R/W: WORK TO BE PERFORMED IN ACCORDANCE WITH FDOT STANDARD PLANS AND STANDARD SPECIFICATIONS. REFER TO FDOT GENERAL NOTES.
3. SIGN CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO ISSUING SHOP DRAWINGS. CONTRACTOR TO NOTIFY THE CITY AND KIMLEY-HORN OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS PRIOR TO FABRICATION.
4. ALL COLORS AND FINISHES ARE TO BE APPROVED BY THE CITY AND/OR CITY'S REPRESENTATIVE PRIOR TO THE PRODUCTION OF THE SIGN UNITS.
5. CONTRACTOR TO PROVIDE FINISHED SAMPLES OF ALL COLORS ON A MOCK-UP SIGN SAMPLE FOR APPROVAL PRIOR TO COMMENCING FABRICATION OF THE ENTIRE SIGN PROGRAM. MATERIAL SAMPLES SHALL BE PRESENTED TO THE CLIENT PRIOR TO FULL-SIGN FABRICATION FOR CLIENT APPROVAL. EXAMPLE OF WELDS, ATTACHMENTS, AND FINISHES SAMPLES FEATURING ALL COLORS ARE REQUIRED.
6. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING POTENTIAL UNDERGROUND UTILITY CONFLICTS PRIOR TO EXCAVATION. CONTACT SUNSHINE 811 BEFORE DIGGING AND COORDINATE WITH CITY PRIOR TO COMMENCING EXCAVATION.
7. CONTRACTOR TO FIELD-CONFIRM MINIMUM 3'-0" CLEARANCE TO LOWEST OVERHEAD UTILITY.
8. CONTRACTOR TO RESTORE LANDSCAPED AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, MATCHING EXISTING TURF SPECIES AND EXISTING PLANT MATERIAL SPECIES TO THOSE DAMAGED AT EACH LOCATION.
9. CONTRACTOR TO AVOID ENCRoACHMENT ONTO NON-CITY PROPERTIES OUTSIDE OF THE R/W. CONTRACTOR IS RESPONSIBLE TO REPAIRING ALL DAMAGE TO ADJACENT PROPERTIES THAT ARE CAUSED BY CONSTRUCTION ACTIVITIES FOR THIS PROJECT.
10. CONTRACTOR, AT HIS OWN EXPENSE, MAINTAIN TRAFFIC ACCESS ALONG ADJACENT ROADS, AND PEDESTRIAN ACCESS ALONG SIDEWALKS. COORDINATE WITH FDOT AND CITY PERMIT REQUIREMENTS FOR MAINTENANCE OF PEDESTRIAN AND VEHICULAR TRAFFIC REQUIREMENTS.
11. CONTRACTOR TO COORDINATE WITH CITY OF FORT LAUDERDALE URBAN FORESTER FOR ANY NECESSARY TREE TRIMMING REQUIRED TO INSTALL PROPOSED SIGNS OR TO ENHANCE VISIBILITY TO PROPOSED SIGNS. CITY CREWS WILL PERFORM TREE PRUNING.
12. SIGN CONTRACTOR IS RESPONSIBLE FOR PERMITTING ALL SIGNS THROUGH THE CITY OF FORT LAUDERDALE, INCLUDING ENGINEERING FOR FOUNDATIONS AND SIGN STRUCTURES. PERMITS FOR IMPLEMENTING SIGNS IN FDOT R/W WILL BE OBTAINED PRIOR TO CONSTRUCTION BY THE CITY AND EOR.
13. PAINTS, COLORS, MATERIALS SHOWN IN ELEVATIONS ARE CONTINUOUS AROUND EDGES AND CONTINUOUS FACES. ALL PAINTS BE APPLIED WITH A CLEAR UV PROTECTANT.
14. TYPEFACES WILL NOT BE SUPPLIED TO THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE LICENSED EDITION FOR THEIR OWN USE.
15. ALL WORKMANSHIP SHALL BE SQUARE AND TRUE WITH A HIGH DEGREE OF ARCHITECTURAL FINISH. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT ALL RAW MATERIALS FOR DEFECTS PRIOR TO FABRICATION. WORKMANSHIP AND FINISHING WILL BE INSPECTED BEFORE TRANSPORTATION TO THE SITE AS WELL AS AFTER INSTALLATION. RESPONSIBILITY FOR DEFECTS IN MATERIALS, FABRICATION, OR FINISHING WILL BE ASSUMED BY THE CONTRACTOR.
16. FASTENING HARDWARE SHALL BE STAINLESS STEEL OR HEAVY COAT GALVANIZED STEEL. FASTENING HOLES IN SIGN FACES AND STRUCTURES SHALL BE PRE-DRILLED AND DE-BURRED PRIOR TO PAINT FINISHING.
17. ALL STRUCTURAL WELDING SHALL BE EXECUTED TO BEST TRADE PRACTICE. WELDS MUST BE CLEANED AND GROUND SMOOTH AS NECESSARY TO FACILITATE PROPER FIT AND FINISHING.

**PROVIDED DOCUMENTS**

THE SUCCESSFUL CONTRACTOR WILL BE PROVIDED DESIGN TEMPLATES FOR USE IN PRODUCTION (ONE FOR EACH SIGN TYPE). THESE FILES WILL INCLUDE ALL GRAPHICS AND LOGOS IN VECTOR FORMAT AS WELL AS PANTONE COLOUR SPECIFICATIONS. IT WILL BE THE RESPONSIBILITY OF THE FABRICATOR TO PURCHASE A LICENSE FOR ALL FONTS FOR USE OF THE EDITABLE TEMPLATES.

**GENERAL STRUCTURAL NOTES:**

2020 FLORIDA BUILDING CODE  
LOAD CRITERIA:

BASIC WIND SPEED = 170 MPH (3-SECOND GUST)  
STRUCTURE CLASS II  
EXPOSURE CATEGORY C

CONTRACTOR SHALL FIELD VERIFY ALL PERTINENT EXISTING DIMENSIONS, ELEVATIONS AND SITE CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK. CONTRACTOR SHALL NOT SCALE CONTRACT DRAWINGS IN LIEU OF FIELD VERIFICATION. ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER AND THE OWNER'S ENGINEER.

SUBMIT ORIGINAL SHOP DRAWINGS, INCLUDING COMPLETE DETAILS, SCHEDULES OF FABRICATION AND ASSEMBLY, PROCEDURES, AND DIAGRAMS. INCLUDE DETAILS OF CUTS, CONNECTIONS, CAMBER, HOLE, AND OTHER PERTINENT DATA. INDICATE WELDS BY STANDARD AWS A2.1 AND A2.4 SYMBOLS, AND SHOW SIZE, LENGTH, AND TYPE OF WELD.

CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ANY AREAS THAT ARE DISTURBED AS A RESULT OF THE WORK ASSOCIATED WITH THE INSTALLATION OF THE TOWER MODIFICATIONS.

STRUCTURE WILL COMPLY TO THE FLORIDA DEPARTMENT OF TRANSPORTATION, PLANS PREPARATION MANUAL, VOLUME 1, CHAP 9.5.

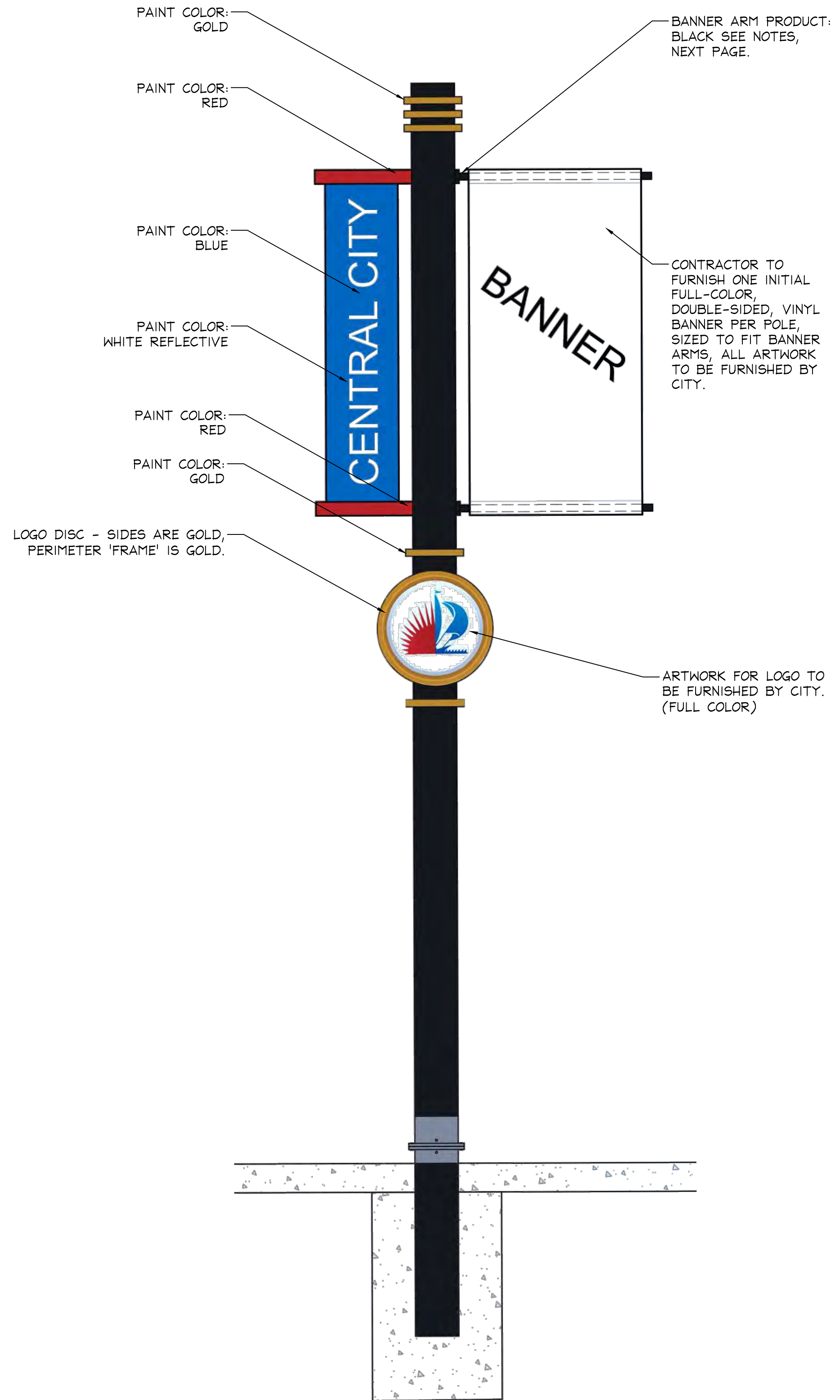
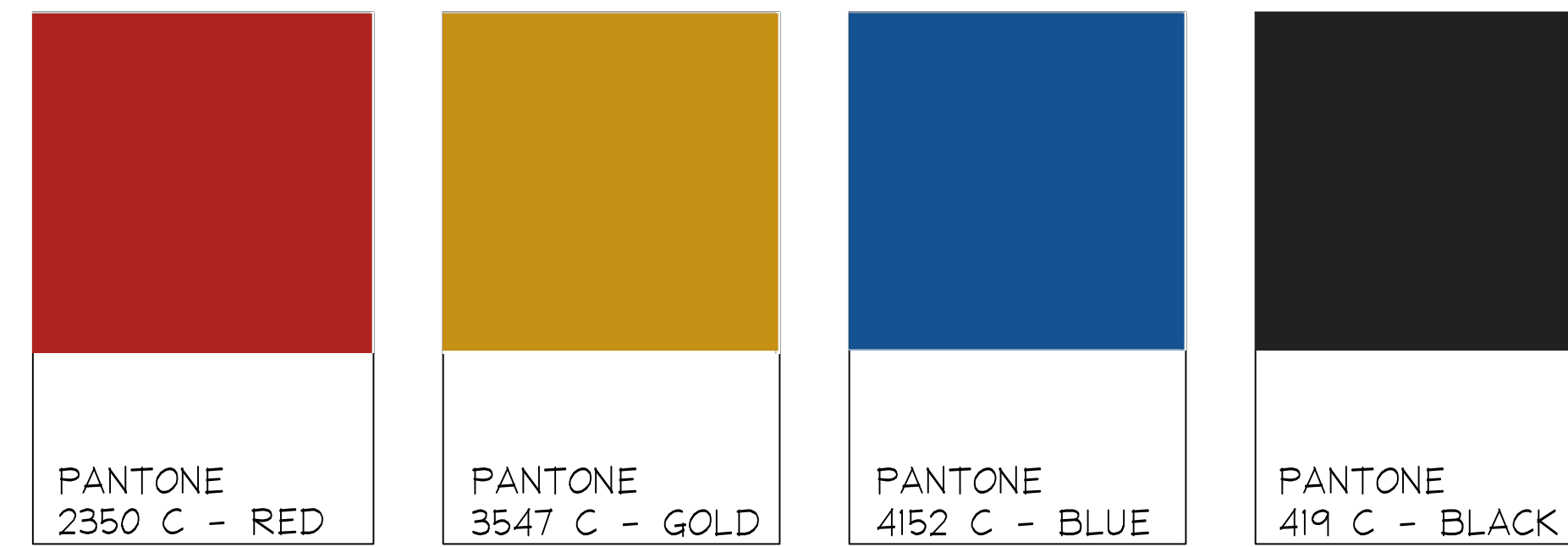
**EARTHWORK:**

1. PERFORM EARTHWORK IN COMPLIANCE WITH APPLICABLE REQUIREMENTS OF GOVERNING AUTHORITIES HAVING JURISDICTION.
2. LOCATE EXISTING UNDERGROUND UTILITIES IN THE AREAS OF WORK BEFORE STARTING EARTHWORK OPERATIONS. WHERE UTILITIES ARE TO REMAIN IN PLACE, PROVIDE ADEQUATE MEANS OF PROTECTION DURING EARTHWORK OPERATIONS.
3. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGES CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, AND OTHER HAZARDS CREATED BY EARTHWORK OPERATIONS.
4. SOIL MATERIALS FOR USE AS BACKFILL AND FILL SHALL BE SAND OR SAND-GRAVEL MIXTURES FREE OF ROCK OR GRAVEL LARGER THAN SIX INCHES IN ANY DIMENSION, DEBRIS, WASTE, VEGETABLE, AND OTHER DELETERIOUS MATTER. NOT MORE THAN 10% OF THE BACKFILL MATERIAL SHALL PASS THE U.S. STANDARD NO. 200 SIEVE.
5. UNSUITABLE MATERIALS AS DETERMINED BY THE ENGINEER, SUCH AS PEAT, MUCK, ROOTS, LOGS, DEBRIS, BRUSH, SOD, CLAY, LOAM OR OTHER SIMILAR MATERIALS, SHALL NOT BE USED.
6. EXISTING UNSUITABLE MATERIALS AS DETERMINED BY THE ENGINEER OCCURRING BENEATH STRUCTURE FOUNDATIONS SHALL BE REMOVED AND REPLACED WITH COMPACTED FILL IN ACCORDANCE WITH THE APPLICABLE COMPACTION CRITERIA.
7. PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS, AND FLOODING THE PROJECT SITE AND SURROUNDING AREA. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS. REMOVE WATER FROM EXCAVATIONS TO PREVENT SOFTENING OF FOUNDATION BOTTOMS, UNDERCUTTING FOOTINGS, AND SOIL CHANGES DETRIMENTAL TO THE STABILITY OF SUBGRADES AND FOUNDATIONS. PROVIDE AND MAINTAIN PUMPS, WELL POINTS, SUMPS, SUCTION AND DISCHARGE LINES, AND OTHER DEWATERING SYSTEM COMPONENTS NECESSARY TO CONVEY THE WATER AWAY FROM THE SITE.

**REINFORCED CONCRETE:**

1. ALL CONCRETE MATERIALS, PLACING AND HANDLING SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE PUBLICATIONS ACI 301 AND ACI 318.
2. CURING OF CONCRETE SHALL BE IN STRICT ACCORDANCE WITH ACI 301 PROVISIONS.
3. ALL STRUCTURAL CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF OF 4000 PSI.
4. USE NORMAL WEIGHT CONCRETE (135 PCF MIN.) FOR ALL STRUCTURAL MEMBERS. DO NOT USE CALCIUM CHLORIDE IN ANY CONCRETE. ALL STRUCTURAL CONCRETE SHALL HAVE A MAXIMUM WATER/CEMENT RATIO OF 0.45
5. PROVIDE A 4 INCH SLUMP WITH A TOLERANCE OF +/- 1 INCH.
6. IF CONCRETE IS PUMPED, SLUMP MAY BE INCREASED TO 6 INCHES AT THE TRUCK, PROVIDED THE SLUMP SPECIFIED ABOVE IS MAINTAINED AT THE DISCHARGE END. USE A MINIMUM 4 INCH PUMP. FOR PUMPED CONCRETE, TAKE CONCRETE SAMPLES FOR SLUMP TEST AT END OF TRUCK CHUTE AND AT DISCHARGE END OF HOSE, AND TAKE SAMPLES FOR CYLINDER TESTING AT DISCHARGE END OF HOSE.
7. WATER SHALL NOT BE ADDED TO CONCRETE AT THE JOBSITE UNLESS SPECIFIC AUTHORIZATION IS INDICATED ON THE DELIVERY TICKET. NOTIFY ENGINEER OF TOTAL QUANTITY OF WATER ADDED TO ANY TRUCK. REPEAT NECESSARY TESTING IF WATER IS ADDED AFTER INITIAL SAMPLING.
8. COARSE AGGREGATE SHALL CONFORM TO ASTM C33. PEAROCK AGGREGATE SHALL NOT BE USED.
9. ALL CONCRETE SHALL BE PLACED IN THE DRY. ALL FORMS SHALL BE FREE OF STANDING WATER.
10. ALL CONCRETE SHALL BE VIBRATED IN PLACE IN ACCORDANCE WITH ACI RECOMMENDED PRACTICES. NO PLACING OF CONCRETE WILL BE COMMENCED UNLESS THERE ARE TWO OPERABLE CONCRETE VIBRATORS ON THE JOB SITE.
11. CONCRETE COVER OVER REINFORCING STEEL SHALL BE AS FOLLOWS, U.O.N.: CONCRETE CAST AGAINST EARTH 3 IN. ALL OTHER CONCRETE 2 IN.
12. PROVIDE 3/4 INCH CHAMFERS ON ALL EXPOSED EDGES, EXCEPT AS OTHERWISE NOTED. FORM TIES AND REINFORCING BAR SUPPORTS SHALL BE OF NON-CORROSIVE MATERIAL INCLUDING, BUT NOT LIMITED TO, FIBERGLASS, PLASTIC, AND CONCRETE BLOCK. BAR SUPPORTS PLACED ATOP
13. ANY TIES, STRAPS OR OTHER METALLIC FORMWORK ITEMS SHALL BE REMOVED TO A DEPTH OF 1-1/2 INCHES MINIMUM BELOW FINISHED CONCRETE SURFACE. CONCRETE

**COLORS**



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NO.	DATE	BY	CHK'D	DESCRIPTION

PROJECT # 12557  
NE 4TH AVENUE STREETScape PROJECT  
E SUNRISE BLVD TO NE 13TH ST  
FORT LAUDERDALE, FL  
POST MOUNT DISTRICT SIGN

SHEET NO.  
**L2.09**

**ALTERNATE BID ITEM**

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# NE 4TH AVE - EXISTING CONDITION

FORT LAUDERDALE, FL



Kimley»Horn





# NE 4TH AVE - CONCEPT

FORT LAUDERDALE, FL



Kimley»Horn



V. Program and Project Status Update

Cija Omengebar  
CRA Planner

1) FY 2022 Budget \$678,633

❖ December 7 CRA Meeting | CAM No. 21-1133 Budget Amendment – Return CCCRA Fund Balance for Reallocation \$666,807

1) Operations – Projected incoming transfer \$ 150,000

- Rezoning Project \$ 105,107
- CAM 21-1038 Amendment to the Consultant Agreement
  - \$ 74,200 Contract/Scope Increase
  - \$ 30,970 Municipal Land Use Plan Amendment Applications

2) Incentive Programs – Projected incoming transfer \$ 516,807

❖ Total Expenditures \$1,345, 440

2) Event Funding Application – December 4, 2021

- NE 13<sup>th</sup> Street Craft Beer and Wine Festival & Exotic Car Show
- 4 PM – 8 PM
- Volunteers - shifts 3-6, 6-9 PM

City of Fort Lauderdale Central City Community Redevelopment Agency  
 Central City CRA Area Fund

Revenue Sources	FY 2022 ESTIMATE
Tax Increment Revenue (TIF) City of Fort Lauderdale	678,633
<b>Total Revenues</b>	<b>\$ 678,633</b>
<b>Expenditures</b>	
Services & Materials	37,190
<b>Other Operating Expenses</b>	
Indirect Admin Services ( City departments )	20,886
Service Charge - CRA Salaries	77,194
Service Charge - Information Systems	5,843
Service Charge - Print Shop	2,500
<i>Projected incoming remaining funds from FY2021 (Rezoning Project)</i>	<i>150,000</i>
<b>CRA Incentives</b>	
Funds Available for Incentive Projects	535,020
<i>Projected incoming transfer from prior FY2021</i>	<i>516,807</i>
<b>Total Expenditures</b>	<b>1,345,440</b>
<b>Surplus/(Deficit)</b>	<b>\$ 666,807</b>

\* Amount may change



## 3rd Annual 13th Street Craft Beer & Wine Festival with Exotic Car Show

**VI. Discussion of 1210 NE 5 Terrace**

**Bob Wojcik  
CRA Housing and  
Economic  
Development  
Manager**

**❖ Attachment:**

**21-0941** Resolution of Accepting of the Instruments of Conveyance for Seven Residential Properties from the City of Fort Lauderdale for Affordable Housing, Authorizing Contract with Companies for Appraisal, Title, Survey, Demolition, Site Cleanup and Related Services, Authorizing the Issuance of Request for Proposals for the Executive Director to Execute Any and All Related Instruments and Delegating Authority to the Executive Director to Take Certain Actions (Commission District 2 and 3)



**CITY OF FORT LAUDERDALE**  
**City Commission Agenda Memo**  
**CRA BOARD MEETING**

**#21-0941**

---

**TO:** CRA Chairman & Board of Commissioners  
Fort Lauderdale Community Redevelopment Agency

**FROM:** Chris Lagerbloom, ICMA-CM, Executive Director

**DATE:** November 2, 2021

**TITLE:** Resolution Accepting of the Instruments of Conveyance for Seven Residential Properties from the City of Fort Lauderdale for Affordable Housing, Authorizing Contract with Companies for Appraisal, Title, Survey, Demolition, Site Cleanup and Related Services, Authorizing the Issuance of Request for Proposals for the Development of the Properties, and Authorizing the Executive Director to Execute Any and All Related Instruments and Delegating Authority to the Executive Director to Take Certain Actions - **(Commission Districts 2 and 3)**

---

**Recommendation**

Staff recommends the Community Redevelopment Agency (CRA) Board of Commissioners pass a Resolution to accept the instruments of conveyance for seven residential properties from the City of Fort Lauderdale for affordable housing, contract with companies for appraisal, title, survey, demolition, site cleanup and related services, authorize the issuance of Request for Proposals for the development of the properties, and authorize the Executive Director to execute any and all related instruments and delegate authority to the Executive Director to take certain actions.

**Background**

On May 18, 2021, the City Commission adopted Resolution No 21-98 designating surplus properties for affordable housing under the provisions of Section 166.0451 of Florida Statutes (Exhibit 1) and on August 17, 2021, the City Commission adopted Resolution 21-158 declaring its intent to convey residential City-owned properties to the Fort Lauderdale Community Redevelopment Agency, setting a public hearing date of October 5, 2021 (Exhibit 2). The properties to be conveyed to the CRA consist of:

1. 1210 NE 5 Terrace (Property ID 494234031890)
2. 521 NW 13 Avenue (Property ID 504204060680)
3. NW 7 Place (Property ID 504204180630)
4. 724 NW 15 Way (Property ID 504204280170)
5. 509 NW 20 Avenue (Property ID 504204300410)
6. 1207 NW 2 Street (Property ID 504204200330)
7. 427 NW 20 Avenue (Property ID 504204300960)

A Location Map of the properties and Broward County Property Appraiser Information on the properties is attached as Exhibit 3. On October 5, 2021, the City Commission adopted a Resolution approving the conveyance of seven properties to the CRA (Exhibit 4).

Section 8.02 of the City Charter allows the City to convey real property owned by the City to another public agency for a public purpose. Six (6) of the properties are located in the Northwest Progresso Flagler Heights Community Redevelopment Area (NPF CRA), in the Dorsey Riverbend and Durrs neighborhoods, and one (1) of the properties to be conveyed to the CRA is located in the Central City CRA Area, in the Middle River Terrace Neighborhood. They will be conveyed to the CRA subject to a covenant restricting occupancy of the property to households that meet the income guidelines of Section 420.0004(3) of Florida Statutes (Exhibit 5). Four (4) of the properties are vacant land and three (3) of the properties are improved with structures. Four (4) of the seven properties were foreclosed by the City between 2014 and 2019 for unpaid liens and the properties will be conveyed at no cost to the CRA in "As Is" condition. The CRA, however, will be accepting title to the properties subject to all title defects and other adverse matters and conditions that may affect the properties. Transfer from the City will occur by Quit Claim Deed, and all fees, cost and expenses shall be borne by the CRA.

The Northwest Progresso Flagler Heights CRA Advisory Board unanimously recommended approval of this item at their meeting of October 12, 2021 (Exhibit 6).

#### Consistency with the NPF CRA Community Redevelopment Plan

This action is permitted by the NPF CRA Plan as amended under Section 5 of the Community Redevelopment Program and Strategies, where it states that from time to time, the CRA may identify opportunities to acquire properties that can be conveyed or assembled for redevelopment. When those opportunities are identified, with approval of the CRA Board, the CRA shall proceed with the acquisition using funds available to the CRA including acquiring City owned vacant parcels and/or building targeted for redevelopment purposes. From time to time the CRA shall dispose of property that it acquires to private and public persons for redevelopment purposes and may enter into agreements with such persons to ensure that the redevelopment occurs, as provided in Section 163.380 Florida Statutes.

The CRA may fund appraisals, conduct surveys, obtain site information, conduct contamination site cleanup and conduct due diligence necessary to stimulate redevelopment in the CRA district.

#### Consistency with the Central City Area Community Redevelopment Plan

This action is permitted by the Middle River-South Middle River-Sunrise Boulevard (A.K.A. Central City) Community Redevelopment Plan under Section 5 Redevelopment Strategies – Land Acquisition, where it states the one of the activities of the CRA could consider is land acquisition. The Housing and Economic Development Strategies illustrate the significance of owning and controlling land. Once it owns land, the CRA could be poised to strongly encourage development of vacant parcels of land that enhance

livability and promote a strong and stable neighborhood. This action is also permitted under Redevelopment Strategies – Housing Strategy, where it states that the strategy includes the elimination of substandard housing and development of currently vacant and/or defective infill lots.

**Resource Impact**

There will be an estimated fiscal impact to the Northwest Progresso Flagler Heights Community Redevelopment CRA budget in the amount of \$69,685, and there will be an estimated fiscal impact to the Central City CRA budget in the amount of \$10,031.

Funds available as of October 8, 2021					
ACCOUNT NUMBER	INDEX NAME (Program)	CHARACTER CODE/ SUB-OBJECT NAME	AMENDED BUDGET (Character)	AVAILABLE BALANCE (Character)	AMOUNT
119-CRA092204-4203	Development Incentive Improvement Program FY22	Other Operating Expense /Redevelopment Projects	\$10,913,296	\$10,913,296	\$69,685
119-CRA092208-4203	Commercial Façade Improvement Program FY22	Other Operating Expense/Redevelopment Projects	\$285,020	\$285,020	\$10,031
<b>TOTAL ►</b>					<b>\$79,716</b>

**Strategic Connections**

This item is a *2021 Top Commission Priority*, advancing the Homelessness and Housing Opportunities initiative.

This item supports the *Press Play Fort Lauderdale 2024 Strategic Plan*, specifically advancing:

- The Neighborhood Enhancement Focus Area
- Goal 4: Build a thriving and inclusive community of neighborhoods
- Objective: Ensure a range of affordable housing options

This item advances the *Fast Forward Fort Lauderdale 2035 Vision Plan: We Are Community and We Are Prosperous*.

This item supports the *Advance Fort Lauderdale 2040 Comprehensive Plan* specifically advancing:

- The Neighborhood Enhancement Focus Area
- The Housing Element
- Goal 1: The Comprehensive Plan shall support the provision of adequate sites for future housing, including affordable workforce housing

**Attachments**

Exhibit 1 – Resolution 21-98

Exhibit 2 – Resolution 21-158

Exhibit 3 – Location Map and Broward County Property Appraiser Information



Exhibit 4 – Resolution 21-219

Exhibit 5 – Section 420.0004(3) Florida Statutes

Exhibit 6 – October 12, 2021 Northwest Progresso Flagler Heights CRA Advisory Board  
Draft Minutes

Exhibit 7 - Resolution

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Prepared by: Bob Wojcik, AICP, CRA Housing and Economic Development Manager  
Clarence Woods, CRA Manager

Department Director: Chris Lagerbloom, ICMA-CM, Executive Director



**VII. Communication to City Commission**

**Luis Castillo-Olivera**

**VIII. Old/New Business**

- **FDOT Project Flyer – Powerline Road & Sunrise**
- **December Agenda Items**
  - **CRA Basics Presentation**
  - **Incentive Program Inquiries**

**Cija Omengebar  
CRA Planner**



# FLORIDA DEPARTMENT OF TRANSPORTATION - DISTRICT FOUR INVITES YOU TO A PUBLIC INFORMATION WORKSHOP

**INTERSECTION AND SAFETY IMPROVEMENTS TO  
SR 845/POWERLINE ROAD AT SR 838/SUNRISE BLVD**  
Broward County, Florida  
Financial Project ID: 441771-1-52-01

The Florida Department of Transportation (FDOT), District Four, will conduct a Public Workshop regarding the improvements for Powerline Road at Sunrise Blvd. This workshop will be offered in two formats, virtual and in-person, with representatives available to answer questions. Questions and comments may also be submitted prior to the meeting by e-mailing the Project Manager. Please join us at your convenience. Project information is posted at: <https://bit.ly/3AYSfGL>

## JOIN US AT THE PUBLIC MEETING

### PROPOSED IMPROVEMENTS

- Add an additional southbound left turn lane at the intersection
- Extend the southbound bicycle lane from Chateau Park Dr. to Sunrise Blvd.
- Reduce speed limit to 35 MPH between Sunrise Blvd. and NW 13th Street
- Improve signal timing and operations
- Install new signal poles and signing upgrades

### CONSTRUCTION IMPACTS

- Work will be sequenced to reduce the effects of construction on the community
- Lane closures will occur outside peak traffic hours
- Pedestrian and vehicular access to all properties will be maintained throughout construction

### CONSTRUCTION INFORMATION

- Construction Start Date: **Summer 2022**
- Anticipated Completion: **Early 2023**
- Construction Cost Estimate: **\$1.1 million**

### CONTACT INFORMATION

**Brad Salisbury, P.E. - FDOT Project Manager**  
Florida Department of Transportation,  
District Four  
3400 West Commercial Boulevard  
Fort Lauderdale, FL 33309  
Phone: (954) 777-4160 or  
Toll Free (866) 336-8435 Ext. 4160  
E-mail: [Brad.Salisbury@dot.state.fl.us](mailto:Brad.Salisbury@dot.state.fl.us)

**Wednesday, November 17, 2021**

**Virtual Meeting—5:00 p.m. to 6:00 p.m.**

Registration link: <https://bit.ly/3IC7PvQ>

Participants can also use their phone by dialing:

**+1 (914) 614-3429; Access code: 544-840-040**

The presentation will begin at 5:00, followed by a time for questions and answers.

**In-Person Meeting—6:30 p.m. to 7:30 p.m.**

Hampton Inn—Orange Blossom Room

250 N Andrews Ave, Fort Lauderdale, FL 33301

The meeting will be in open house format. The latest social distancing guidelines will be followed.

Virtual Meeting  
Registration



In-Person  
Location Map



## FLORIDA DEPARTMENT OF TRANSPORTATION MISSION STATEMENT

The Department will provide a safe transportation system that ensures the mobility of people and goods, enhances economic prosperity and preserves the quality of our environment and communities.

*Public participation is solicited without regard to race, color, national origin, age, sex, religion, disability, or family status. Persons who require special accommodations under the Americans with Disabilities Act (ADA) or persons who require translation services (free of charge) should contact Brad Salisbury, P.E., Project Manager at least seven (7) days prior to the Public Information Workshop.*

**IX. Adjournment**

**Luis Castillo-Olivera  
CCRAB Chair**