



# DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

**MEETING DATE:** March 22, 2022

**PROPERTY OWNER /  
APPLICANT:** North Broward Hospital District

**AGENT:** Tamara Peacock, Peacock Architects

**PROJECT NAME:** Broward Health – Wells Fargo

**CASE NUMBER:** UDP-S22007

**REQUEST:** Site Plan Level II Review: 4,126 Square-Foot Financial Institution with Drive-thru in the South Regional Activity Center

**LOCATION:** 1710 S. Andrews Avenue

**ZONING:** South Regional Activity Center-South Andrews east (SRAC-SAe)

**LAND USE:** South Regional Activity Center

**CASE PLANNER:** Karlanne Grant



Case Number: UDP-S22007

**CASE COMMENTS:**

Please provide a response to the following:

1. Specify height and area compliance per Chapter 5 of the 2020 FBC.
2. Provide building construction type designation per Chapter 6 of the 2020 FBC.
3. Specify fire-resistance rating requirements based on building separation per Table 601 and 602 of the 2020 FBC.
4. Provide occupancy loads with compliant life safety egress design per Chapter 10 of the 2020 FBC.
5. Indicate code compliant sprinkler system per the 2020 FBC.
6. Specify required number of exits based on travel distance, occupancy load, and use per FBC 1006.

**GENERAL COMMENTS**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. Florida Building Code Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

**Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at;

- a. [https://www.municode.com/library/fl/fort\\_lauderdale/codes/code\\_of\\_ordinances?nodeId=COOR\\_CH14FLMA](https://www.municode.com/library/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA)

**Please consider the following prior to submittal for Building Permit:**

1. On December 31<sup>st</sup>, 2020 the 7<sup>th</sup> Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations;
  - a. <http://www.fortlauderdale.gov/departments/sustainable-development/building-services>
  - b. [https://floridabuilding.org/bc/bc\\_default.aspx](https://floridabuilding.org/bc/bc_default.aspx)
  - c. <http://www.broward.org/codeappeals/pages/default.aspx>

**General Guidelines Checklist is available upon request.**



Case Number: UDP-S22007

**DEDICATION OF RIGHTS-OF-WAY:** Per ULDR Section 47-25.2.M.5, property shall be conveyed to the public by plat, deed or grant of easement as needed in accordance with the Broward County Trafficways Plan, the city's comprehensive plan, subdivision regulations and accepted applicable traffic engineering standards:

- a. Provide 3' Right-of-Way dedication or permanent Right-of-Way Easement along east side of N Andrews Avenue (coordinate with BCHCED), to complete half of 106' Right-of-Way section per the most current Broward County Trafficways Plan; show / label delineation in the plans. Clarify with BCHCED if Right-of-Way dedication or Right-of-Way Easement and provide documentation.
- b. Provide permanent Sidewalk Easement as appropriate along east side of South Andrews Avenue and South side of Southeast 17<sup>th</sup> Street to accommodate portion of pedestrian clear path (coordinate required width with BCHCED and TAM and provide documentation) that may be located beyond public Right-of-Way; show / label delineation in the plans.

**CASE COMMENTS:**

**Prior to Final DRC sign-off, please provide updated plans and written response to the following review comments:**

1. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Submit water and wastewater capacity availability request form and documents/ plans at:

<https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services/engineering-permits/development-review-committee-service-demand-calculations-for-water-sewer-request-form>

2. Proposed required on-site improvements (i.e. foundation, canopies, back flow preventer, fdc, clean out, doors, etc.) shall not be constructed within existing or proposed right of way/ dedications/ easements, to include but not limited to the following:
  - a. Proposed canopy shall not encroach onto South Andrews Avenue proposed/existing right-of-way.
  - b. The proposed canopy nor facility main doors shall also not encroach on the 25x25 visibility triangle between South Andrews Road and Southeast 17<sup>th</sup> Street. In addition to the 35'x35' visibility triangle shown on sheet A1.00, please show the 25'x25' visibility triangle for verification on both sheets A1.00 and A1.01.
  - c. The proposed canopy shall not encroach onto any public sidewalk proposed/existing right-of-way nor easement.
3. Existing public sidewalks adjacent to proposed development (to remain) must be inspected by Engineer of Record to ensure existing sidewalks meet ADA standards and are in good condition. A signed and sealed assessment must be provided indicating sidewalks were inspected and any sidewalk replacement requirements. Plans shall reflect extent of sidewalk replacement accordingly.
4. Proposed sewer lateral shall enter the private property perpendicular from the point of connection and then change direction as needed to reach building. The re-routing of said line shall not be directly below the public sidewalk nor any other space within public right-of-way.



5. The public portion of the proposed lateral shall be 6" minimum diameter and shall contain a clean out at 30" from the right-of-way line on public grounds.
6. Existing water meter and backflow proposed to be relocated on sheet C-106 shall be removed and lines capped.
7. Any road cuts for utilities or curb cuts within City Right-of-Way (Southeast 17<sup>th</sup> street) shall be restored to full lane width for 50' minimum length (by contractor), per City Code of Ordinances Section 25-108; show and label in plans as appropriate. Verify with BCHCED their requirements for any milling and asphalt pavement restoration in vicinity of proposed road cuts for utilities and/or curb cuts within their respective Right-of-Way jurisdictions.
8. Depict proposed building doors and provide sufficient grades/details on paving, grading and drainage plans to verify ADA accessibility design for the site, especially ground floor access to the new building.
9. Show proposed separation of all street trees from the face of the curb to the face of the trunk. Note, trees shall be installed a min. 4 feet behind proposed curbs when adjacent to travel lanes and a min. 6 feet away from adjacent travel lanes when no curb is present.
10. Proposed Street trees on Southeast 17<sup>th</sup> Street are in direct conflict with existing underground utilities (sanitary sewer main), please coordinate with landscaping to find suitable location.
11. Within adjacent City Right-of-Way, staging/storage will not be allowed, construction fence shall not encroach within intersection corner sight triangles (25x25), construction fence gates shall not swing into the public Right-of-Way, and any loaded Jib Crane radius shall not extend beyond private property boundaries. Any City Right-of-Way closure over 72 hours requires a Revocable License Agreement, processed by Property Right-Of-Way Committee (DRC) and approved by the City's Commission, prior to Right-of-Way permit issuance by the Department of Sustainable Development for Maintenance of Traffic.
12. Provide Maintenance Agreement Area Exhibit, which provides a visual representation of the area within the adjacent public Right-of-Way (adjacent to the proposed development) to be maintained in perpetuity by the developer. Label whether the adjacent Right-of-Way is BCHCED or City jurisdiction, as well as label all proposed improvements, including asphalt and other specialty paving, specialty sidewalks, landscaping, irrigation, lighting, curb and gutter etc. that will be maintained by the Applicant throughout the life of the improvements.

For Engineering General Advisory DRC Information, please visit our website at <https://www.fortlauderdale.gov/home/showdocument?id=30249>

Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.



Case Number: UDP-S22007

**CASE COMMENTS:**

Please provide a response to the following:

1. FFE must be at or above BFE + 1' (8.0' NAVD). Civil plans show FFE at 8.0' NAVD but architectural plans show FFE at 7.15 NAVD. Please reconcile.

**GENERAL COMMENTS**

The following comments are for informational purposes.



Case Number: UDP-S22007

**CASE COMMENTS:**

Please provide a response to the following.

1. The Design Guidelines call for shade tree street trees in landscape bulb-outs for the on-street parking after every 3 parking stalls along South Andrews AVE. Guidelines also call for vehicle access be provided from secondary street or alley for a parking lot. The driveway at South Andrews AVE for the Bank parking lot limits the ability of providing the shade tree street trees due to sight line visibility requirements. Please investigate and provide access to the Bank parking lot from a secondary street, closing off the driveway on South Andrews AVE, allowing shade tree street trees to be placed within landscape bulb-outs for the on-street parking.
2. Design Guidelines call for surface parking areas to be fully screened from the street. This screening is to be through the use of decorative walls, fencing in addition to landscaping. When walls are facing the street and are required to have a set from the Zoning Department, code landscape is required per Section 47-19.5.
3. Please provide a cross section of the streetscape along Andrews AVE and SE 17<sup>th</sup> Street.
4. Please relocate the overhead street light line as not to create a conflict with the proposed streetscape.
5. SE 17<sup>th</sup> Street is an existing sewer line that is in conflict with proposed street trees. The proposed shade tree street trees appear to be able to shift to the property side of the sidewalk, yet a palm defining the corner may be provided within the street side of the sidewalk. Also, the landscape strip between the sidewalk and street please provide additional shrubbery in place of only sod.
6. Within the RAC districts, and as per Chapter 4 of the Downtown Master Plan Design Guidelines, at intersections where street with shade trees converge, it is encouraged to have tall palms at the immediate corners to provide a visual marker. This also helps to frame the street from the perspective of the automobile in creating a sense of space. Provide tall palms species at the corner of the street intersection in addition to the canopy street trees.
7. Street trees and other trees that are in or encroaching the public realm of the sidewalk, please propose the trees with a minimum 7 feet canopy clearance.
8. Tree islands to have a minimum 8 feet width inside to inside of curbing. Please provide measured dimension on plans.
9. As per Section 47-21.9.G.1. Each tree shall have pervious area surrounding it sufficient to support the species, as determined by the department. Shade species with a minimum caliper of three (3) inches, two hundred and twenty-five (225) square feet with fifteen (15) feet being the smallest dimension.
  - a. Tree islands maybe reduced in width to a minimum of 8 feet inside curb to inside curb. Under the adjacent pavement will require structural soil or a product engineered such as Soil Cells for root growth under paved areas to provide this root development area.



10. As per Section 47-21.12.C.1.a. The first twenty-five percent (25%), or fraction thereof, of the required trees shall be shade species with a three and one-half (3 ½) inch minimum trunk caliper and shall be evenly distributed between interior and perimeter landscape areas.
11. The use of sod not to exceed 50 percent of the landscape area, please provide calculation of the extent of sod proposed.
12. The Department is suggesting that to provide canopy shade for the public realm of the sidewalk at the area of egress / ingress of the drive through. The use of shade trees be proposed in place of the Sabal palms on the property side of the sidewalk.
13. Additional comments may be forthcoming after next review of new plans and comment responses.

### **GENERAL COMMENTS**

The following comments are for informational purposes.

Please consider the following prior to submittal for Building Permit:

1. A separate sub-permit application for Tree Removal, Relocation, and General Landscaping for site is required at time of master permit submittal. These are Landscape and Tree permit application documents different than the Broward County standard applications. Please not at this time of DRC submittal.
2. Proposed landscaping work in the City's right of way requires engineering permit and approval (GLandscape permit). This approval requires documents to be submitted for Engineering Department's review. Note that Landscape will not approve permit review without these Engineering documents being submitted.
3. Provide separate Plumbing sub permit application for irrigation. Irrigation plans are required at time of Building permit submittal. Plans are to be in compliance with ULDR 47-21.6.A.11 and 47-21.10. Note that planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Illustrate hydrozones on planting plan and include calculations in table.





Case Number: UDP-S22007

**CASE COMMENTS:**

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your business creates, and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
4. Service Days shall be: No restriction for Commercial collection. Service may not occur earlier than 7:00 am or later than 7:00 pm within 250 feet of residential.
5. Confirm where the collection will take place within the site.
6. Containers: must comply with 47-19.4
7. Dumpster enclosure: concrete pad, decorative block wall, gates hung independently, protective bollards, secondary pedestrian side entry, high strengthen apron and driveway approach, night light, hot water, hose bib, drain, low circulating ventilation for dampness, weep holes, landscaping, smooth surface walkway to accommodate wheeled containers.
8. Provide on the site plan a garbage truck turning radii for City review. Indicate how truck will circulate within property.
9. Solid Waste Collection shall be on private property container shall not be placed, stored or block the public street to perform service (large multifamily and commercial parcels).
10. Submit a Solid Waste Management Plan on your letterhead containing name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
  - o This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to [dwilson@fortlauderdale.gov](mailto:dwilson@fortlauderdale.gov). Letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and container requirements to meet proposed capacity.
  - o Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.

**GENERAL COMMENTS**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. None





Case Number: UDP-S22007

**CASE COMMENTS:**

1. Submit a traffic impact statement and coordinate with the Transportation and Mobility Department regarding traffic calming and a traffic impact study if needed. A traffic study is needed Pursuant to 47-25.2.M.4. Applicant must fund City's review by consultant and pay a \$4,000 deposit prior to scheduling a methodology meeting after which the study will be prepared, transmitted and reviewed by the City's consultant. Staff and consultant's review concerns shall be adequately resolved prior to gaining authorization for either the Planning & Zoning Board or City Commission hearings. Take into consideration that the review of this study, once submitted, will take about 4-6 weeks once all documents are received.
2. Show inbound and outbound stacking requirements from the property line to the first conflict point according to Section 47-20.5 General design of parking facilities for the driveway.
3. Include a table showing the proposed land uses, the floor area in square feet for each land use, the parking ratio, the number of parking spaces required by type, and the number of parking spaces proposed by type (standard, compact, handicapped, bicycle, loading, etc.). ULDR Sec. 47-20.2. - Parking and loading zone requirements.
4. All parking must be provided in accordance with design and construction standards of the ULDR Section 47-20.11. Show dimensions for: stall width, depth of stall 90 degrees to aisle, aisle width, width of stall parallel to aisle, module width, angle of parking stalls.
5. Provide a minimum of 13 feet wide Sidewalk on **S Andrews Ave**. This minimum is in reference to clear, unobstructed pathways –Light poles, trees and landscaping is not to be included in this zone. Landscaping should be between the sidewalks and back of curb and a minimum of 4 feet in width.
6. Illustrate clear sight triangle for the intersections and driveways.
7. All internal circulation and queuing areas must be designed to accommodate the turning radii of the vehicles that will be using the site. Provide auto turn vehicular paths to depict how the ground floor site circulation will work.
8. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectable warning devices and indicate on the site plan. This includes all access to/from the site entrance. Add the dimension, clearances and slopes of the walkways.
9. Bicycle parking is strongly encouraged. Consult the APBP Bicycle Parking Guidelines, city of Fort Lauderdale Parking Standards and Broward County End-of-Trip Bicycle Facilities Guide. Look to provide the minimum long term and short-term bicycle parking based on requirements in the guide and include total counts on the site plan data sheet. Bicycle parking needs to be located on the site so that it is accessible to the public.
10. Additional comments may be provided upon further review.



**GENERAL COMMENTS:**

Please address comments below where applicable.

1. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.
2. Please note that any work within the City's right-of-way will require an MOT approved by Transportation and Mobility and Engineering for permitting. Any full closures of roadways, alleys, or sidewalks that are over 72 hours will require a Revocable License Agreement (RLA) with the City of Fort Lauderdale.



Case Number: UDP-S22007

**CASE COMMENTS:**

Please provide a response to the following:

1. Pursuant to public participation requirements of City's Unified Land Development Code (ULDR) Sec. 47-27, the applicant must complete the following:
  - a. Sign notice shall be given by the applicant in the form of posting sign(s) to be placed on the property which an application for a development permit was submitted stating the time, date, and place of the Development Review Committee (DRC). The sign shall be posted at least ten (10) days prior to the date of the DRC meeting. The sign shall be visible from adjacent rights-of-way, including waterways; and,
  - b. Accordingly, a minimum of five (5) days prior to the DRC meeting, the applicant shall execute and submit an affidavit of proof of public notice to the Department. If the applicant fails to submit the affidavit, the public hearing will be postponed until the next available hearing date after the affidavit has been supplied.
2. The site is designated South Regional Activity Center (**SRAC**) on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
3. Provide a Plat Determination Letter from Broward County Planning Council verifying whether the property needs to be platted or re-platted. If a plat or re-plat is not required, contact the Broward County, Development Management and Environmental Review Section, at (954) 357-8695 to ensure that the proposed project is consistent with the latest recorded plat restriction(s). If a plat note or non-vehicular access line (NVAL) amendment is needed, a separate application is required, which is reviewed administratively and can be found here: [Administrative Review Application](#).
4. 1710 South Andrews Avenue has been identified as a potential historic landmark in a recent Architectural Resource Survey and has been documented through a Florida Master Site File Historic Structures Form (FMSF Number: BD08185). Prior to demolition of this structure, provide color photos of the exterior and interior of the structure to the City's Historic Preservation Planner, Trisha Logan (tlogan@fortlauderdale.gov) to be included in the Florida Master Site File documentation that is held by the State of Florida's Historic Resources Division.
5. Indicate the project's compliance with ULDR Section 47-25.2, Adequacy Requirements by providing a point-by-point narrative response, on letterhead, with date and author indicated.
6. Update the Elevation Plan, sheet A1.02, to include dimensions for the height of the roof and parapet as well as the property lines.
7. Verify that the proposed anodized aluminum canopy does not extend pass the property line.
8. Relocate the dumpster to be placed within the scope of work.
9. The project is subject to ULDR, Section 47-13.29, 47-13.30, and 47-13.51 regarding design standards and the South Andrews Avenue Master Plan, which outlined a vision, development program, and implementation strategy for the corridor, aiming to transform the areas from a relatively under-utilized



resource to a pedestrian-friendly urban corridor. Address the following comments categorized based on the SRAC Master Plan and refer to the attached Design Review Team checklist and the images below.

- a. Street Design Standards:
  - i. Provide on-street parking design per the Master Plan;
  - ii. Maximize shade trees along all right of-ways, located between the sidewalk and the street;
  - iii. Verify that the west curb cut that is proposed as the primary ingress/egress point is the existing curb cut being utilized;
  - iv. Provide the proposed sidewalk width along SE 17<sup>th</sup> Street; and,
  - v. Consider installing bike lanes along SE 17<sup>th</sup> Street.
- b. Building Design Standards:
  - i. Provide creative façade composition with layering of architectural elements that are provided throughout the building with an original design having a strong identity and high-quality expression of the architectural style. As proposed, the building design does not meet this qualitative requirement. See images below for design examples:



- ii. Provide a minimum 60% of clear glazing along Andrews Avenue and SE 17<sup>th</sup> Street. Consider faux treatments that will enhance the streetwall. Tinted or reflective glass is discouraged. Opaque, smoked, or decorative glass should only be used for accents.



- iii. Incorporate a public plaza along SE 17<sup>th</sup> Street with pedestrian amenities such as benches and planting beds which can be used as accent elements to create a pedestrian-oriented public space.



iv. Provide plans with pedestrian perspective.

10. Pursuant to ULDR, Section 47-19.2.Z, Accessory Uses, Buildings, and Structures; rooftop mechanical equipment such as air conditioners, compressors, generators, etc. shall be screened with material that matches the material used for the principal structure and shall be at least six (6) inches high above the top most surface of the roof mounted structures. Provide the following:
  - a. Review roof plan indicating the location of all mechanical equipment with spot elevations of the parapet wall and roof as well as mechanical equipment to verify adequate screening;
  - b. Identify the location of equipment on building elevations by outlining the equipment with dash lines; and
  - c. Provide screening product material including images or pictures of actual application of such.
11. Consider employing green practices throughout the project including, but not limited charging stations, tank-less water heaters, rain collections system, pervious parking, bio-swales, Florida Friendly™ plant materials, and solar panels.

#### **GENERAL COMMENTS**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final Development Review Committee ("DRC"):

12. If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on an additional site plan, to avoid additional review in the future. Ensure details and location receives approval from the Building Service Department's DRC Representative.
13. Be advised that pursuant to State Statute, Section 166.033, states that development permits which require a quasi-judicial or public hearing decision must be complete within 180 days unless an extension of time is mutually agreed upon between the City and the applicant
14. An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Final DRC sign-off, please schedule an appointment with the project planner Karlanne Grant (Email: [kgrant@fortlauderdale.gov](mailto:kgrant@fortlauderdale.gov), Phone: 954-828-6162 or) to review project revisions and/or to obtain a signature routing stamp.
15. Additional comments may be forthcoming at the DRC meeting.





# DESIGN REVIEW TEAM (DRT) COMMENTS

Planning Area: SRAC-SA: Illustrations of Design Standards | Rev. 05/07/2021

**BACKGROUND INFORMATION:** The intent of the Design Review Team (DRT) is to assist applicants by identifying compliance with the applicable master plan design requirements in the form of a checklist. The checklist should be used as a guide in generating formal development applications for site plan submittal. Applicant should provide responses to each item in the DRT checklist upon submittal of formal development applications.

<b>CASE NUMBER:</b>	UDP-DRT22003	<b>NOTES:</b> <ul style="list-style-type: none"> <li>Principles in <b>bold</b> are dimensional standards required by Code (ULDR) Section 47-13.30.</li> <li>Principles marked "yes" / "no" indicate if project meets intent of guideline</li> <li>N/A = Not applicable; more information needed means there is insufficient information to review.</li> </ul>
<b>PROJECT NAME:</b>	Broward Health Wells Fargo	
<b>PROJECT ADDRESS:</b>	1710 South Andrews Avenue	
<b>REVIEW DATE:</b>	03/01/2022	
<b>CASE PLANNER:</b>	Karlanne Grant	
<b>CONTACT INFORMATION:</b>	Cristin Peacock- 954-728-9225	

**INSTRUCTIONS:** Mark applicable column with "X". Add comments / design intent under Principle title.

STREET DESIGN STANDARDS: SRAC-SA		YES	NO	N/A	MORE INFORMATION NEEDED
S-1	A fine-grained street grid is maintained, and right-of-ways are vacated only for strategic planning purposes.	x			
S-2	Development above right-of-ways (air rights) does not occur.			x	
S-3	Streets have reduced lane widths.			x	
S-4	Traffic calming is utilized rather than barricading streets.			x	
S-5	On-street parking is maximized on all streets.		X Provide detail on-street parking design.		
S-6	Adequate bike lanes are provided where appropriate, subject to planned bicycle network.			x	
S-7	Curb radii are reduced at street intersections to a preferred maximum of 15-feet or a maximum of 20-feet at major arterial roadways.				x Provide curb radii for NW corner.
S-8	County "Corner Cord" requirements are eliminated to the greatest extent possible.	x			
S-9	All utility lines are buried in locations allowing for tree planning and proper root growth.		X Utility lines need to be buried along SE 17 <sup>th</sup> Street.		



S-10	Shade trees are maximized on all right-of-ways, located between the sidewalk and the street, with palms or ornamental trees providing a visual marker for intersections (spacing 20-feet for palms/ornamentals & 30-feet for shade trees).				X Refer to page 2.8 and 3.3 of the Master Plan.
S-11	Landscaping (other than street trees) plays a supporting, rather than dominant, role in the overall street design.		x Update plan to meet all the elements or the cross section.		
S-12	Numerous and wide curb cuts are avoided to the greatest extent possible.	x			
S-13	Drive-thrus are avoided in most cases.	X Existing Drive-thru to remain.			

BUILDING DESIGN STANDARDS: SRAC-SA		YES	NO	N/A	MORE INFORMATION NEEDED
B-1	Surface parking facilities are secondary to the pedestrian public realm experience with vehicular access provided from the secondary street or alley where possible.				X
B-2	Structured parking design is well integrated into the overall building design.			x	
B-3	To create an interesting, active, street environment, main pedestrian entrances are oriented toward the street.	x			
B-4	Framing the street: Site open space, as required, is aggregated as usable pedestrian-oriented public space instead of leftover "green" perimeter. Courtyards and Plazas that are part of the development site are lined with active uses.				X Show pedestrian amenities.
B-5	Framing the street: Buildings meet the front and corner build-to-lines to maintain a consistent streetwall.	x			
B-6	Framing the street: Buildings meet the side yard setback to maintain a consistent streetwall.				X Based on future plans.
B-7	Framing the street: Building streetwalls meet minimum and maximum shoulder heights (2 stories or 25-feet minimum & 6 stories or 75-feet maximum).	x			Update elevation sheet with dimension for roof and parapet.
B-8	Framing the street: Buildings exceeding a maximum streetwall length of 150-feet provide variation in the physical design and articulation of the streetwall.			x	

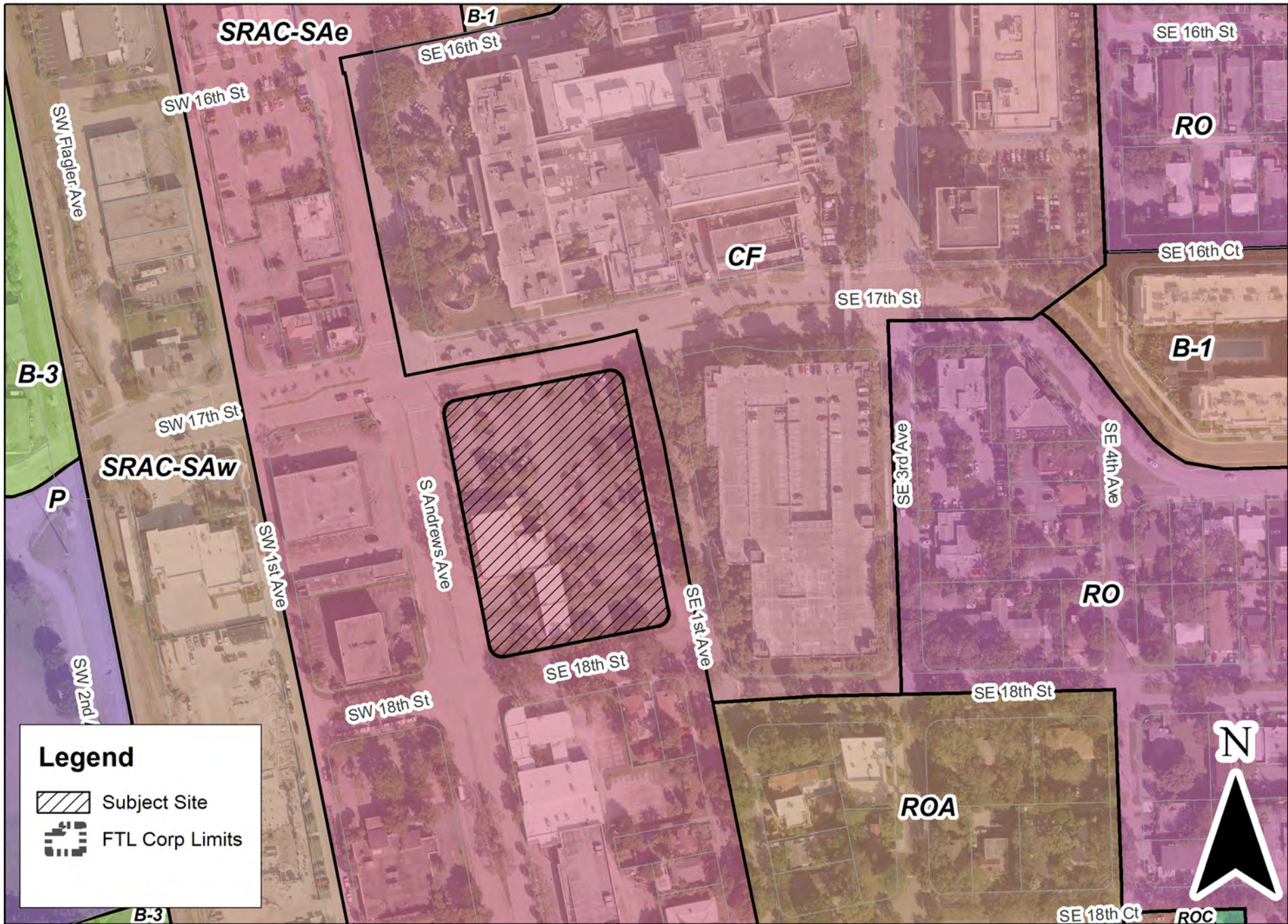




BUILDING DESIGN STANDARDS: SRAC-SA		YES	NO	N/A	MORE INFORMATION NEEDED
B-9	Buildings do not exceed maximum height dimensions (10 stories/110-feet or 14 stories/150-feet subject to CC review & approval).	X			
B-10	Towers do not exceed minimum setback dimensions and maximum floorplate area.			X	
B-11	Where buildings with towers are located with frontages on multiple streets, the towers are oriented towards the "Primary Street".			X	
B-12	Towers contribute to the overall skyline composition.			X	
B-13	Original and self-confident design: A range of architectural styles exist, each having a strong identity, and striving for the highest quality expression of its chosen architectural style.		X		
B-14	Buildings are of high-quality design and construction with an emphasis on durable materials, well thought-out details and careful workmanship.		X		
B-15	Buildings are site responsive, reflect local character, and have architectural features and patterns that provide visual interest from the perspective of the pedestrian.		X		
B-16	Creative façade composition: A rich layering of architectural elements are provided throughout the building, with special attention to details below the shoulder level.		X		
B-17	The first floor of nonresidential buildings are flush with the adjacent sidewalk, have a minimum height of fifteen (15) feet, and a high percentage of clear glazing (Primary Streets - minimum, 60% and Secondary Streets - minimum 50%).		X Need to provide 60% of glazing.		
B-18	Buildings with historic value are preserved and utilized for adaptive re-use.		X		
B-19	Architecture responds to the unique nature of the South Florida environment.		X		
B-20	Pedestrian shading devices, of various types, are provided along the façade of buildings.		X		
B-21	Active and 'extroverted' ground floors with retail are located in strategic location.			X	
B-22	In residential buildings, ground floor units have individual entrances.			X	
B-23	Balconies and bay windows animate residential building façades.			X	



BUILDING DESIGN STANDARDS: SRAC-SA		YES	NO	N/A	MORE INFORMATION NEEDED
B-24	The 'Fifth Façade' of a building is treated as part of the total design.			X	
B-25	Lighting is utilized to enhance safety without contributing to excessive light pollution or glare.				X
B-26	Noise pollution as a result of building design is mitigated.				X



# UDP-S22007

