



# DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

**MEETING DATE:** April 12, 2022

**PROPERTY OWNER /  
APPLICANT:** Galizzo Properties, Inc.

**AGENT:** Gustavo Carbonell, Architect

**PROJECT NAME:** Galizzo Properties Townhouses

**CASE NUMBER:** UDP-S22010

**REQUEST:** Site Plan Level II Review: 12-Unit Townhouse  
Development

**LOCATION:** 2510 – 2522 NE 11th Court

**ZONING:** Residential Multifamily Mid Rise/ Medium High Density  
(RMM-25)

**LAND USE:** High Residential

**CASE PLANNER:** Michael Ferrera



Case Number: UDP-S22010

**CASE COMMENTS:**

Please provide a response to the following:

1. Group R-3 facilities include single-family dwellings more than three stories in height per section 310.5 of the 2020 FBC. A single-family dwelling unit not exceeding three stories in height constructed in a group of two or more attached units with property lines separating such units in which each unit extends from foundation to roof and with a yard or public way on not less than two sides are classified as townhouses. Please update the group classification townhouses per section R101.2 of the FBC Residential volume. Note that each townhouse will require a separate building permit for construction.
2. Specify fire-resistance separation requirements between townhouses based on section R302 of FBC 2020 Residential Volume.
3. Update the wind load code reference to the current ASCE 7-16 on Sheet A-0 per chapter 46 of the 2020 FBC Residential volume.

**GENERAL COMMENTS**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. Florida Building Code Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

**Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at;

- a. [https://www.municode.com/library/fl/fort\\_lauderdale/codes/code\\_of\\_ordinances?nodeld=C00R\\_CH14FLMA](https://www.municode.com/library/fl/fort_lauderdale/codes/code_of_ordinances?nodeld=C00R_CH14FLMA)

**Please consider the following prior to submittal for Building Permit:**

1. On December 31<sup>st</sup>, 2020 the 7<sup>th</sup> Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations:
  - a. <http://www.fortlauderdale.gov/departments/sustainable-development/building-services>
  - b. [https://floridabuilding.org/bc/bc\\_default.aspx](https://floridabuilding.org/bc/bc_default.aspx)
  - c. <http://www.broward.org/codeappeals/pages/default.aspx>

**General Guidelines Checklist is available upon request.**



Case Number: UDP-S22010

**CASE COMMENTS:**

**Prior to Final DRC sign-off, please provide updated plans and written response to the following review comments:**

1. Provide a current signed and sealed boundary and topographic survey based on a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar.
2. Discuss if existing 5' Utility Easement along west property boundary and 2.5' Utility Easement are public easements. If so, contact the City's Public Works Department to confirm the location of any public utilities (i.e. storm drain, sewer, and water) within the Utility Easement, and obtain a 'letter of no objection' for construction of any proposed improvements located within the Utility Easement. Otherwise, a 'letter of no objection' from each private utility owner that has an interest in this Utility Easement will also be required.
3. Clearly indicate and demonstrate on plans the limits of construction and how the proposed improvements will transition into the existing (on-site and off-site).
4. Provide disposition of existing overhead utilities located along NE 11th Court that encroach within the proposed development, including possible conflict with required vertical clearance above public and private access sidewalks.
5. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges). Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35.
6. Clearly indicate the existing property boundary line on the site plan (sheet SP-1) that shall be also consistent with that shown in corresponding boundary survey.
7. Provide storm runoff calculations, signed and sealed by a Florida registered professional engineer, which demonstrate how minimum criteria regarding adjacent street crown, water quality and finished floor elevations are met, as well as how the 25-year, 3-day and the 100-year, 3-day storm events are maintained on site with zero discharge to Right-of-Way and adjacent properties (Pre vs. Post analysis will only be allowed in areas that are not flood-prone). Please also comply with the City of Fort Lauderdale Comprehensive Plan (Ordinance C-08-18), Objective 4.1 under Infrastructure Elements, and be advised that effective 7/1/2017, all projects must comply with the Broward County 'Future Conditions Average Wet Season Groundwater Level' map.
8. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department in order to meet the City's adequacy requirements per ULDR Section 47-25.2 of the City's Code of Ordinances. Submit water and wastewater capacity availability request form and documents/ plans at <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services/engineering-permits/development-review-committee-service-demand-calculations-for-water-sewer-request-form>.



9. In order to properly design the proposed connections to the City's water and sewer infrastructure, please email [PLAN@FORTLAUDERDALE.GOV](mailto:PLAN@FORTLAUDERDALE.GOV) to obtain copies of the City utility maps. In addition, please be reminded to illustrate the existing City utilities and easements (water, sewer, forcemain, and stormwater utilities) in proposed engineering plans (utility demolition, stormwater pollution prevention plan (SWPPP), and civil plans).
10. Conceptual Paving, Grading, and Drainage Plan
- a. Drainage mitigation shall be required for any impacts within the adjacent City Right-of-Way such as increased runoff or reduction of existing storage/treatment due to proposed improvements, in accordance with the City of Fort Lauderdale Comprehensive Plan (Ordinance C-15-08), Objective 4.1 under Infrastructure Elements.
  - b. If exfiltration trench is proposed, provide a drainage inlet (per City standard details and specifications) on each end of exfiltration trench system located within City Right-of-Way.
  - c. Based On GIS the existing gravity sewer is 8" vitrified clay. The existing laterals need to be CCTV and report sent to us to ensure they are in good condition. If not, they will need to be replaced.
  - d. Engineer of Record (EOR) shall evaluate the adjacent City roadway system capacity and demonstrate that the proposed improvements will not negatively impact the City's existing drainage system and provide recommendations in compliance with the City's Comprehensive Plan (i.e., meets water quality, and the 10-year/1-day storm event drainage criteria).
  - e. There is an existing Ditch Bottom Inlet in City right-of-way along NE 11<sup>th</sup> Court that does not appear in the Civil Plans. Depict the existing inlet along with the existing stormwater system.
  - f. Remove the Proposed Backflow preventors from public R/W.
  - g. The Civil and Landscaping plans are using different background references, please rectify.
  - h. Ensure Watermain Separation between proposed service connections and sewer laterals are per F.A.C. Rule 62-555.314.
  - i. It appears that some of the Double Water services will need to be designed as singles to comply with City of Fort Lauderdale Water detail 301. Specifically, the distance from the side lot line.
11. Show and label all existing and proposed utilities (utility type, material and size) on civil and landscaping plans for potential conflict. A min. 5 feet and 10 feet horizontal clearance is required between city utilities infrastructure and proposed small and large trees, respectively (including proposed water and sewer services to the development).
12. Within adjacent City Right-of-Way, staging/storage will not be allowed, construction fence shall not encroach within intersection corner sight triangles, construction fence gates shall not swing into the public Right-of-Way, and any loaded Jib Crane radius shall not extend beyond private property boundaries. Any City Right-of-Way closure over 72 hours requires a Revocable License Agreement, processed by Property Right-Of-Way Committee (DRC) and approved by the City's Commission, prior to Right-of-Way permit issuance by the Department of Sustainable Development for Maintenance of Traffic.
- Prior to submitting Administrative Review (i.e., DRC Level I) application to request Revocable License Agreement, please contact Dennis Girisgen at 954-828-5123 or [dgrisgen@fortlauderdale.gov](mailto:dgrisgen@fortlauderdale.gov) to discuss proposed scope of closure within City Right-of-Way.
13. Provide Maintenance Agreement Area Exhibit, which provides a visual representation of the area within the adjacent public Right-of-Way (adjacent to the proposed development) to be maintained in perpetuity by the developer. Proposed improvements include asphalt and other specialty paving,



landscaping, irrigation, and concrete curb that will be maintained by the Applicant throughout the life of the improvements.

14. Proposed trees shall be installed a minimum of 6 feet away from adjacent travel lanes when no curb is present.
15. Advisory: If dewatering activities are anticipated, a notarized City dewatering affidavit shall be filed at City's building department when submitting a demolition or foundation permit along with any applicable dewatering permit form regulatory agencies such as the South Florida Water Management District or Broward County Department of Environmental Protection.
16. For Engineering General Advisory DRC Information, please visit our website at <https://www.fortlauderdale.gov/home/showpublisheddocument/30249/637770515711070000>.
17. Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.



Case Number: UDP-S22010

**CASE COMMENTS:**

**Please provide a response to the following: Prior to Final DRC sign off and update plans and provide a narrative with a written response for each comment**

**Comment 1:** (Sheets A2.0, A2-1) Update Elevation Drawings to provide elevations of Ground Floor (first floor) in feet using the NAVD 88 DATUM. (Currently plans are showing 0'0")

**Comment 2:** Site Plan & Data (Sheet SP-1) Provide flood zone information and flood zone delineation  
SITE PLAN DETAILS REQUIRED

Site Plan should provide the following details:

- Delineations of flood hazard areas
- Flood Zones The 2014 FIRM shows a BFE 5'
- Finish Floor Elevation (BFE + 1' Freeboard = 6' (FFE) under the 2014 (FIRM)

The preliminary flood maps show a (BFE 7' NAVD 88: Please note that the once the flood preliminary maps become effective that the (BFE) Base Flood Elevation of 7' + 1' freeboard = 8 feet NAVD 88 for the (FFE) finish floor elevation will need to be met). Unless you have obtained a building permit prior to the Preliminary maps becoming effective. <https://gis.fortlauderdale.gov/2020prelimFEMAFloodMaps/>

**Comment 3:** Survey shows X & AE 5' and shows flood zone delineation as X500 & AE 5' BFE)

- A) LOT 3 BLOCK 1 Townhome # 2510-2512, plans show a (finish floor of 5.35') please correct plans to meet FFE at BFE 5' + 1 foot Freeboard
- B) Lot 4 Block 1, 1 story C.B.S. Residence # 2518 / plans show (FFE 5.85 feet), please correct plans to meet FFE at BFE 5' + 1 foot Freeboard
- C) Lot 5 Block 1 /1 story C.B.S. Residence #2520-2522 (shows a FFE 6.21), The 2014 FIRM shows a BFE 5' + 1' Freeboard = 6' NAVD 88,

**Comment 4:** Civil Sheets C1 of 4 Shows a finish floor elevation of 6 feet and attached garage at 5.5 ft. Please correct all plans so the finish floor elevations are consistent throughout plans and specifications. (Note: flood vents or smart vents on opposing walls may be required depending on the Finish Floor Elevation)

Please note that the once the flood preliminary maps become effective that the (BFE) Base Flood Elevation of 7' + 1' freeboard = 8 feet NAVD 88 for the (FFE) finish floor elevation will need to be met).

**Comment 5:**

The 2014 Flood Insurance Rate Map (panel 388H), flood zone "AE", Base Flood Elevation 5' NAVD 88

The preliminary maps (388J), (flood zone "AE"), (BFE 7' NAVD 88), Please note that the flood maps will be changing and that the preliminary flood maps are showing the Base flood elevations changing to a BFE 7'. The BFE 7' + 1' freeboard would then make the required finish floor elevation at 8 feet NAVD 88. Presently due to HB 401 effective July 1, 2021, currently we are only able to enforce the 2014 FIRM. But when the



Flood Insurance Rate Maps change to the higher elevations shown on the preliminary maps then we will be requiring that the new BFE 7' + 1 be met for all finish floor elevations (FFE).

**Comment 6**

Provide Foundation plans showing the type of foundation that is being proposed? Please provide plans and drawings that show the existing grade and proposed Finish Floor Elevation (FFE) using the (NAVD 88 Datum)

**Comment 7**

**Chapter 14-6 Site plans and construction documents (a) ,4)** Show where the placement of fill is proposed, the amount, type, and source of fill material; compaction specifications; a description of the intended purpose of the fill areas; and evidence that the proposed fill areas are the minimum necessary to achieve the intended purpose. Use of fill to elevate buildings and structures is not permitted.

**Comment 8**

**Code of Ordinances Section 14-11** prohibits the use of fill for structural support of buildings (except the interior of a stem wall foundation) and to elevate sites. Please provide statement regarding all fill to be placed on site and clearly show existing / proposed grade elevations.

Please provide statement regarding all fill to be placed on site and clearly show existing / proposed grade elevations.

**Comment 9**

If lowest point of garage slab elevation is below BFE (Base Flood Elevation), flood openings or smart vents are required at 1 sq in to 1 sq ft ratio on opposing walls.

Requirements for Flood Openings in Foundation Walls and Walls of Enclosures **NFIP Technical Bulletin 1/March 2020**

- [https://www.fema.gov/sites/default/files/documents/fema\\_flood-openings-technical-bulletin\\_20210607.pdf](https://www.fema.gov/sites/default/files/documents/fema_flood-openings-technical-bulletin_20210607.pdf)





Case Number: UDP-S22010

**CASE COMMENTS:**

Please provide a response to the following.

1. Please provide a tree disposition sheet that includes all trees and palms for this development site. The tree disposition sheet to provide all information for tree and palm removal / relocation along with mitigation calculations and how the mitigation will be provided.
2. Tree preservation requirements apply, trees and or palms should be save by relocation. Please investigate those that are good candidates for relocation to be saved rather than destroyed and mitigated.
3. Provide tree protection barricade detail for existing trees on site to remain, as per ULDR 47-21.15. This barricade must be installed prior to the beginning of proposed work, and a landscape job-check inspection may be scheduled.
4. Between each driveway a canopy tree is required. When reduced in width an approved product for root development under paved areas is required.
  - a. Please provide Soil Cells or CU Structural Soil under the driveways.
  - b. Please identify and show the extent of use on Landscape, Site, and Civil plans.
  - c. Site utilities as proposed adjacent to the landscape strip between the driveways would need to be shifted if CU Structural Soil is proposed.
  - d. If the underground utilities are not to be shifted, the Soil Cell system would be required.
5. The use of structural soil is required in paved sites to provide adequate soil volumes for tree roots under pavements, as per ULDR Section 47-21.13. Structural soil details and specifications can be obtained at <http://www.hort.cornell.edu/uhi/outreach/index.htm#soil> . This is to be provided at a minimum of 8' radii of tree trunks, and is to be consistently illustrated and noted on landscape, site and civil plans.

The structural soil drain is required when percolation rates are less than 4" vertical clearance per hour. Provide documentation of report used to prove this calculation. The drain and connections are to be illustrated on civil plans.

- a. Demonstrate hashing on landscape, site and civil plans as to the extent of use of the Structural Soil.
- b. Provide Structural Soil Detail and composition.

There is a product that the Landscape Department will approve the use of in place of Structural soil. With the Structural soil repositioning of the underground utilities is required. A suspension modular paving system product will provide the required root development area for a healthy and vibrant tree, along with their use it will allow the utilities to be in place and not affect their location in conjunction with the tree's root system. Please look into the use of the Green Blue Urban soil cell, Silva cell or like product for this and all future site developments. As with the use of Structural soil a detail of the product and indication of the extent of use to be provided of the soil cell pavement support systems product.

6. Provide, in tabular format, all required versus provided landscape calculations.





7. Turf-grass use is limited up to 50 percent of the landscape area. Please include calculation within site data sheet.
8. Please provide an overlay sheet delineating landscape areas demonstrating that the 35 percent landscape area is being met as to Neighborhood Design Criteria Revisions.
9. The 5 feet pedestrian access easement is to be free of any obstructions. There are landscape materials proposed within area shown to be the 5 feet access easement.
10. Provide street trees in the right of way swale area, as per ULDR 47-21.13.B.16. Street trees are to be a minimum of 12 feet tall and provided at a ratio of one street tree per forty feet of street frontage or greater fraction thereof not subtracting ingress and egress dimensions. When overhead utilities exist, required street trees may be small trees provided at a minimum of a ratio of one street tree per twenty feet frontage or greater fraction thereof not subtracting ingress and egress dimensions.
  - a. There appears to be an underground utility within the swale right of way creating a conflict with required street trees. The true location of this utility is to be demonstrated whereas proposed street tree species type and location may be determined. Please provide the measured distances from edge of street to utility and from utility to edge of sidewalk on Landscape plans.
11. The Department sees the proposed differences in width of the driveway as to the approach apron to be problematic. Please investigate alternative proposal to prevent vehicle encroachment into the landscape area.
12. The Department is requesting that additional space could be provided between the structures to allow the ground cover shrubs and palms along the fence. Also, if the fence is a picket type of fence that vines may be utilize.
13. Please provide written replies to comments.
14. Additional comments may be forthcoming prior to DRC sign off from additional reviews of amended plans.

#### **GENERAL COMMENTS**

The following comments are for informational purposes.

Please consider the following prior to submittal for Building Permit:

1. A separate sub-permit application for Tree Removal, Relocation, and General Landscaping for site is required at time of master permit submittal. These are Landscape and Tree permit application documents different than the Broward County standard applications. Please not at this time of DRC submittal.
2. Proposed landscaping work in the City's right of way requires engineering permit and approval (GLandscape permit). This approval requires documents to be submitted for Engineering Department's review. Note that Landscape will not approve permit review without these Engineering documents being submitted.



3. Provide separate Plumbing sub permit application for irrigation. Irrigation plans are required at time of Building permit submittal. Plans are to be in compliance with ULDR 47-21.6.A.11 and 47-21.10. Note that planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Illustrate hydrozones on planting plan and include calculations in table.



Case Number: UDP-S22010

**CASE COMMENTS:**

Please provide a response to the following:

1. Entry doors should be solid, impact resistant or metal and should be equipped with a 180-degree view peephole.
2. Residential unit entry doors should be equipped with a quality secondary deadbolt locking system and have a 180-degree peephole or view port for security.
3. Sliding glass windows should be equipped with burglary deterrent features such as track blocks, door pins, or similar devices.
4. All glazing should be impact resistant.
5. Units should be pre-wired for an alarm system.
6. A CCTV system should be employed throughout the property with focus on entry/exit points, parking, and common areas. It should be capable of retrieving an identifiable image of a person.
7. Light-reflecting paint should be used in the parking lot to increase visibility and safety.
8. All lighting and landscaping should follow CPTED guidelines.
9. Parking entry should have access control.

**GENERAL COMMENTS**

It is highly recommended that the managing company make arrangement for private security during construction.

Please submit responses in writing prior to DRC sign off.



Case Number: UDP-S22010

**CASE COMMENTS:**

Please provide a response to the following:

1. Solid Waste services shall be provided by the City of Fort Lauderdale.
2. Solid Waste charges shall be included in the City's monthly utility bill – each living unit with a water meter will pay city Sanitation.
3. Service Days shall be per the City's residential routing schedule.
4. Solid Waste collection shall be curbside.
5. Containers shall be stored in garages on non-scheduled collection days.
6. Show garage storage area on the site plan.
7. Submit a Solid Waste Management Plan on your letterhead containing name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
  - o This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to [dwilson@fortlauderdale.gov](mailto:dwilson@fortlauderdale.gov). Letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and container requirements to meet proposed capacity.
  - o Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.

**GENERAL COMMENTS**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. None



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**CASE COMMENTS:**

1. Include a table showing the proposed land uses, the floor area in square feet for each land use, the parking ratio, the number of parking spaces required by type, and the number of parking spaces proposed by type (standard, compact, handicapped, bicycle, loading, etc.). ULDR Sec. 47-20.2. - Parking and loading zone requirements.
2. All parking must be provided in accordance with design and construction standards of the ULDR Section 47-20.11. Show dimensions for: stall width, depth of stall 90 degrees to aisle, aisle width, width of stall parallel to aisle, module width, angle of parking stalls.
3. Illustrate clear sight triangle for the intersections and driveways.
4. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectable warning devices and indicate on the site plan. This includes all access to/from the site entrance. Add the dimension, clearances and slopes of the walkways.
5. Bicycle parking is strongly encouraged. Consult the APBP Bicycle Parking Guidelines, city of Fort Lauderdale Parking Standards and Broward County End-of-Trip Bicycle Facilities Guide. Look to provide the minimum long term and short-term bicycle parking based on requirements in the guide and include total counts on the site plan data sheet. Bicycle parking needs to be located on the site so that it is accessible to the public.
6. Additional comments may be provided upon further review.

**GENERAL COMMENTS**

Please address comments below where applicable.

1. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.
2. Please note that any work within the City's right-of-way will require an MOT approved by Transportation and Mobility and Engineering for permitting. Any full closures of roadways, alleys, or sidewalks that are over 72 hours will require a Revocable License Agreement (RLA) with the City of Fort Lauderdale.

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**CASE COMMENTS:**

Please provide a response to the following:

1. The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a listing of officially-recognized associations is provided on the City's website: <https://www.fortlauderdale.gov/departments/city-manager-s-office/office-of-neighbor-support/neighborhood-associations> and a map of neighborhood associations may be found at: <http://gis.fortlauderdale.gov>). Please provide acknowledgement and/or documentation of any public outreach.
2. The site is designated High Residential on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives, and Policies.
3. Provide a Plat Determination Letter from Broward County Planning Council verifying whether the property needs to be platted or re-platted. If a plat or re-plat is not required, contact the Broward County, Development Management and Environmental Review Section, at (954) 357-8695 to ensure that the proposed project is consistent with the latest recorded plat restriction(s). If a plat note or non-vehicular access line (NVAL) amendment is needed, a separate application is required, which is reviewed administratively and can be found here: [Administrative Review Application](#)
4. Please provide total park impact fee amount due. Park impact fees are assessed and collected at time of permit per each dwelling unit type. An impact fee calculator can be found at: <https://www.fortlauderdale.gov/departments/sustainable-development/building-services/park-impact-fee-calculator>
5. This project is subject to the requirements of Broward County Public School Concurrency. The applicant will notify the School Board Superintendent or designee of this proposal. Prior to submitting an application for placement on a Planning and Zoning Board or City Commission agenda, a written response from the School Board shall be provided by the applicant. Prior to application for final DRC approval, please provide confirmation from the School District that the residential development is exempt or vested from the requirements of public-school concurrency, or a School Capacity Availability Determination (SCAD) letter that confirms that capacity is available, or if capacity is not available, that mitigation requirements have been satisfied. The City cannot accept a building permit application, nor issue a building permit, for new or additional residential units, unless the applicant presents evidence from Broward County that the impact of the proposed development on public educational sites and facilities has been mitigated by payment of school impact fees.
6. Provide updated point-by-point responses to criteria, on letterhead, with date and author indicated to the project's compliance with the following ULDR sections:
  - a. Section 47-18-33, Single Family Dwelling, attached: Townhouses
7. Provide the following changes on the site plan:
  - a. Add required and proposed columns to the site data table;
  - b. Correct information on the site data table as some of the information is not accurate. For example, permitted height is shown as fifty-five (55) feet, proposed units are labeled multi-family, sewer and water provider is labeled as City of Coral Ridge, etc;
  - c. Adjust all plan sheets to reflect correct submittal date. Dates on plan sheets state September 2020;





- d. Pursuant to Section 47-18.33.13, a minimum three (3) foot sidewalk connecting the front entrances with the sidewalk along NW 11th Court is required;
  - e. Provide location of trash and recycle bins on site at time of trash pick-up;
  - f. Provide fence gate details;
  - g. Indicate the location of the fee simple lot lines;
  - h. Provide location of mailboxes or community mailbox; and
  - i. Indicate the location of mechanical equipment if proposed to be at grade on the site.
8. Provide the following changes to the elevations:
- a. Pursuant to Section 47-18.33.B.11, Garages, garages facing the public right of way cannot exceed 50% of the width of each unit. The width shall be measured as the linear dimension of the garage that is visible from the street, such as the garage door. Demonstrate how this is being met;
  - b. Garages shall be set back an additional two (2) feet from the principal facade of the building. Demonstrate how this is being met;
  - c. Provide how the roof will be accessed;
  - d. Label elevations sheets as north, east, south, west; and
  - e. Indicate the location of mechanical equipment if proposed on the roof and provide detail drawings of required mechanical screening per the ULDR.
9. Pursuant to ULDR Section 47-18.33, Single Family Dwelling, attached, Townhouses; a townhouse development shall contain fee simple lot lines for each unit, and a five (5) foot pedestrian access easement along the front, side, and rear property lines of the townhouse development. The fee simple lot lines and five (5) foot easements must be depicted on the site plan and on a separate plan sheet with the easements depicted and shaded in color along with any improvements including landscaping, accessory structures, and equipment (including FPL), identified on the plan. There can be no impediments located within the five (5) foot pedestrian easements. A townhouse development shall also have a recorded maintenance agreement for all common areas and any required guest parking spaces. Applicant shall coordinate with the City Attorney's Office to ensure the proposed lot line and easements are adequate prior to recordation, which may include specific language in the HOA documents or declaration agreement. City Attorney approval and recordation must be completed prior to any request for a Partial Certificate of Occupancy (PCO), Temporary Certificate of Occupancy (TCO), or Certificate of Occupancy (CO). Applicant is advised to start the recordation process as early as possible to avoid any unnecessary delays to the completion of the project. See comments below for any specific conflicts as initially identified by staff as part of this DRC review.
10. Pursuant to Section 47-18.33.B.3, Group Limit, provide the specific percentage of setback that the front façade is recessed from the rest of each townhouse group. A setback of five (5) feet from the rest of the front façade for twenty-five (25) percent of the townhouse group's front façade is required. As proposed, the overall façade lacks articulation and verticality. Improve articulation by incorporating varying stepbacks, material changes, minor wall offsets, height variations, and accent lines. See below for examples.





11. Pursuant to Section 47-18.33.B.5.e, Additional Requirements, any portion of the structure abutting the side yard that exceeds 22 feet in height shall be setback a minimum of 1 foot for each foot of height above 22 feet. There shall be no building elements in the required setback.
12. Pursuant to Section 47-18.33.B.12, Driveways, driveways shall have a minimum separation of eight (8) feet from the adjacent driveway within the same development for the entire length of the driveway. If the installation of structural soil or other mitigating alternative to allow for root development of required trees is achieved, then the 8-foot driveway separation can be reduced to 4.
13. The proposed driveway is 16'-11"; however, the apron is 12'-6", which is an inefficient driveway design and does not allow safe movement of vehicles and creates issue with maintaining landscaping. Reduce the width of the driveway to match the apron and provide the required 3-foot pedestrian walk connecting the entrance with the sidewalk facing NW 11<sup>th</sup> Court separate from the driveway.
14. Pursuant to Section 47-20.2, townhouse use requires 0.25 parking spaces per dwelling unit designated for guest, which would result in 3 guest spaces for this project. The guest parking spaces must be designated as guest spaces within the development site.
15. Provide a colored rendering of the project or colored building elevations.

### **GENERAL COMMENTS**

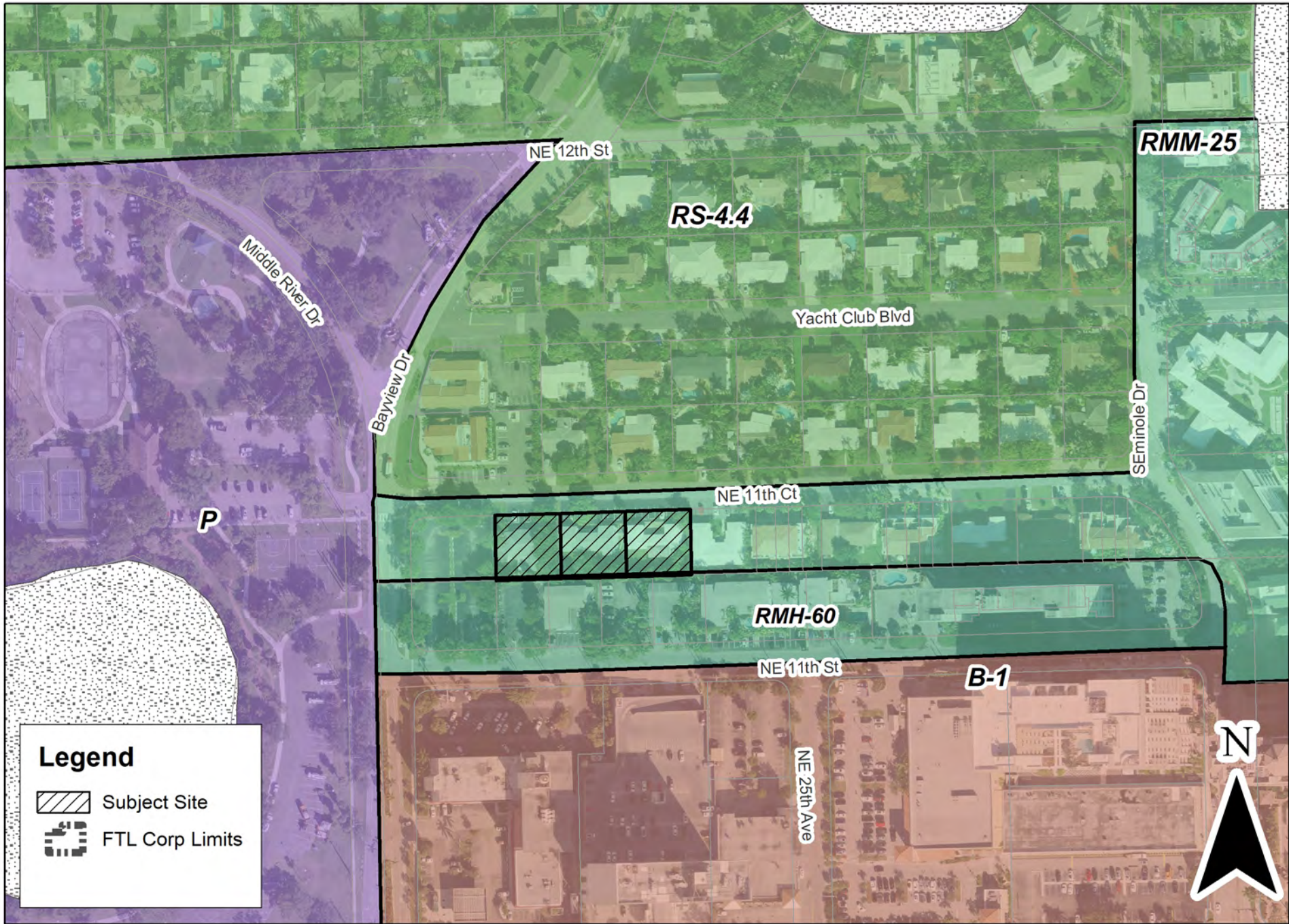
The following comments are for informational purposes.

16. Please be advised that pursuant to State Statute, Section 166.033, that within 120 days of an application being deemed complete, or 180 days for applications requiring a quasi-judicial hearing or public hearing, a municipality is required to render a decision on the application unless an extension of time is mutually agreed upon between the City and the applicant.
17. The City's Vision is to support sustainable infrastructure. Consider employing green building practices throughout the project such as, but not limited to, charging stations, tank-less water heaters, rain collection systems, pervious pavement where appropriate, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs.





18. Consider a green sustainable roof as part of this site plan. Green roofs help to conserve energy, improve air quality and may provide an extra amenity space.
19. If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative. All construction activity must comply with Code of Ordinances, Section 24-11, Construction sites. Contact Noel Zamora, Structural Plans Examiner (954-828-5536) to obtain his signature on the final DRC plans.





**Legend**

-  Subject Site
-  FTL Corp Limits

# UDP-S22010

