



# DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

**MEETING DATE:** May 24, 2022

**PROPERTY OWNER /  
APPLICANT:** M-VII Quay Owner, LLC.

**AGENT:** Robert Lochrie, Lochrie & Chakas, P.A.

**PROJECT NAME:** 17th Street Quay

**CASE NUMBER:** UDP-S22015

**REQUEST:** Site Plan Level III Review: Waterway Use and Conditional Use for Mixed Use Development with Allocation of 358 Residential Flex Units, 12,500 Square-Feet of New Commercial Use, and 72,902 Square-Feet of Existing Commercial Use with an Associated Parking Reduction

**LOCATION:** 1555 SE 17th Street

**ZONING:** Boulevard Business District (B-1)

**LAND USE:** Commercial

**CASE PLANNER:** Adam Schnell



Case Number: UDP-S22015

**CASE COMMENTS:**

Please provide a response to the following:

1. Specify uses and occupancy classification per Chapter 3 of the 2020 FBC.
2. Show provisions for either open or closed interior parking per FBC 406.5 or 406.6.
3. Specify height and area compliance per Chapter 5 of the 2020 FBC.
4. Provide building construction type designation per Chapter 6 of the 2020 FBC.
5. Specify fire-resistance rating requirements based on building separation per Table 601 and 602 of the 2020 FBC.
6. Provide occupancy loads with compliant life safety egress design per Chapter 10 of the 2020 FBC.
7. Indicate code compliant sprinkler system per the 2020 FBC.
8. Designate Fair Housing Provisions per the 2020 FBC Accessibility volume.
9. Show that all exits stairways discharge directly to the exterior of the building leading to the public way FBC 1028. Show that all interior exit stairways terminate at point where an exterior exit door is readily visible and identifiable.
10. Provide accessible route connecting handicap parking spaces to accessible building entrances per FBC Accessibility volume.
11. Specify the Florida Building Code 7th edition on plan for the proposed development [FBC 2020-101.2]

**GENERAL COMMENTS**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. Florida Building Code Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

**Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at;

- a. [https://www.municode.com/library/fl/fort\\_lauderdale/codes/code\\_of\\_ordinances?nodeld=C\\_OOR\\_CH14FLMA](https://www.municode.com/library/fl/fort_lauderdale/codes/code_of_ordinances?nodeld=C_OOR_CH14FLMA)

**Please consider the following prior to submittal for Building Permit:**

1. On December 31<sup>st</sup>, 2020 the 7<sup>th</sup> Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations;
  - a. <http://www.fortlauderdale.gov/departments/sustainable-development/building-services>
  - b. [https://floridabuilding.org/bc/bc\\_default.aspx](https://floridabuilding.org/bc/bc_default.aspx)
  - c. <http://www.broward.org/codeappeals/pages/default.aspx>

**General Guidelines Checklist is available upon request.**



Case Number: UDP-S22015 (1555 SE 17 ST)

**CASE COMMENTS:**

**Prior to Planning and Zoning Board Meeting sign-off, please provide updated plans and written response to the following review comments:**

1. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works - Engineering Department in order to meet the City's adequacy requirements per ULDR Section 47-25.2 of the City's Code of Ordinances. Submit water and wastewater capacity availability request form and documents/ plans at <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services/engineering-permits/development-review-committee-service-demand-calculations-for-water-sewer-request-form>
2. In order to properly design the proposed connections to the City's water and sewer infrastructure, please email PLAN@FORTLAUDERDALE.GOV to obtain copies of the City utility maps. In addition, please be reminded to illustrate the existing City utilities and easements (water, sewer, forcemain, and stormwater utilities) in proposed engineering plans (utility demolition, stormwater pollution prevention plan (SWPPP), and civil plans).
3. Water and sewer
  - a. Confirm that the proposed meter is a private water meter.
4. Provide a current signed and sealed boundary and topographic survey showing all above ground improvements, utilities, rights of way dimensions and all easements. This survey shall be based on a recent Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar.
5. Provide copy of Pre-application meeting memorandum with FDOT.
6. Provide disposition of existing utilities on-site and within the adjacent right of way that maybe impacted by the proposed development. Label information on plans (i.e. utility to remain/ be relocated/ removed). Provide correspondence from utility owner (as applicable) and depict any additional requirements they may have on plan (i.e. easements). Utilities include but are not limited to above and underground water, sewer, drainage, electrical, communications, light/power poles, down guys, fire hydrants, manholes, etc.
7. Depict/ label existing/ proposed stop sign/ bar on right of way adjacent to the site and on driveway connections to right of way as applicable.
8. For all levels in the **parking garage**:
  - a. Show and label total number of parking stalls, dimension areas including drive aisle widths, vertical clearances, typical parking stall width/depth, as well as sloping floor and ramp grades.
  - b. Per ULDR Section 47-20.9.A, parking garage sloping floor grades shall not exceed 5% and 4%, adjacent to 90-degree and 60-degree angle parking stalls, respectively; angle parking on sloping floors shall be minimum 60 degrees. Ramp grades shall have 12% maximum slope where not adjacent to parking stalls.
  - c. Per ULDR Section 47-20.10.A, tandem parking shall only be allowed in connection with single family, duplex and townhouse dwelling units (and valet parking per ULDR Section 47-20.16).



- Clarify whether the valet parking will be provided or not. Depict information on site plan data table/ plans accordingly.
- d. Discuss if valet parking area will be separated from general parking area with gates and depict on plans accordingly.
  - e. The minimum depth parking stall shall be 18'-0".
9. Depict proposed building doors and provide sufficient grades/details on conceptual paving, grading and drainage plans to verify ADA accessibility design for the site, especially ground floor access to the new building, as well as crossing proposed driveways and connecting to existing sidewalks (at intersections and with adjacent property) as appropriate; coordinate proposed site grading and 1<sup>st</sup> Level Finished Floor Elevations to meet ADA accessibility requirements.
    - a. Provide sufficient existing and proposed grades and information on conceptual Paving, Grading, and Drainage Plan and details to demonstrate how stormwater runoff will remain onsite ((include typical cross-sections along all property lines as appropriate), and how the proposed project improvements (i.e. on-street parking, sidewalks, etc.) will not adversely impact the adjacent Right-of-Way, properties and waterways
  10. Provide storm runoff calculations, signed and sealed by a Florida registered professional engineer, which demonstrate how minimum criteria regarding adjacent street crown, water quality and finished floor elevations are met, as well as how the 25-year, 3-day and the 100-year, 3-day storm events are maintained on site with zero discharge to Right-of-Way and adjacent properties (Pre vs. Post analysis will only be allowed in areas that are not flood-prone). Please also comply with the City of Fort Lauderdale Comprehensive Plan (Ordinance C-08-18), Objective 4.1 under Infrastructure Elements, and be advised that effective 7/1/2017, all projects must comply with the Broward County 'Future Conditions Average Wet Season Groundwater Level' map.
  11. Please provide reasonable assurances that the drainage system (including exfiltration trenches and catch basins) located beneath the parking garage structure will be able to be effectively operated and maintained. Please provide at a minimum:
    - a. Detailed information regarding the structural design of the parking garage and provide a certified geotechnical and structural engineering analysis to demonstrate that the proposed storage system will not undermine the structural components of the garage.
    - b. Design plans of the parking garage demonstrating that the structures are accessible by equipment required to maintain the system.
    - c. A detailed plan of how the system will be replaced in the event of failure.
  12. Proposed trees shall be installed a min. 4 feet behind proposed curbs when adjacent to travel lanes and a min. 6 feet away from adjacent travel lanes when no curb is present. Provide dimensions on sheet L-1.
  13. For Engineering General Advisory DRC Information, please visit our website at <https://www.fortlauderdale.gov/home/showdocument?id=30249>
  14. Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.
  15. Advisory: If dewatering activities are anticipated, a notarized City dewatering affidavit shall be filed at City's building department when submitting a demolition or foundation permit along with any applicable dewatering permit form regulatory agencies such as the South Florida Water Management District or Broward County Department of Environmental Protection.



Case Number: UDP-S22015

**CASE COMMENTS:**

Please provide a response to the following:

1. Please provide a fire command room that is on the street side access of the bldg. The FCC must have a door leading directly to the outside. FFPC 11.9.1

**GENERAL COMMENTS**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. None



Case Number: UDP-S22015

**CASE COMMENTS:**

Please provide a response to the following:

1. Elevation of structure and details not provided. Minimum FFE of 6 ft NAVD required.

REPOSNE: The elevation of the proposed building (BLDG 'F') will be set at (+7.0NAVD).

2. When plans are submitted, provide site plan delineating flood zones and display footprint of structure. Structure may lie outside of Special Flood Hazard Area (Effective Map).

REPOSNE: Flood zones are presented on the survey and noted on the Site Plan.

Response to comments

Survey does not display footprint of proposed building, because this information is not provided, I will review structure as if it lies in a Special Flood Hazard Area.

If you wish to use the Preliminary Flood Data (AE 7) the minimum FFE of the structure would be 8 ft, not 7. If you use the 2014 effective map (AE 5) your FFE of 7.0 ft NAVD is sufficient but you must update your Flood information in the Flood Data section of your Site Plan.

**GENERAL COMMENTS**

The following comments are for informational purposes.

1. Additional comments may follow pending submittal of complete plan set.

Case Number: UDP-S22015

**CASE COMMENTS:**

Please provide a response to the following.

1. Tree preservation requirements apply, please investigate saving trees and palms by relocation those that are good candidates.
2. For specimen size trees, provide ISA Certified Arborist report for specimen trees, as per ULDR 47-21.15. This report is to be on ISA Certified Arborist business letterhead with contact information and ISA Certification number clearly stated. This report would include tree survey with numbered trees, a corresponding table which includes tree number, botanical name and common name, trunk diameter at breast height, clear trunk for palms, condition percentage, etc.; and a written assessment of existing tree characteristics. This information is required to calculate equivalent value mitigation.
3. Provide tree protection barricade detail for existing trees on site to remain, as per ULDR 47-21.15. This barricade must be installed prior to the beginning of proposed work, and a landscape job-check inspection may be scheduled. <http://www.fortlauderdale.gov/home/showdocument?id=6386> is a link to the city web page to assist you.
  - a. Trees and palms within and adjacent to the area of scope of work.
4. Please have a certified ISA Arborist provide the information as to the existing trees and palms including the condition ratings that will be required for mitigation purposes.
  - a. Please also correct mitigation for Royal palm and Phoenix palms. Palms installed toward mitigation of Coconut palm, Royal palm, and Large Phoenix palm would be in like palm not any random palm species.
5. Please show proposed underground utilities on Landscape plan. There appears to be possible conflicts with proposed and existing to remain trees.
6. Please shift the sidewalk along SE 17<sup>th</sup> Street as to providing landscape strip and streetscape materials between the pedestrian and vehicle traffic area.
7. The areas of the proposed outdoor dining tables are very exposed to heat and sun, please provide elements of shade such as with tree canopy within these areas.
8. East side of the site area of the proposed Phoenix palms shade for the pedestrian will be limited. Please investigate the use of shade trees strategically placed in conjunction with the palms to provide shade relief in this vast open area.
9. The two Mahogany trees to remain in place #85 and #86, please demonstrate if there is to be a change of grade and how it pertains to the two existing trees to remain as is.
10. Please provide a maintenance plan for the rest of the site, such as for replacement trees within open tree islands, shrubs, and ground covers.



11. As per Section 47-21.9.G.1. Each tree shall have pervious area surrounding it sufficient to support the species, as determined by the department. Shade species with a minimum caliper of three (3) inches, two hundred and twenty-five (225) square feet with fifteen (15) feet being the smallest dimension.
  - a. For planting areas less than the minimum size, under the adjacent pavement will require structural soil or a product such as a soil cell system engineered for root growth under paved areas to provide this root development area.
12. The use of structural soil is required in paved sites to provide adequate soil volumes for tree roots under pavements, as per ULDR Section 47-21.13. Structural soil details and specifications can be obtained at <http://www.hort.cornell.edu/uhi/outreach/index.htm#soil> This is to be provided at a minimum of 8' radii of tree trunks, and is to be consistently illustrated and noted on landscape, site and civil plans.

The structural soil drain is required when percolation rates are less than 4" vertical clearance per hour. Provide documentation of report used to prove this calculation. The drain and connections are to be illustrated on civil plans.

- a. Demonstrate hashing on landscape, site and civil plans as to the extent of use of the Structural Soil.
- b. Provide Structural Soil Detail and composition.  
There is a product that the Landscape Department will approve the use of in place of Structural soil. With the Structural soil repositioning of the underground utilities is required. A suspension modular paving system product will provide the required root development area for a healthy and vibrant tree, along with their use it will allow the utilities to be in place and not affect their location in conjunction with the tree's root system. Please look into the use of the Green Blue Urban soil cell, Silva cell or like product for this and all future site developments. As with the use of Structural soil a detail of the product and indication of the extent of use to be provided of the soil cell pavement support systems product.

### GENERAL COMMENTS

The following comments are for informational purposes.

Please consider the following prior to submittal for Building Permit:

1. A separate sub-permit application for Tree Removal, Relocation, and General Landscaping for site is required at time of master permit submittal. These are Landscape and Tree permit application documents different than the Broward County standard applications. Please not at this time of DRC submittal.
2. Provide separate Plumbing sub permit application for irrigation. Irrigation plans are required at time of Building permit submittal. Plans are to be in compliance with ULDR 47-21.6.A.11 and 47-21.10. Note that planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Illustrate hydrozones on planting plan and include calculations in table.





**Case Number:** UDP-S22015

**CASE COMMENTS:**

Please provide a response to the following:

1. Entry doors should be solid, impact resistant or metal and should be equipped with a 180 degree view peephole.
2. Residential unit entry doors should be equipped with a quality secondary deadbolt locking system and have a 180 degree peephole or view port for security.
3. Sliding glass windows should be equipped with burglary deterrent features such as track blocks, door pins, or similar devices.
4. All glazing should be impact resistant.
5. Units should be pre-wired for an alarm system.
6. Lighting and landscaping should follow CPTED guidelines.
7. Stairs should be egress-only at the ground level to avoid unauthorized intrusion.
8. A CCTV system should be employed throughout the property with focus on entry/exit points, elevators, parking garage, hallways and common areas. It should be capable of retrieving an identifiable image of a person.
9. Emergency communication devices should be placed in the parking garage and common areas. These should be easily identifiable and accessible.
10. Light reflecting paint should be used in parking garage to increase visibility and safety.
11. All restricted areas and resident only areas should be access controlled and labelled as such.
12. Elevators should be access controlled and labelled as such, to indicate resident only access versus public access.
13. Parking garage should have access control separating private residential parking from public access parking.
14. Office and storefront doors and common area doors should be lockable from the inside to provide safe shelter in the case of an active threat such as an active killer event.

**GENERAL COMMENTS**

It is highly recommended that the managing company make arrangements for private security during construction.

Please submit responses in writing prior to DRC sign off.



Case Number: UDP-S22015

**CASE COMMENTS:**

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your business creates, and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
4. Service Days shall be: No restriction for Commercial collection. Service may not occur earlier than 7:00 am or later than 7:00 pm within 250 feet of residential.
5. Solid Waste charges shall be included in monthly maintenance fee as prescribed in owner's association documents (multi-family).
6. Solid waste collection shall be from a private loading area.
7. Solid Waste Collection shall be on private property container shall not be placed, stored, or block the public street to perform service (large multifamily and commercial parcels).
8. Confirm where the collection will take place within the site.
9. Provide on the site plan a garbage truck turning radii for City review. Indicate how truck will circulate within property.
10. Trash Room services will be handled by private collector, or Trash Room services will be done by on site personnel, or Trash Room services will be done by custodial staff.
11. Provide letter from chute company indicating make and model of proposed equipment and that it will meet the capacity needs of building.
12. Containers: must comply with 47-19.4
13. Submit a Solid Waste Management Plan on your letterhead containing name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
  - o This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to [dwilson@fortlauderdale.gov](mailto:dwilson@fortlauderdale.gov). Letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and container requirements to meet proposed capacity.
  - o Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.

**GENERAL COMMENTS**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. None



Case Number: UDP-S22015

**CASE COMMENTS:**

1. Submit a traffic impact statement and coordinate with the Transportation and Mobility Department regarding traffic calming and a traffic impact study if needed. A traffic study is needed Pursuant to 47-25.2.M.4. Applicant must fund City's review by consultant and pay a \$4,000 deposit prior to scheduling a methodology meeting after which the study will be prepared, transmitted and reviewed by the City's consultant. Staff and consultant's review concerns shall be adequately resolved prior to gaining authorization for either the Planning & Zoning Board or City Commission hearings. Take into consideration that the review of this study, once submitted, will take about 4-6 weeks once all documents are received.
2. Show inbound and outbound stacking requirements from the property line to the first conflict point according to Section 47-20.5 General design of parking facilities for the driveway.
3. Include a table showing the proposed land uses, the floor area in square feet for each land use, the parking ratio, the number of parking spaces required by type, and the number of parking spaces proposed by type (standard, compact, handicapped, bicycle, loading, etc.). ULDR Sec. 47-20.2. - Parking and loading zone requirements.
4. All parking must be provided in accordance with design and construction standards of the ULDR Section 47-20.11. Show dimensions for: stall width, depth of stall 90 degrees to aisle, aisle width, width of stall parallel to aisle, module width, angle of parking stalls.
5. Provide FDOT Pre Application Letter.
6. Tandem parking spaces (one car behind another, so that one car must be moved before the other can be accessed) may be allowed for condominium and multi-family residential uses only under the following conditions, which must be included as a note on the site plan:
  - a. The spaces must be reserved and assigned to dwelling units which are required to have two or more parking spaces per unit (i.e., units with two or more bedrooms).
  - b. At least one of the spaces must be located within an enclosed garage, in order to avoid visual clutter.
  - c. Both spaces must be standard size; no compact or handicapped accessible tandem spaces are permitted.
7. If the conditions in the previous comment cannot be met, a valet operation will be required for the tandem parking stalls.
8. Illustrate the upstream and downstream driveway and intersection sight triangle requirements depicted in:

Table 212.11.2 Parking Restrictions for Driveways and Intersections of the FDOT FDM.  
<https://fdotwww.blob.core.windows.net/sitefinity/docs/default-source/roadway/fdm/2021/2021fdm212intersections.pdf?>
9. All internal circulation and queuing areas must be designed to accommodate the turning radii of the vehicles that will be using the site. Provide auto turn vehicular paths to depict how the ground floor site circulation will work.



10. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectable warning devices and indicate on the site plan. This includes all access to/from the site entrance. Add the dimension, clearances and slopes of the walkways.
11. Bicycle parking is strongly encouraged. Consult the APBP Bicycle Parking Guidelines, city of Fort Lauderdale Parking Standards and Broward County End-of-Trip Bicycle Facilities Guide. Look to provide the minimum long term and short-term bicycle parking based on requirements in the guide and include total counts on the site plan data sheet. Bicycle parking needs to be located on the site so that it is accessible to the public.
12. Additional comments may be provided upon further review.

#### **GENERAL COMMENTS**

Please address comments below where applicable.

1. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.
2. Please note that any work within the City's right-of-way will require an MOT approved by Transportation and Mobility and Engineering for permitting. Any full closures of roadways, alleys, or sidewalks that are over 72 hours will require a Revocable License Agreement (RLA) with the City of Fort Lauderdale.



Case Number: UDP-S22015

**CASE COMMENTS:**

Please provide a response to the following:

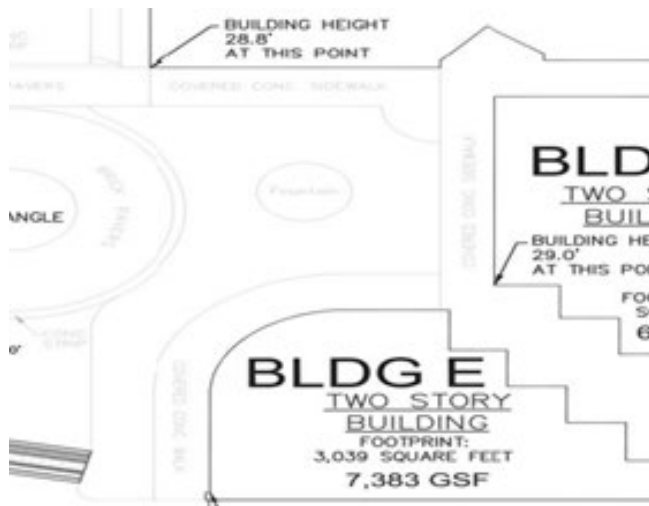
- 1) The site is designated Commercial on the City's Future Land Use Map. The proposed use is permitted in the designation of Commercial through the allocation of Residential Flex Acreage. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
- 2) Pursuant to ULDR Section 47-28, the proposed project requires allocation of Residential Flex Acreage. Contact Jim Hetzel, Principal Urban Planner at [jhetzel@fortlauderdale.gov](mailto:jhetzel@fortlauderdale.gov) to verify the availability of flex units and include the flex unit request in the application project narratives. Demonstrate that the use of flexibility units meets ULDR criteria, supports and implements specific relevant goals, objectives and policies of the City's Comprehensive Plan, Land Use Element, by providing point-by-point narrative responses, on letterhead, with date and author indicated.
- 3) Provide a Plat Determination Letter from Broward County Planning Council verifying whether the property needs to be platted or re-platted. If a plat or re-plat is not required, contact the Broward County, Development Management and Environmental Review Section, at (954) 357-8695 to ensure that the proposed project is consistent with the latest recorded plat restriction(s). If a plat note or non-vehicular access line (NVAL) amendment is needed, a separate application is required, which is reviewed administratively.
- 4) The proposed project requires review and approval by the Planning and Zoning Board (PZB). A separate application and fee are required for PZB submittal, and the applicant is responsible for all public notice requirements pursuant to Section 47-27. In addition, the development permit shall not take effect nor shall a building permit be issued until thirty (30) days after approval, and then only if no motion is adopted by the City Commission seeking to review the application.
- 5) Pursuant to Public Participation requirements of Unified Land Development Regulations (ULDR), Sections 47-24.1.F.14 and 47-27.4.A.2.c, the applicant must complete the following:
  - a. Prior to submittal of an application to the Planning and Zoning Board (PZB), the applicant shall:
    1. Provide notice via e-mail and regular mail to the official city-recognized civic organization(s) within 300 feet of the proposed project, notifying of the date, time and place of applicant's project presentation meeting to take place prior to the PZB meeting (a listing of officially-recognized neighborhood associations is provided on the City of Fort Lauderdale website: <http://www.fortlauderdale.gov/neighbors/civic-associations>); and,
    2. Provide notice via mailed letter to property owners whose real property is located within 300 feet of the proposed project, notifying of the date, time and place of applicant's project presentation meeting to take place prior to the PZB meeting.
  - b. The applicant shall conduct the public participation meeting(s) a minimum of 30 days prior to the PZB. This date and location of the meeting are at the discretion of the applicant. Once the meeting(s) is conducted, the applicant shall provide a written report letter to the Department of Sustainable Development, with copy to subject association(s), documenting the date(s), time(s), location(s), number of participants, presentation material and general summary of the discussion after a public participation meeting(s). The report letter shall summarize the substance of comments expressed during the process and shall be made a part of the administrative case file record. A minimum of ten (10) days prior to the PZB meeting, the applicant shall execute and submit an affidavit of proof of public notice to the Department.

- 6) In regard to physical, communication, and radar obstructions, the FAA requires a review for interference by the proposed construction. Provide a letter from the FAA indicating that such review has been performed. FAA approval must be obtained prior to Pre-PZ Signoff, unless otherwise deemed unnecessary by the City Airport Manager or designee.
- 7) Obtain a Water and Sewer Capacity Letter from the City of Fort Lauderdale Public Works Department.
- 8) Pursuant to ULDR, Section 47-20.3.A.8, Parking reduction and exemption, applicant shall execute a parking reduction order indicating the number of parking spaces required and provided, a legal description of the property, and any conditions of approval related to the parking reduction. The parking reduction order shall be recorded in the public records of Broward County and filed with the department by the applicant. The Case planner will provide more information at the time of Final DRC.
- 9) Indicate the project's compliance with the following ULDR sections by providing a point-by-point narrative response, on letterhead, with date and author indicated.
  - a. Section 47-20.3.A.5, Parking Reduction and Exemption Criteria
- 10) Need a separate survey measuring to the Centerline of the ROW. The net acreage of the site is 6.97 acres, but the narrative uses 7.55 gross acres to calculate units per acre. Update the Site Plan data table Sheet No.-C0, to include the gross acreage calculation.
- 11) Clarify that the outdoor dining area will be limited to 800 s.f., per the site data table on Sheet No.-C0. The site plans show a larger square footage being used for outdoor dining.
- 12) Tandem parking spaces must be dedicated to a specific residential unit. Work with Transportation and Mobility to execute any agreements, documents, or conditions that would be required.
- 13) Provide the following changes on the site plans:
  - a. Reduce line weight of the "Limit of Work" boundary line, Sheet No.-C0, and enlarge the limit of work boundary to encompass all applicable drives that serve the proposed building and include the right-of-way (ROW) along the frontage of the proposed building.
  - b. Increase the line weight of the building overhang on the Site Plan, Sheet No.-C0.
  - c. The Site Plan needs to encompass improvements along S.E. 17th Street within the "Limit of Work". Increase line weight of the existing sidewalk, measurements, and landscape median/ swale.
  - d. Remove the FDOT Site Triangle on the Site Plan, Sheet No. - C0 and place on the Landscape Plan, Ground Level, Sheet L-1.
  - e. Remove parking space numbers (three and four) that are located on the west frontage of the building and located over the walkway, which do not relate to any parking spaces, Sheet No. -C0.
  - f. Per Section 47-18.21.J- Mixed Use Development, a seven-foot wide unobstructed sidewalk is required along the frontage of S.E. 17<sup>th</sup> Street. Any portion of the seven-foot sidewalk on private property requires a sidewalk easement. Update the plans to reflect the seven-foot sidewalk along S.E. 17<sup>th</sup> Street and associated easements.
  - g. The areas currently designated as plazas on the east, west, and north frontages function as pedestrian thoroughfares. Update Sheet No. X4, Open Space Exhibit and the Site Plan data table on Sheet No. -C0, to reduce the square footage provided for public pedestrian plaza space. Sidewalks cannot be considered plazas. Plazas are open aired and semi-enclosed gathering spaces that function as a centralized hub, providing a connective focal point for pedestrian activity and land uses. It is highly encouraged to reconfigure the east and west frontages to include plaza spaces that create a unique identity and connect existing and proposed uses through functional plazas which will help integrate the different uses.



An existing example of a plaza is located on the northwest corner of the site, between Buildings B, D, and E, offering a focal point of connectivity between three separate buildings, with a high arched arcade that provides shading and design elements. Moreover, the arcade connects to a passthrough to the rear waterway and functions as a terminus for Building A and C, based on sites 90-degree configuration. It is highly encouraged to redesign the areas currently labeled "plaza".

Example: Existing Onsite Conditions



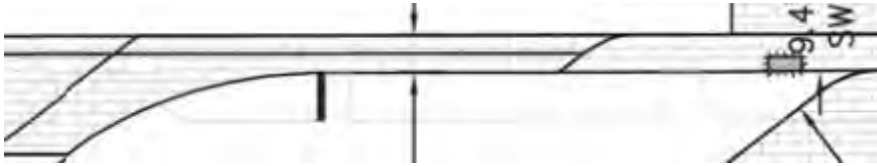


Example: West Palm Beach, City Place

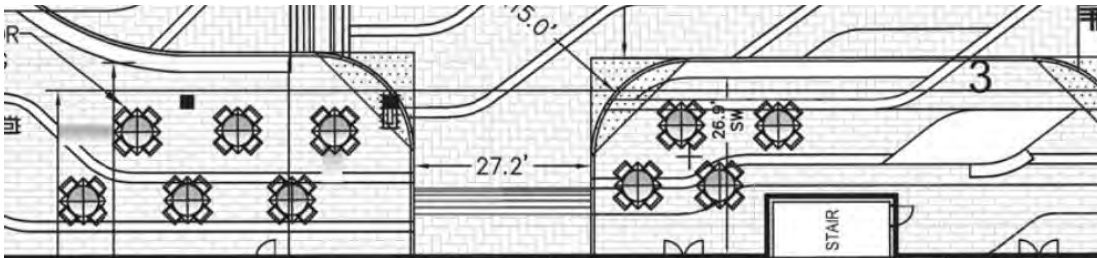


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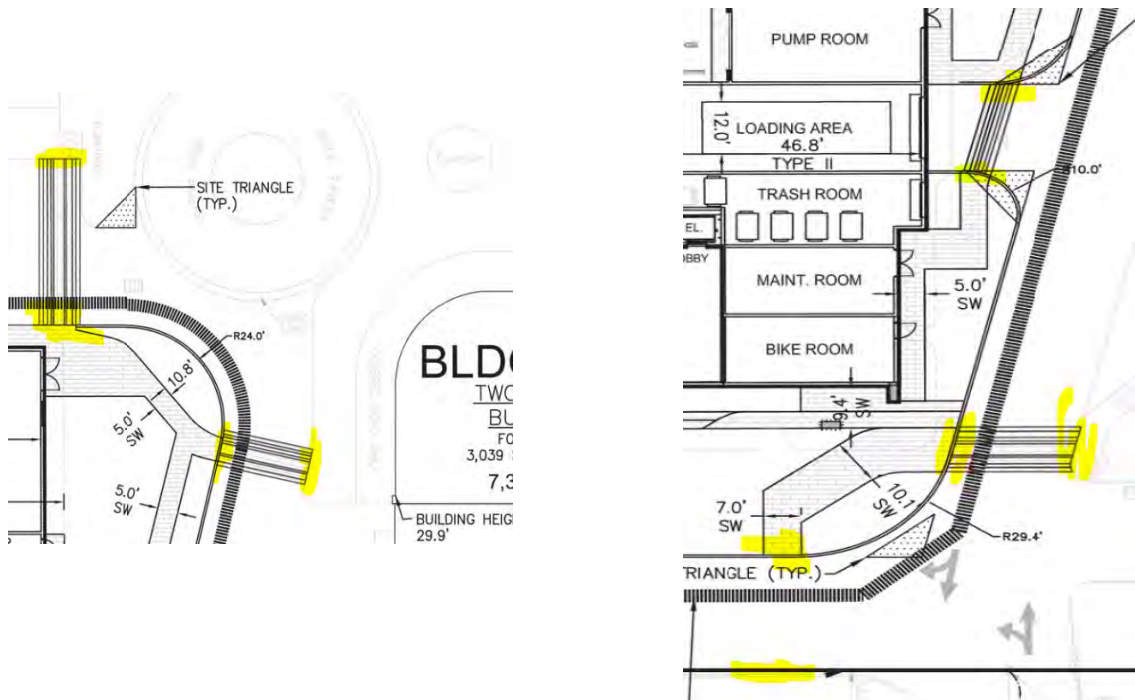




- 4. Consider reconfiguring or redesigning the outdoor seating area located on the south east corner of the building to create a pedestrian clear pathway on the sidewalk. Additionally, provide curb cuts for sidewalk accessibility along the loading zone driveway and parking garage entrance.



- i. Provide curb cuts on interior sidewalk crossings for ADA access. Incorporate a cross walk on the northeast corner. Work with the abutting property owner of 1617 SE 17<sup>th</sup> Street to provide curb cut to their existing sidewalk for pedestrian safety.

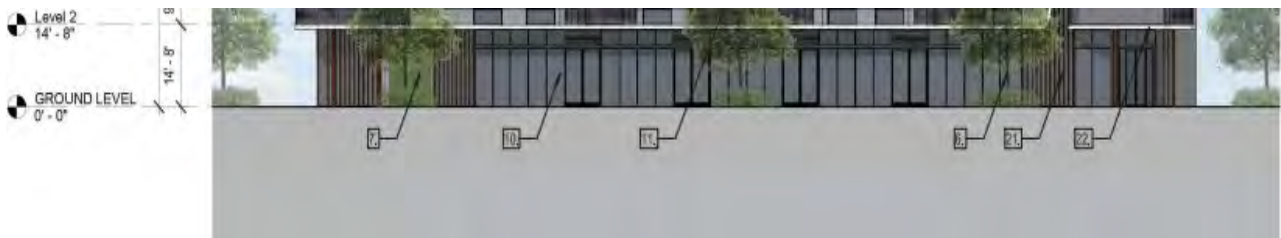




- j. Pursuant to ULDR Section 47-25.3.A.3.b.iii, Neighborhood Compatibility Requirements; all rooftop mechanical equipment, stair and elevator towers shall be designed as an integral part of the building volume and shall be screened with material that matches the material used for the principal structure and shall be at least six (6) inches high above the topmost surface of the roof mounted structures. Provide the following:
1. Roof plan indicating the location of all mechanical equipment with spot elevations of the parapet wall and roof as well as mechanical equipment to verify adequate screening;
2. Identify the location of equipment on building elevations by outlining the equipment with dash lines;
3. Provide screening product material including images or pictures of actual application of such; and,
4. Indicate all mechanical equipment within the subject site on the site plan and elevations where applicable.
k. Provide legible photometric plan for the entire site. Extend values on photometric plans to all property lines. Show values pursuant to the Unified and Land Development Regulations ("ULDR"), Section 47-25.3.A.3.and 47-20.14. Indicate lighting poles on site plan and landscape plan and provide detail with dimensions. Be aware that if lighting fixtures greater than ten (10) feet in height are used, they shall be located a minimum of fifteen (15) feet away from shade trees (Section 47-20.14).
l. Remove the word "DRAFT" from the Landscape Plan sheets.

14) Provide the following changes on elevations:

- a. The ground level of the building frames the public realm and assists in creating an animated built environment. The base of the building should also support the scale and massing of the structure. Based on the height and scale of the structure, increase the first floor to align with the size and massing of the building along N.E. 17th Street, wrapping the height and associated features around the corners of the structure to align with the sightlines from the right-of-way.



- b. Corners are prominent focal points, aiding to the structure's interaction with the built environment. The southwest and southeast corners require more prominent features that aid in creating building identity. Both Comment 14.a and 14.b, are interrelated and should be handled as one unified issue needing to be addressed.





- c. Provide street sections along S.E. 17th Street.
d. Provide context elevations (north/south and east/west) indicating proposed project and nearby properties...
e. It is encouraged to activate the first floor of the north frontage by internalizing back of house activities...



- f. Minimize the faux parking garage green screening. Historical experience with faux green walls has led to concerns of material quality and rapid degradation...

Provide material examples of the faux green material on the plans.

- g. Rendering 5, Sheet- A-0.07, shows the exposed rooftop garage with a vegetated trellis system...
h. Show setback dimensions from the property lines on the elevation pages.
i. Per Section 47-25.3.A.3.b and 47-25.3.A.3.e, Neighborhood compatibility requirements and Section 47-25.3.A.3.b...
1. At 183 feet in width and 150 feet in height, the south and north towers do not provide building breaks...
2. The building's towers lack roofline articulation...
3. Provide horizontal articulation through the use of projection and recession...
4. Consider a building break in each of the towers...
5. Additional conversations are required to be held with staff on the form and massing for the towers.



- j. Provide material image examples on the elevation sheets.
- 15) It is encouraged to submit a master sign plan detailing the following:
- Location and orientation of all proposed signage;
  - Dimensions of each proposed sign (height, width, depth, etc.);
  - Proposed sign copy; and,
  - Proposed color and materials

Please note any proposed signs will require a separate permit application.

- 16) The City's Vision is to support sustainable infrastructure. Consider employing green building practices throughout the project such as, but not limited to; charging stations, tank-less water heaters, rain collection systems, pervious pavement where appropriate, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs.

### **GENERAL COMMENTS**


- 17) Please note any proposed signs will require a separate permit application.
- 18) If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.
- 19) Please be advised that pursuant to State Statute, Section 166.033, that within 120 days of an application being deemed complete, or 180 days for applications requiring a quasi-judicial hearing or public hearing, a municipality is required to render a decision on the application unless an extension of time is mutually agreed upon between the City and the applicant.
- 20) An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Pre-PZ and/or Final DRC sign-off, please schedule an appointment with the project planner (call 954-828-4798) to review project revisions and/or to obtain a signature routing stamp. Please note applicant is responsible for obtaining signatures from all discipline members that had comments and may need to resolve comments through individual appointments if necessary.

RMM-25

B-1



**LEGEND**

 Subject Site

UDP-S22015 - 17th Street Quay

