



# DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

**MEETING DATE:** October 25, 2022

**PROPERTY OWNER /  
APPLICANT:** Federal 627 N, LLC

**AGENT:** John Barranco, Barranco Architecture

**PROJECT NAME:** The Whole Enchilada Restaurant

**CASE NUMBER:** UDP-S22050

**REQUEST:** Site Plan Level II Review: 1,834 Square Foot Restaurant  
Use with Drive-Thru Facility

**LOCATION:** 2400 S Andrews Avenue

**ZONING:** Heavy Commercial/Light Industrial Business (B-3)

**LAND USE:** Commercial

**CASE PLANNER:** Tyler Laforme



Case Number: UDP-S22050

**CASE COMMENTS:**

Please provide a response to the following:

1. Specify uses and occupancy classification per Chapter 3 of the FBC
2. Provide building construction type designation per Chapter 6 of the FBC
3. Provide occupancy loads with compliant life safety egress design per Chapter 10 of the FBC
4. Indicate code compliant sprinkler system per Section 903 of the 2020 FBC
5. Dimension accessibility requirements to site per FBC Accessibility Code
6. Reference the Florida Building Code 7th edition on plan for the proposed development [FBC 2020-101.2]

**GENERAL COMMENTS**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. FBC Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

**Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at;

- a. [https://library.municode.com/fl/fort\\_lauderdale/codes/code\\_of\\_ordinances?nodeId=COOR\\_CH14FLMA](https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA)

**Please consider the following prior to submittal for Building Permit:**

1. On December 31st, 2020 the 7th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations:
  - b. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services>
  - c. [https://floridabuilding.org/bc/bc\\_default.aspx](https://floridabuilding.org/bc/bc_default.aspx)
  - d. <http://www.broward.org/codeappeals/pages/default.aspx>

**General Guidelines Checklist is available upon request.**



Case Number: UDP-S22050

**CASE COMMENTS:**

Prior to final DRC sign-off, please provide updated plans and written response to the following review comments:

1. Provide copy of Florida Department of Transportation (FDOT) Pre-application meeting memorandum or approval letter as applicable for the proposed improvements along South Atlantic Boulevard. For meeting request or for additional information please contact FDOT District 4 Access Manager at [D4AccessManagement@dot.state.fl.us](mailto:D4AccessManagement@dot.state.fl.us)
2. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If the adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
  - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Submit water and wastewater capacity availability request form and documents/ plans at <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services/engineering-permits/development-review-committee-service-demand-calculations-for-water-sewer-request-form>
3. Clearly indicate on plans how the proposed improvements will transition into the existing (on-site and off-site) as applicable. Existing curb and gutter and sidewalk shall be modified to eliminate existing driveway approach on Marina Blvd.
4. Plans shall show disposition of existing catch basins inside private property.
5. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges), alleys with alleys (15' measured from intersection point of extended property lines), alleys with streets (15' measured from intersection point of extended property lines), and streets with streets (25' measured from intersection point of extended property lines). The request for reduction of sight triangle dimensions is subject to review by the City Engineer on a case-by-case basis. Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in [ULDR Section 47-35](#). Ensure sight triangles are also depicted on adjacent driveways that would be impacted by proposed improvements on this project. Sight triangles located at the intersection of a local street or driveway with a right-of-way under County, State or Federal jurisdictions, are subject to the sight visibility requirements of those jurisdictions. Provide and label FDOT sight triangle (per the most current FDOT Design Standards) on the Site Plan, Landscape Plan, and Civil Plans.
6. Building Elevations: Please label sections on sheet C-2. Clearly indicate property lines location on the sections. Stormwater shall be retained inside private property.
7. Label on Site Plan Data Table the required and proposed type of loading zone(s) required, per ULDR Section 47-20.2 Table 2 and Section 47-20.6.



8. Please provide a separate marking, striping and signage plan. Be sure to provide parking layout and demonstrating how will site development support the following narrative statement,

“We are proposing 8 parking spaces on site and 11 off site to meet the city parking requirement.”

9. Depict/ label existing/ proposed stop sign/ bar on right of way adjacent to the site and on driveway connections to right of way as applicable. Provide a “Do not enter” sign at driveway on S Andrews Ave closest to the intersection.
10. Show truck turning movements in and out the proposed dumpster enclosure as applicable. Be advised, should the dumpster enclosures require grease traps, oil / sand separators, and drains connecting to sanitary sewer per ULDR Section 47-19.4.D.7, the system will need to be elevated to meet Broward County 100 years flood map.
11. Provide Water and Sewer Plan that demonstrates existing connections to City infrastructure, including limits of any existing City water main and/or sanitary sewer infrastructure to be removed and/or modified, and location of all existing utilities in vicinity of the proposed improvements (that may be in conflict).
12. Per ULDR Sec. 47-20.13.D - On-site stormwater retention shall be provided in accordance with the requirements of the regulatory authority with jurisdiction over stormwater management System. Therefore, please provide drainage calculation showing proposed design will meet applicable South Florida Water Management District design criteria.

For Engineering General Advisory DRC Information, please visit our website at <https://www.fortlauderdale.gov/home/showdocument?id=30249>

Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.



Case Number: UDP-S22050

**CASE COMMENTS:**

Please provide a response to the following:

1. 2014 Existing Map AH-8.
2. Finished floor elevation for the existing structure is 8.70 ft NAVD. Depending on cost of renovating this structure, your project may become a Substantial Improvement at which time structure must be brought into compliance with Chapter 14 of the Code of Ordinance and the Florida Building Code.

**GENERAL COMMENTS**

The following comments are for informational purposes.

1. 2019 Preliminary Flood Zone to remain at AH-8.
2. For further information regarding substantial improvements, please refer to the FEMA Substantial Improvement / Substantial Damage Desk Reference



Case Number: UDP-S22050

**CASE COMMENTS:**

Please provide a response to the following.

1. Northwest corner there is a proposed Cathedral Oak, please provide lateral clearance from the overhead utilities, the Department would support 20 feet clearance.
2. Southwest corner is a proposed Cathedral Oak under the canopy of an existing Black Olive tree. Please propose understory trees in this location that may count towards the street tree requirement.
3. Center perimeter landscape area along the west side of the site, please shift the light fixture to a different location in order to have a shade tree street tree in this location.
4. Shade trees 6-5 feet from the public realm of the sidewalk, please provide root-barriers along the tree edge of the sidewalk. Shade trees less than 5 feet from the edge of the sidewalk will require Structural Soil or Soil cell product for root development under pave areas. Please show the measured distance between edge of sidewalk to trunk of tree.
5. Site is subject to the Interdistrict corridor requirements of State Road 84. Please verify requirements such as no parking within 20 feet of the property line.
6. The VUA site tree and shrub requirements are formulated from the total VUA calculation not from the 20 percent VUA landscape area calculation. Please correct Landscape Calculations.
7. For street trees when there are site conflicts such as overhead power lines, small maturing trees being proposed account for 20 feet of frontage, palms may also be proposed, accounting towards 20 feet of frontage, providing the first 50 percent of street trees are canopy trees. Please provide additional trees/palms within the landscape area along State Road 84. In provide these additional materials, please provide between 12-15 feet separation of the small maturing trees, palms may be closer to canopy trees.
8. Trees and palms may encroach within the sight triangles providing they have a minimum canopy clearance of 8 feet when installed.
9. Located between the public realm of the sidewalk and travel lane along State Road 84 is an existing landscape strip that has been paved over with pavers. Please reinstate this landscape strip and continue the landscape strip westward where the old curb cut is being removed and replaced with sidewalk. Please provide irrigation and shrub ground covers that will do well in this location and complement the adjacent sit
10. Additional comments may be forthcoming after next review of new plans and written comment responses.



**GENERAL COMMENTS**

The following comments are for informational purposes.

Please consider the following prior to submittal for Building Permit:

1. A separate sub-permit application for Tree Removal, Relocation, and General Landscaping for site is required at time of master permit submittal. These are Landscape and Tree permit application documents different than the Broward County standard applications. Please do not submit for tree removal at this time of DRC submittal.
2. Provide separate Plumbing sub permit application for irrigation. Irrigation plans are required at time of Building permit submittal. Plans are to be in compliance with ULDR 47-21.6.A.11 and 47-21.10.



**Case Number:** UDP-S22050

**CASE COMMENTS:**

Please provide a response to the following:

1. Entry doors should be solid, impact resistant or metal and should be equipped with a 180-degree view peephole.
2. Sliding glass windows should be impact resistant and equipped with burglary deterrent features such as track blocks, door pins, or similar devices. This includes drive-thru window.
3. All glazing should be impact resistant.
4. Building should be pre-wired for an alarm system.
5. A CCTV system should be employed throughout the property with focus on entry/exit points, parking, and common areas. It should be capable of retrieving an identifiable image of a person.
6. A CCTV system capable of retrieving an identifiable image of an individual should be utilized focusing on the cash management areas, dining area, teller counter, entry and exit points, saferoom, Drive-thru windows, Drop-box and parking lot area.
7. The businesses should be equipped with an intrusion alarm and a silent "Panic" alarm for police response. The alarm system should have battery back-up and or cellular back-up features.
8. Light-reflecting paint should be used in the parking lot to increase visibility and safety.
9. All lighting and landscaping should follow CPTED guidelines.

**GENERAL COMMENTS**

It is highly recommended that the managing company make arrangement for private security during construction.

Please submit responses in writing prior to DRC sign off.





Case Number: UDP-S21050

**CASE COMMENTS:**

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your business creates, and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
4. Service Days shall be: No restriction for Commercial collection. Service may not occur earlier than 7:00 am or later than 10:00 pm within 250 feet of residential.
5. Containers: must comply with 47-19.4
6. Dumpster enclosure: concrete pad, decorative block wall, gates hung independently, protective bollards, secondary pedestrian side entry, high strengthen apron and driveway approach, night light, hot water, hose bib, drain, low circulating ventilation for dampness, weep holes, landscaping, smooth surface walkway to accommodate wheeled containers.
7. Provide on the site plan a garbage truck turning radii for City review. Indicate how truck will circulate within property.
8. Solid Waste Collection shall be on private property container shall not be placed, stored, or block the public street to perform service (large multifamily and commercial parcels).
9. Submit a Solid Waste Management Plan on your letterhead containing name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
  - o This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to [dwilson@fortlauderdale.gov](mailto:dwilson@fortlauderdale.gov). Letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and container requirements to meet proposed capacity.
  - o Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.

**GENERAL COMMENTS**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. None



Case Number: UDP-S22050

**CASE COMMENTS:**

1. City staff is currently reviewing the submitted traffic study and comments will be forthcoming. Staff and consultant's review concerns shall be adequately resolved prior to gaining authorization for either the Planning & Zoning Board or City Commission hearings. Take into consideration that the review of this study will take about 4-6 weeks once all documents are received.
2. Proposed driveways and work on State-maintained roadways and intersection influence area must be approved by the Florida Department of Transportation (FDOT). Please provide the FDOT pre application access management letter.
3. Show inbound and outbound stacking requirements from the property line to the first conflict point according to Section 47-20.5 General design of parking facilities for the driveway. Any parking within this stacking requirement must be removed.
4. Include a table showing the proposed land uses, the floor area in square feet for each land use, the parking ratio, the number of parking spaces required by type, and the number of parking spaces proposed by type (standard, compact, handicapped, bicycle, loading, etc.). ULDR Sec. 47-20.2. - Parking and loading zone requirements.
5. All parking must be provided in accordance with design and construction standards of the ULDR Section 47-20.11. Show dimensions for: stall width, depth of stall 90 degrees to aisle, aisle width, width of stall parallel to aisle, module width, angle of parking stalls. Properly dimension the parking stall dimensions on the plan sets.
6. Provide an exhibit on where the proposed off site parking location is located. The proposed location will require an off-site parking agreement and must be within 700 feet of the proposed development site.
7. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges), alleys with alleys (15' measured from intersection point of extended property lines), alleys with streets (15' measured from intersection point of extended property lines), and streets with streets (25' measured from intersection point of extended property lines). The request for reduction of sight triangle dimensions is subject to review by the City Engineer on a case-by-case basis. Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35.
8. All internal circulation and queuing areas must be designed to accommodate the turning radii of the vehicles that will be using the site. Provide auto turn vehicular paths to depict how the ground floor site circulation will work.
9. For information on the required vehicular reservoir requirement for valet parking, please look at the section in our city code listed below:
  - a. Sec. 47-20.17. - Vehicular reservoir spaces for drive-thru facilities. Drive-thru restaurant, are required to have a minimum 6 vehicular reservoir spaces.



- b. A vehicular reservoir space ("VRS") is a space within a vehicular use area for the temporary stopping of a vehicle awaiting service as provided in this section. A VRS shall be twenty (20) feet long by ten (10) feet wide. A VRS shall be located in an area within a parking facility which is not used for any other vehicular use such as access, parking, site circulation or loading.
  - c. Each VRS shall be clearly defined on the site plan and shall be in a location that does not conflict or interfere with other traffic entering, using or leaving the site. Design configuration shall be such that there shall be no backing into the street permitted.
  - d. Reservoir spaces shall be measured from the front of the service position to the rear of the VRS.
10. Provide a minimum of 10 feet wide on **Andrews Ave**. This minimum is in reference to clear, unobstructed pathways –Light poles, trees and landscaping is not to be included in this zone. Landscaping should be between the sidewalks and back of curb and a minimum of 4 feet in width.
  11. Any proposed drainage well, manhole, pull box etc. installed in the sidewalk must be flat, ADA compliant and not impact the effective width of the sidewalk clear path.
  12. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices and indicate on the site plan. This includes all access to/from the site entrance. Add the dimension, clearances, and slopes of the walkways.
  13. Bicycle parking is strongly encouraged. Consult the APBP Bicycle Parking Guidelines, city of Fort Lauderdale Parking Standards and Broward County End-of-Trip Bicycle Facilities Guide. Look to provide the minimum long term and short-term bicycle parking based on requirements in the guide and include total counts on the site plan data sheet. Bicycle parking needs to be located on the site so that it is accessible to the public.
  14. Additional comments may be provided upon further review.

#### **GENERAL COMMENTS**

Please address comments below where applicable.

1. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.
2. Please note that any work within the City's right-of-way will require an MOT approved by Transportation and Mobility and Engineering for permitting. Any full closures of roadways, alleys, or sidewalks that are over 72 hours will require a Revocable License Agreement (RLA) with the City of Fort Lauderdale.

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**CASE COMMENTS:**

Please provide a response to the following:

- 1) The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a listing of officially-recognized associations are provided on the City's website: <https://www.fortlauderdale.gov/departments/city-manager-s-office/office-of-neighbor-support/neighborhood-associations> and a map of neighborhood associations may be found at: <http://gis.fortlauderdale.gov>). Please provide acknowledgement and/or documentation of any public outreach.
- 2) The site is designated Commercial on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
- 3) Pursuant to State Statute 166.033(1) the application must be deemed approved, approved with conditions, or denied within 120 days of completeness determination unless a waiver to these timeframes is provided to the City. Note, that the City has received the applicant's waiver.
- 4) Provide a Plat Determination Letter from Broward County Planning Council verifying whether the property needs to be platted or re-platted. If a plat or re-plat is not required, contact the Broward County, Development Management and Environmental Review Section, at (954) 357-8695 to ensure that the proposed project is consistent with the latest recorded plat restriction(s). If a plat note or non-vehicular access line (NVAL) amendment is needed, a separate application is required, which is reviewed administratively and can be found here: [Administrative Review Application](#).
- 5) Pursuant to ULDR 47-20.18, provide an off-site parking agreement to be recorded and executed along with the site plan.
- 6) Pursuant to UDLR 47-20.4.B.f, The proposed development application is subject to a 30-day review period by the City Commission. The applicant will be required to submit a separate application if the project is placed on the City Commission agenda and the applicant is responsible for all public notice requirements. Note: The City Clerk's office requires 48 hours' notice prior to a Commission meeting if a computer presentation is planned i.e. Power Point, to be provided on CD or flash drive and a copy submitted to the City Clerk, contact the project planner for more information (954-828-5633).
- 7) Pursuant to ULDR 47-23.9.B.2. and 47-23.9.B.4., Provide a narrative indicating compliance with the Interdistrict Corridor requirements. If all of the requirements cannot be met as a result of re-using the existing structure, then the priority should focus on the streetscape improvements, sidewalk improvements and pedestrian connection to the site, landscape area and architectural elements. Additionally, no parking will be allowed within the 20-foot area.
- 8) Provide the following changes on the site plan:
  - a. Pursuant to ULDR 47-20.5.C.2, the parking stalls adjacent to the drive thru will not be permitted.
  - b. Pursuant to ULDR 47-20, the parking stall next to the south curb cut along S. Andrews Avenue does not provide enough stacking clearance.
  - c. Adjust VRS space number 2 so that it does not conflict with the curb in the drive thru lane.
  - d. Ensure the off-site parking lot is included in the DRC Plan Set. Per ULDR 47-25.2, Adequacy Requirements, clarify how pedestrians will safely navigate to the off-site parking lot. If sidewalk



improvements need to be made, show them on plans. Once the plans and documentation for the off-site parking lot have been provided, additional DRC comments may apply.

- 9) Provide the following changes on the site plan data table:
  - a. Remove references a residential zoning density calculation from the site plan data table.
  - b. Update parking stall counts to reflect the spaces to be captured on off-site parking lot under "Provided parking spaces".
  - c. Add Open space, VUA and Landscape calculations to the site plan data table.
- 10) Pursuant to ULDR Section 47-19.2.Z, Accessory Uses, Buildings, and Structures; rooftop mechanical equipment such as air conditioners, compressors, generators, etc. shall be screened with material that matches the material used for the principal structure and shall be at least six (6) inches high above the top most surface of the roof mounted structures. Provide the following:
  - a. Provide roof plan indicating the location of all mechanical equipment with spot elevations of the parapet wall and roof as well as mechanical equipment to verify adequate screening;
  - b. Identify the location of equipment on building elevations by outlining the equipment with dash lines; and
  - c. Provide screening product material including images or pictures of actual application of such
- 11) Provide a truck and vehicle movement plan and show how the trash will be picked up.
- 12) Pursuant to Section 47-22.4.C.8, a master sign plan may be provided for development review associated with site plan; however, it should be noted that any proposed signs will require a separate permit application. If signage is provided during development review, detailing the following:
  - a. Location and orientation of all proposed signage;
  - b. Dimensions of each proposed sign (height, width, depth, etc.);
  - c. Proposed sign copy; and,
  - d. Proposed color and materials
- 13) The City's Vision is to support sustainable infrastructure. Consider a green sustainable roof as part of this site plan. Green roofs help to conserve energy, improve air quality and may provide an extra amenity space. Other green building practices to be considered throughout the project include tank-less water heaters, rain collection systems, pervious pavement where appropriate, bio-swales, Florida Friendly™ plant materials, and solar panels.

#### **GENERAL COMMENTS**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

- 14) If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.
- 15) Provide a preliminary construction staging plan which includes anticipated hours of operation on site, debris mitigation plan, and map indicating where crane operations and employee and/or equipment parking and storage will be placed. A revocable license application and a traffic circulation plan may be required if the sidewalk or right-of-way requires to be closed at any time, which should be filed under a separate application and coordinated through the City's Maintenance of Traffic (MOT) process.
- 16) All construction activity must comply with Code of Ordinances, Section 24-11, Construction sites. Contact Noel Zamora, Structural Plans Examiner (954-828-5536) to obtain his signature on the final DRC plans.




- 17) An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Final DRC sign-off, please schedule an appointment with the Project Planner (Tyler Laforme 954-828-5633) to review project revisions and/or to obtain a signature routing stamp.
- 18) Additional comments may be forthcoming at the DRC meeting.





## LEGEND

 Subject Site

UDP-S22050: The Whole Enchilada - 2400 S. Andrews Ave

