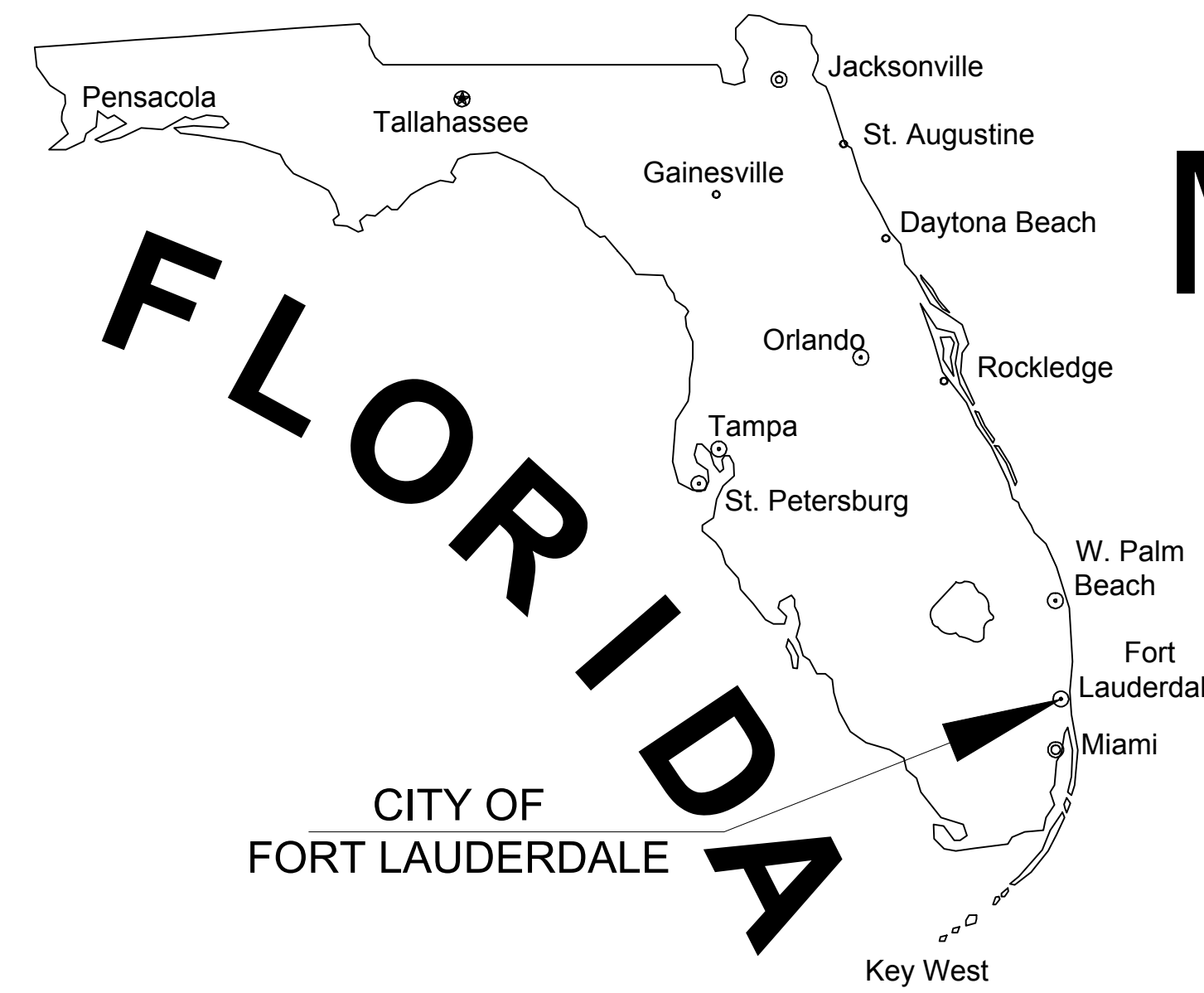
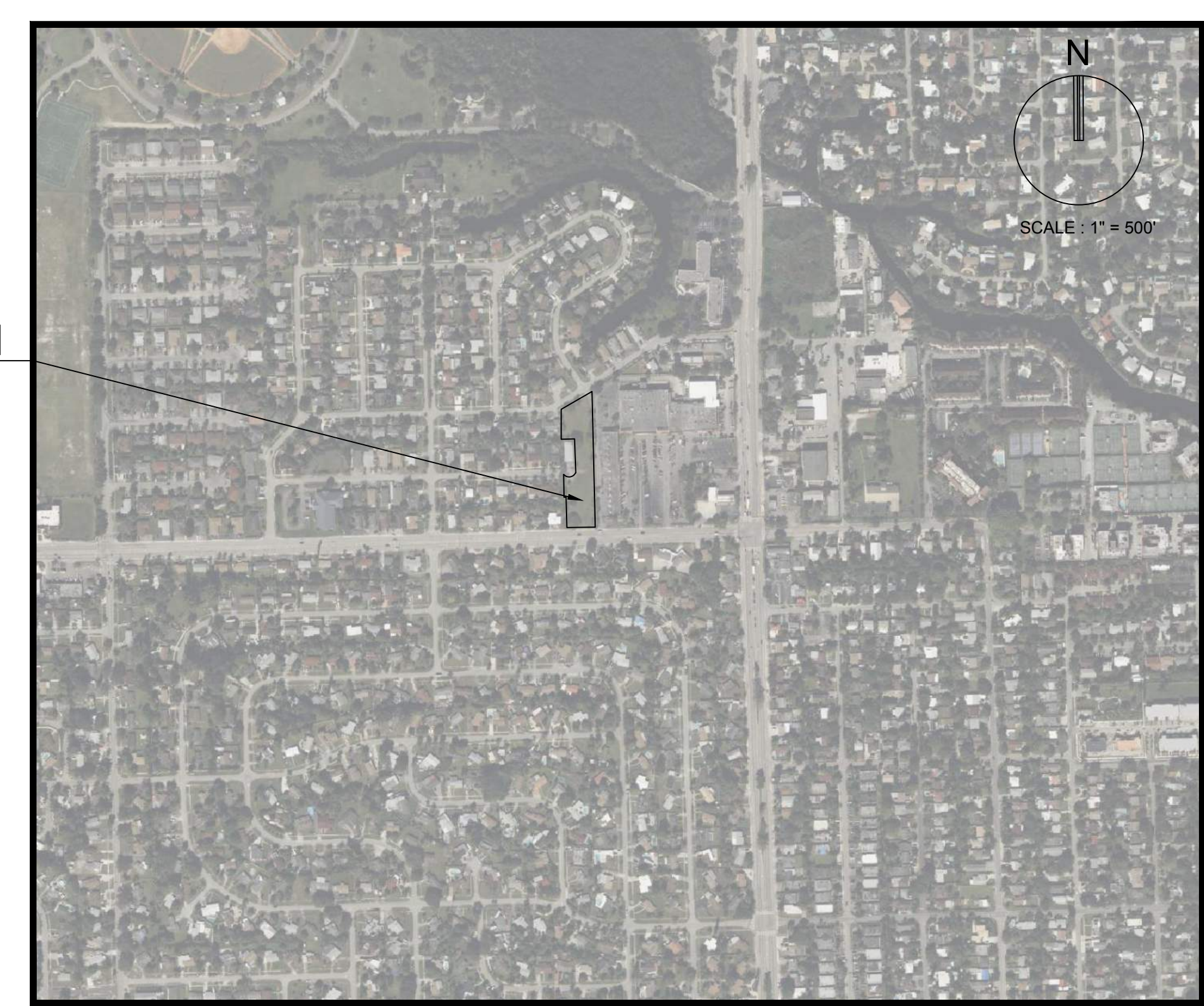


1040 NW 20TH STREET MIXED-USE DEVELOPMENT DRC SUBMITTAL



1040 NW 20TH STREET FORT LAUDERDALE, FLORIDA 33311

SITE LOCATION



LOCATION MAP
SECTION 28, TOWNSHIP 49 S, RANGE 42 E
FOLIO #494228310010

INDEX OF SHEETS	
SHEET IDENTIFICATION	SHEET TITLE
--	COVER SHEET
S-1	TOPOGRAPHIC SURVEY
SP-101	SITE PLAN
ARCHITECTURE PLANS	
AR001	LAND USE AND ZONING MAPS
AR002	CONTEXT SITE PLAN
AR003	ARCHITECTURAL SITE PLAN
AR102	FLOOR PLANS
AR103	ROOF PLANS
AR200 - AR202	EXTERIOR ELEVATIONS
AR210	CONTEXT ELEVATIONS AND SECTIONS
AR400	PHOTOMETRIC PLANS
AR800	PERSPECTIVES AND RENDERINGS
AR900	EXISTING SITE PHOTOS
CIVIL PLANS	
GI-001	LEGEND AND ABBREVIATIONS
GI-002	GENERAL CONSTRUCTION NOTES
GI-003	CONSTRUCTION SPECIFICATIONS
CG-101	EROSION CONTROL PLAN
CD-101	DEMOLITION PLAN
CP-101	PAVING, GRADING, AND DRAINAGE PLAN
CP-301	CROSS SECTIONS
CP-501 - CP-503	PAVING, GRADING, AND DRAINAGE DETAILS
CU-101	WATER AND SEWER PLAN
CU-501 - CU-502	WATER AND SEWER DETAILS
CM-101	PAVEMENT MARKING AND SIGNAGE PLAN
LANDSCAPE PLANS	
LD-101 - LD-102	TREE DISPOSITION PLANS
LP-001	PLANTING NOTES AND SCHEDULES
LP-101 - LP-102	PLANTING PLANS
LP-501	PLANTING DETAILS

LAND DESCRIPTION:
TRACT 'A' OF "VICTOR CAMERON PLAT", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 146, PAGE 42, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

RELATIONSHIP BETWEEN
NGVD 1929 AND NAVD 1988

DATUM	DIFFERENCE	ELEV.
NGVD 1929	+X.XX FEET	X.XX'
NAVD 1988		0.00'

ALL ELEVATIONS SHOWN ON THESE PLANS ARE
BASED ON NAVD 1988 DATUM

THESE PLANS MAY HAVE BEEN
REDUCED IN SIZE BY REPRODUCTION.
THIS MUST BE CONSIDERED WHEN
OBTAINING SCALED DATA.

PREPARED FOR:
HABITAT FOR HUMANITY OF BROWARD
ADDRESS: 888 NW 62 ST 2FL
FORT LAUDERDALE FL 33309

THOMAS F. DONAHUE, P.E.
FLORIDA REG. NO. 60529
(FOR THE FIRM)

PROJECT No. 10431.00 12/09/2022



DEVELOPMENT APPLICATION FORM

Application Form: All Applications | Rev. 03/10/2022

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The development application form must be filled out accurately and all applicable sections must be completed. Only completed sections indicated for application type with N/A for those section items not applicable. Refer to "Specifications for Plan Submittal" by application type for information requirements for submittal. Select the application type and approval level in **SECTION A** and complete the sections specified.

A APPLICATION TYPE AND APPROVAL LEVEL *Select the application type from the list below and check the applicable type.*

<input type="checkbox"/> LEVEL I ADMINISTRATIVE REVIEW COMMITTEE (ADMIN)	<input type="checkbox"/> LEVEL II DEVELOPMENT REVIEW COMMITTEE (DRC)	<input checked="" type="checkbox"/> LEVEL III PLANNING AND ZONING BOARD (PZB)	<input type="checkbox"/> LEVEL IV CITY COMMISSION (CC)
<ul style="list-style-type: none"> - New Nonresidential less than 5000 square feet - Change of use (same impact or less than existing use) - Plat note/Nonvehicular access line amendment - Administrative site plan - Amendment to site plan* - Property and right-of-way applications (MOTs, construction staging) - Parking Agreements (separate from site plans) 	<ul style="list-style-type: none"> - New Nonresidential 5,000 square feet or greater - Residential 5 units or more - Nonresidential use within 100 feet of residential property - Redevelopment proposals - Change in use (if great impact than existing use) - Development in Regional Activity Centers (RAC)* - Development in Uptown Project Area* - RAC signage 	<ul style="list-style-type: none"> - Conditional Use - Parking Reduction - Flex Allocation - Cluster / Zero Lot Line - Modification of Yards* - Waterway Use - Mixed Use Development - Community Residences* - Social Service Residential Facility (SSRF) - Medical Cannabis Dispensing Facility* - Community Business District for uses greater than 10,000 square feet 	<ul style="list-style-type: none"> - Land Use Amendment - Rezoning - Plat Approval - Public Purpose Use - Central Beach Development of Significant Impact* - Vacation of Right-of-Way <p style="font-size: x-small;">City Commission Review Only (review not required by PZB)</p> <ul style="list-style-type: none"> - Vacation of Easement*
COMPLETE SECTIONS B, C, D, G	COMPLETE SECTIONS B, C, D, E, F	COMPLETE SECTIONS B, C, D, E, F	COMPLETE SECTIONS B, C, D, E, F
<input type="checkbox"/> EXTENSION	<input type="checkbox"/> DEFERRAL	<input type="checkbox"/> APPEAL/DE NOVO	<input type="checkbox"/> PROPERTY AND ROW ITEM
<ul style="list-style-type: none"> - Request to extend approval date for a previously approved application 	<ul style="list-style-type: none"> - Request to defer after an application is scheduled for public hearing 	<ul style="list-style-type: none"> - Appeal decision by approving body - De Novo hearing items 	<ul style="list-style-type: none"> - Road closures - Construction staging plan - Revocable licenses
COMPLETE SECTIONS B, C, H	COMPLETE SECTIONS B, C, H	COMPLETE SECTIONS B, C, H	COMPLETE SECTIONS B, C, E

*Application is subject to specific review and approval process. Levels III and IV are reviewed by Development Review Committee unless otherwise noted.

B APPLICANT INFORMATION *If applicant is the business operator, complete the agent column and provide property owner authorization.*

Applicant/Property Owner	HABITAT FOR HUMANITY OF BROW	Authorized Agent	Florentina Hutt, KEITH
Address	888 NW 62ND ST	Address	301 E ATLANTIC BLVD.
City, State, Zip	FORT LAUDERDALE, FL, 33309	City, State, Zip	POMPANO BEACH, FL 33060
Phone		Phone	954.788.3400
Email	nancy@habitatbroward.org	Email	FHutt@keithteam.com
Proof of Ownership	Tax Record	Authorization Letter	Letter Attached
Applicant Signature:		Agent Signature:	Florentina Hutt Digitally signed by Florentina Hutt Date: 2022.12.09 16:17:00 -06'00'

C PARCEL INFORMATION

Address/General Location	1040 NW 20th Street
Folio Number(s)	494228310010
Legal Description (Brief)	VICTOR CAMERON PLAT 146-42 B
City Commission District	3
Civic Association	Lauderdale Manors Homeowners

D LAND USE INFORMATION

Existing Use	Vacant Commercial
Land Use	COMMERCIAL
Zoning	CB - Community Business
Proposed	<i>Applications requesting land use amendments and rezonings.</i>
Proposed Land Use	N/A
Proposed Zoning	N/A

E PROJECT INFORMATION *Provide project information. Circle yes or no where noted. If item is not applicable, indicate N/A.*

Project Name	19th STREET TOWNHOMES	
Project Description (Describe in detail)	Mixed-use development to include 18 townhouses and 2 live-work units	
Estimated Project Cost	\$	<i>(Estimated total project cost including land costs for all new development applications only)</i>
Waterway Use	No	
Flex Units Request	Yes	
Commercial Flex Acreage	No	
Residential Uses		
Single Family		
Townhouses	18	
Multifamily		
Cluster/Zero Lot Line		
Other	2	
Total (dwelling units)	20	
Traffic Study Required	No	
Parking Reduction	No	
Public Participation	Yes	
Non-Residential Uses		
Commercial		
Restaurant		
Office	1,802	
Industrial		
Other		
Total (square feet)	1,802	



F PROJECT DIMENSIONAL STANDARDS *Indicate all required and proposed standards for the project. Circle yes or no where indicated.*

	Required Per ULDR	Proposed
Lot Size (Square feet/acres)	10,000 SF	60,601 SF / 1.39 ac
Lot Density (Units/acres)	50 units per acre	13 units per acre
Lot Width	100'	Varies from 134.98', 144.90'
Building Height (Feet)	150'	21'-8"
Structure Length	200'	Varies from 101.4' - 160.8'
Floor Area Ratio (F.A.R.)	N/A	34,888 SF
Lot Coverage	N/A	29%
Open Space	5,000 SF	23,331 SF
Landscape Area	5,000 SF	20,516 SF
Parking Spaces	28	66
SETBACKS (Indicate direction N,S,E,W)	Required Per ULDR	Proposed
Front [S] [N]	5	14.3' - 10.7'
Side [W] [E]	10	10.2' - 8.1'
Corner / Side [E] [W]	NA	8.1
Rear [] []	NA	NA

For projects in Downtown, Northwest, South Andrews, and Uptown Master Plans to be completed in conjunction with the applicable items above.

Tower Stepback	Required Per ULDR	Proposed	Proposed Deviation
Front / Primary Street [] []		NA	
Sides / Secondary Street [] []		NA	
Building Height		NA	
Streetwall Length		NA	
Podium Height		NA	
Tower Separation		NA	
Tower Floorplate (square feet)		NA	
Residential Unit Size (minimum)		NA	

G AMENDED PROJECT INFORMATION *Provide approved and proposed amendments for project. Circle yes or no where indicated.*

Project Name			
Proposed Amendment Description (Describe in detail)	Original Approval	Proposed Amendment	Amended Item
Residential Uses (dwelling units)			
Non-Residential Uses (square feet)			
Lot Size (Square feet/acres)			
Lot Density (Units/acres)			
Lot Width			
Building Height (Feet)			
Structure Length			
Floor Area Ratio (F.A.R.)			
Lot Coverage			
Open Space			
Landscape Area			
Parking Spaces			
Tower Stepback			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate (square feet)			
Residential Unit Size (minimum)			
Does this amendment require a revision to the traffic statement or traffic study completed for the project?			
Does this amendment require a revised water sewer capacity letter?			

H EXTENSION, DEFERRAL, APPEAL INFORMATION *Provide information for specific request. Circle approving body and yes or no.*

Project Name			
Request Description			
EXTENSION REQUEST	DEFERRAL REQUEST	APPEAL REQUEST / DE NOVO HEARING	
Approving Body	Approving Body	Approving Body	
Original Approval Date	Scheduled Meeting Date	30 Days from Meeting (Provide Date)	
Expiration Date (Permit Submittal Deadline)	Requested Deferral Date	60 Days from Meeting (Provide Date)	
Expiration Date (Permit Issuance Deadline)	Previous Deferrals Granted	Appeal Request	
Requested Extension (No more than 24 months)	Justification Letter Provided	Indicate Approving Body Appealing	
Code Enforcement (Applicant Obtain by Code Compliance Division)		De Novo Hearing Due to City Commission Call-Up	



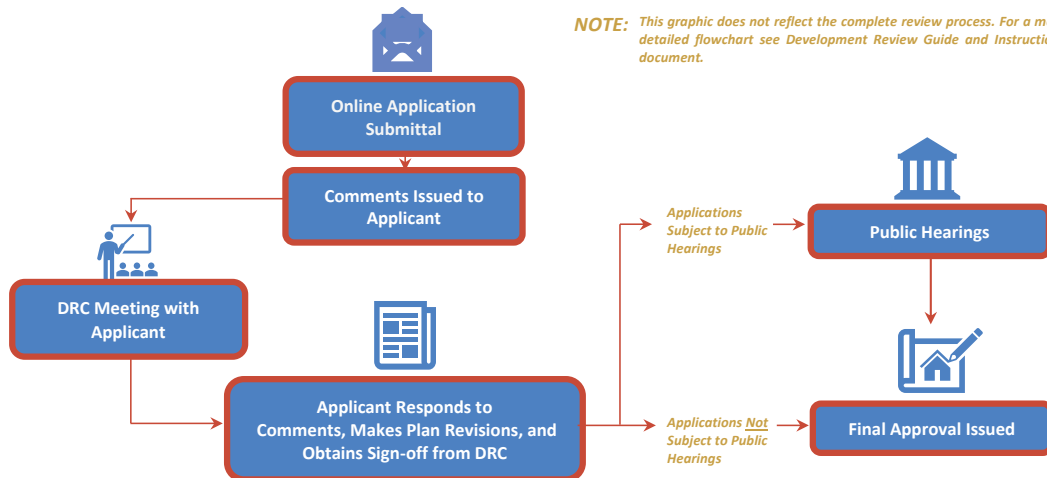
CHECKLIST FOR SUBMITTAL AND COMPLETENESS: The following checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide this information will result in your application being deemed **incomplete**.

- Preliminary Development Meeting** completed on the following date:
- Development Application Form** completed with the applicable information including signatures.
- Proof of Ownership** warranty deed or tax record including corporation documents and SunBiz verification name.
- Address Verification Form** applicant contact Devon Anderson at 954-828-5233 or Danderson@fortlauderdale.gov
- Project and Unified Land Development Code Narratives** project narrative and the applicable ULDR sections and criteria as described in the specifications for submittal by application type.
- Electronic Files, File Naming, and Documents** consistent with the applicable specifications for application type, consistent with the online submittal requirements including file naming convention, plan sets uploaded as single pdf.
- Traffic Methodology, Study or Statement** submittal of a traffic study or traffic statement.
- Stormwater Calculations** signed and sealed by a Florida registered professional engineer consistent with calculations as described in the specifications for plan submittal for site plan applications.
- Water and Wastewater Capacity Request** copy of email to Public Works requesting the capacity letter.

OVERVIEW FOR ONLINE SUBMITTAL REQUIREMENTS: Submittals must be conducted through the City's online citizen access portal [LauderBuild](#). No hardcopy application submittals are accepted. Below only highlights the important submittal requirements that applicants must follow to submit online and be deemed complete. View all the requirements at [LauderBuild Plan Room](#).

- **Uploading Entire Submittal** upload all documents at time the application is submitted to prevent delays in processing.
- **File Naming Convention** file names must adhere to the City's [File Naming Convention](#).
- **Reduce File Size** plan sets and other large files must be merged or flattened to reduce file size.
- **Plan Sets** plan sets like site plans, plats, etc. must be submitted as a single pdf file. Staff will instruct when otherwise.
- **Document Categories** choose the correct document category when uploading.

DRC PROCESS OVERVIEW: The entire development review process flowchart can be found in the [Development Application Guide and Instructions](#) document. Below is a quick reference flowchart with key steps in the process to guide applicants.



CONTACT INFORMATION: Questions regarding the development process or [LauderBuild](#), see contact information below.

GENERAL URBAN DESIGN AND PLANNING QUESTIONS

Planning Counter
954-828-6520, Option 4
planning@fortlauderdale.gov

LAUDERBUILD ASSISTANCE AND QUESTIONS

DSD Customer Service
954-828-6520, Option 1
lauderbuild@fortlauderdale.gov

LEGAL DESCRIPTION

TRACT 'A', OF "VICTOR CAMERON PLAT", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 146, PAGE 42, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

CERTIFIED TO:
Habitat For Humanity of Broward, Inc., a Florida not for profit corporation

PROPERTY ADDRESS
VACANT LAND ON N.W. 19TH STREET
FOLIO 4942-28-31-0010
FORT LAUDERDALE, FL 33311

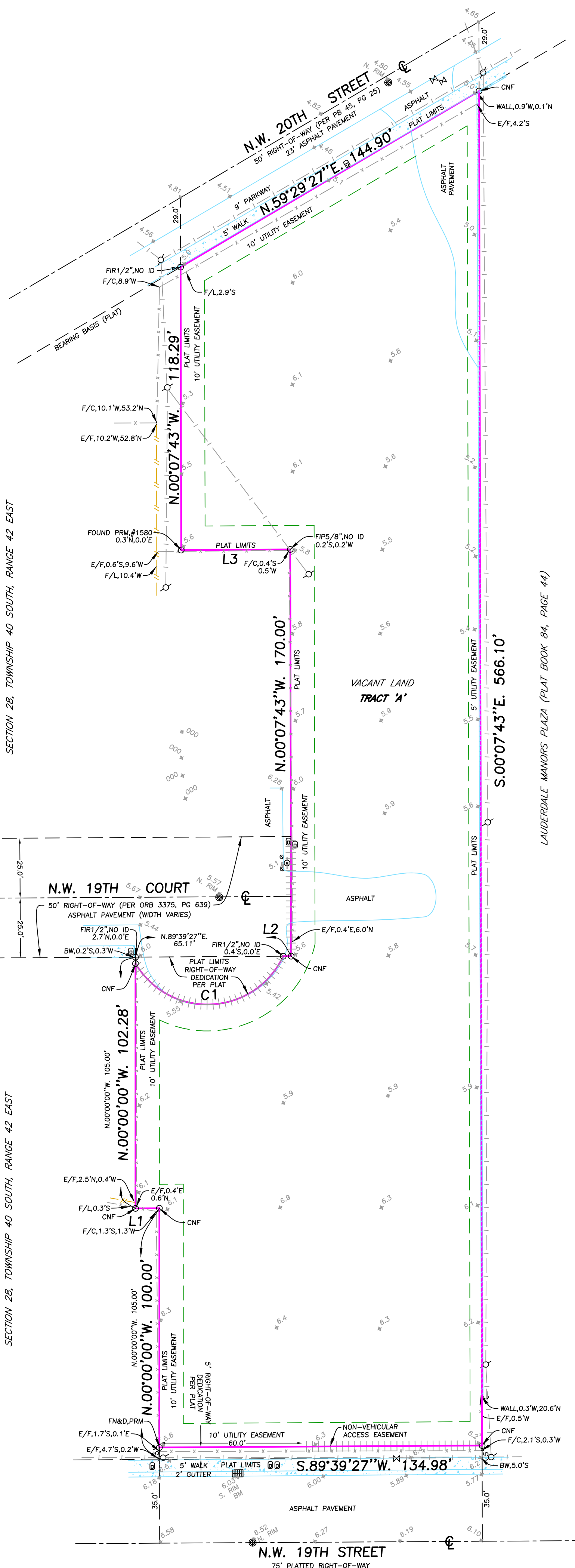
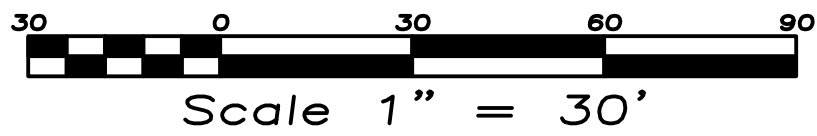
BOUNDARY SURVEY
INVOICE # 37920U3
SURVEY DATE 11/30/22

FLOOD ZONE X 0.2%
MAP DATE 08/18/14
MAP NUMBER 125105 0368H

SCHEDULE BII

CHICAGO TITLE INSURANCE COMPANY
AMERICAN LAND TITLE ASSOCIATION COMMITMENT
COMMITMENT DATE: 10/08/2018 AT 11:00 PM
ORDER NO.:7275731

- ITEM 1-4: NOT PLOTTABLE
- ITEM 5: MATERS PERTAINING TO PB 146, PG 42, AMENDED IN ORB 26793, PG 355 ARE AS SHOWN ON SURVEY
- ITEM 6: MATTERS PERTAINING TO ORB 20178, PG 664 PERTAIN TO PROPERTY, NOT PLOTTABLE
- ITEM 7: MATTERS PERTAINING TO ORB 26898, PG 335 PERTAIN TO PROPERTY, NOT PLOTTABLE
- ITEM 8: NOT PLOTTABLE



LEGEND

- FP&L BOX
- CATCH BASIN
- CONTROL VALVE
- CLEAN OUT
- GUY ANCHOR
- MANHOLE
- WATER METER
- WELL
- FIRE HYDRANT
- WATER VALVE
- CABLE JUNCTION BOX
- ELECTRIC SERVICE
- POOL EQUIPMENT
- POWER/LIGHT POLE
- SPRINKLER SYSTEM
- BRICK/TILE PAVERS
- CENTERLINE
- CONCRETE/CHAT
- CONCRETE WALL
- ELEVATION
- METAL FENCE
- OVERHEAD WIRES
- WOOD DECK/DOCK
- WOOD/PVC FENCE

ABBREVIATIONS

- AC AIR CONDITIONER
- AE ANCHOR EASEMENT
- BC BUILDING CORNER
- BM BENCHMARK
- BW BACK OF WALK
- C CALCULATED
- CNF CORNER NOT FOUND
- DE DRAINAGE EASEMENT
- E/F END/FENCE
- EP EDGE OF PAVEMENT
- EW EDGE OF WATER
- F/C FENCE/CORNER
- FF FINISH FLOOR
- F/L FENCE/LINE
- FIP FOUND IRON PIPE
- FIR FOUND IRON ROD
- FN FOUND NAIL
- FN&D FOUND NAIL & DISC
- FN&T FOUND NAIL & TAB
- FP&L FLORIDA POWER & LIGHT
- GEN GENERATOR
- INSTR INSTRUMENT
- OP OPEN PORCH
- ORB OFFICIAL RECORD BOOK
- M MEASURED
- NTS NOT TO SCALE
- PB PLAT BOOK
- PC POINT OF CURVATURE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PG PAGE
- PRC POINT OF REVERSE CURVE
- PRM PERMANENT REFERENCE MONUMENT
- PT POINT OF TANGENCY
- R RECORD
- RAD RADIAL
- RW RIGHT-OF-WAY
- SN&D SET NAIL & DISC 5495
- SP SCREENED PORCH
- SP&C SET 1/2" PIN & CAP 5495
- UE UTILITY EASEMENT

LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	S.89°39'27"W.	10.00'
L2	N.89°39'27"E.	3.32'
L3	S.89°39'27"W.	45.60'

LINE TABLE

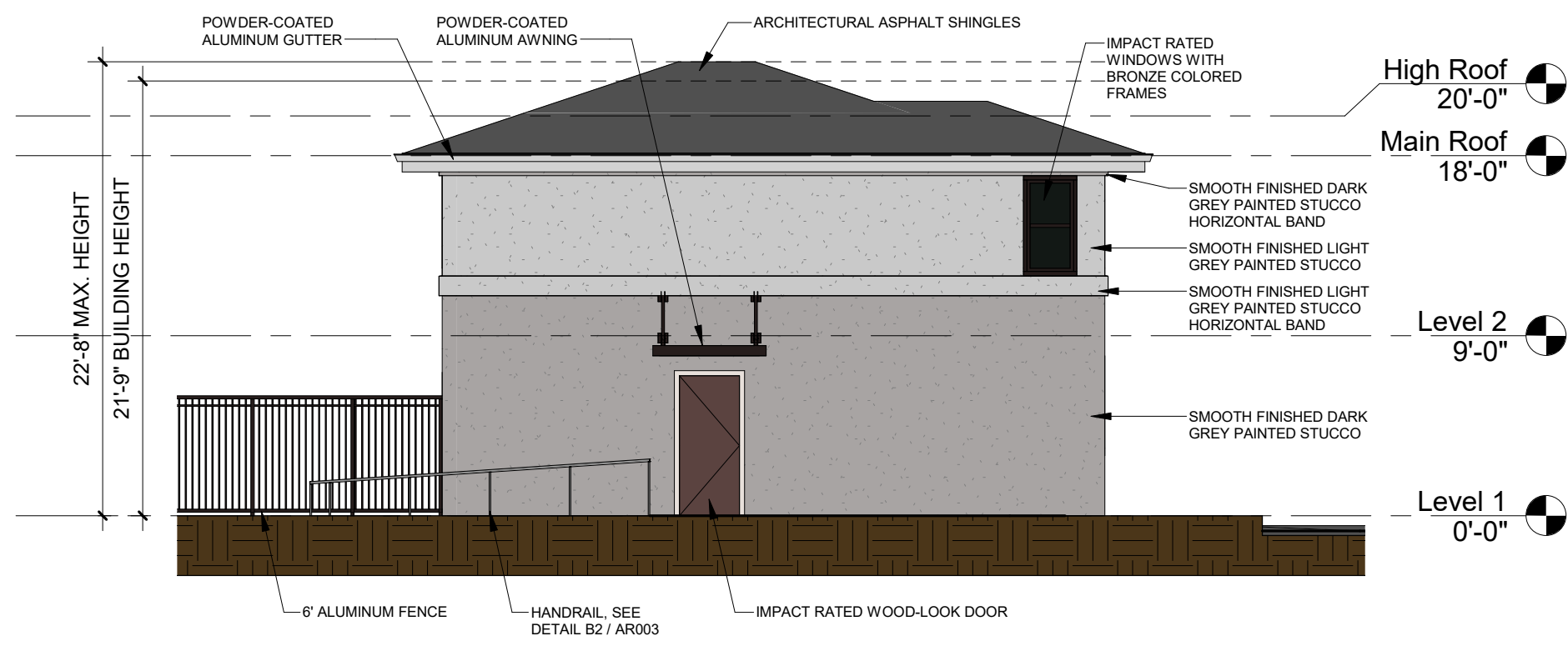
NUMBER	DELTA	CHORD BEARING	RADIUS	ARC	LC
C1	124°12'14"	N.87°08'11"E.	35.00	75.87	61.86

- SURVEYOR'S NOTES**
1. BASIS OF BEARINGS ASSUMED UNLESS OTHERWISE INDICATED ON SKETCH.
 2. LEGAL DESCRIPTION PROVIDED BY CLIENT OR PROPERTY APPRAISER WEBSITE.
 3. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR EASEMENTS, RIGHT-OF-WAYS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
 4. UNDERGROUND OR INTERIOR PORTIONS OF FOOTINGS, FOUNDATIONS, WALLS OR OTHER NON-VISIBLE IMPROVEMENTS WERE NOT LOCATED.
 5. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 UNLESS OTHERWISE INDICATED ON SKETCH.
 6. FLOOR ELEVATION OBTAINED FROM MAIN ENTRY WAY OF STRUCTURE UNLESS OTHERWISE INDICATED ON SKETCH.
 7. FENCE TIES ARE TO THE CENTER-LINE OF FENCE. WALL TIES ARE TO THE FACE OF WALL.
 8. IN SOME INSTANCES GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
 9. THE DIMENSIONS AND DIRECTIONS SHOWN HEREON ARE IN SUBSTANTIAL AGREEMENT WITH RECORD VALUES UNLESS OTHERWISE NOTED.
 10. PARTY WALLS ARE CENTERED ON PROPERTY LINE AND ARE 0.7' WIDE UNLESS OTHERWISE NOTED.
 11. EXISTING CORNERS FOUND OFFSETS WITNESS PROPERTY CORNERS.
 12. OBSTRUCTED CORNERS ARE WITNESSED BY IMPROVEMENTS.
 13. NO ATTEMPT WAS MADE TO LOCATE WRITTEN OR UNWRITTEN EASEMENTS OR RIGHTS-OF-WAY, OTHER THAN THOSE SHOWN HEREON.

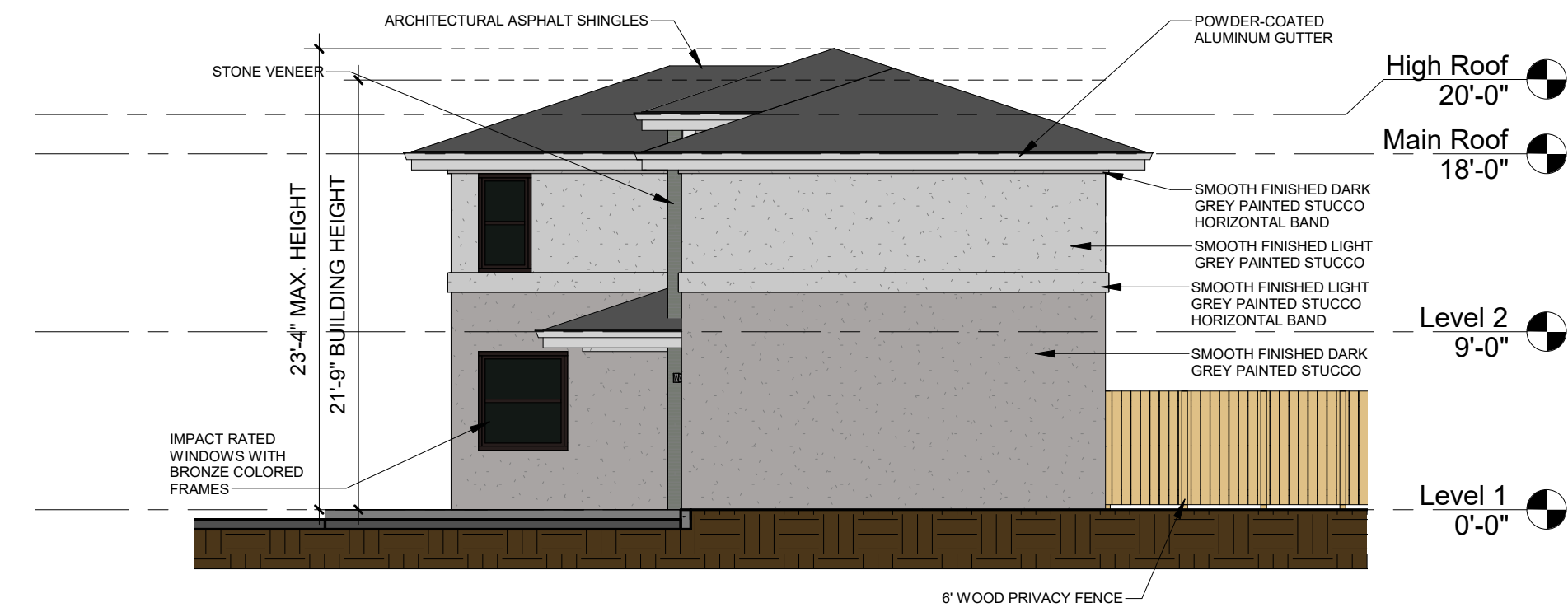
ATLANTIC COAST SURVEYING, INC.

PAUL J. STOWELL
PROFESSIONAL LAND SURVEYOR
FLORIDA CERTIFICATION NO. 5241
ATLANTIC COAST SURVEYING, INC.
13798 NW 4th Street, Suite 306
Sunrise, FL 33325
P: 954.587.2100 E: info@acsiweb.net

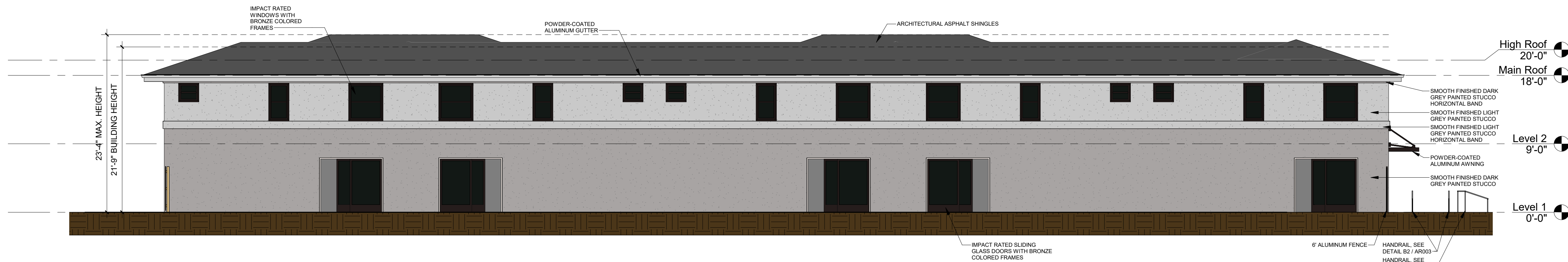
DESIGNED	DRAWN	CHECKED
Designer	Author	Checker



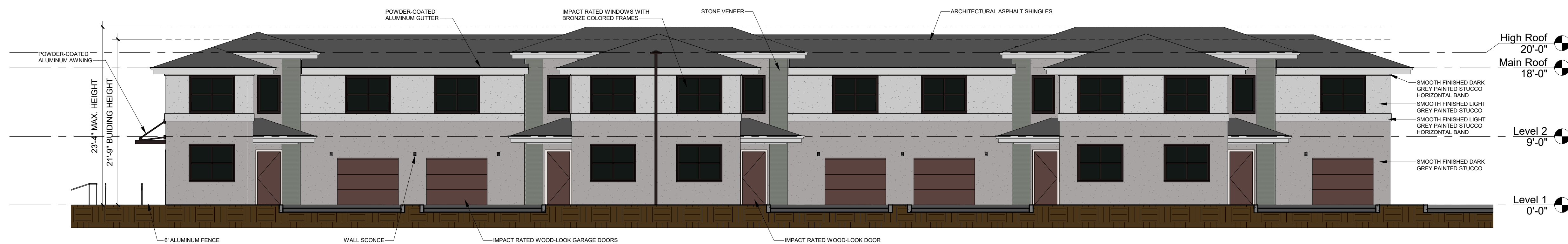
④ BLDG D SOUTH ELEVATION
1/8" = 1'-0"



③ BLDG D NORTH ELEV
1/8" = 1'-0"



② BLDG D WEST ELEVATION
1/8" = 1'-0"



① BLDG D EAST ELEVATION
1/8" = 1'-0"

REVISIONS

DATE:	COMM:
9 December 2022	22047

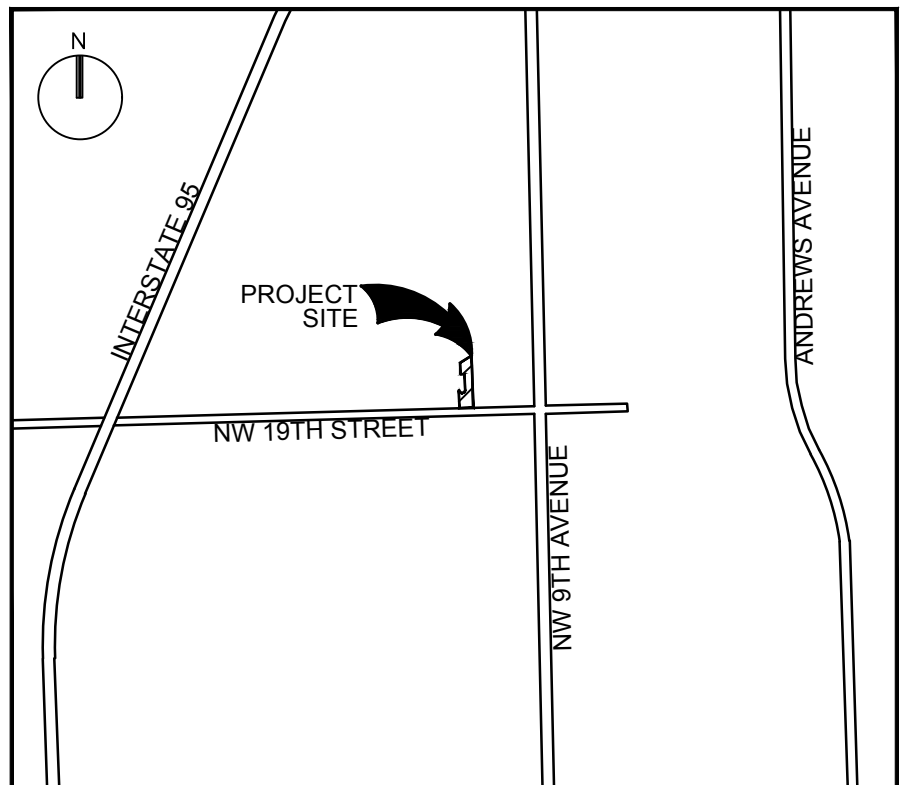
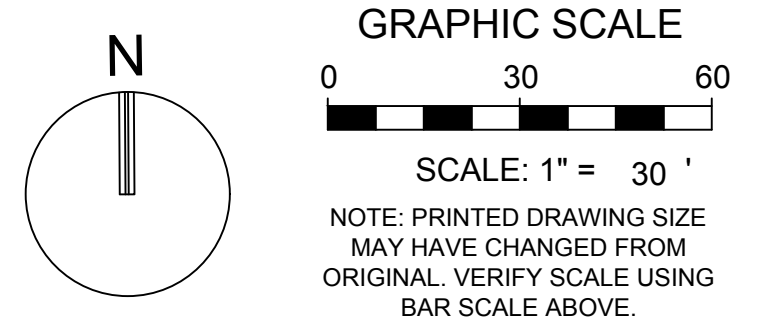
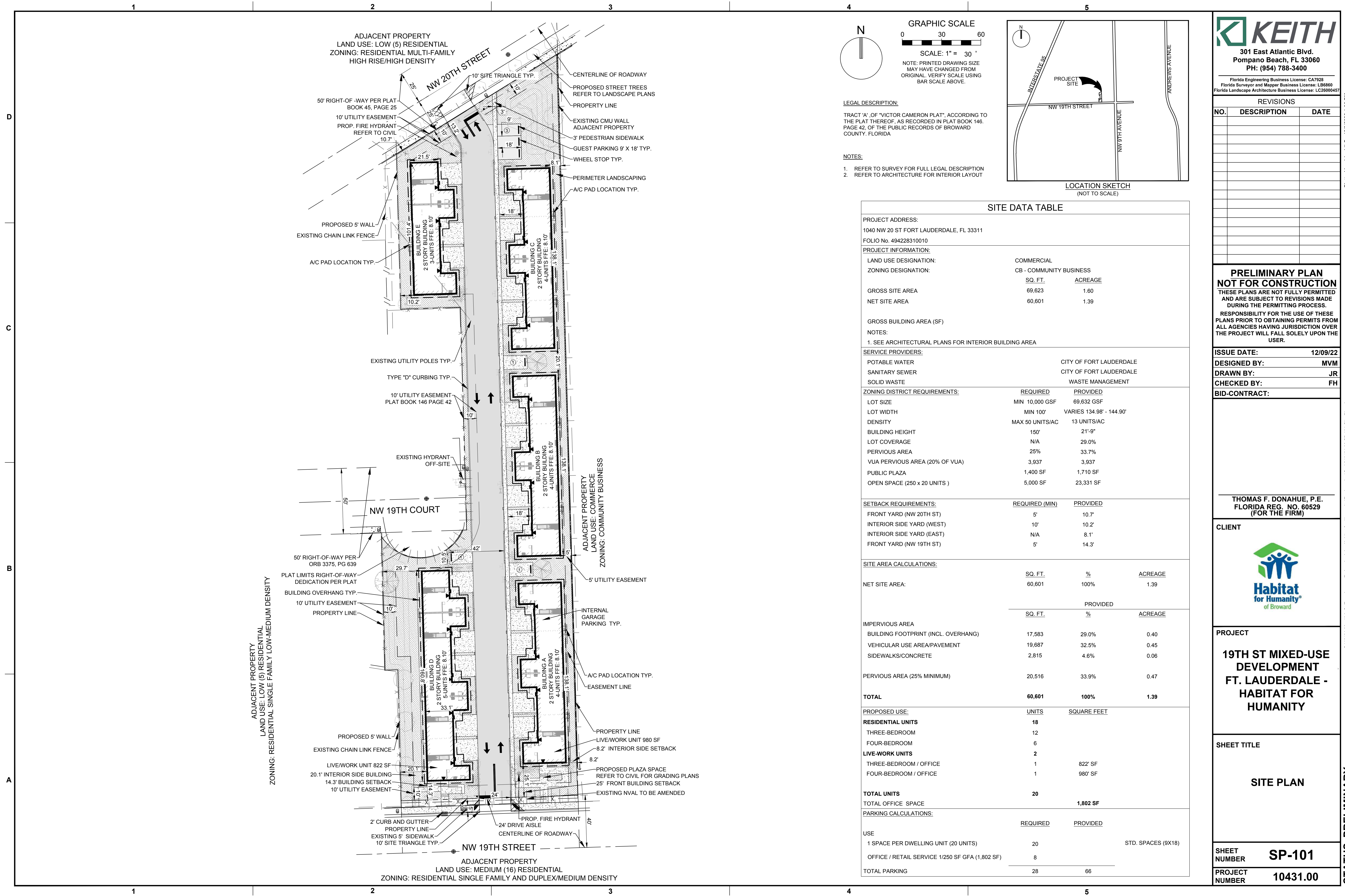
Habitat for Humanity
Fort Lauderdale

NW 19th Street
Fort Lauderdale, FL 33311

EXTERIOR ELEVATIONS

SITE PLAN APPROVAL

AR201



LEGAL DESCRIPTION:
TRACT 'A', OF "VICTOR CAMERON PLAT", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 146, PAGE 42, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

- NOTES:**
1. REFER TO SURVEY FOR FULL LEGAL DESCRIPTION
2. REFER TO ARCHITECTURE FOR INTERIOR LAYOUT

SITE DATA TABLE

PROJECT ADDRESS: 1040 NW 20 ST FORT LAUDERDALE, FL 33311 FOLIO No. 494228310010			
PROJECT INFORMATION:			
LAND USE DESIGNATION:	COMMERCIAL		
ZONING DESIGNATION:	CB - COMMUNITY BUSINESS		
	SQ. FT.	ACREAGE	
GROSS SITE AREA	69,623	1.60	
NET SITE AREA	60,601	1.39	
GROSS BUILDING AREA (SF)			
NOTES:	1. SEE ARCHITECTURAL PLANS FOR INTERIOR BUILDING AREA		
SERVICE PROVIDERS:			
POTABLE WATER	CITY OF FORT LAUDERDALE		
SANITARY SEWER	CITY OF FORT LAUDERDALE		
SOLID WASTE	WASTE MANAGEMENT		
ZONING DISTRICT REQUIREMENTS:			
	REQUIRED	PROVIDED	
LOT SIZE	MIN 10,000 GSF	69,632 GSF	
LOT WIDTH	MIN 100'	VARIES 134.98' - 144.90'	
DENSITY	MAX 50 UNITS/AC	13 UNITS/AC	
BUILDING HEIGHT	150'	21'-9"	
LOT COVERAGE	N/A	29.0%	
PERVIOUS AREA	25%	33.7%	
VUA PERVIOUS AREA (20% OF VUA)	3,937	3,937	
PUBLIC PLAZA	1,400 SF	1,710 SF	
OPEN SPACE (250 x 20 UNITS)	5,000 SF	23,331 SF	
SETBACK REQUIREMENTS:			
	REQUIRED (MIN)	PROVIDED	
FRONT YARD (NW 20TH ST)	5'	10.7'	
INTERIOR SIDE YARD (WEST)	10'	10.2'	
INTERIOR SIDE YARD (EAST)	N/A	8.1'	
FRONT YARD (NW 19TH ST)	5'	14.3'	
SITE AREA CALCULATIONS:			
	SQ. FT.	%	ACREAGE
NET SITE AREA:	60,601	100%	1.39
IMPERVIOUS AREA			
	SQ. FT.	%	ACREAGE
BUILDING FOOTPRINT (INCL. OVERHANG)	17,583	29.0%	0.40
VEHICULAR USE AREA/PAVEMENT	19,687	32.5%	0.45
SIDEWALKS/CONCRETE	2,815	4.6%	0.06
PERVIOUS AREA (25% MINIMUM)	20,516	33.9%	0.47
TOTAL	60,601	100%	1.39
PROPOSED USE:			
	UNITS	SQUARE FEET	
RESIDENTIAL UNITS	18		
THREE-BEDROOM	12		
FOUR-BEDROOM	6		
LIVE-WORK UNITS	2		
THREE-BEDROOM / OFFICE	1	822' SF	
FOUR-BEDROOM / OFFICE	1	980' SF	
TOTAL UNITS	20		
TOTAL OFFICE SPACE		1,802 SF	
PARKING CALCULATIONS:			
	REQUIRED	PROVIDED	
USE			
1 SPACE PER DWELLING UNIT (20 UNITS)	20	STD. SPACES (9X18)	
OFFICE / RETAIL SERVICE 1/250 SF GFA (1,802 SF)	8		
TOTAL PARKING	28	66	

KEITH
301 East Atlantic Blvd.
Pompano Beach, FL 33060
PH: (954) 788-3400

Florida Engineering Business License: CA7923
Florida Surveyor and Mapper Business License: LB6860
Florida Landscape Architecture Business License: LC26000457

REVISIONS		
NO.	DESCRIPTION	DATE

PRELIMINARY PLAN NOT FOR CONSTRUCTION
THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 12/09/22
DESIGNED BY: MVM
DRAWN BY: JR
CHECKED BY: FH
BID-CONTRACT:

THOMAS F. DONAHUE, P.E.
FLORIDA REG. NO. 60529
(FOR THE FIRM)



PROJECT
19TH ST MIXED-USE DEVELOPMENT FT. LAUDERDALE - HABITAT FOR HUMANITY

SHEET TITLE
SITE PLAN

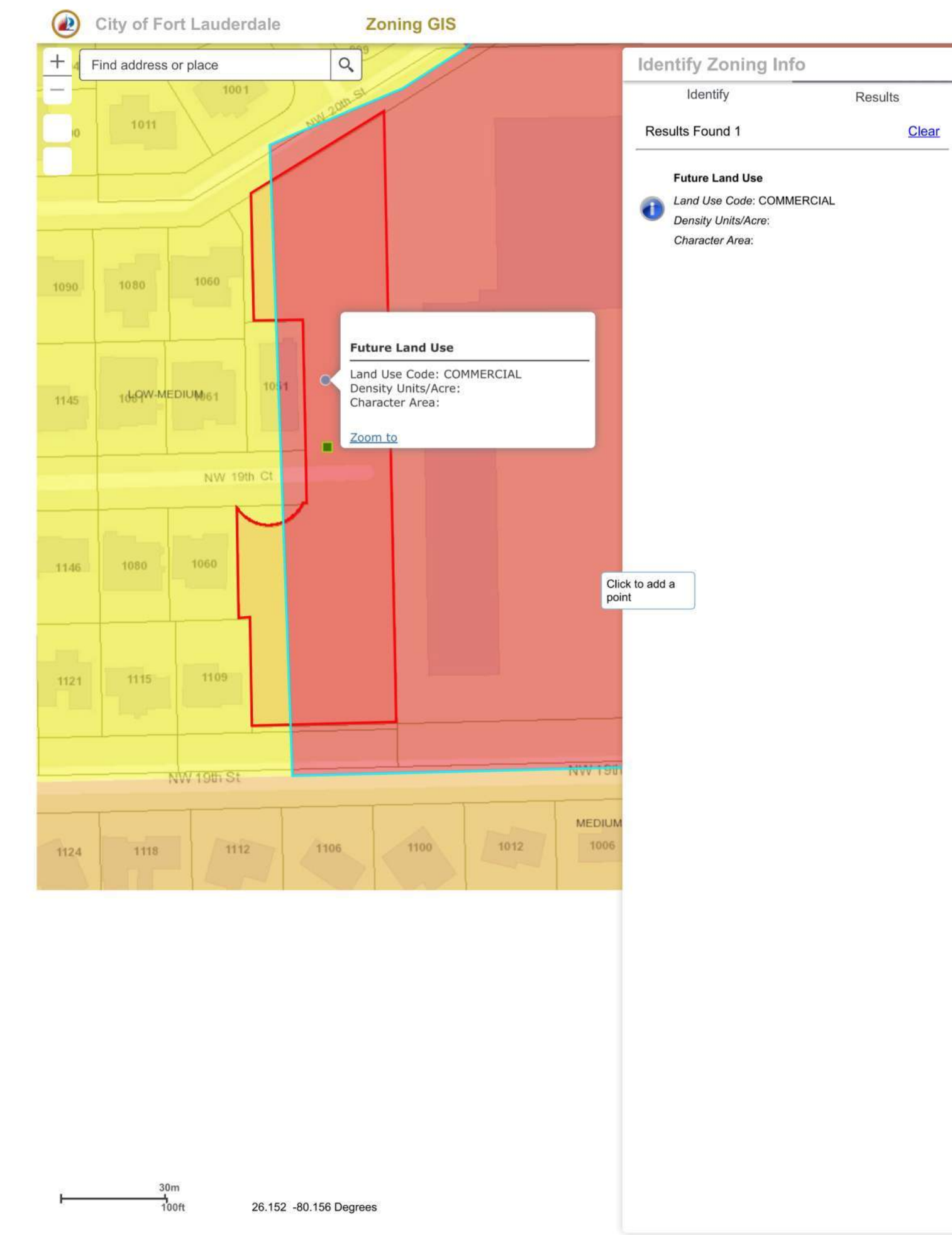
SHEET NUMBER SP-101
PROJECT NUMBER 10431.00

Plotted by: jrmald On 12/9/2022 1:30 PM

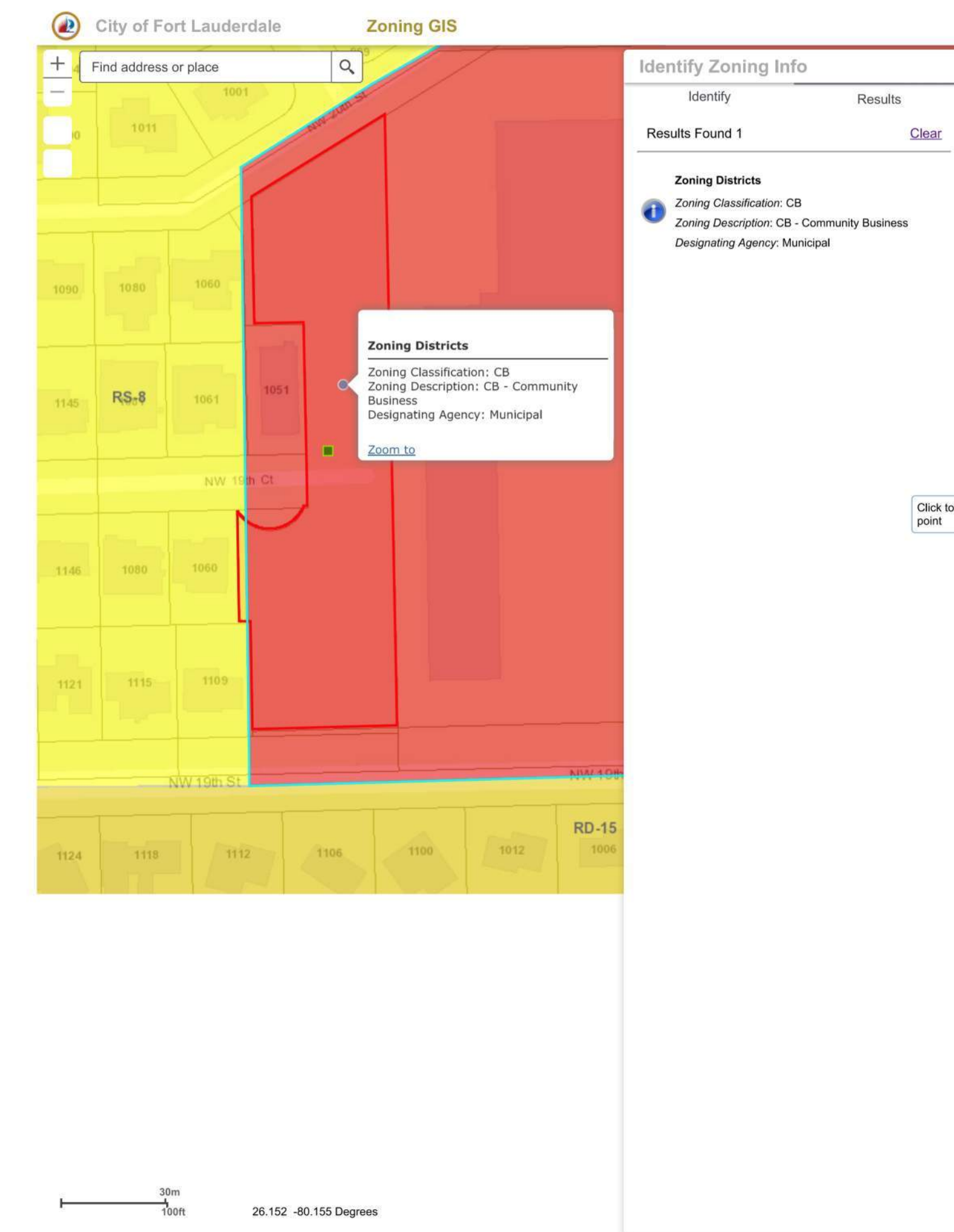
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STATUS: PRELIMINARY

DESIGNED Designer	DRAWN Author	CHECKED Checker
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FUTURE LAND USE MAP



ZONING MAP

R E V I S I O N S

DATE: 9 December 2022	COMM: 22047
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**Habitat for Humanity
Fort Lauderdale**

NW 19th Street
Fort Lauderdale, FL 33311

LAND USE & ZONING MAPS

SITE PLAN APPROVAL

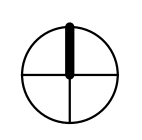
AR001

12/8/2022 3:16:12 PM

DESIGNED Designer	DRAWN Author	CHECKED Checker
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A1 CONTEXT SITE PLAN
1" = 100'-0"



REVISIONS

DATE:	COMM:
9 December 2022	22047

Habitat for Humanity
Fort Lauderdale

NW 19th Street
Fort Lauderdale, FL 33311

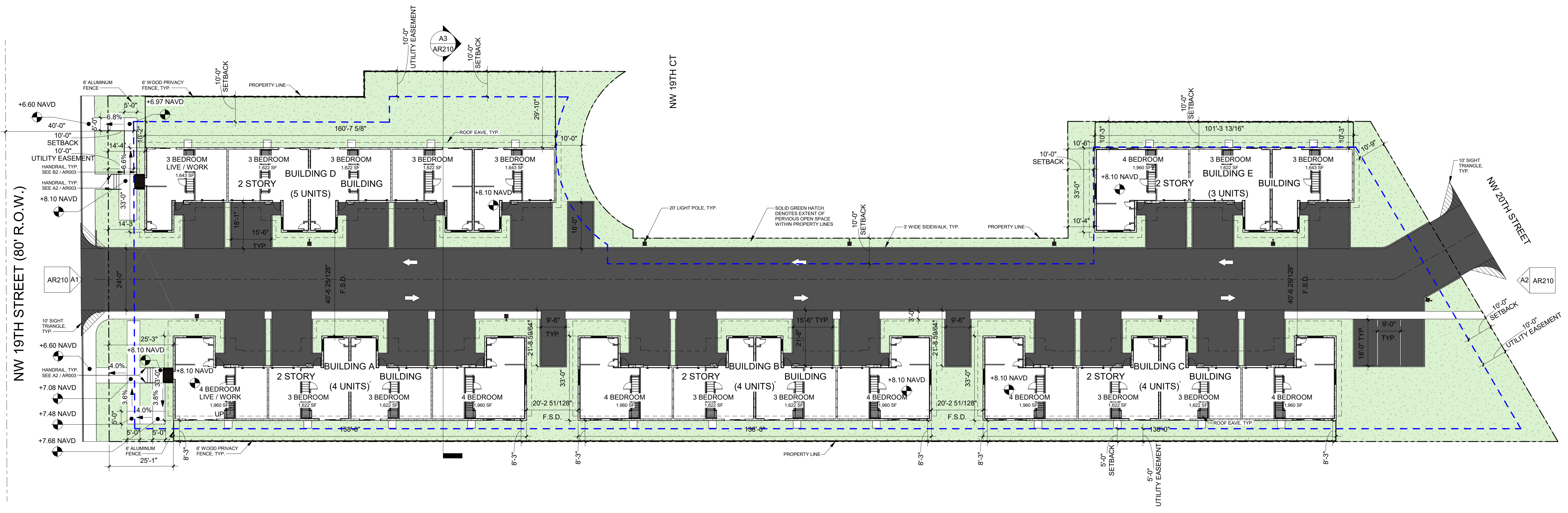
CONTEXT SITE PLAN

SITE PLAN APPROVAL

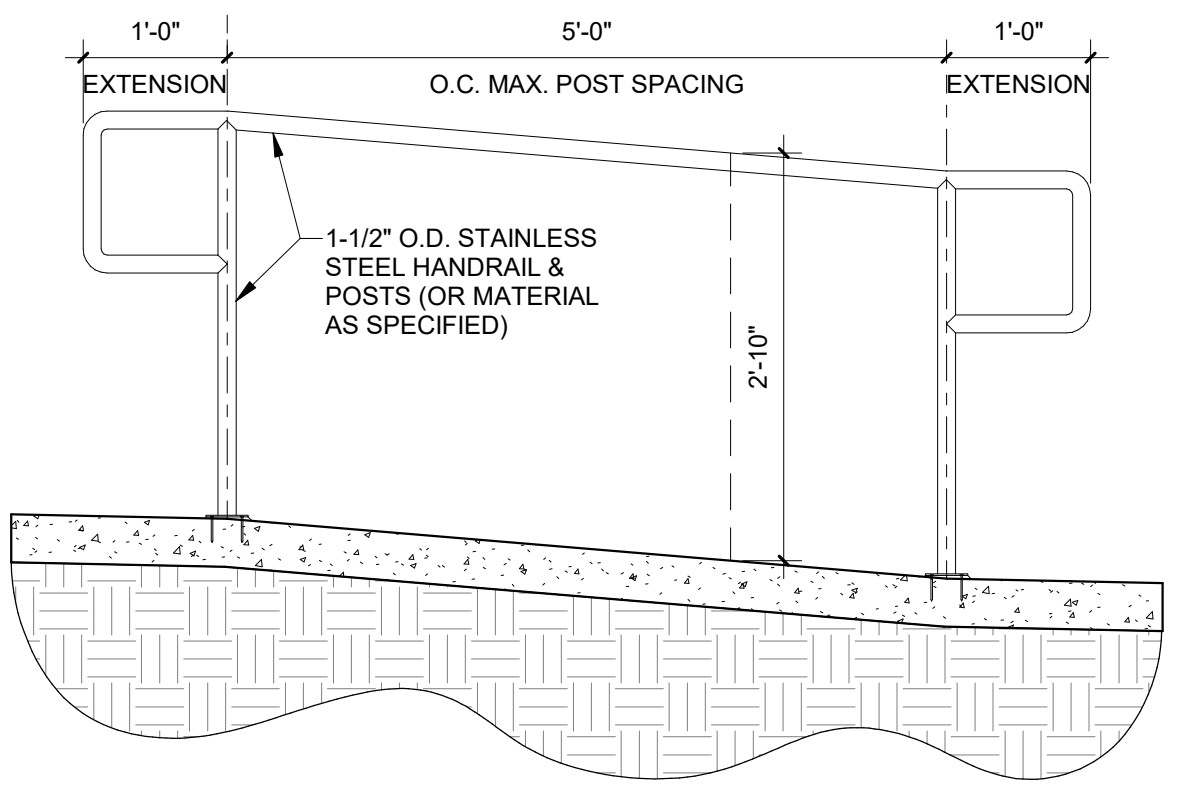
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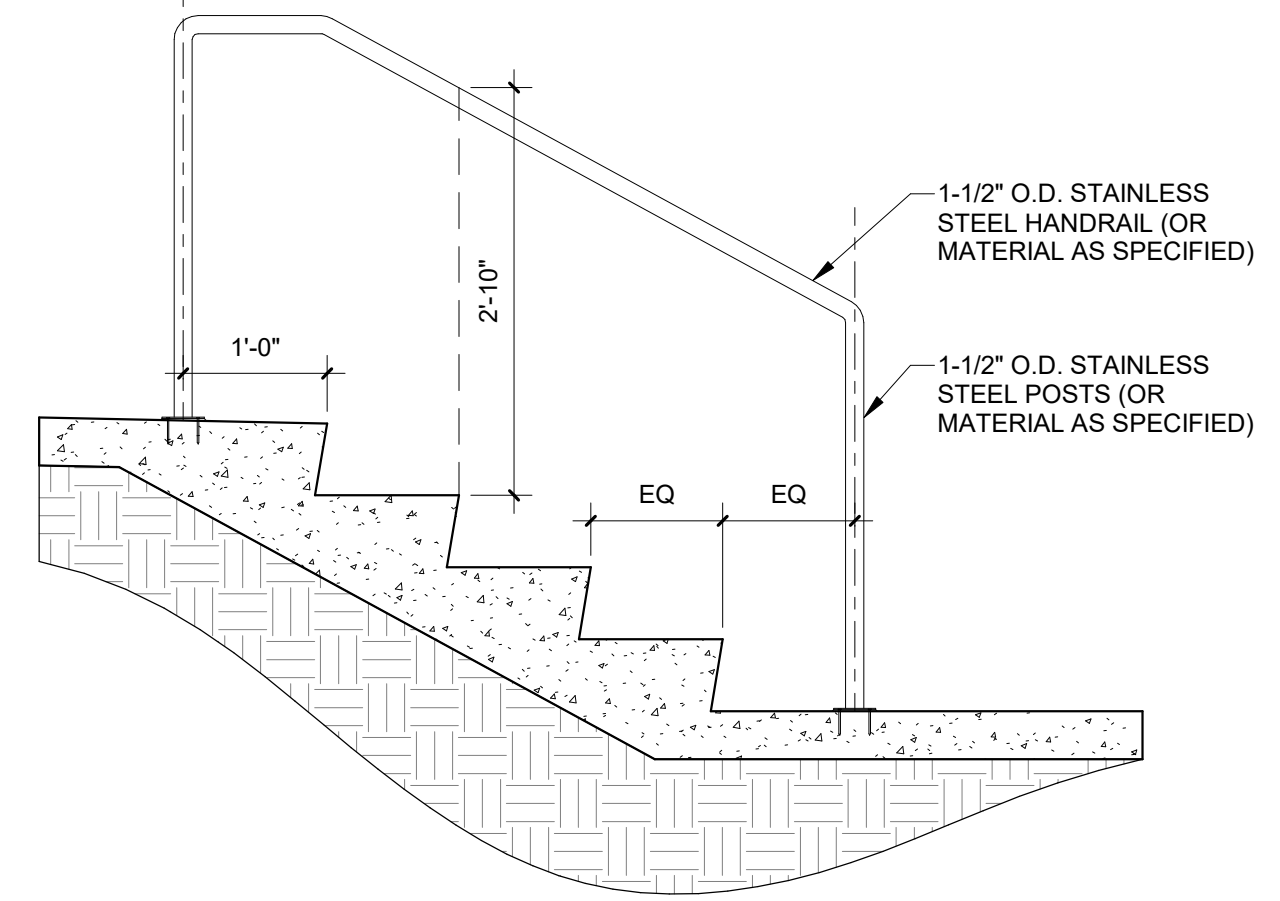
DESIGNED: Designer
DRAWN: Author
CHECKED: Checker



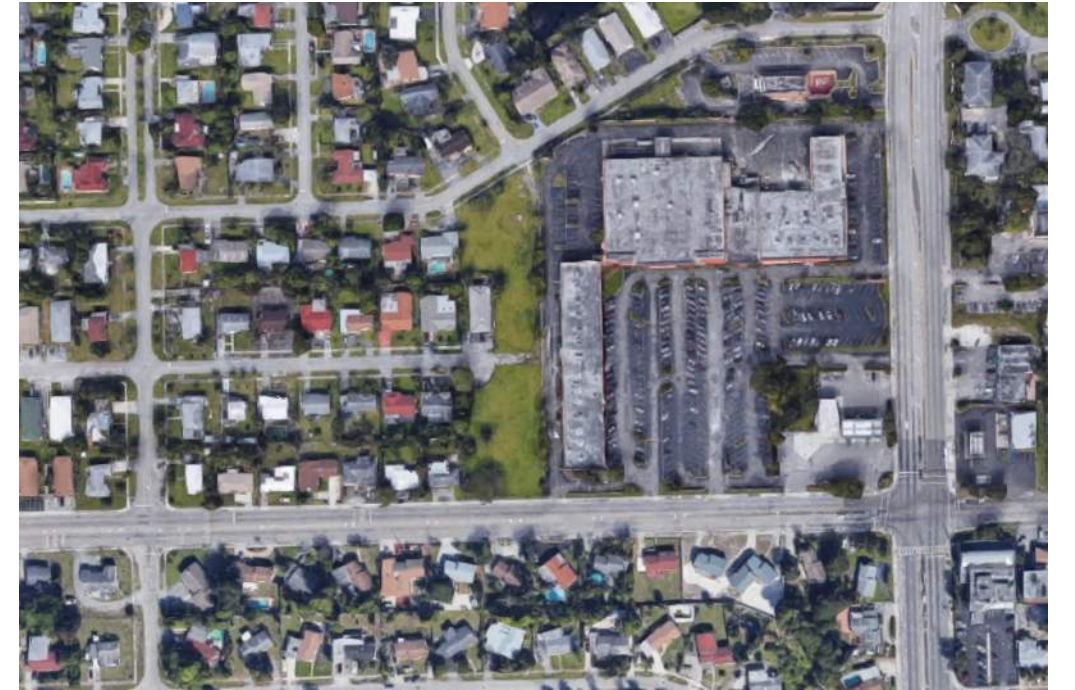
A3 SITE PLAN
1" = 20'-0"



B2 HANDRAIL DETAIL @ EXT. RAMPS
3/4" = 1'-0"



A2 HANDRAIL DETAIL @ EXT. STAIRS
3/4" = 1'-0"

POLICE	SITE PLAN DATA	CODE DATA	LEGAL DESCRIPTION
ALL EXTERIOR WINDOWS AND DOORS SHALL BE IMPACT RATED. UNIT ENTRY DOORS SHALL BE SOLID, IMPACT RESISTANT WITH DEADBOLT AND SHALL EACH BE FITTED WITH 180 DEGREE PEEPHOLE DOOR VIEWERS.	SEE CIVIL DRAWINGS FOR SITE PLAN DATA.	1. PROJECT SHALL BE PERMITTED UNDER THE 2020 FLORIDA BUILDING CODE, 7TH EDITION & COMPLY WITH FAIR HOUSING ACT DESIGN PRINCIPLES WHERE APPLICABLE. 2. OCCUPANCIES UNDER THE BUILDING PERMIT SHALL BE CLASSIFIED "R-2" PER FBC 2020 CHAPTER 3.	VICTOR CAMERON PLAT 146-42 B TRACT 'A'
FIRE PROJECT SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF NFPA SEVENTH EDITION AND THE FLORIDA BUILDING CODE 2020.		3. LIFE SAFETY PLANS UNDER THE BUILDING PERMIT SHALL BE SUBJECT TO FBC 2020, CHAPTER 10 MEANS OF EGRESS. 4. BUILDING SEPARATIONS SHALL COMPLY WITH FBC 2020 CHAPTER 6, TABLES 601 & 602.	AERIAL 
BUILDING TYPE OF CONSTRUCTION PER FBC TABLE 601: TYPE II-A MIXED USE DEVELOPMENT USE GROUP: R2		5. EXTERIOR WALL OPENINGS SHALL COMPLY WITH FBC 2020 CHAPTER 7, TABLE 705.8.	SITE PLAN APPROVAL AR003

REVISIONS

DATE:	COMM:
9 December 2022	22047

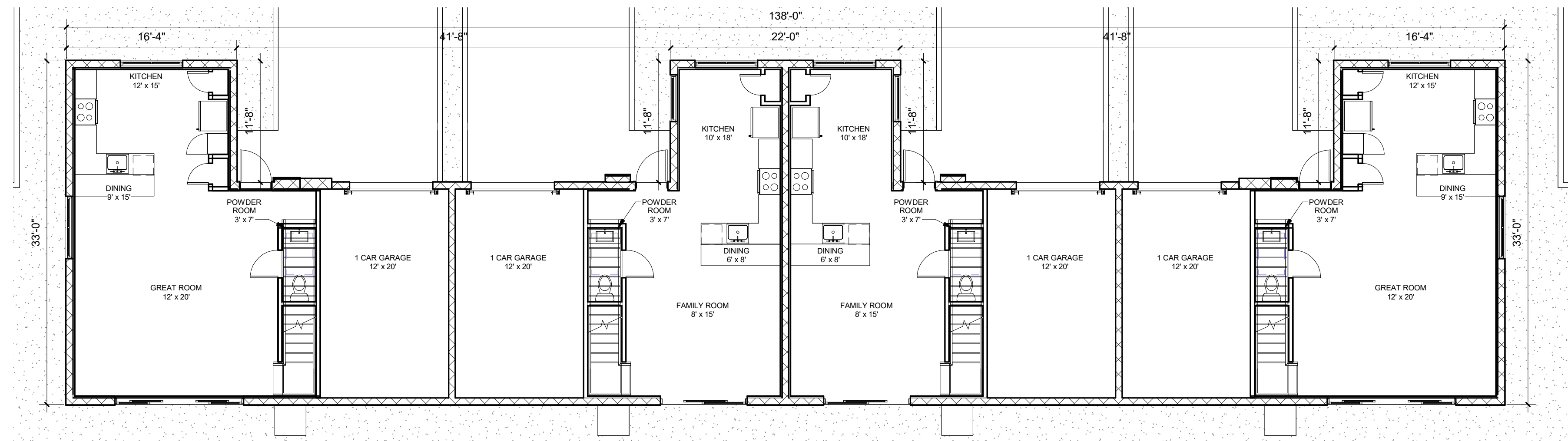
Habitat for Humanity
Fort Lauderdale

NW 19th Street
Fort Lauderdale, FL 33311

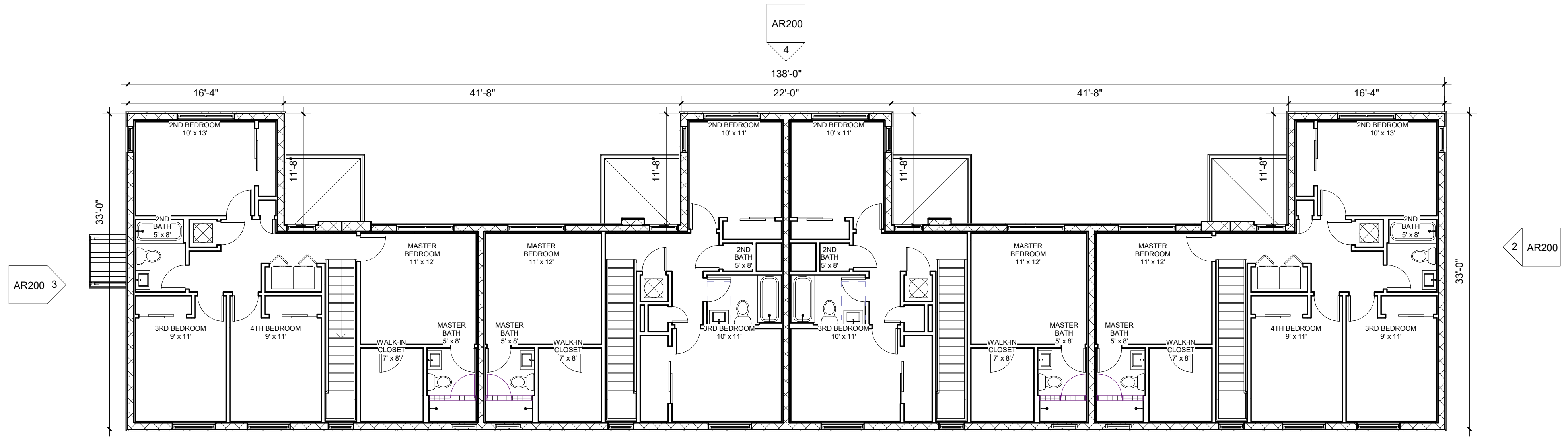
SITE PLAN APPROVAL

AR003

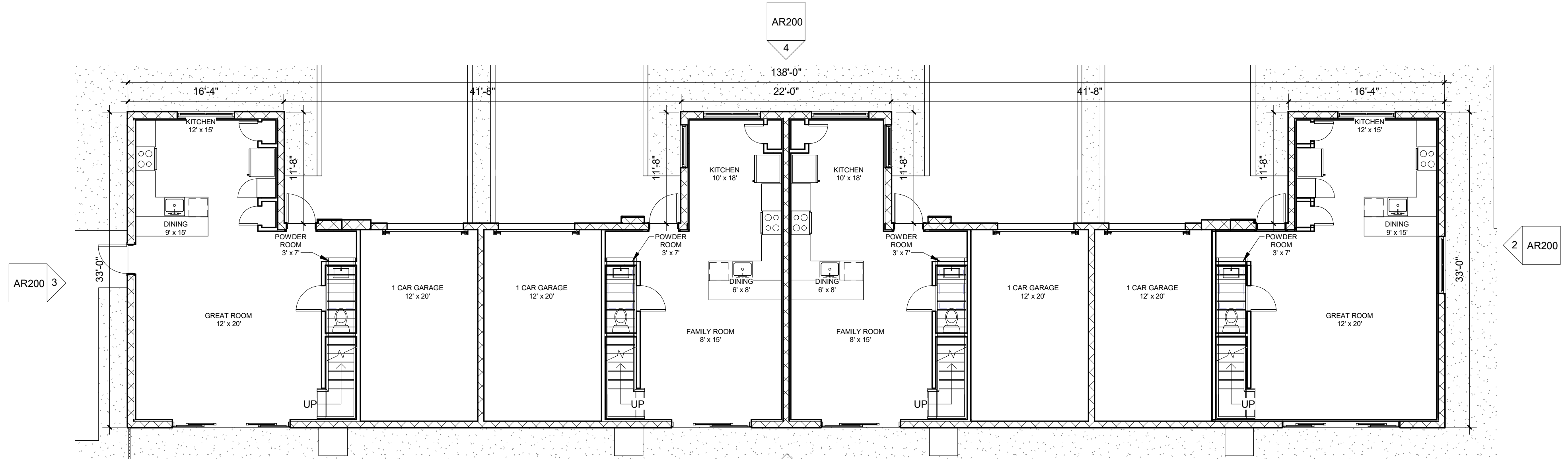
12/8/2022 3:16:17 PM



A4 BUILDING B FIRST FLOOR PLAN (BLDG C IDENTICAL)
1/8" = 1'-0"



A2 BUILDING A SECOND FLOOR PLAN (BLDGS B & C IDENTICAL)
1/8" = 1'-0"



A1 BUILDING A FIRST FLOOR PLAN
1/8" = 1'-0"

REVISIONS

DATE:	COMM:
9 December 2022	22047

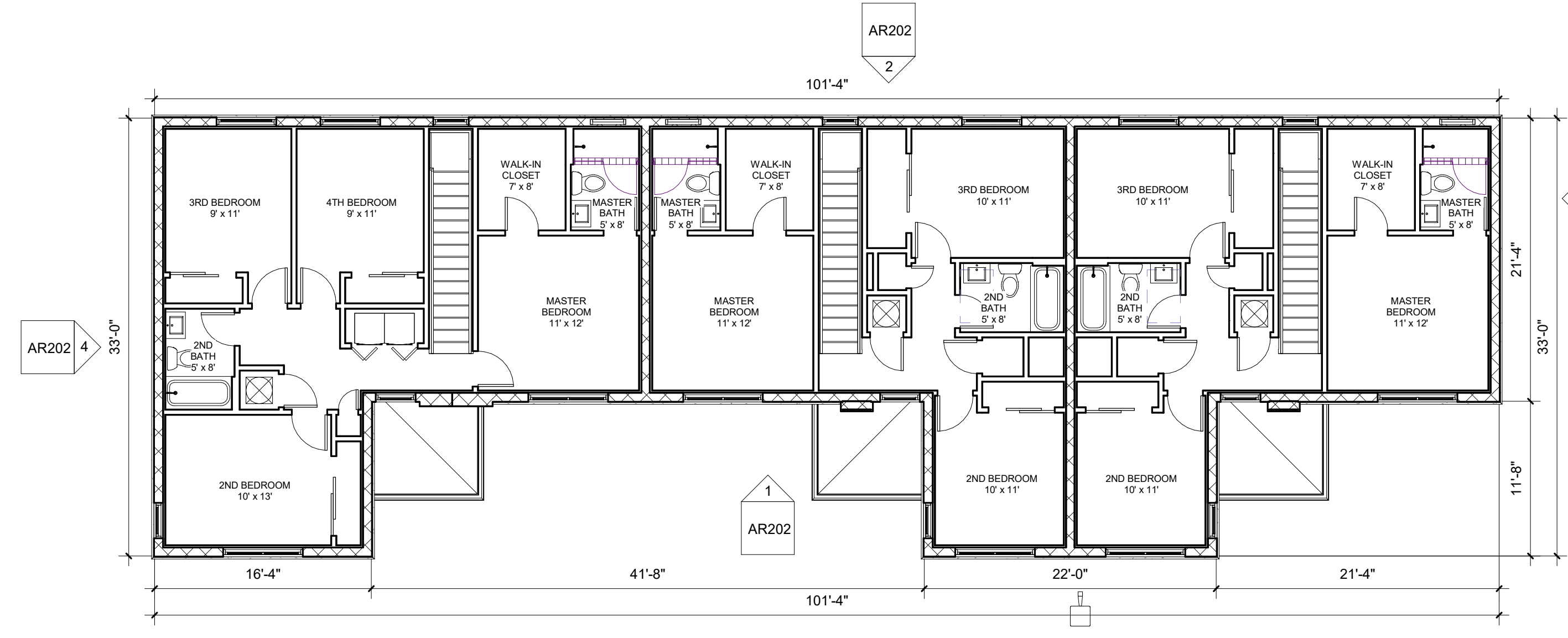
Habitat for Humanity
Fort Lauderdale

NW 19th Street
Fort Lauderdale, FL 33311

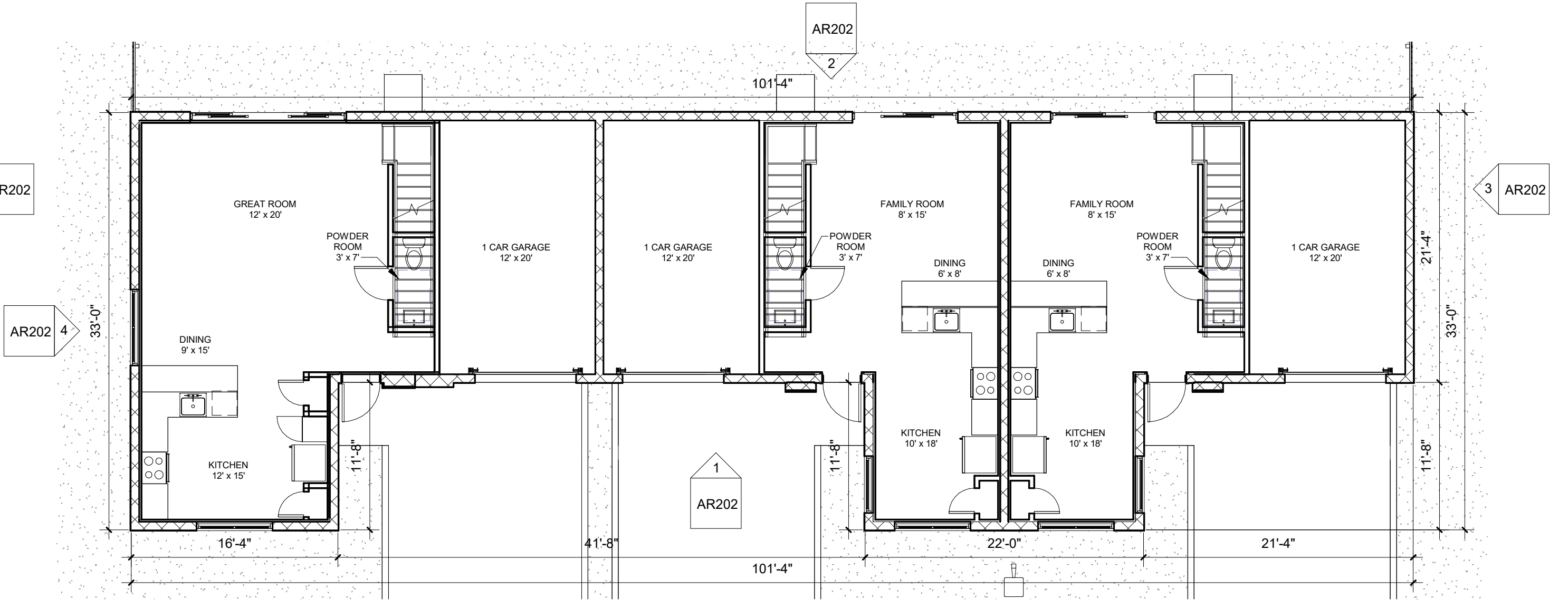
FLOOR PLANS

SITE PLAN APPROVAL

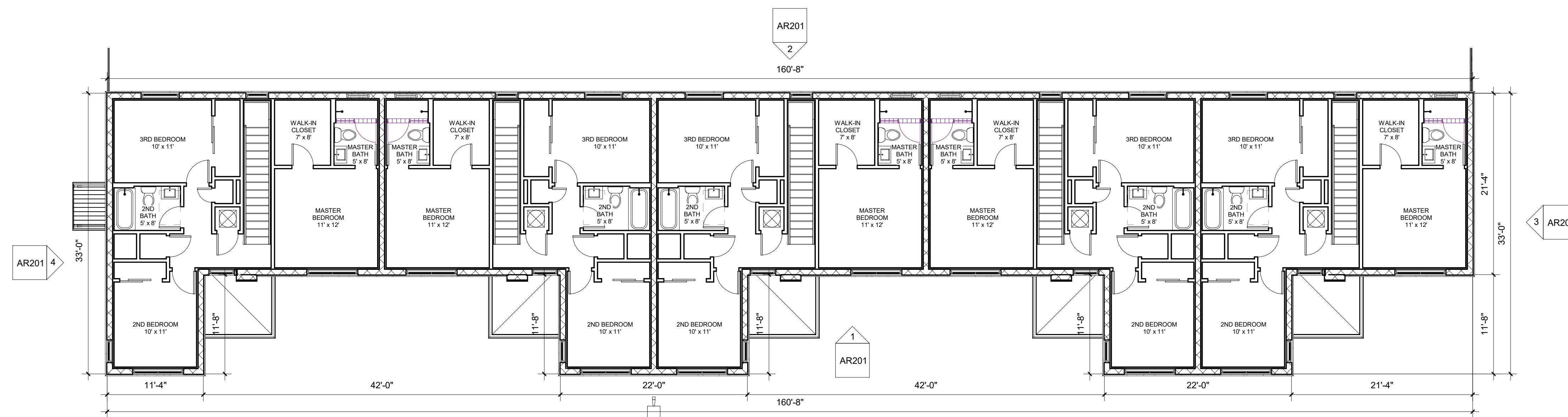
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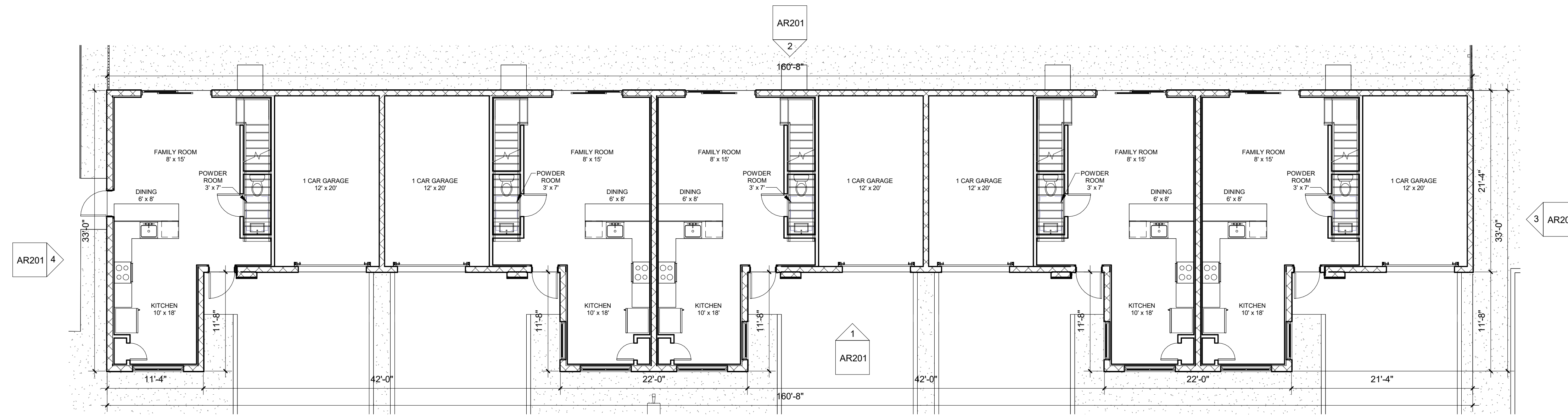
D4 BUILDING E SECOND FLOOR PLAN
1/8" = 1'-0"



A4 BUILDING E FIRST FLOOR PLAN
1/8" = 1'-0"



A2 BUILDING D SECOND FLOOR PLAN
1/8" = 1'-0"



A1 BUILDING D FIRST FLOOR PLAN
1/8" = 1'-0"

REVISIONS

DATE:	COMM:
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Habitat for Humanity
Fort Lauderdale

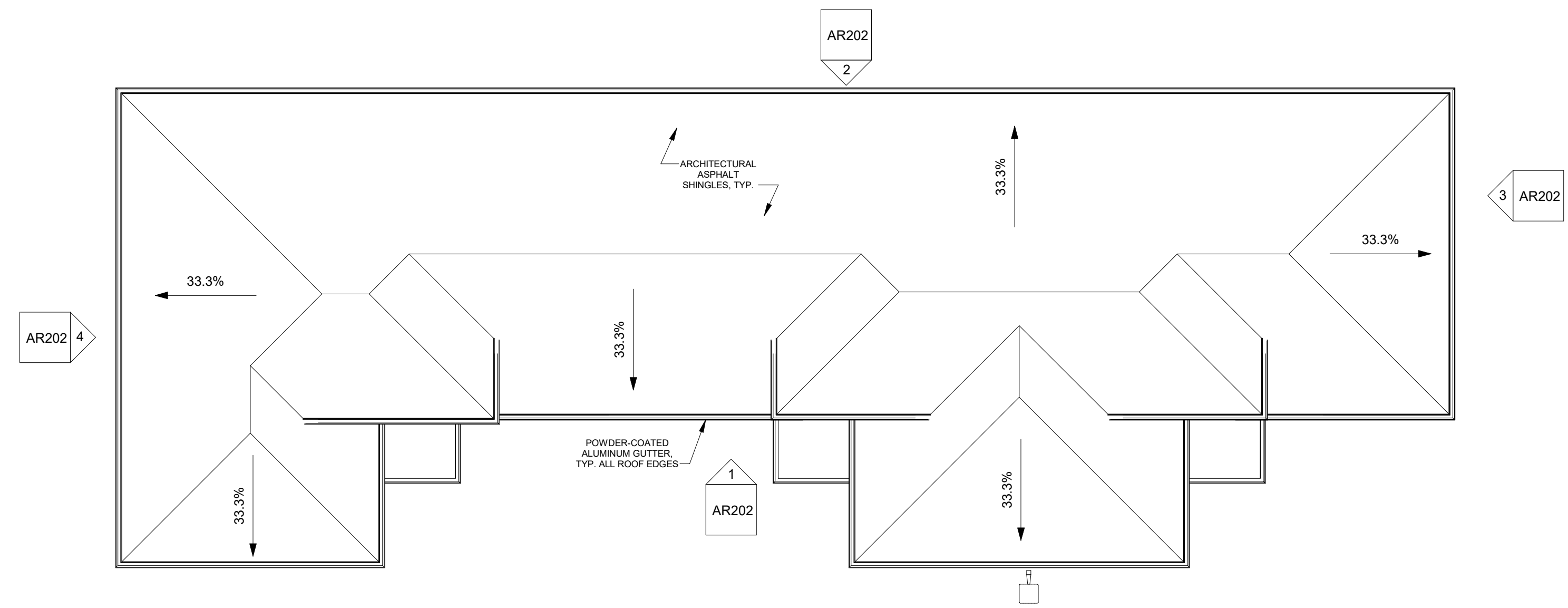
NW 19th Street
Fort Lauderdale, FL 33311

FLOOR PLANS

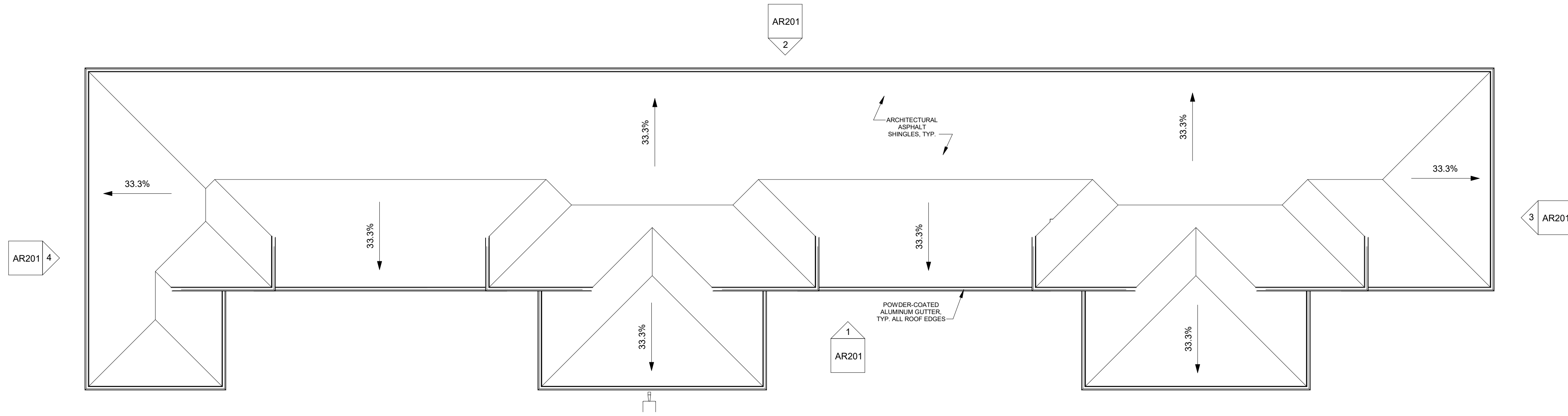
SITE PLAN APPROVAL

AR102

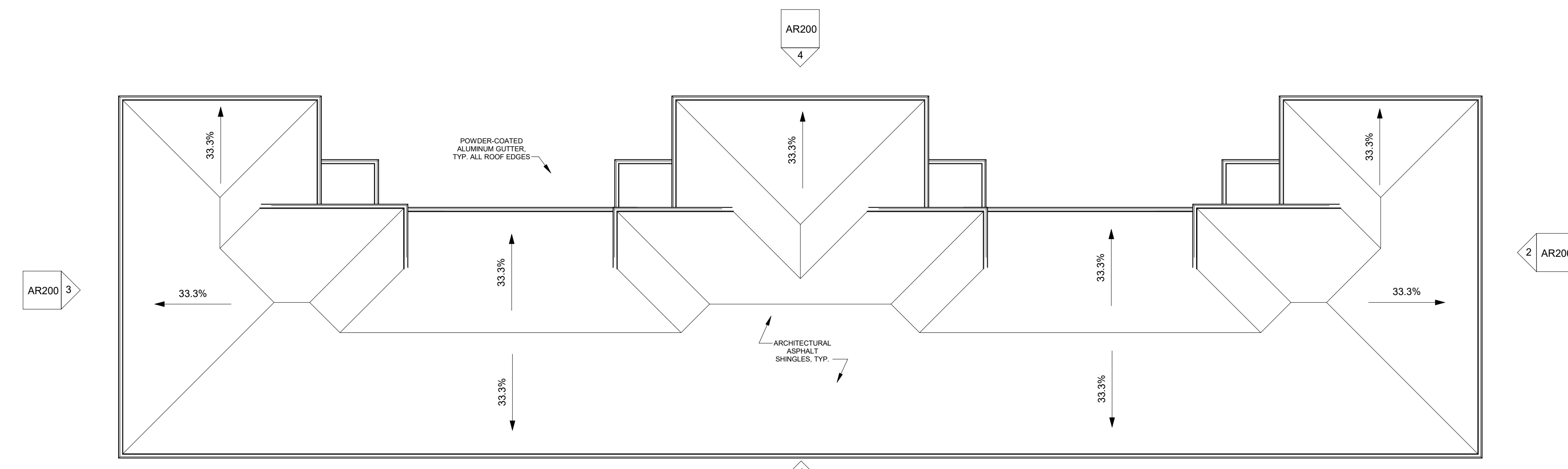
12/8/2022 3:16:20 PM



A4 BUILDING E ROOF PLAN
1/8" = 1'-0"



A2 BUILDING D ROOF PLAN
1/8" = 1'-0"



A1 BUILDING A ROOF PLAN (BLDGS B & C IDENTICAL)
1/8" = 1'-0"

R E V I S I O N S

DATE:	COMM:
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**Habitat for Humanity
Fort Lauderdale**

NW 19th Street
Fort Lauderdale, FL 33311

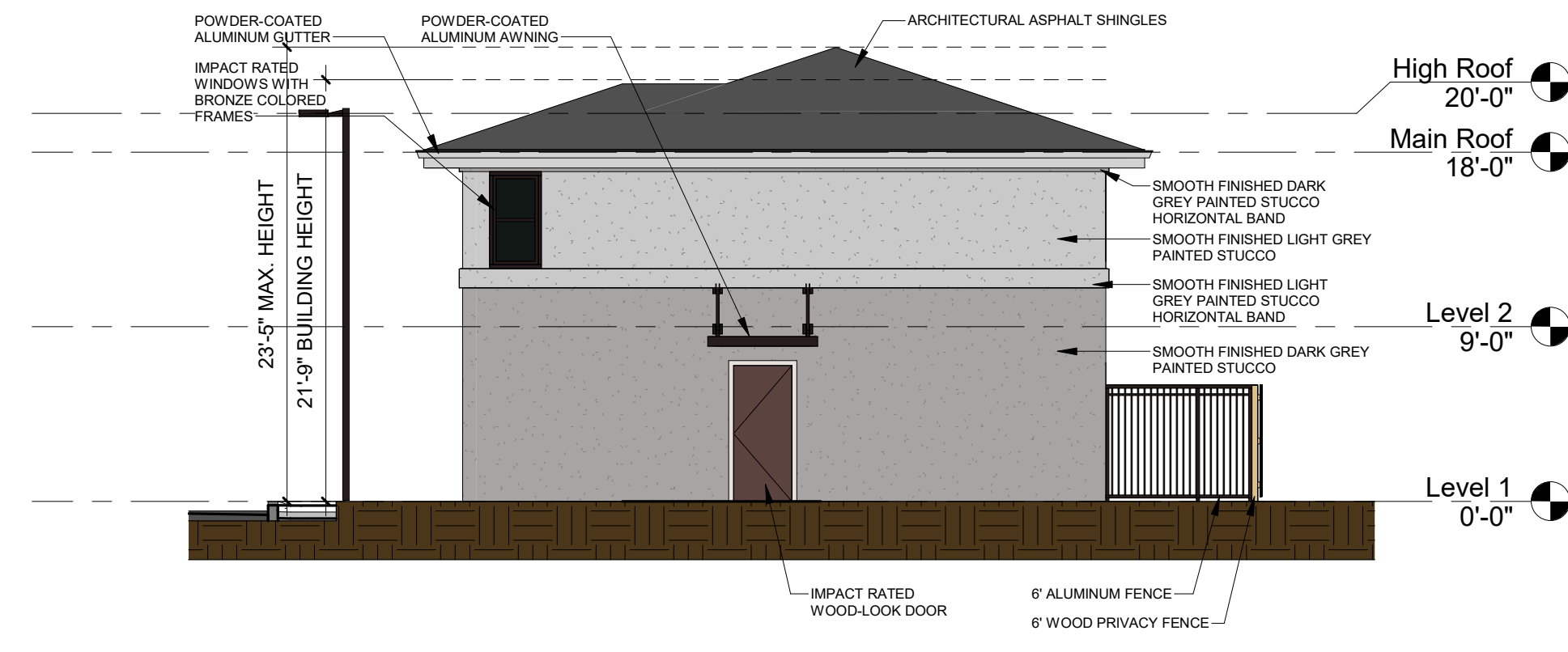
ROOF PLAN

SITE PLAN APPROVAL

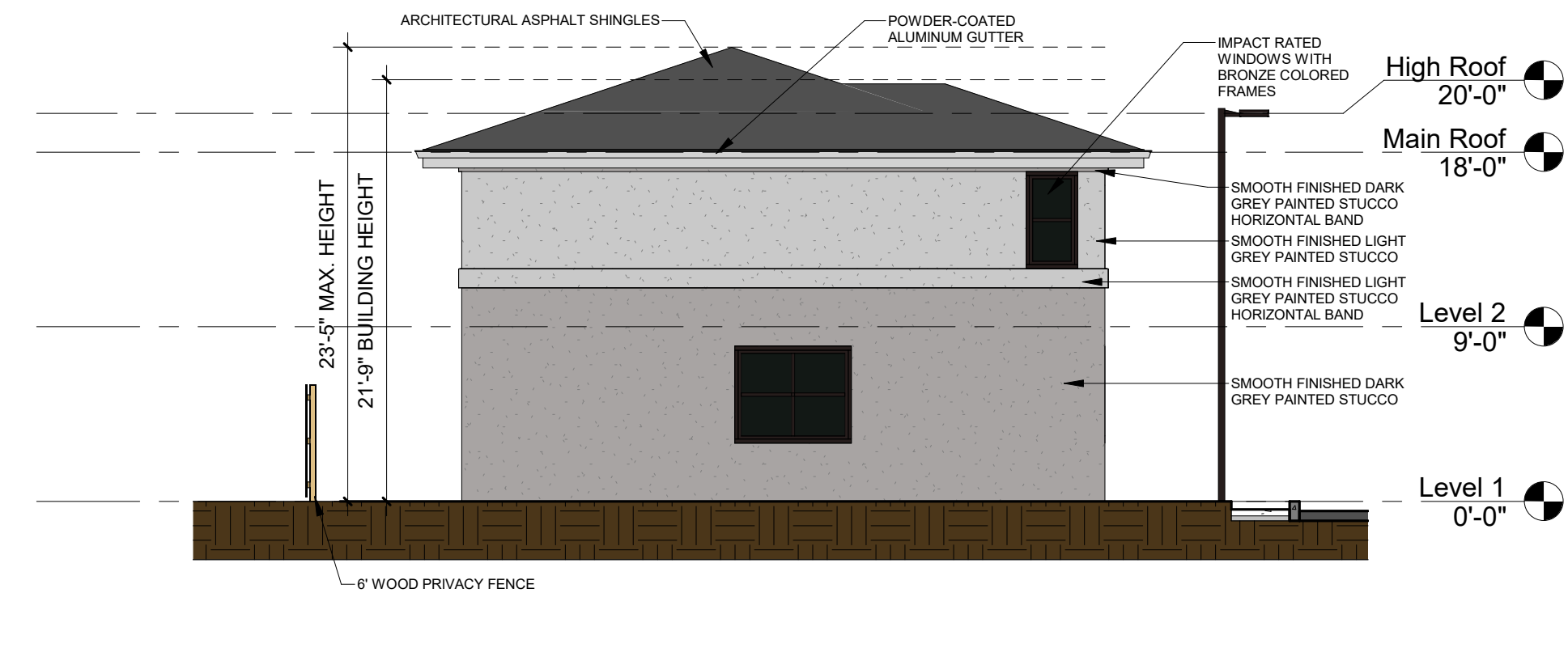
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12/8/2022 3:16:20 PM

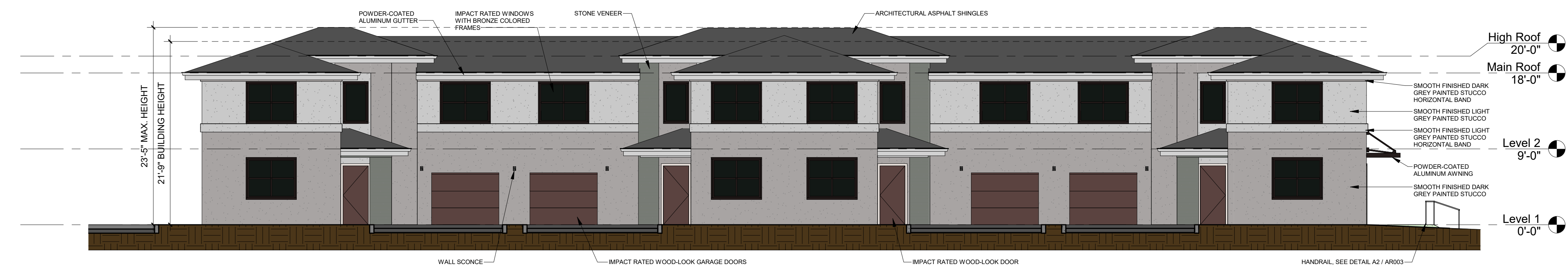
DESIGNED Designer	DRAWN Author	CHECKED Checker
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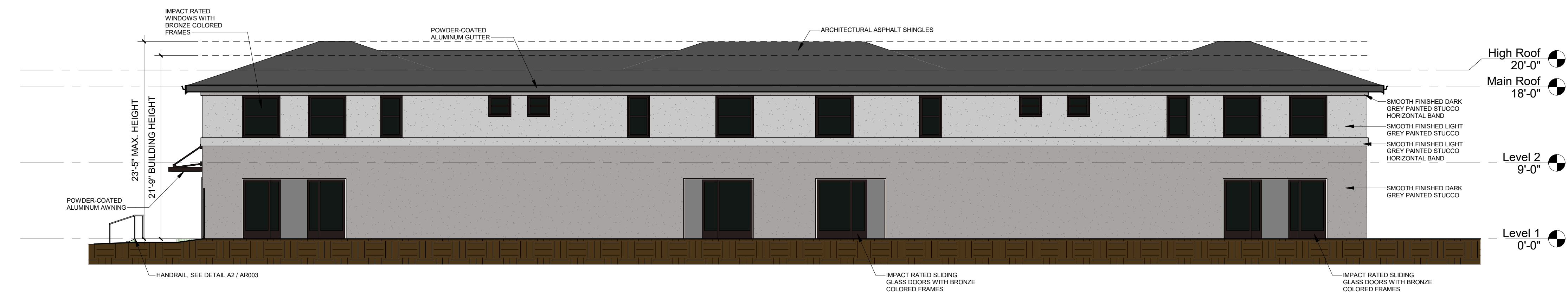
③ BLDG A SOUTH ELEVATION
1/8" = 1'-0"



② BLDG A NORTH ELEVATION
1/8" = 1'-0"



④ BLDG A WEST ELEVATION
1/8" = 1'-0"



① BLDG A EAST ELEVATION
1/8" = 1'-0"

REVISIONS

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9 December 2022	22047

Habitat for Humanity
Fort Lauderdale

NW 19th Street
Fort Lauderdale, FL 33311

EXTERIOR ELEVATIONS

SITE PLAN APPROVAL

AR200

12/8/2022 3:16:22 PM

DESIGNED Designer	DRAWN Author	CHECKED Checker
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REVISIONS

DATE:	COMM:
9 December 2022	22047

Habitat for Humanity
Fort Lauderdale

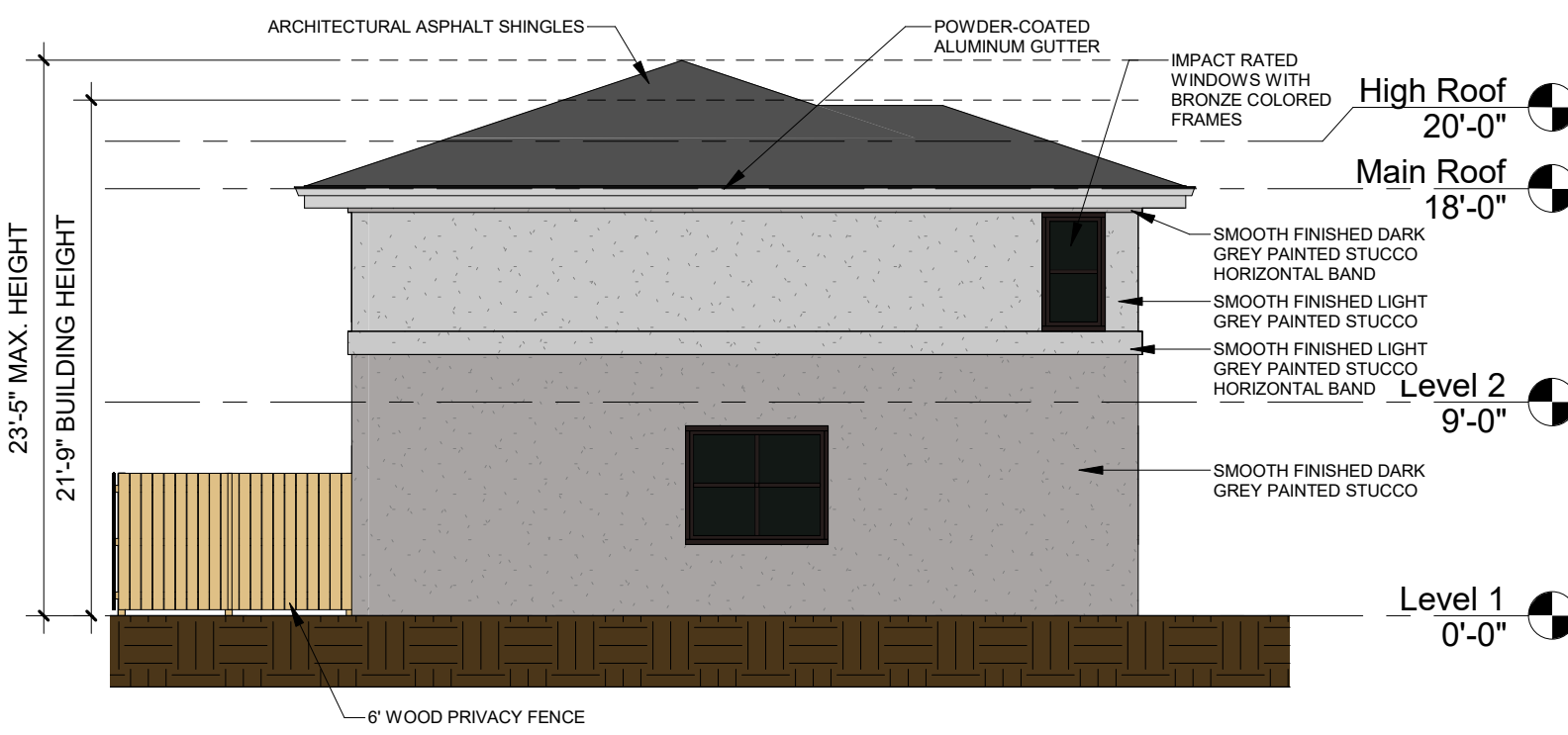
NW 19th Street
Fort Lauderdale, FL 33311

EXTERIOR ELEVATIONS

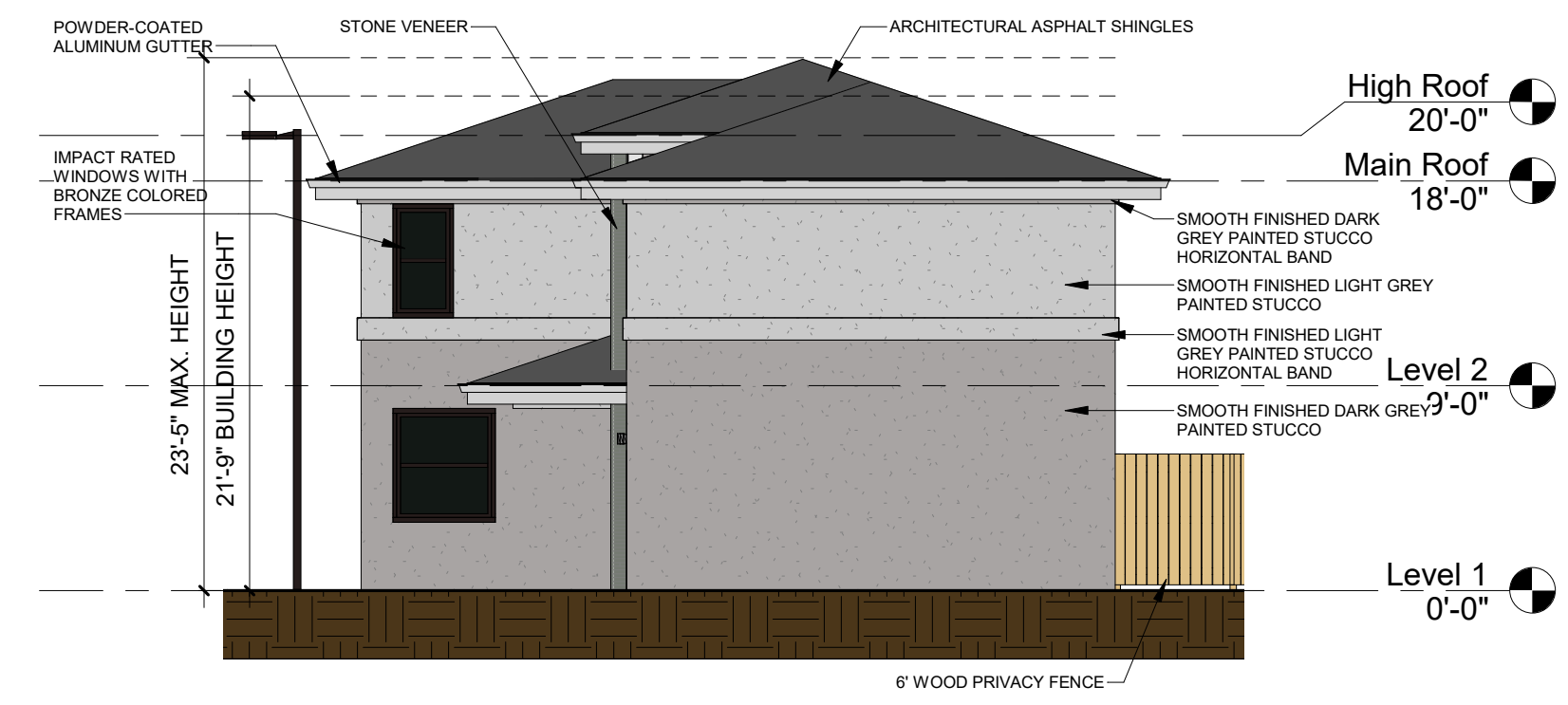
SITE PLAN APPROVAL

AR202

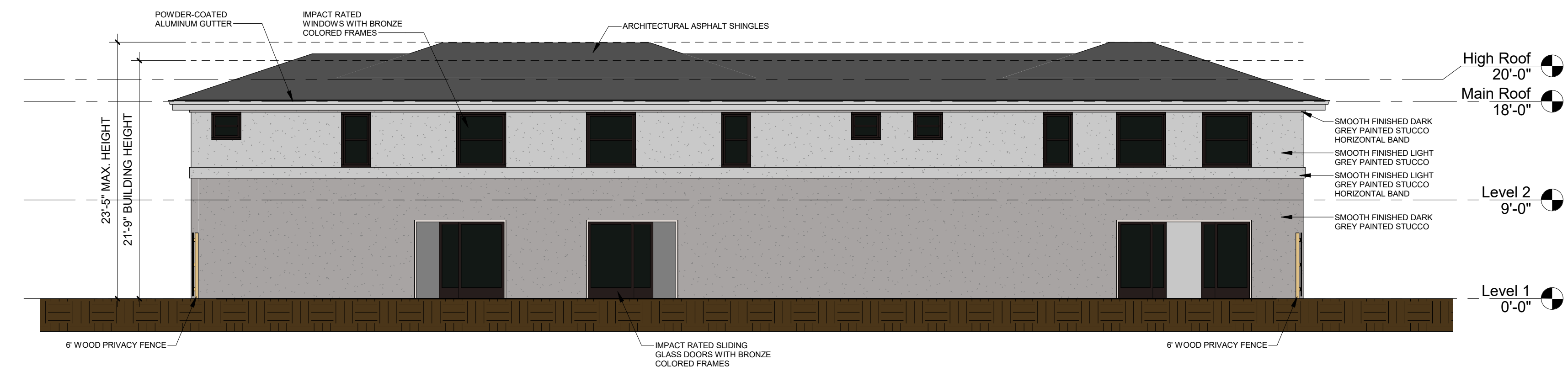
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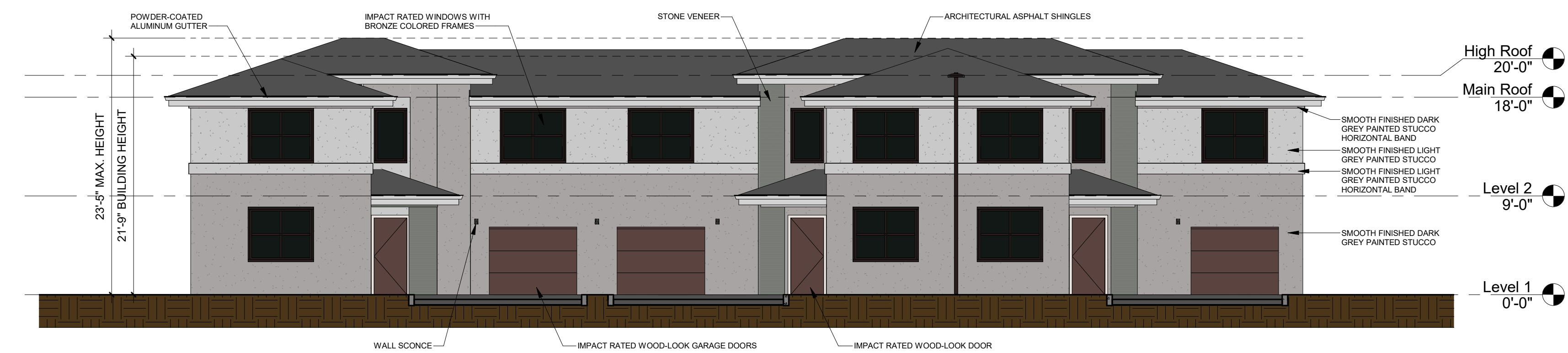
4 BLDG E SOUTH ELEVATION
1/8" = 1'-0"



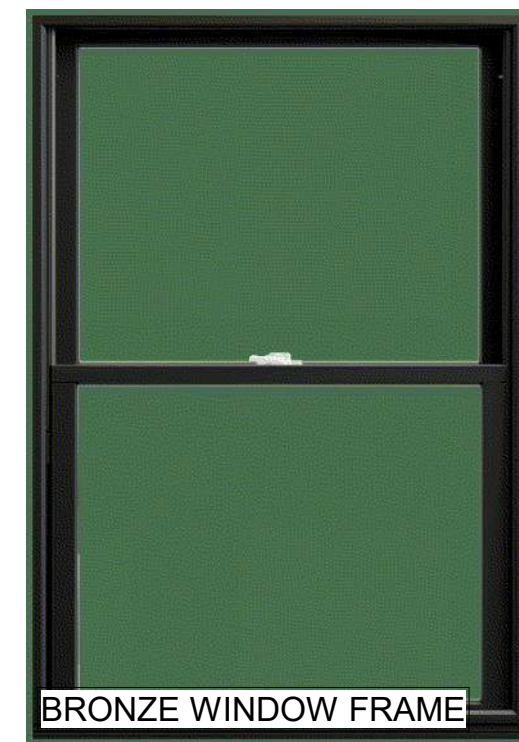
3 BLDG E NORTH ELEVATION
1/8" = 1'-0"



2 BLDG E WEST ELEVATION
1/8" = 1'-0"



1 BLDG E EAST ELEVATION
1/8" = 1'-0"



LIGHT GREY STUCCO

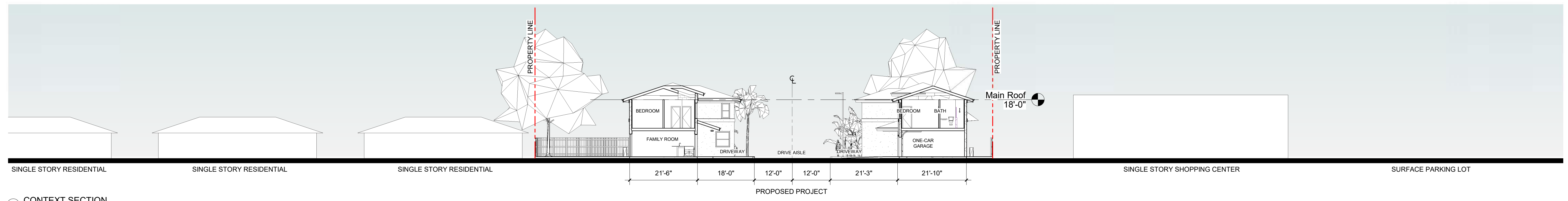


DARK GREY STUCCO

WOOD-LOOK DOOR

MATERIALS

DESIGNED Designer	DRAWN Author	CHECKED Checker
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REVISIONS

DATE:	COMM:
9 December 2022	22047

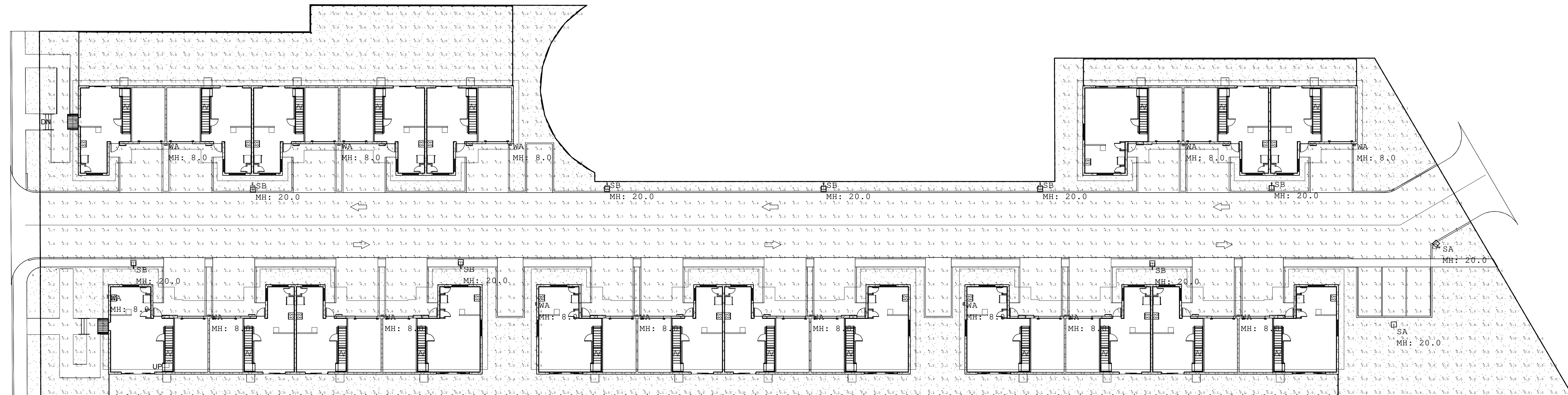
Habitat for Humanity
Fort Lauderdale

NW 19th Street
Fort Lauderdale, FL 33311

CONTEXT ELEVATIONS &
SECTIONS
SITE PLAN APPROVAL

AR210

12/8/2022 3:16:27 PM



Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	
SA	2	SA	Single	LSI Industries MRS-LED-09L-SIL-FT-40-70CRI-IL	0.900	6038	63	126	
SB	8	SB	Single	LSI Industries MRS-LED-09L-SIL-3-40-70CRI-IL	0.900	6459	63	504	
WA	14	WA	Single	LSI Industries XWM-3-LED-04L-40	0.900	4124	29.5	413	

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min		
Parking and Drive Lanes	Illuminance	Fc	3.48	8.3	1.1	3.16	7.55		

A1 PHOTOMETRIC PLAN
1" = 20'-0"

NOTE:
ALL PROPOSED LIGHTING WILL BE DESIGNED AND
INSTALLED SO AS TO REFLECT LIGHT AWAY FROM
AND PREVENT ANY GLARE OR EXCESSIVE LIGHT
ON ANY ADJACENT PROPERTY.

REVISIONS

DATE: 9 December 2022
COMM: 22047

Habitat for Humanity
Fort Lauderdale

NW 19th Street
Fort Lauderdale, FL 33311

PHOTOMETRIC PLANS

SITE PLAN APPROVAL

AR400

DESIGNED Designer	DRAWN Author	CHECKED Checker
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C3 AERIAL VIEW - FRONT YARDS
6" = 1'-0"



A3 AERIAL VIEW - REAR YARDS
6" = 1'-0"



C1 STREET VIEW
6" = 1'-0"



A1 STREET VIEW - LIVE / WORK UNIT
6" = 1'-0"

REVISIONS

DATE: 9 December 2022	COMM: 22047
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Habitat for Humanity
Fort Lauderdale

NW 19th Street
Fort Lauderdale, FL 33311

PERSPECTIVES & RENDERINGS

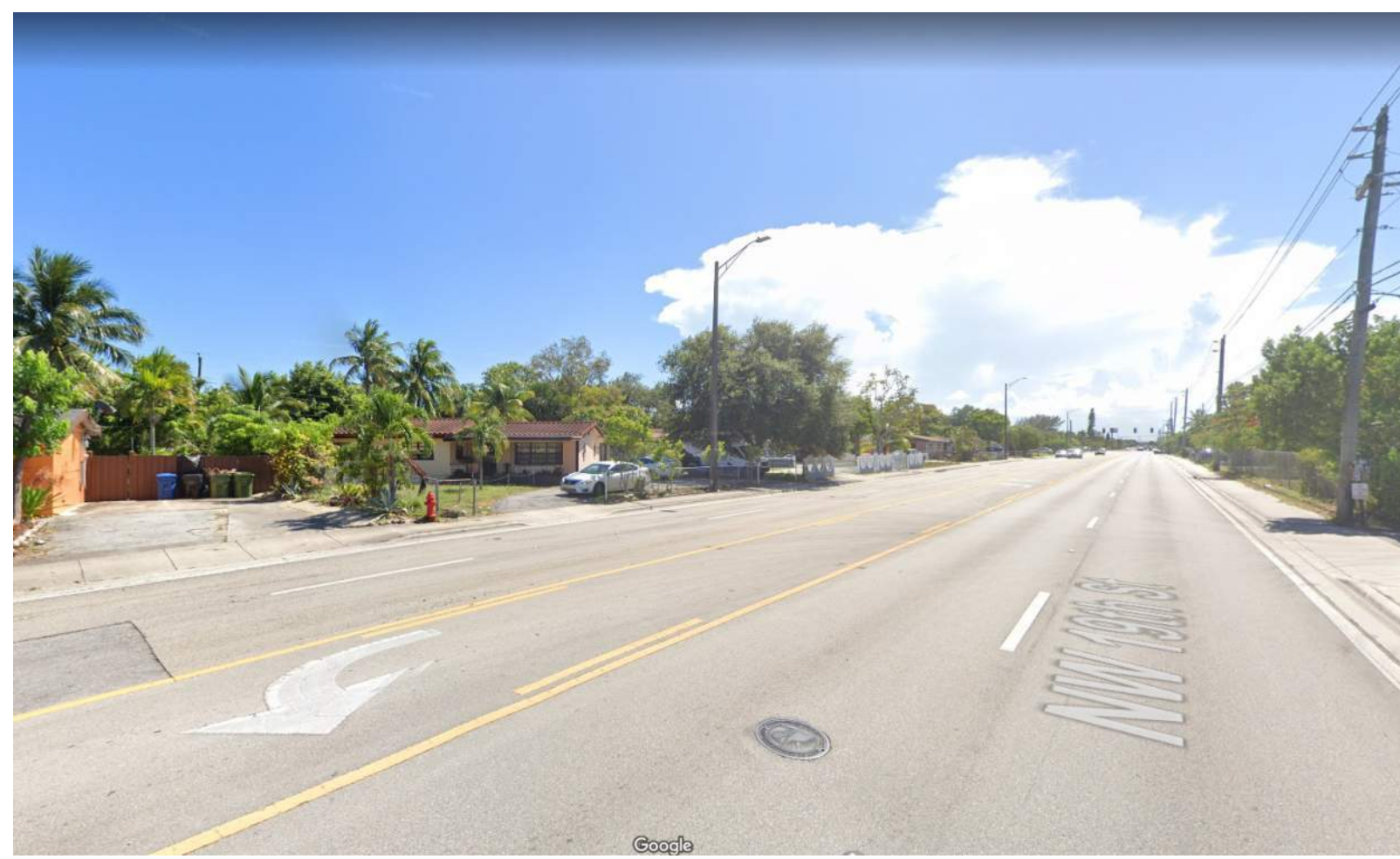
SITE PLAN APPROVAL

AR800

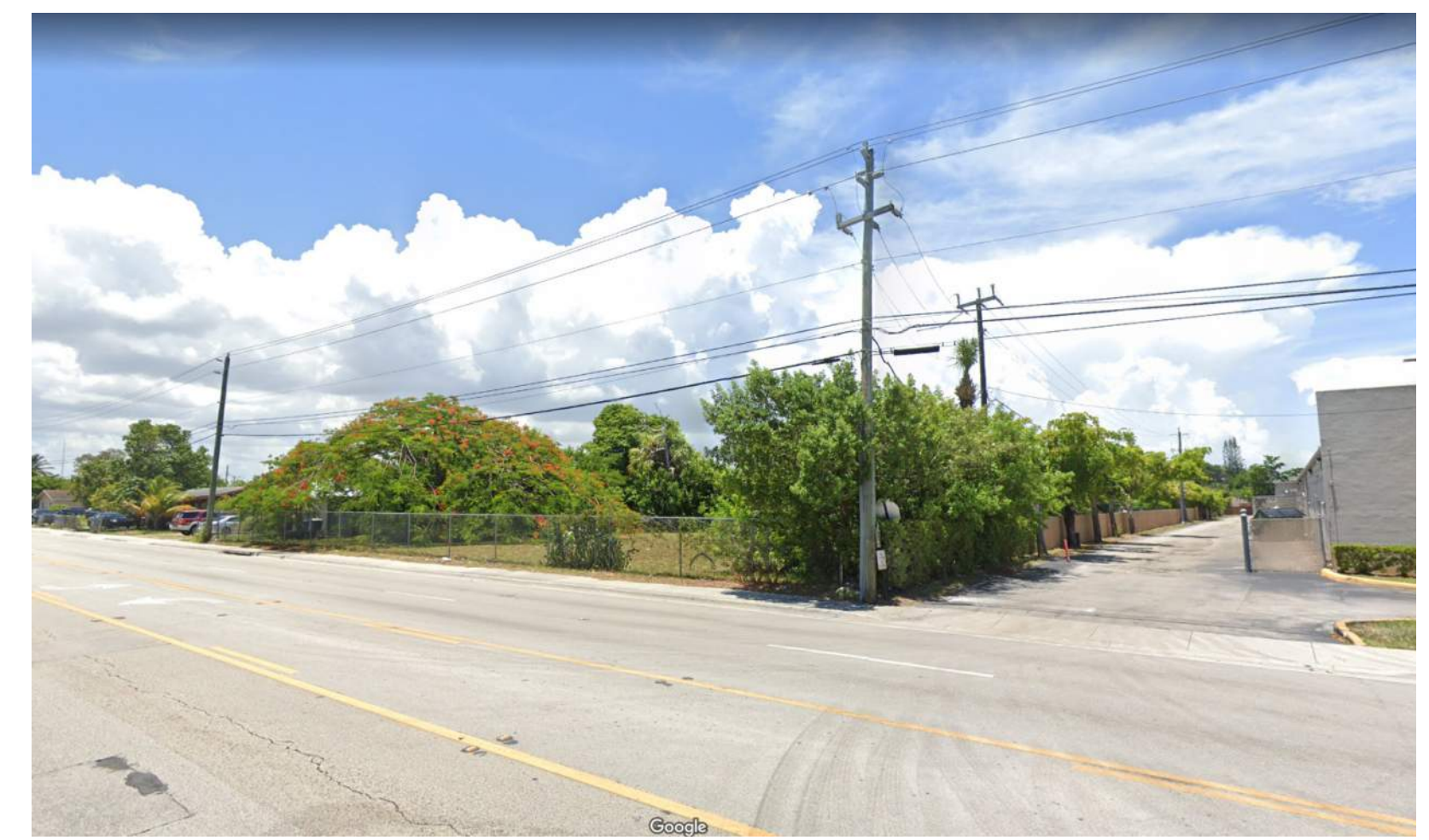
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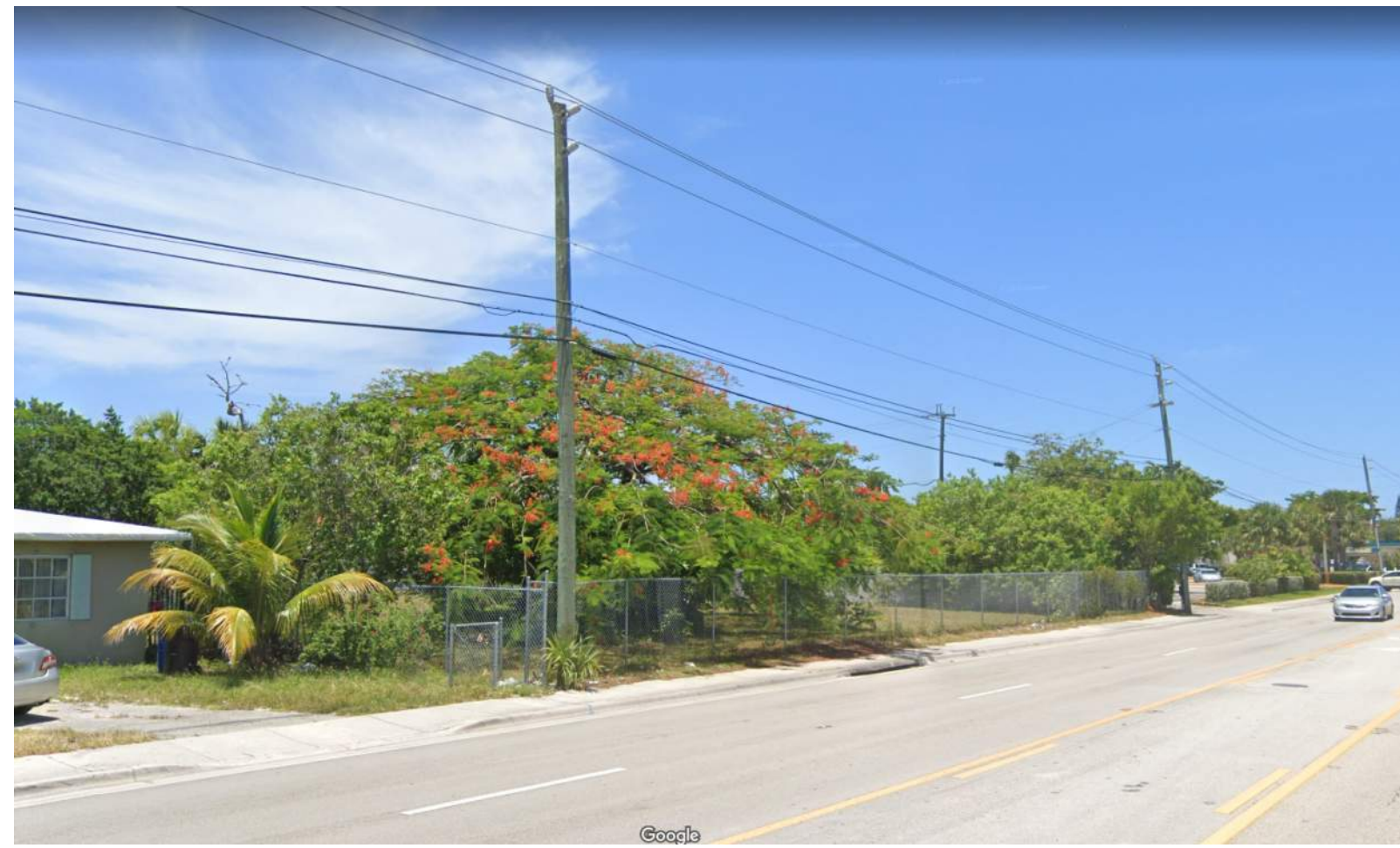
E4 STREET VIEW 1
6" = 1'-0"



C4 STREET VIEW 2
6" = 1'-0"



A4 STREET VIEW 3
6" = 1'-0"



E3 STREET VIEW 4
6" = 1'-0"



C3 STREET VIEW 5
6" = 1'-0"



A3 STREET VIEW 6
6" = 1'-0"



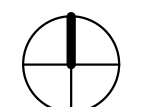
E1 STREET VIEW 7
6" = 1'-0"



C1 STREET VIEW 8
6" = 1'-0"



A1 EXISTING SITE PHOTO KEY
6" = 1'-0"



REVISIONS

DATE:	COMM:
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Habitat for Humanity
Fort Lauderdale

NW 19th Street
Fort Lauderdale, FL 33311

EXISTING SITE PHOTOS

SITE PLAN APPROVAL

AR900

12/28/2022 3:16:51 PM

GENERAL SYMBOLS

Table with 2 columns: SYMBOL and DESCRIPTION. Includes symbols for section markers, detail callouts, revision triangles, break lines, photo locations, and coordinate values.

GEN SITE & PMS

Table with 2 columns: SYMBOL and DESCRIPTION. Includes symbols for pavement marking arrows, stop bars, ADA parking, concrete car stop, bicycle racks, and parking space numbers.

PAVING & GRADING

Table with 2 columns: SYMBOL and DESCRIPTION. Includes symbols for flow directional arrows, elevation changes, major/minor contour elevations, and slope banks.

UTILITY PIPES

Table with 2 columns: SYMBOL and DESCRIPTION. Includes symbols for pipe fittings, valves, man/auto blowoff, sample points, tapping saddles, and utility crossings.

HATCH PATTERNS

Table with 4 columns: SYM, DESCRIPTION, SYM, DESCRIPTION. Lists hatch patterns for concrete area, jogging path, pavement area, building hatch, milling and resurfacing, detectable warning, and demolition area.

UTILITY STRUCTURES

Table with 2 columns: SYMBOL and DESCRIPTION. Includes symbols for catch basins, curb inlets, trench drains, culverts, pump stations, septic tanks, drainage wells, monitoring wells, and sewer structures.

LINE TYPES

Table with 3 columns: PROPOSED UTILITIES, TOPO, and PAVEMENT MARKING. Shows line styles for water, sanitary sewer, force main, storm drain, irrigation, raw water, reclaimed water, gas lines, breaklines, contours, and various pavement markings.

GENERAL SITE

Table with 2 columns: SYMBOL and DESCRIPTION. Shows symbols for demolition, turbidity barrier, parking striping, building setback, fire truck path, sight triangle, building footprint, vehicle overhang, construction limits, silt fence, super silt fence, and double parking striping.

Table with 2 columns: DESCRIPTION and ABBREVIATION. Lists abbreviations for traffic volume, abandonment, adjustments, approximations, asphalt concrete, corrugated metal, bituminous, curbs, baselines, buildings, benchmarks, and various pipe and structure types.

Table with 2 columns: DESCRIPTION and ABBREVIATION. Lists abbreviations for numbers, offsets, plat books, curvatures, profile grade lines, intersections, valves, tangents, projects, and various site features.

Table with 2 columns: LINE WEIGHTS and DESCRIPTION. Explains line weights for existing equipment, future equipment, and proposed/construct structures.

NOTE: THIS IS A STANDARD LEGEND SHEET. NOT ALL ITEMS ARE PERTINENT TO THIS SET OF DRAWINGS



Florida Engineering Business License: CA7923, Florida Surveyor and Mapper Business License: LB6860, Florida Landscape Architecture Business License: LC26000457

REVISIONS

Table with 3 columns: NO., DESCRIPTION, DATE. Used for tracking revisions to the drawing.

PRELIMINARY PLAN NOT FOR CONSTRUCTION

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

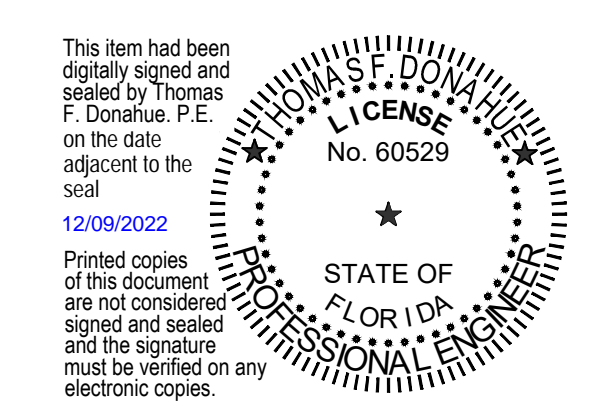
ISSUE DATE: 12/09/22

DESIGNED BY: MVM

DRAWN BY: JR

CHECKED BY: FH

BID-CONTRACT:



THOMAS F. DONAHUE, P.E. FLORIDA REG. NO. 60529 (FOR THE FIRM)

CLIENT



PROJECT

19TH ST MIXED-USE DEVELOPMENT FT. LAUDERDALE - HABITAT FOR HUMANITY

SHEET TITLE

LEGEND AND ABBREVIATIONS

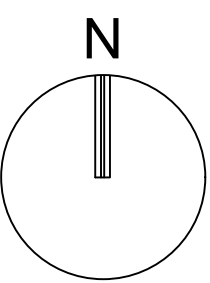
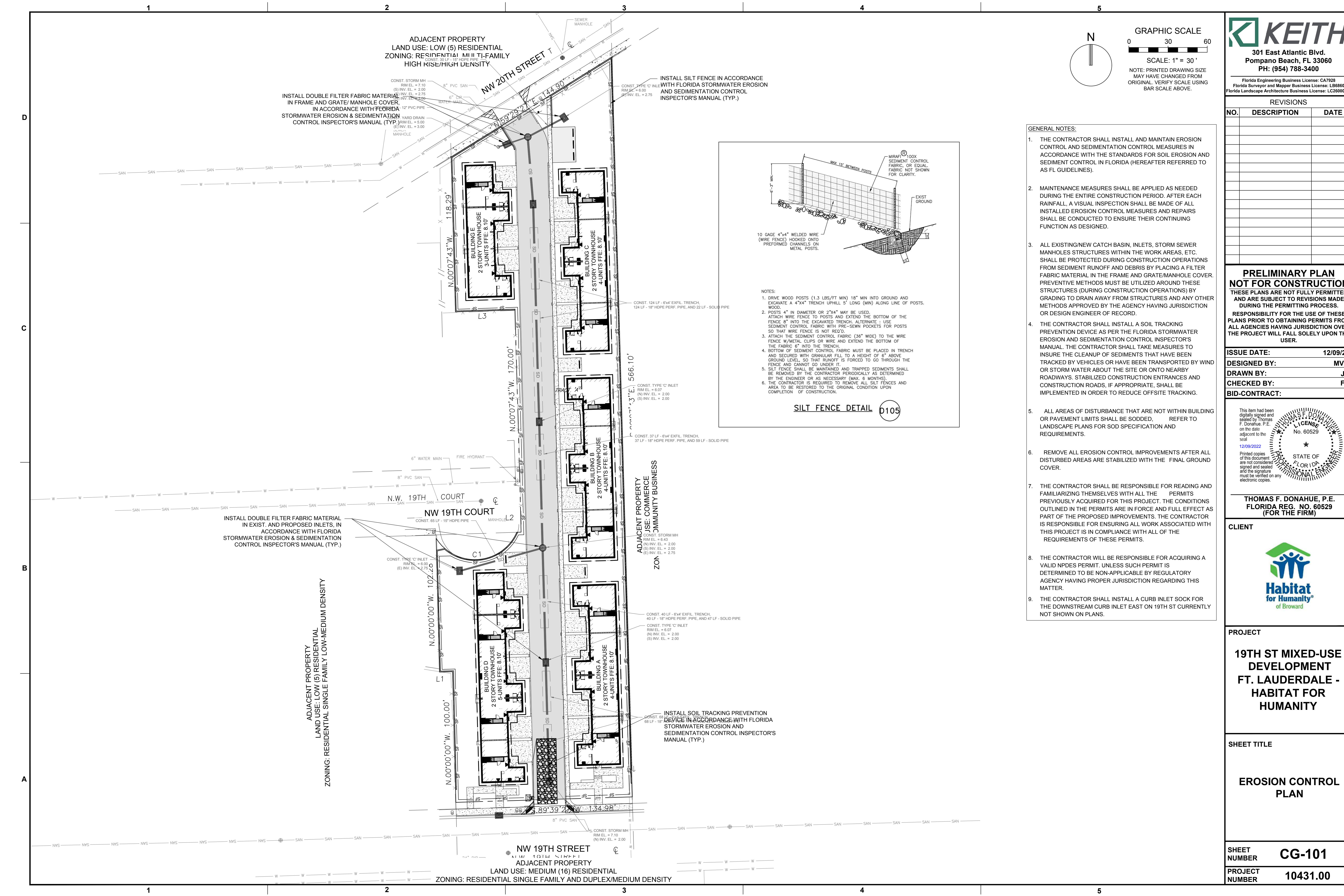
SHEET NUMBER GI-001

PROJECT NUMBER 10431.00

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Drawing name: Q:\10431.00 - 19th St Townhomes Ft. Lauderdale - Habitat for Humanity\Engineering\Cad\10431.00-GI-000.dwg

STATUS: PRELIMINARY



GRAPHIC SCALE
 0 30 60
 SCALE: 1" = 30'
 NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

KEITH
 301 East Atlantic Blvd.
 Pompano Beach, FL 33060
 PH: (954) 788-3400

Florida Engineering Business License: CA7923
 Florida Surveyor and Mapper Business License: LB6860
 Florida Landscape Architecture Business License: LC26000457

REVISIONS

NO.	DESCRIPTION	DATE

PRELIMINARY PLAN NOT FOR CONSTRUCTION

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

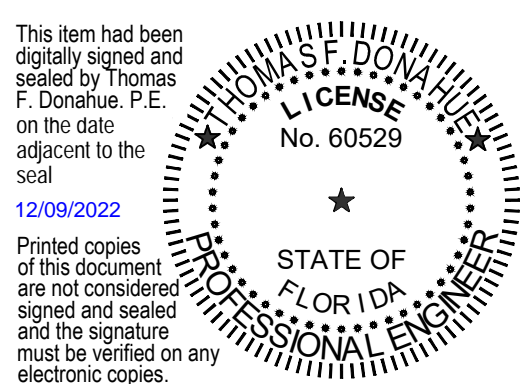
ISSUE DATE: 12/09/22

DESIGNED BY: MVM

DRAWN BY: JR

CHECKED BY: FH

BID-CONTRACT:



THOMAS F. DONAHUE, P.E.
 FLORIDA REG. NO. 60529
 (FOR THE FIRM)

CLIENT



PROJECT

19TH ST MIXED-USE DEVELOPMENT FT. LAUDERDALE - HABITAT FOR HUMANITY

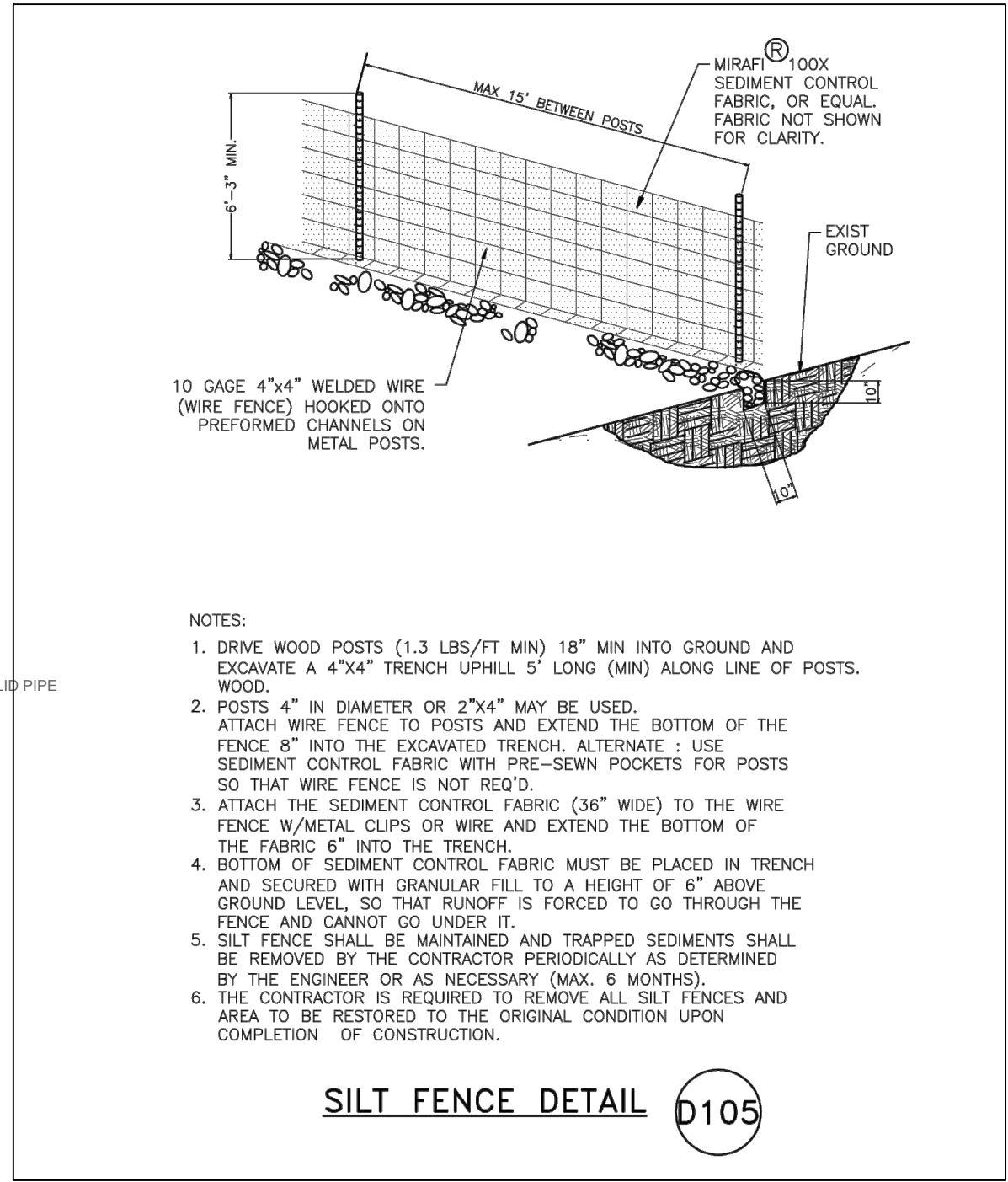
SHEET TITLE

EROSION CONTROL PLAN

SHEET NUMBER **CG-101**

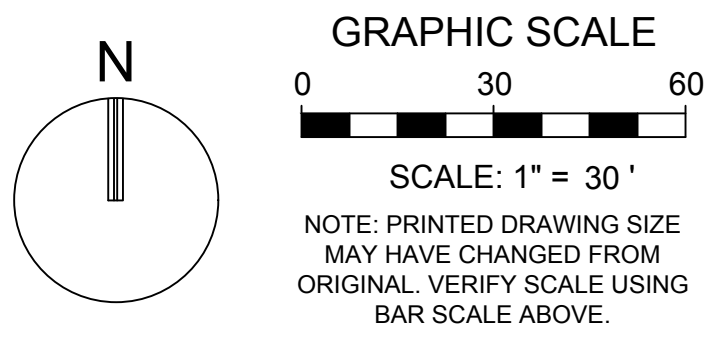
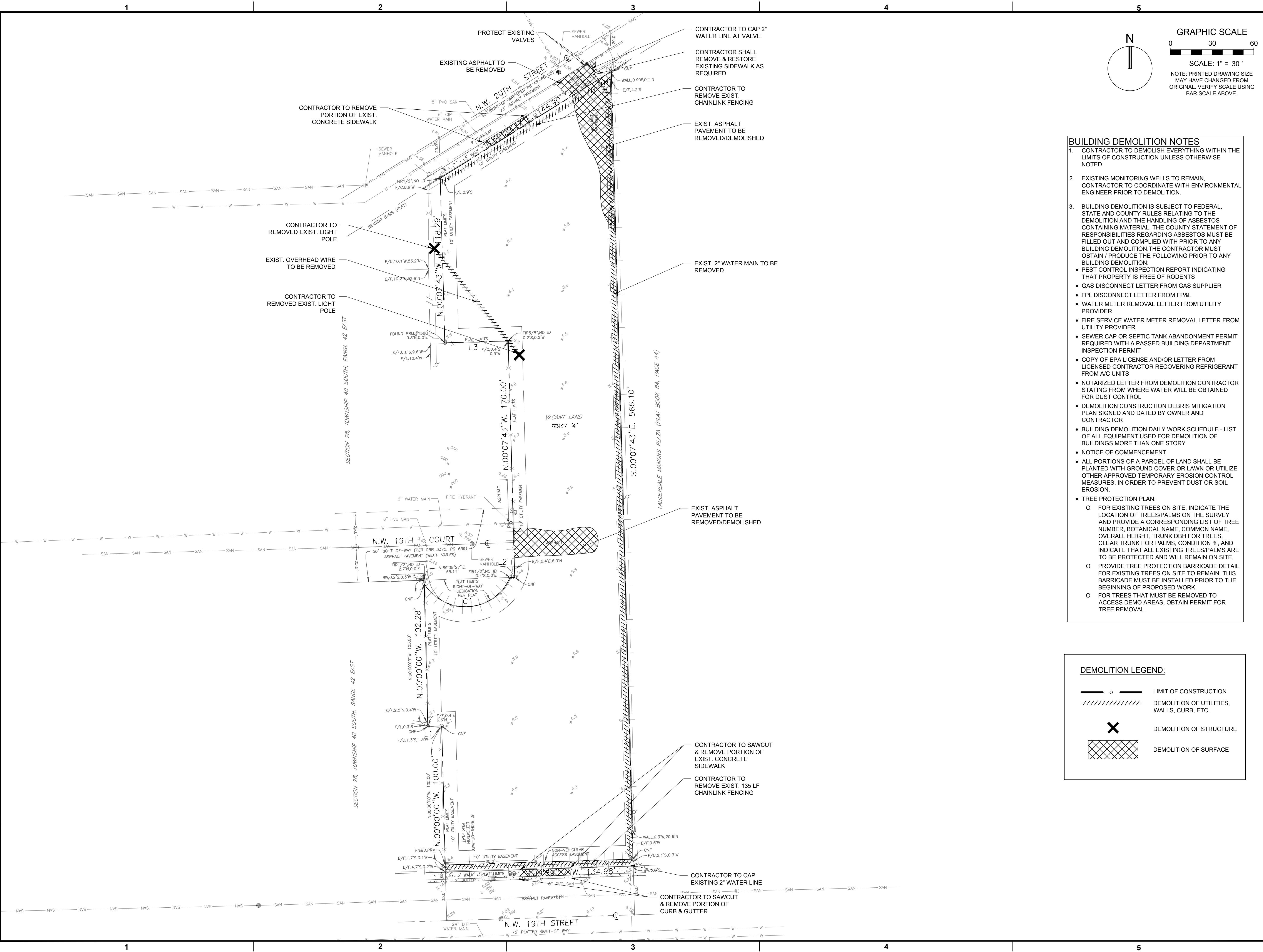
PROJECT NUMBER **10431.00**

- GENERAL NOTES:
1. THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN FLORIDA (HEREAFTER REFERRED TO AS FL GUIDELINES).
 2. MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION PERIOD. AFTER EACH RAINFALL, A VISUAL INSPECTION SHALL BE MADE OF ALL INSTALLED EROSION CONTROL MEASURES AND REPAIRS SHALL BE CONDUCTED TO ENSURE THEIR CONTINUING FUNCTION AS DESIGNED.
 3. ALL EXISTING/NEW CATCH BASIN, INLETS, STORM SEWER MANHOLES STRUCTURES WITHIN THE WORK AREAS, ETC. SHALL BE PROTECTED DURING CONSTRUCTION OPERATIONS FROM SEDIMENT RUNOFF AND DEBRIS BY PLACING A FILTER FABRIC MATERIAL IN THE FRAME AND GRATE/MANHOLE COVER. PREVENTIVE METHODS MUST BE UTILIZED AROUND THESE STRUCTURES (DURING CONSTRUCTION OPERATIONS) BY GRADING TO DRAIN AWAY FROM STRUCTURES AND ANY OTHER METHODS APPROVED BY THE AGENCY HAVING JURISDICTION OR DESIGN ENGINEER OF RECORD.
 4. THE CONTRACTOR SHALL INSTALL A SOIL TRACKING PREVENTION DEVICE AS PER THE FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL. THE CONTRACTOR SHALL TAKE MEASURES TO INSURE THE CLEANUP OF SEDIMENTS THAT HAVE BEEN TRACKED BY VEHICLES OR HAVE BEEN TRANSPORTED BY WIND OR STORM WATER ABOUT THE SITE OR ONTO NEARBY ROADWAYS. STABILIZED CONSTRUCTION ENTRANCES AND CONSTRUCTION ROADS, IF APPROPRIATE, SHALL BE IMPLEMENTED IN ORDER TO REDUCE OFFSITE TRACKING.
 5. ALL AREAS OF DISTURBANCE THAT ARE NOT WITHIN BUILDING OR PAVEMENT LIMITS SHALL BE SODDED. REFER TO LANDSCAPE PLANS FOR SOD SPECIFICATION AND REQUIREMENTS.
 6. REMOVE ALL EROSION CONTROL IMPROVEMENTS AFTER ALL DISTURBED AREAS ARE STABILIZED WITH THE FINAL GROUND COVER.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR READING AND FAMILIARIZING THEMSELVES WITH ALL THE PERMITS PREVIOUSLY ACQUIRED FOR THIS PROJECT. THE CONDITIONS OUTLINED IN THE PERMITS ARE IN FORCE AND FULL EFFECT AS PART OF THE PROPOSED IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL WORK ASSOCIATED WITH THIS PROJECT IS IN COMPLIANCE WITH ALL OF THE REQUIREMENTS OF THESE PERMITS.
 8. THE CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING A VALID NPDES PERMIT. UNLESS SUCH PERMIT IS DETERMINED TO BE NON-APPLICABLE BY REGULATORY AGENCY HAVING PROPER JURISDICTION REGARDING THIS MATTER.
 9. THE CONTRACTOR SHALL INSTALL A CURB INLET SOCK FOR THE DOWNSTREAM CURB INLET EAST ON 19TH ST CURRENTLY NOT SHOWN ON PLANS.



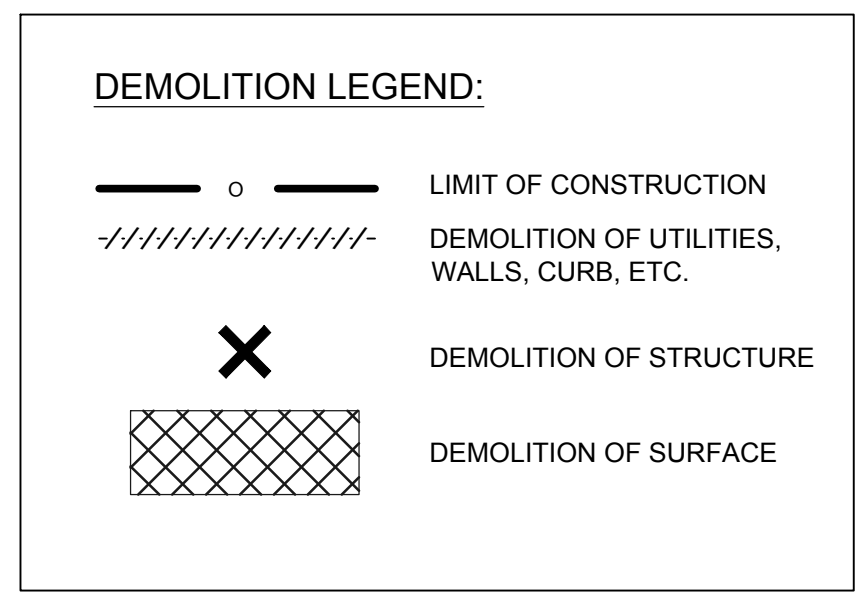
- NOTES:
1. DRIVE WOOD POSTS (1.3 LBS/FT MIN) 18" MIN INTO GROUND AND EXCAVATE A 4"x4" TRENCH UPHILL 5' LONG (MIN) ALONG LINE OF POSTS. WOOD.
 2. POSTS 4" IN DIAMETER OR 2"x4" MAY BE USED. ATTACH WIRE FENCE TO POSTS AND EXTEND THE BOTTOM OF THE FENCE 8" INTO THE EXCAVATED TRENCH. ALTERNATE: USE SEDIMENT CONTROL FABRIC WITH PRE-SEWN POCKETS FOR POSTS SO THAT WIRE FENCE IS NOT REQ'D.
 3. ATTACH THE SEDIMENT CONTROL FABRIC (36" WIDE) TO THE WIRE FENCE W/METAL CLIPS OR WIRE AND EXTEND THE BOTTOM OF THE FABRIC 6" INTO THE TRENCH.
 4. BOTTOM OF SEDIMENT CONTROL FABRIC MUST BE PLACED IN TRENCH AND SECURED WITH GRANULAR FILL TO A HEIGHT OF 6" ABOVE GROUND LEVEL, SO THAT RUNOFF IS FORCED TO GO THROUGH THE FENCE AND CANNOT GO UNDER IT.
 5. SILT FENCE SHALL BE MAINTAINED AND TRAPPED SEDIMENTS SHALL BE REMOVED BY THE CONTRACTOR PERIODICALLY AS DETERMINED BY THE ENGINEER OR AS NECESSARY (MAX. 6 MONTHS).
 6. THE CONTRACTOR IS REQUIRED TO REMOVE ALL SILT FENCES AND AREA TO BE RESTORED TO THE ORIGINAL CONDITION UPON COMPLETION OF CONSTRUCTION.

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 STATUS: PRELIMINARY



BUILDING DEMOLITION NOTES

- CONTRACTOR TO DEMOLISH EVERYTHING WITHIN THE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED
- EXISTING MONITORING WELLS TO REMAIN. CONTRACTOR TO COORDINATE WITH ENVIRONMENTAL ENGINEER PRIOR TO DEMOLITION.
- BUILDING DEMOLITION IS SUBJECT TO FEDERAL, STATE AND COUNTY RULES RELATING TO THE DEMOLITION AND THE HANDLING OF ASBESTOS CONTAINING MATERIAL. THE COUNTY STATEMENT OF RESPONSIBILITIES REGARDING ASBESTOS MUST BE FILLED OUT AND COMPLIED WITH PRIOR TO ANY BUILDING DEMOLITION. THE CONTRACTOR MUST OBTAIN / PRODUCE THE FOLLOWING PRIOR TO ANY BUILDING DEMOLITION:
 - PEST CONTROL INSPECTION REPORT INDICATING THAT PROPERTY IS FREE OF RODENTS
 - GAS DISCONNECT LETTER FROM GAS SUPPLIER
 - FPL DISCONNECT LETTER FROM FP&L
 - WATER METER REMOVAL LETTER FROM UTILITY PROVIDER
 - FIRE SERVICE WATER METER REMOVAL LETTER FROM UTILITY PROVIDER
 - SEWER CAP OR SEPTIC TANK ABANDONMENT PERMIT REQUIRED WITH A PASSED BUILDING DEPARTMENT INSPECTION PERMIT
 - COPY OF EPA LICENSE AND/OR LETTER FROM LICENSED CONTRACTOR RECOVERING REFRIGERANT FROM A/C UNITS
 - NOTARIZED LETTER FROM DEMOLITION CONTRACTOR STATING FROM WHERE WATER WILL BE OBTAINED FOR DUST CONTROL
 - DEMOLITION CONSTRUCTION DEBRIS MITIGATION PLAN SIGNED AND DATED BY OWNER AND CONTRACTOR
 - BUILDING DEMOLITION DAILY WORK SCHEDULE - LIST OF ALL EQUIPMENT USED FOR DEMOLITION OF BUILDINGS MORE THAN ONE STORY
 - NOTICE OF COMMENCEMENT
 - ALL PORTIONS OF A PARCEL OF LAND SHALL BE PLANTED WITH GROUND COVER OR LAWN OR UTILIZE OTHER APPROVED TEMPORARY EROSION CONTROL MEASURES, IN ORDER TO PREVENT DUST OR SOIL EROSION.
- TREE PROTECTION PLAN:
 - FOR EXISTING TREES ON SITE, INDICATE THE LOCATION OF TREES/PALMS ON THE SURVEY AND PROVIDE A CORRESPONDING LIST OF TREE NUMBER, BOTANICAL NAME, COMMON NAME, OVERALL HEIGHT, TRUNK DBH FOR TREES, CLEAR TRUNK FOR PALMS, CONDITION %, AND INDICATE THAT ALL EXISTING TREES/PALMS ARE TO BE PROTECTED AND WILL REMAIN ON SITE.
 - PROVIDE TREE PROTECTION BARRICADE DETAIL FOR EXISTING TREES ON SITE TO REMAIN. THIS BARRICADE MUST BE INSTALLED PRIOR TO THE BEGINNING OF PROPOSED WORK.
 - FOR TREES THAT MUST BE REMOVED TO ACCESS DEMO AREAS, OBTAIN PERMIT FOR TREE REMOVAL.



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PRELIMINARY PLAN NOT FOR CONSTRUCTION

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 DRAWN BY: JR
 CHECKED BY: FH

BID-CONTRACT:

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 PROFESSIONAL ENGINEER
 No. 60529

THOMAS F. DONAHUE, P.E.
 FLORIDA REG. NO. 60529
 (FOR THE FIRM)

CLIENT

PROJECT

19TH ST MIXED-USE DEVELOPMENT
 FT. LAUDERDALE - HABITAT FOR HUMANITY

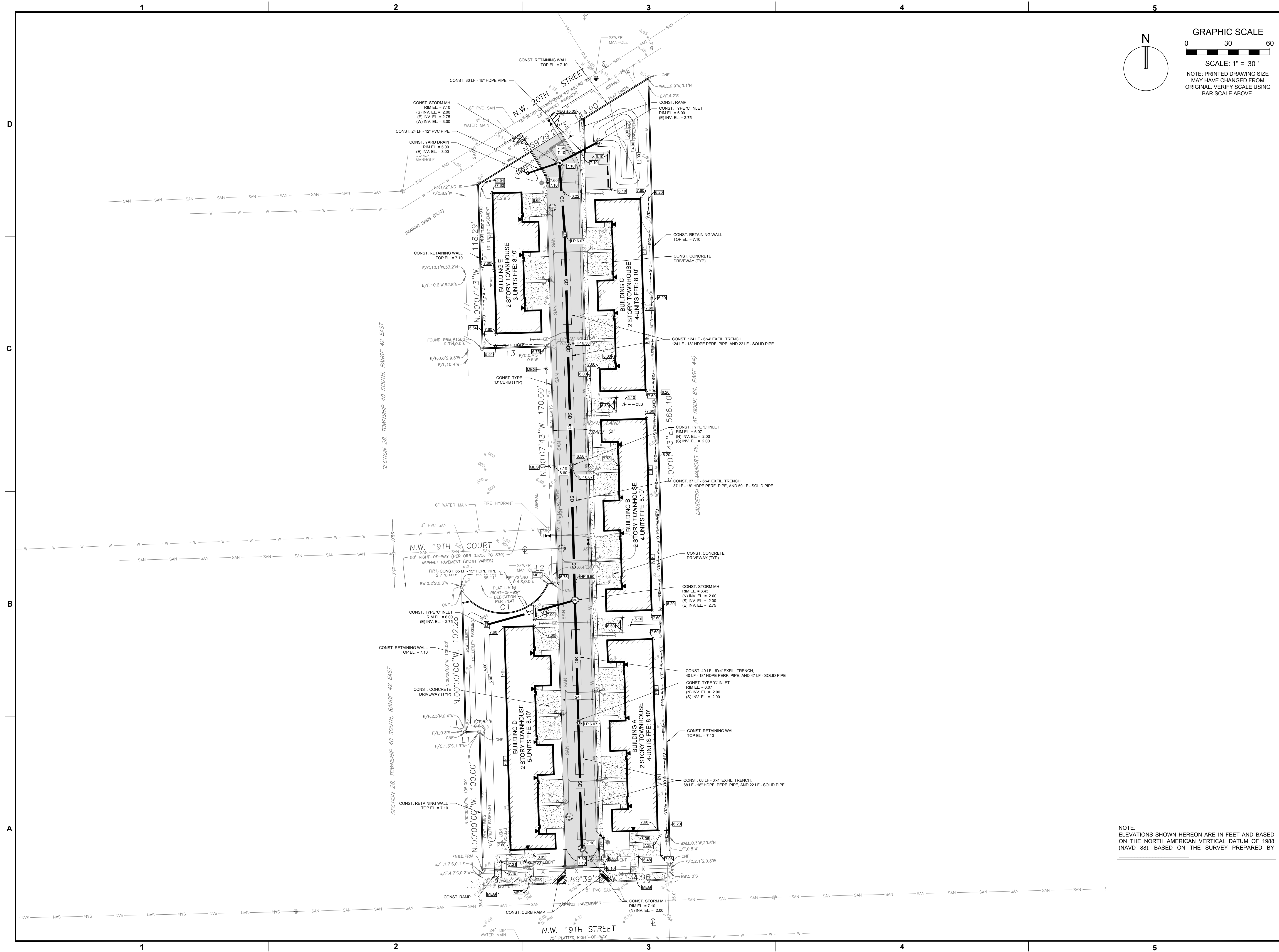
SHEET TITLE

DEMOLITION PLAN

SHEET NUMBER CD-101
PROJECT NUMBER 10431.00

Plotted by: balvarez On: 12/29/2022 3:04 PM

Drawing name: Q:\10431.00 - 19th St Townhomes Ft. Lauderdale - Habitat for Humanity\Engineering\cadd\10431-00-CD-1XX.dwg **STATUS: PRELIMINARY**



GRAPHIC SCALE
 0 30 60
 SCALE: 1" = 30'
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Habitat for Humanity of Broward

PROJECT

19TH ST MIXED-USE DEVELOPMENT FT. LAUDERDALE - HABITAT FOR HUMANITY

SHEET TITLE

PAVING, GRADING AND DRAINAGE PLAN

SHEET NUMBER **CP-101**
 PROJECT NUMBER **10431.00**

NOTE:
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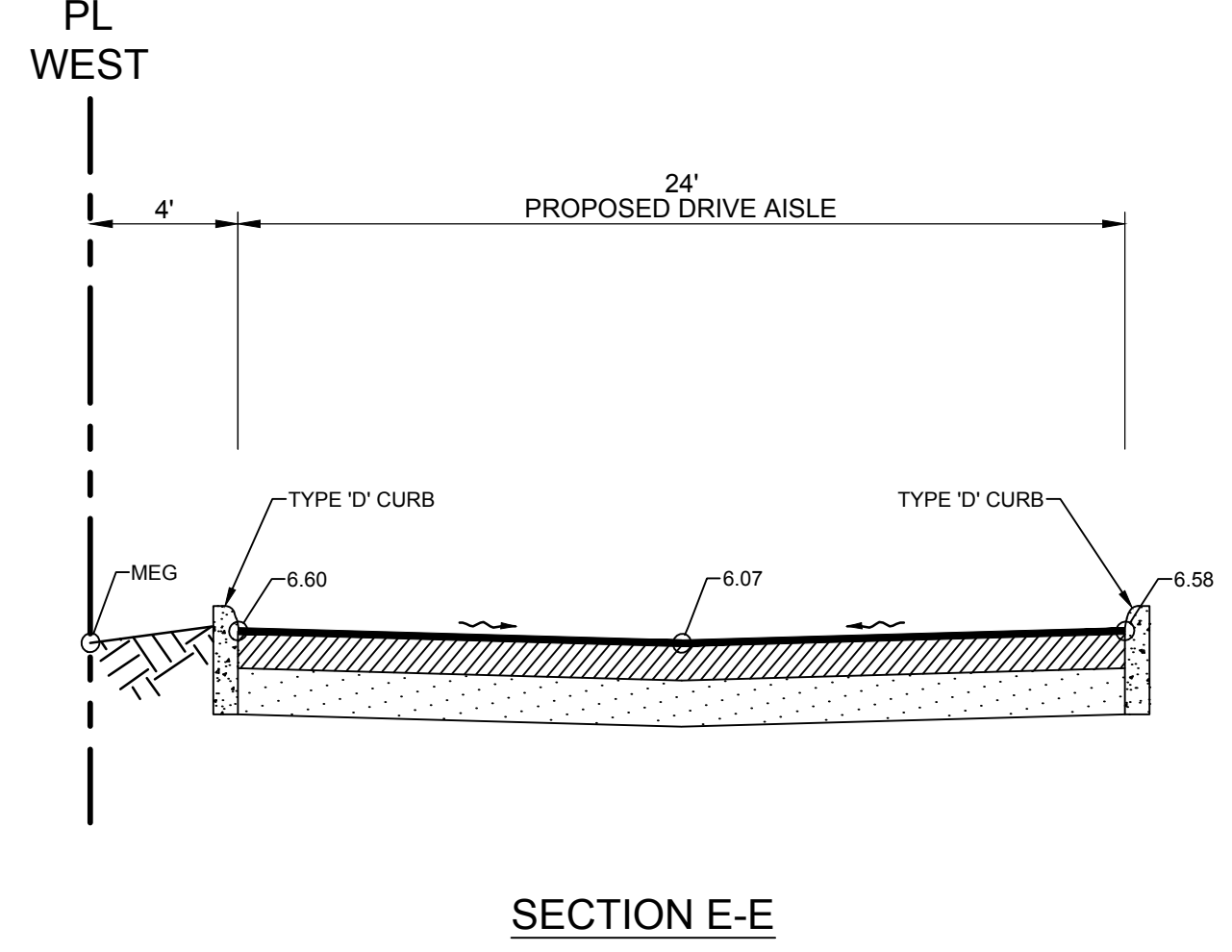
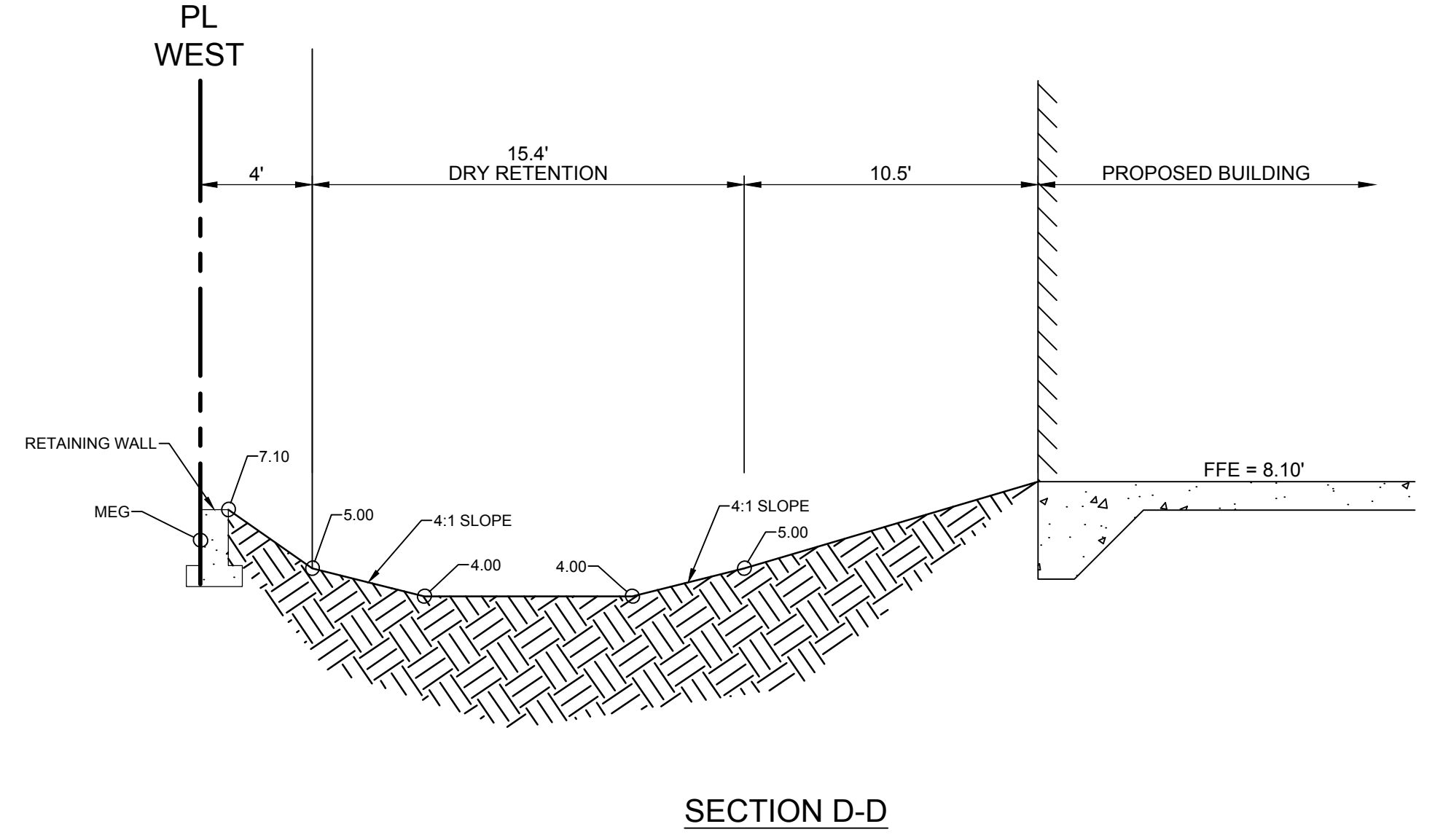
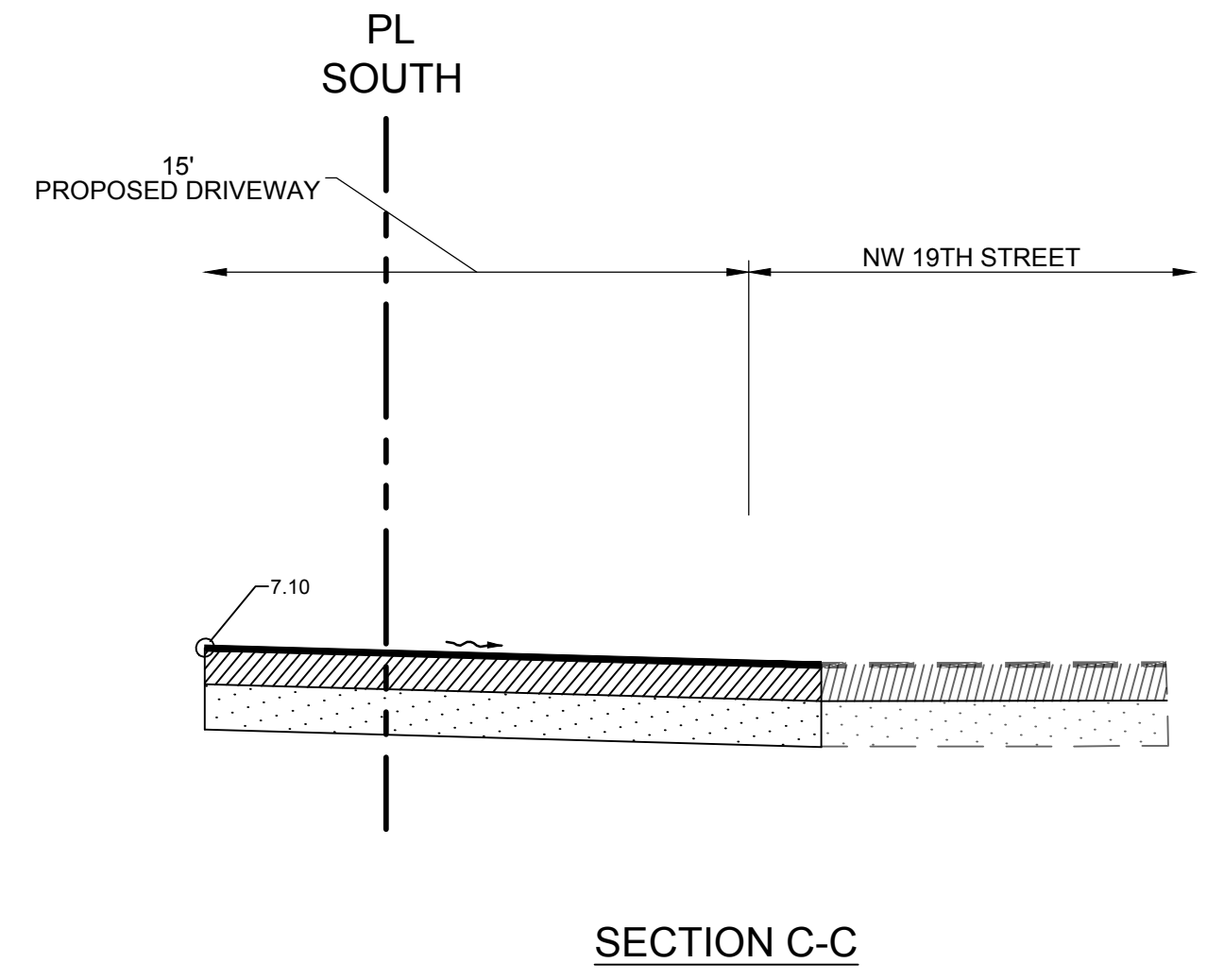
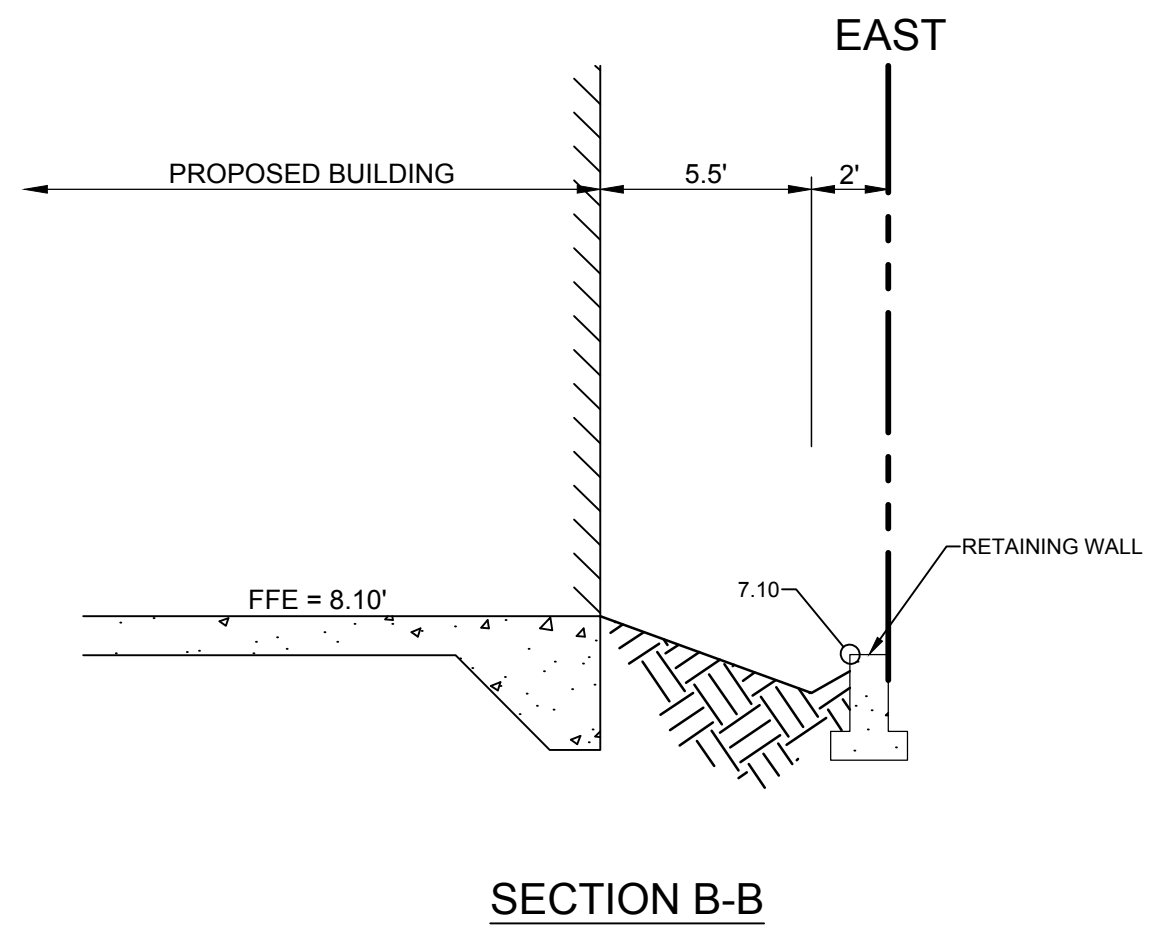
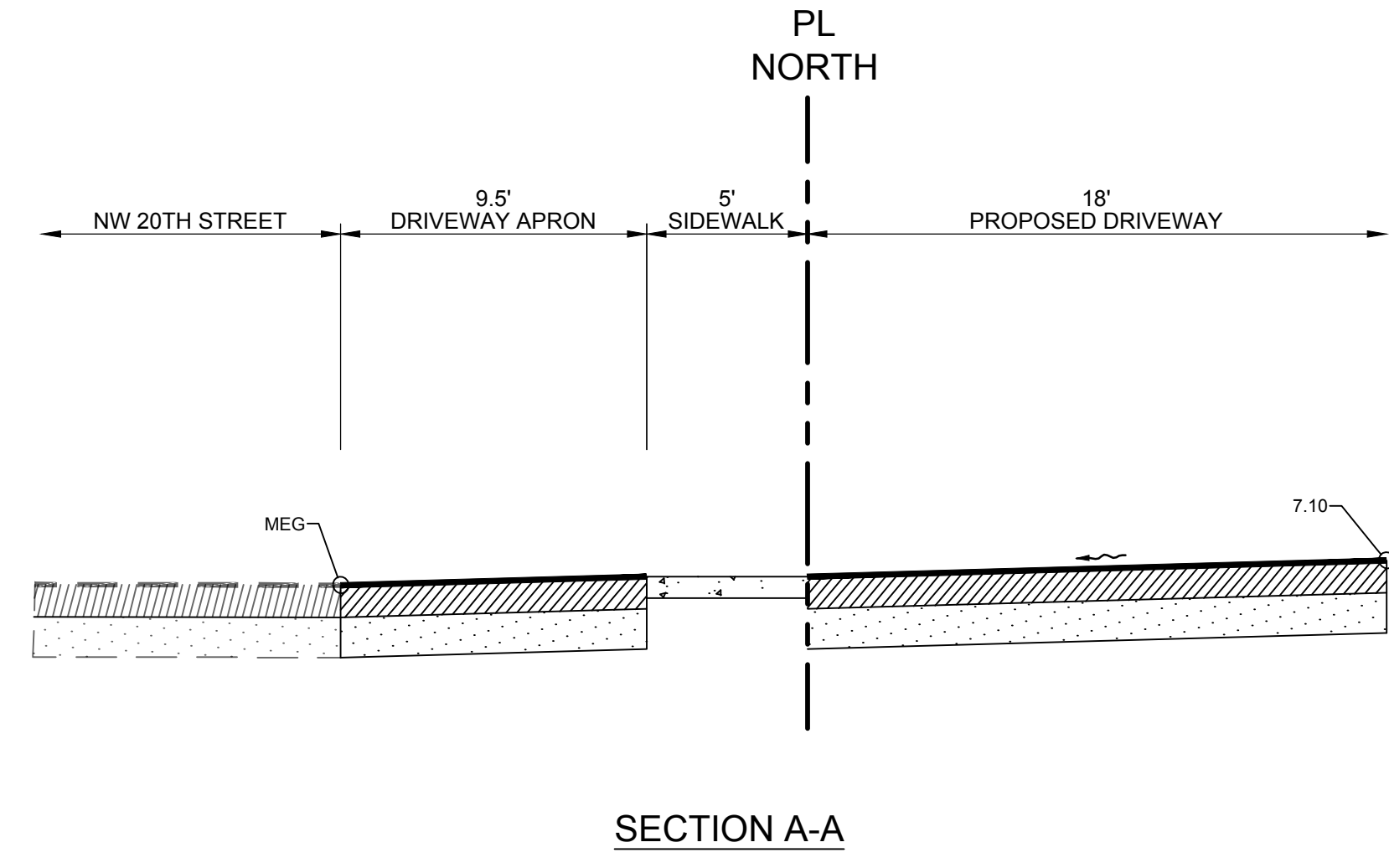
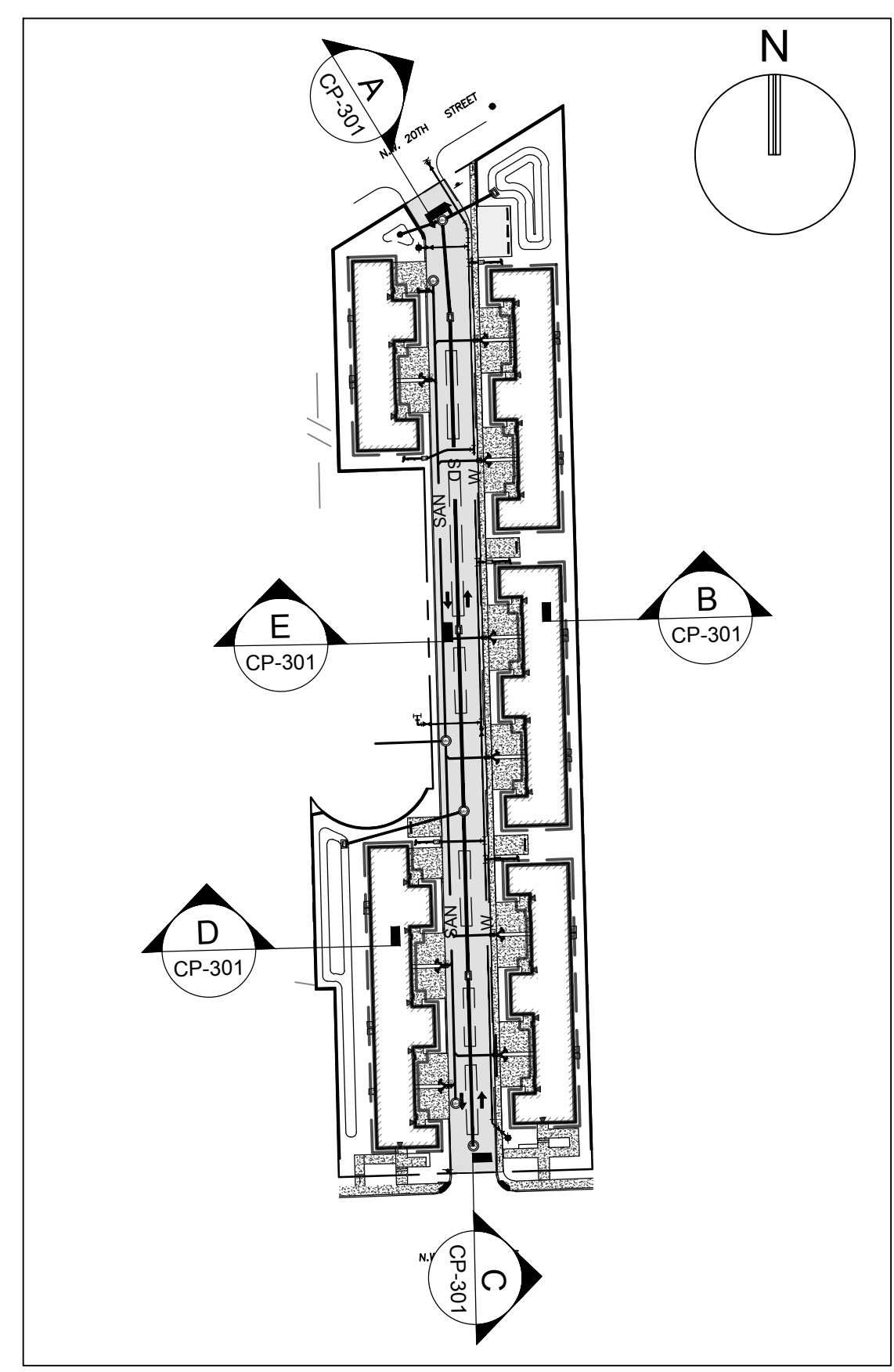
**19TH ST MIXED-USE
 DEVELOPMENT
 FT. LAUDERDALE -
 HABITAT FOR
 HUMANITY**

SHEET TITLE

CROSS SECTIONS

SHEET NUMBER **CP-301**

PROJECT NUMBER **10431.00**



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STATUS: PRELIMINARY

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PROJECT

**19TH ST MIXED-USE
DEVELOPMENT
FT. LAUDERDALE -
HABITAT FOR
HUMANITY**

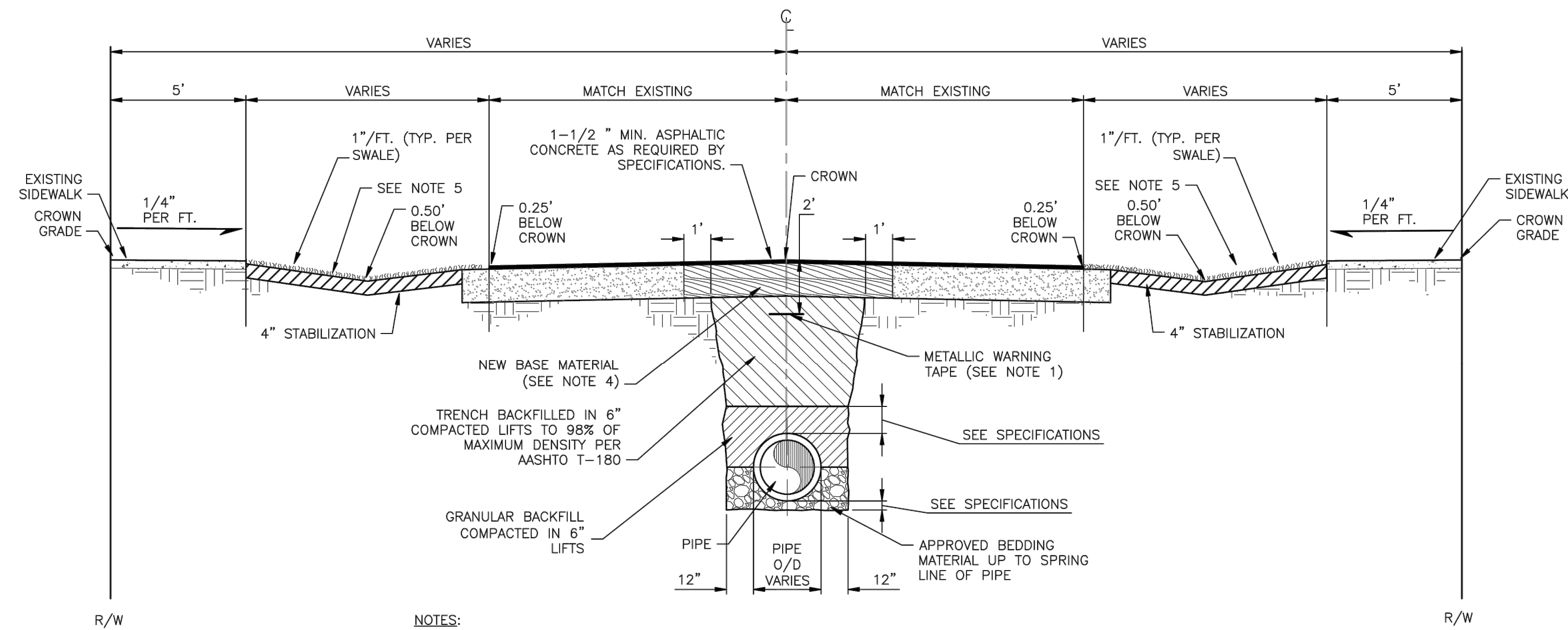
SHEET TITLE

**PAVING, GRADING AND
DRAINAGE DETAILS**

SHEET NUMBER **CP-501**

PROJECT NUMBER **10431.00**

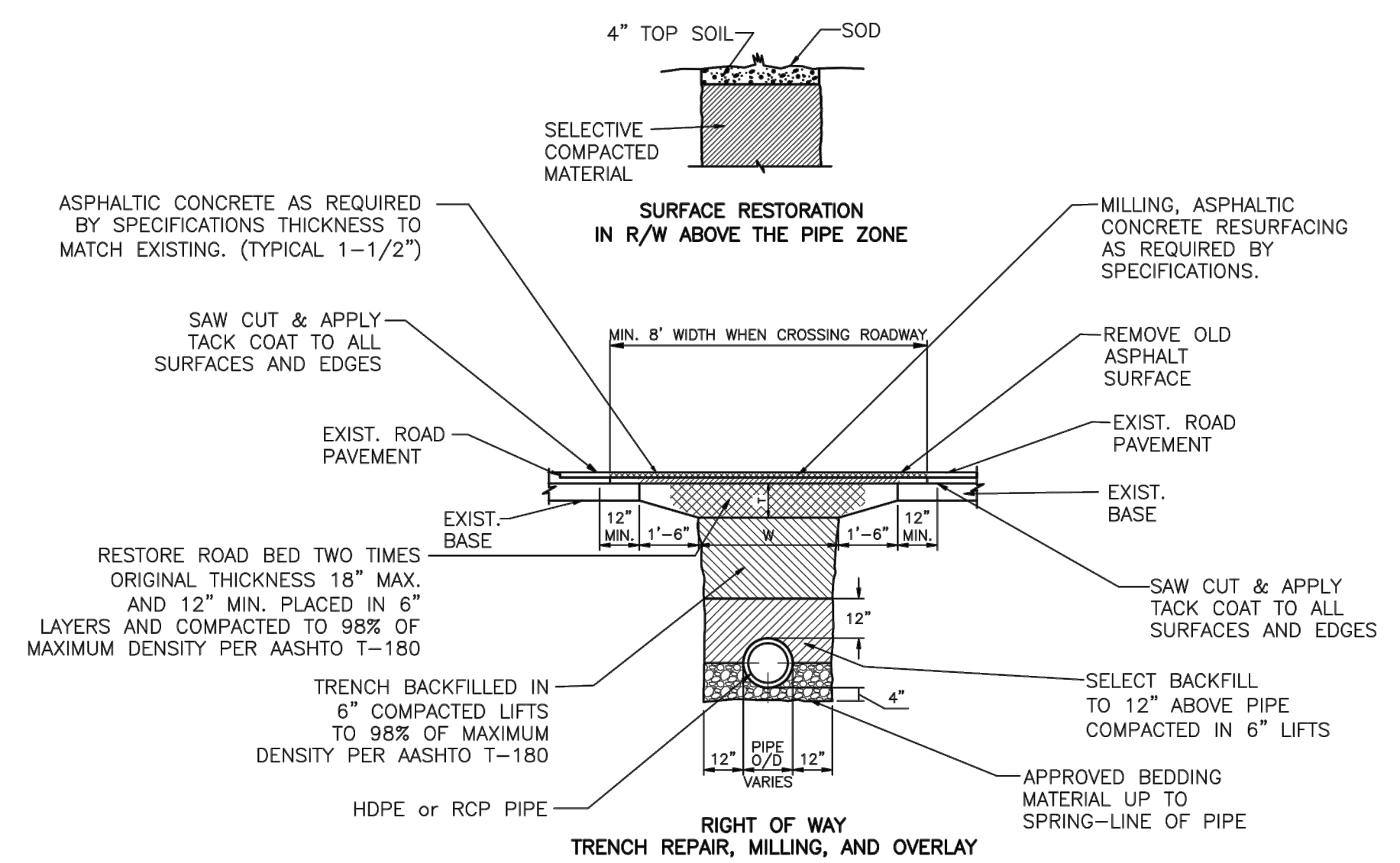
STATUS: PRELIMINARY



- NOTES:
- 2" WIDE METALLIC WARNING TAPES SHALL BE INSTALLED 24" BELOW FINISH GRADE. DOES NOT APPLY TO STORM DRAINAGE PIPE INSTALLATION.
 - UNLESS OTHERWISE SPECIFIED SELECTED MATERIAL SHALL BE FREE OF STONES LARGER THAN 3/8" DIA.
 - REPLACE ALL LANE MARKINGS AND REFLECTIVE MARKERS.
 - 12" MIN. LIMEROCK BASE PLACED IN 6" LIFTS AND COMPACTED TO 98% OF MAXIMUM DENSITY PER AASHTO T-180
 - BAHIA SOD -OR- ST. AUGUSTINE "FLORITAM" SOD IN PREVIOUSLY SODDED AREAS -OR- REPLACE EXISTING IMPROVED SURFACE (e.g., ROCK OR ASPHALT PAVING TO MATCH EXISTING -IF ASPHALT, MINIMUM 1" ASPHALT OVER MINIMUM 6" COMPACTED LIMEROCK)

TYPICAL ROAD SECTION, TYPICAL TRENCH, PAVEMENT AND SWALE RESTORATION FOR PARALLEL PIPE TRENCH

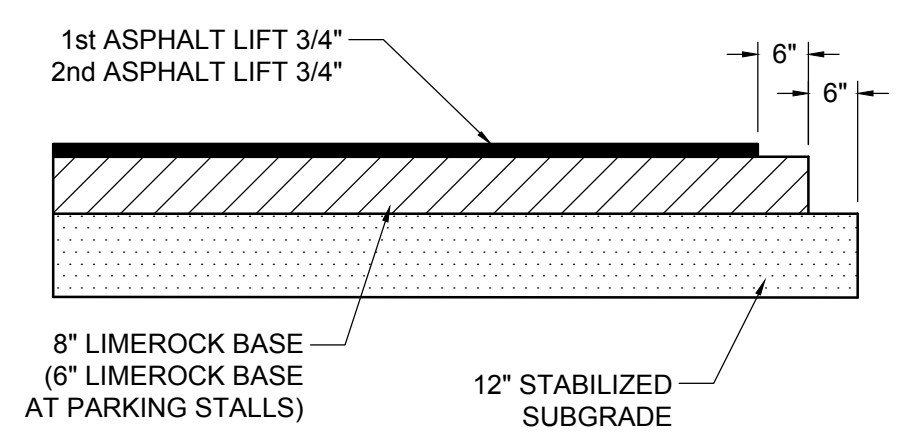
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- NOTES:
- UNLESS OTHERWISE SPECIFIED SELECTED MATERIAL SHALL BE FREE OF STONES LARGER THAN 3/8" DIA.
 - REPLACE ALL EXISTING LANE MARKINGS AND REFLECTIVE MARKERS DAMAGED BY CONSTRUCTION ACTIVITIES.
- T=6" PARKING
T=12" MIN. 18" MAX

TYPICAL TRENCH AND PAVEMENT RESTORATION FOR TRANSVERSE CROSSING

D100



ASPHALTIC CONCRETE VEHICULAR:
FIRST LIFT - 3/4" FDOT - SP 9.5 (FINE MIX). SECOND (FINAL) LIFT - 3/4" FDOT - SP 9.5 (FINE MIX). ASPHALT SURFACE COURSE SHALL CONFORM TO THE REQUIREMENTS OF FDOT STANDARDS SPECIFICATIONS SECTIONS 330 AND 334. SECOND LIFT OF ASPHALT SHALL NOT BE PLACED UNTIL FINAL LANDSCAPE/HARDSCAPE HAS BEEN INSTALLED.

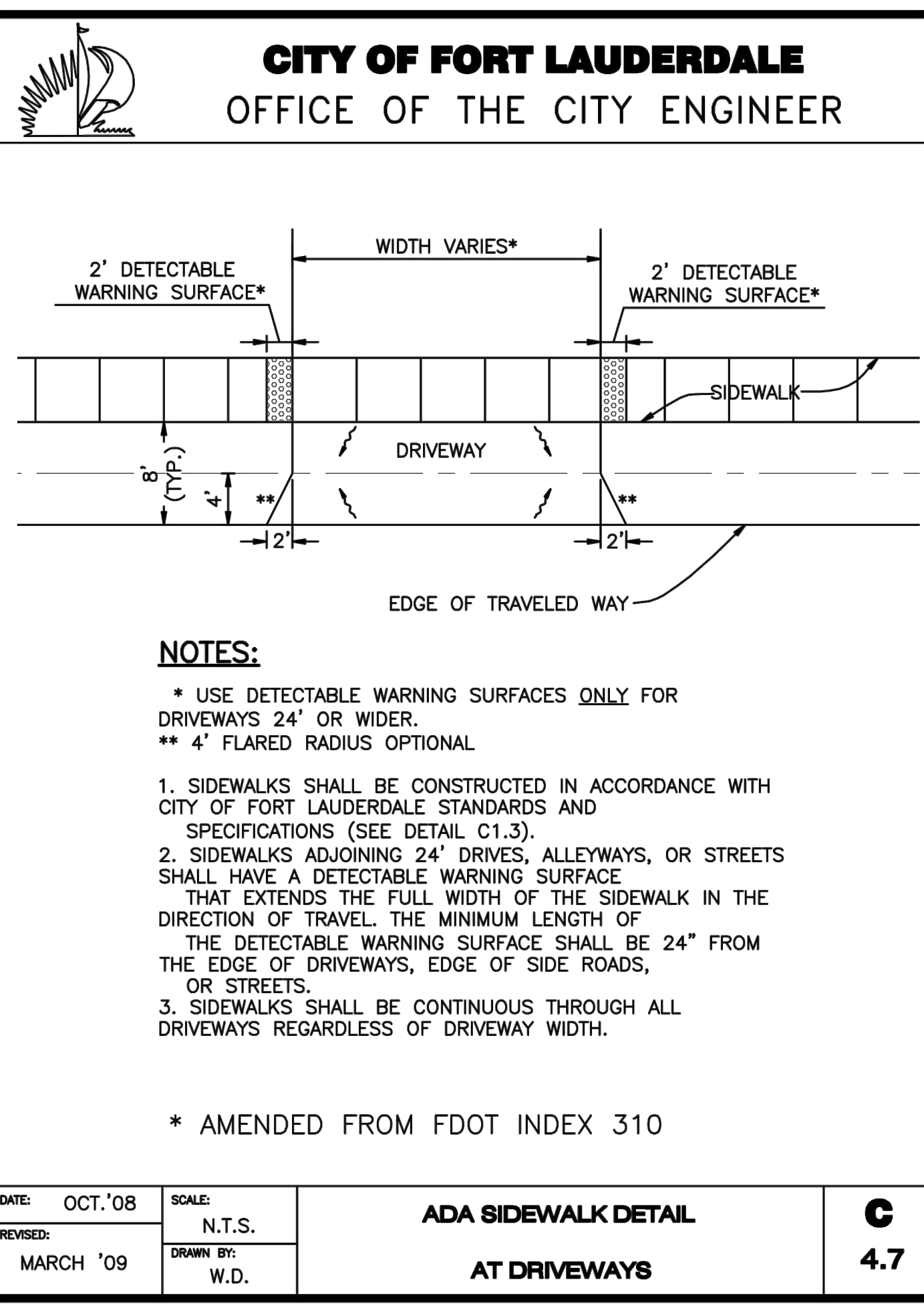
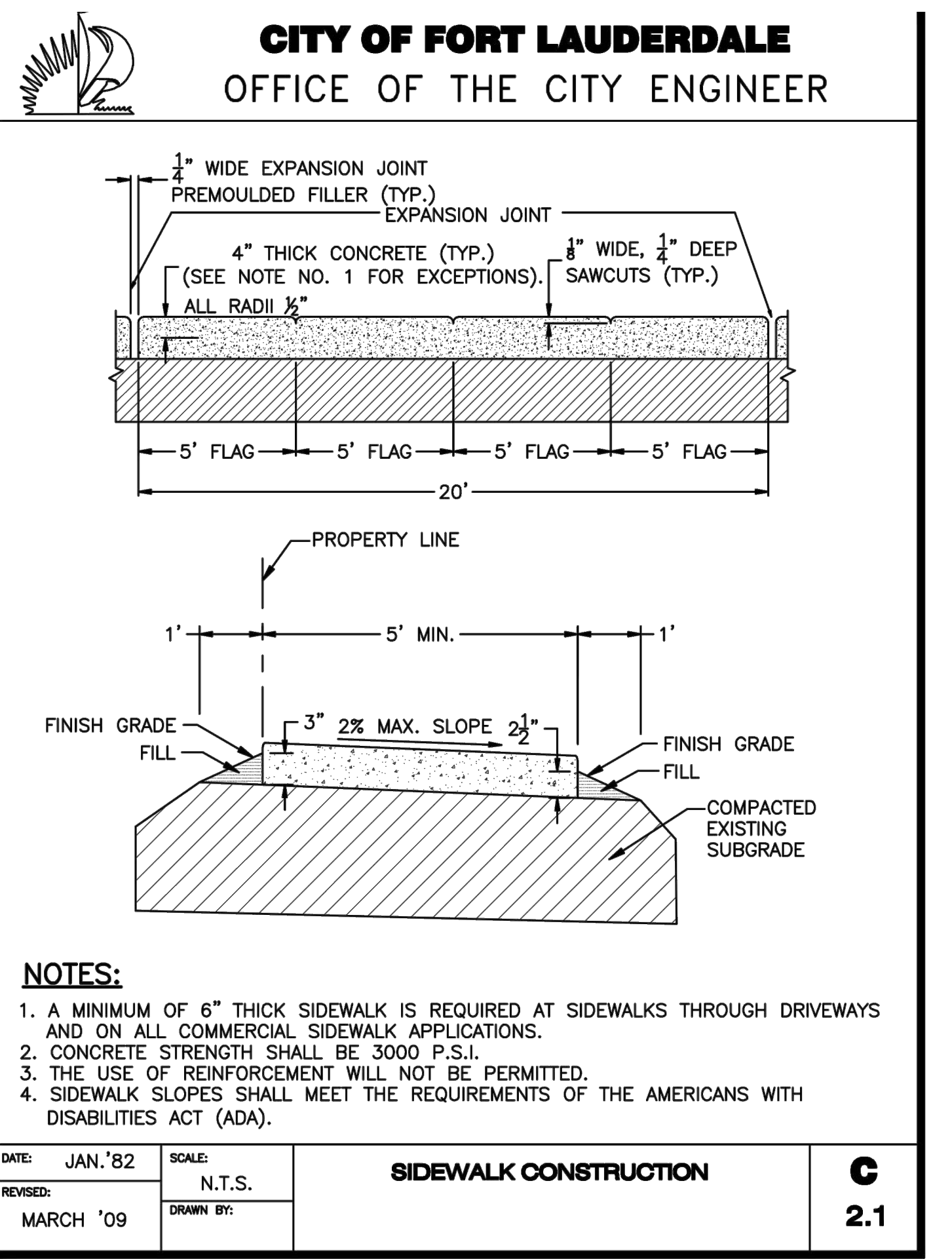
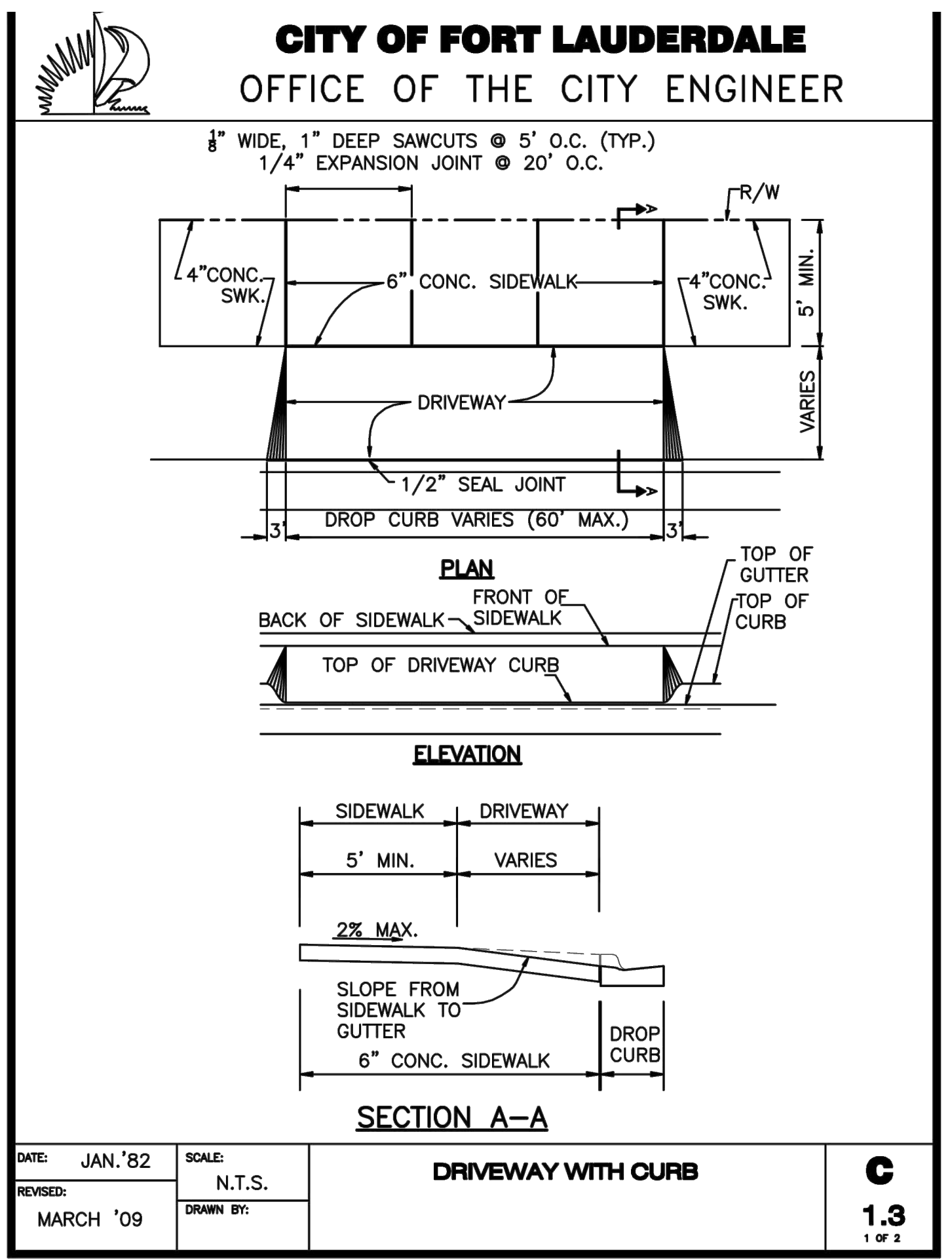
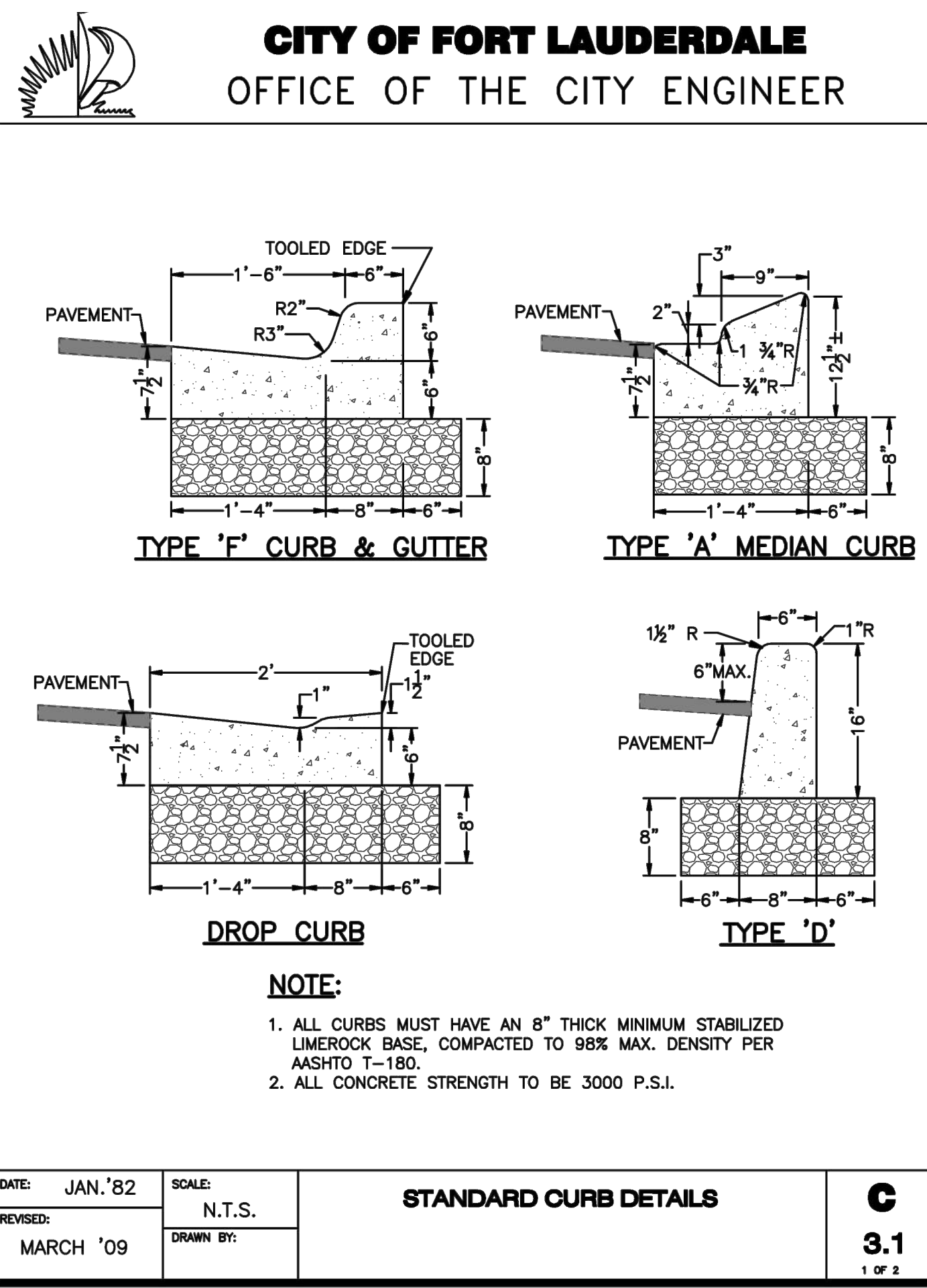
PRIME AND TACK COAT:
LIMEROCK BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF FDOT STANDARDS SPECIFICATIONS SECTION 300.

APPLICATION RATES:
PRIME COAT - 0.10 GALLONS PER SQ. YD.
TACK COAT - 0.08 GALLONS PER SQ. YD.

BASE:
8" 6" LIMEROCK BASE COMPACTED TO 98% OF MAXIMUM DENSITY (AASHTO T-180). LIMEROCK BASE TO CONFORM WITH THE REQUIREMENTS OF FDOT SPECIFICATIONS SECTIONS 200 AND 911.

SUBGRADE:
12" STABILIZED SUBGRADE COMPACTED TO 98% OF MAXIMUM DENSITY (AASHTO T-180); MINIMUM LBR = 40.

ASPHALT PAVEMENT DETAIL
NOT TO SCALE



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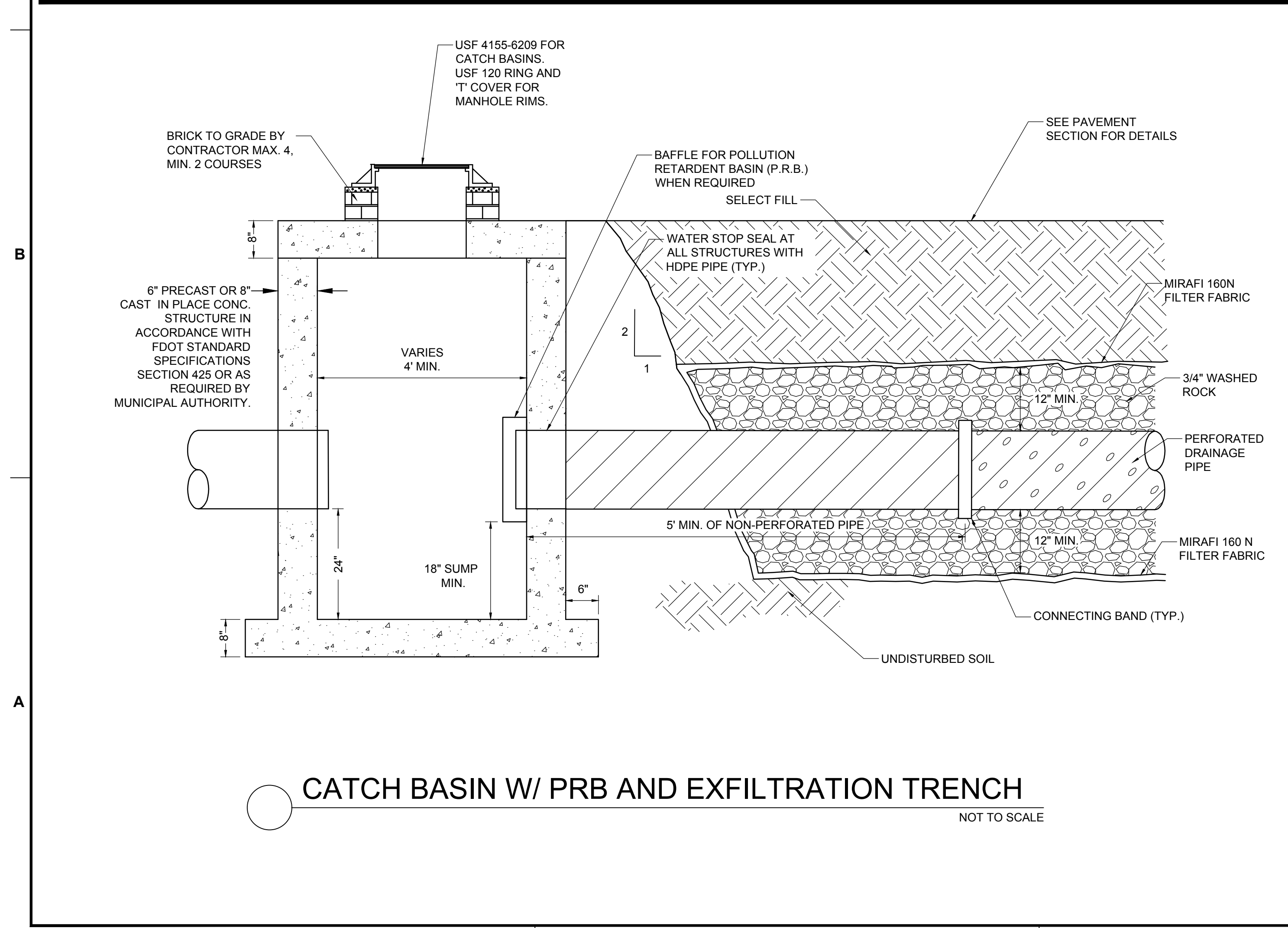
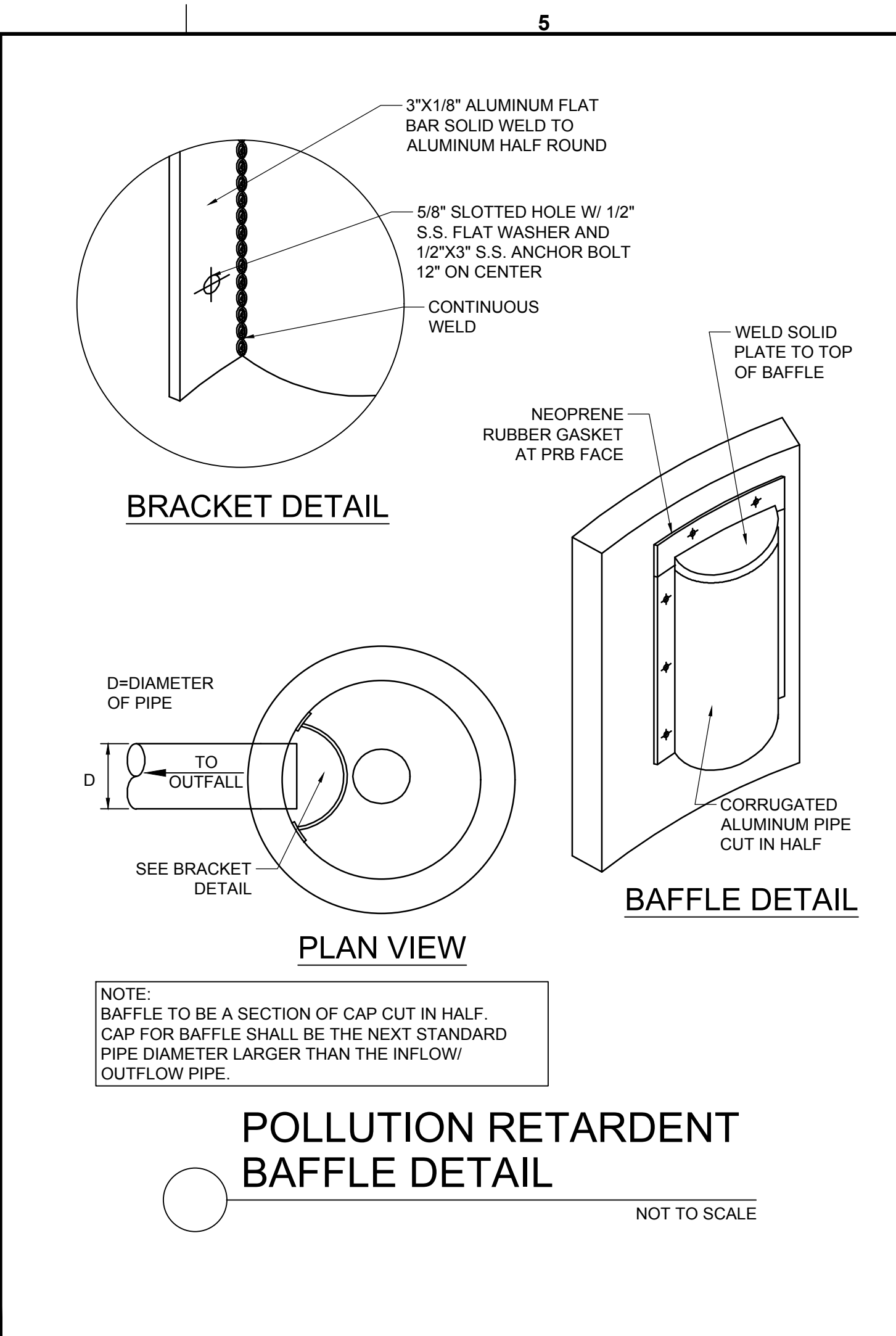
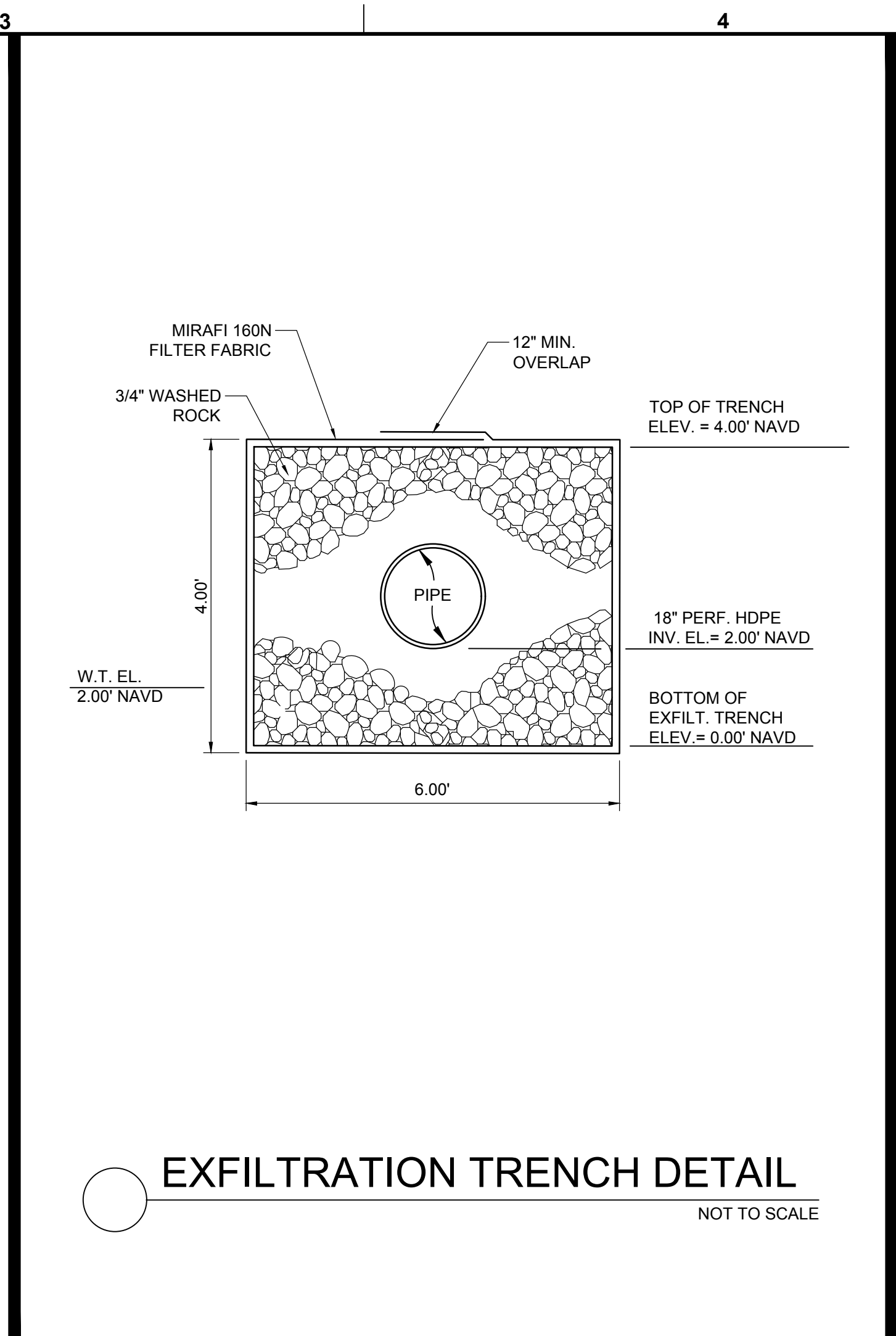
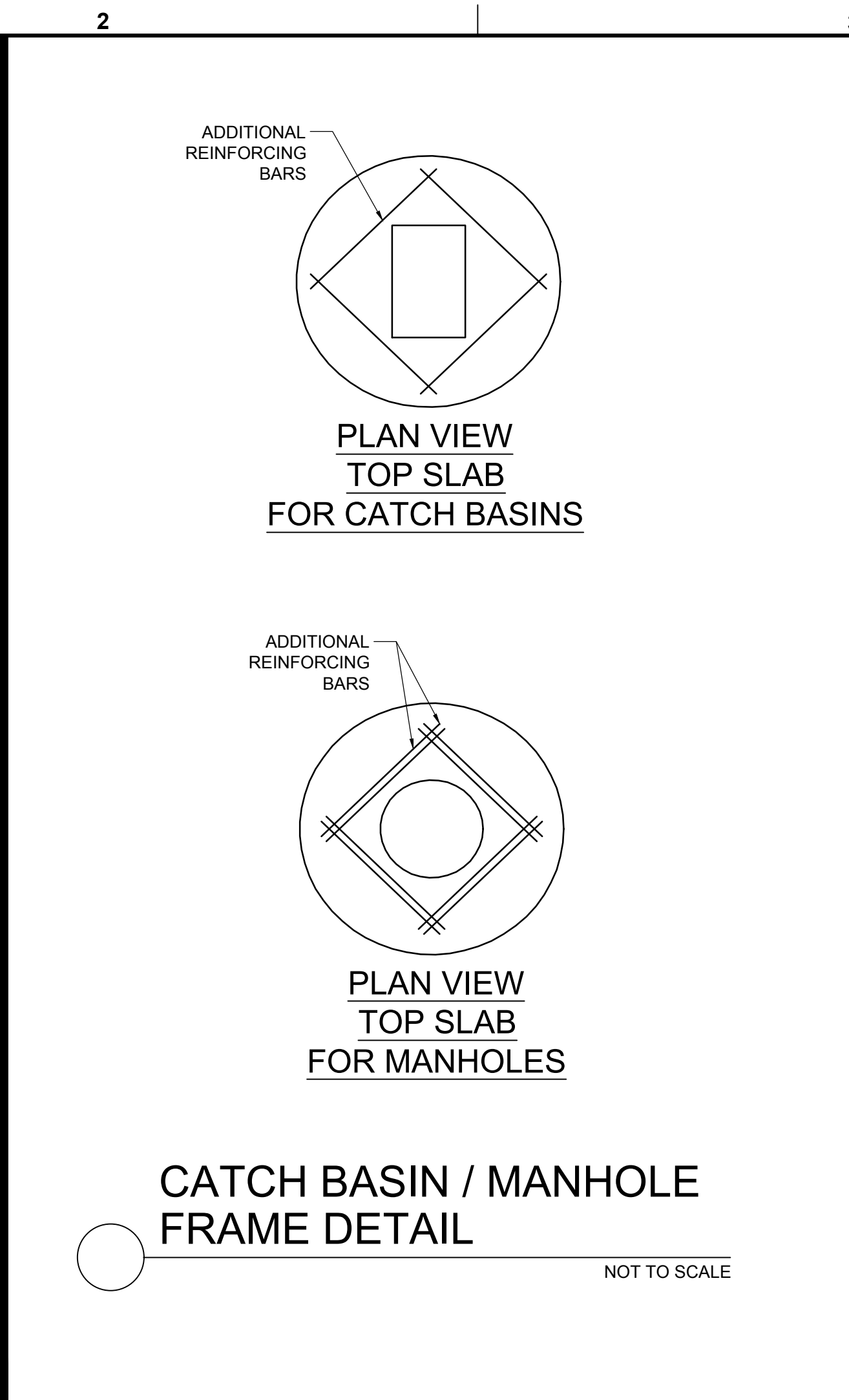
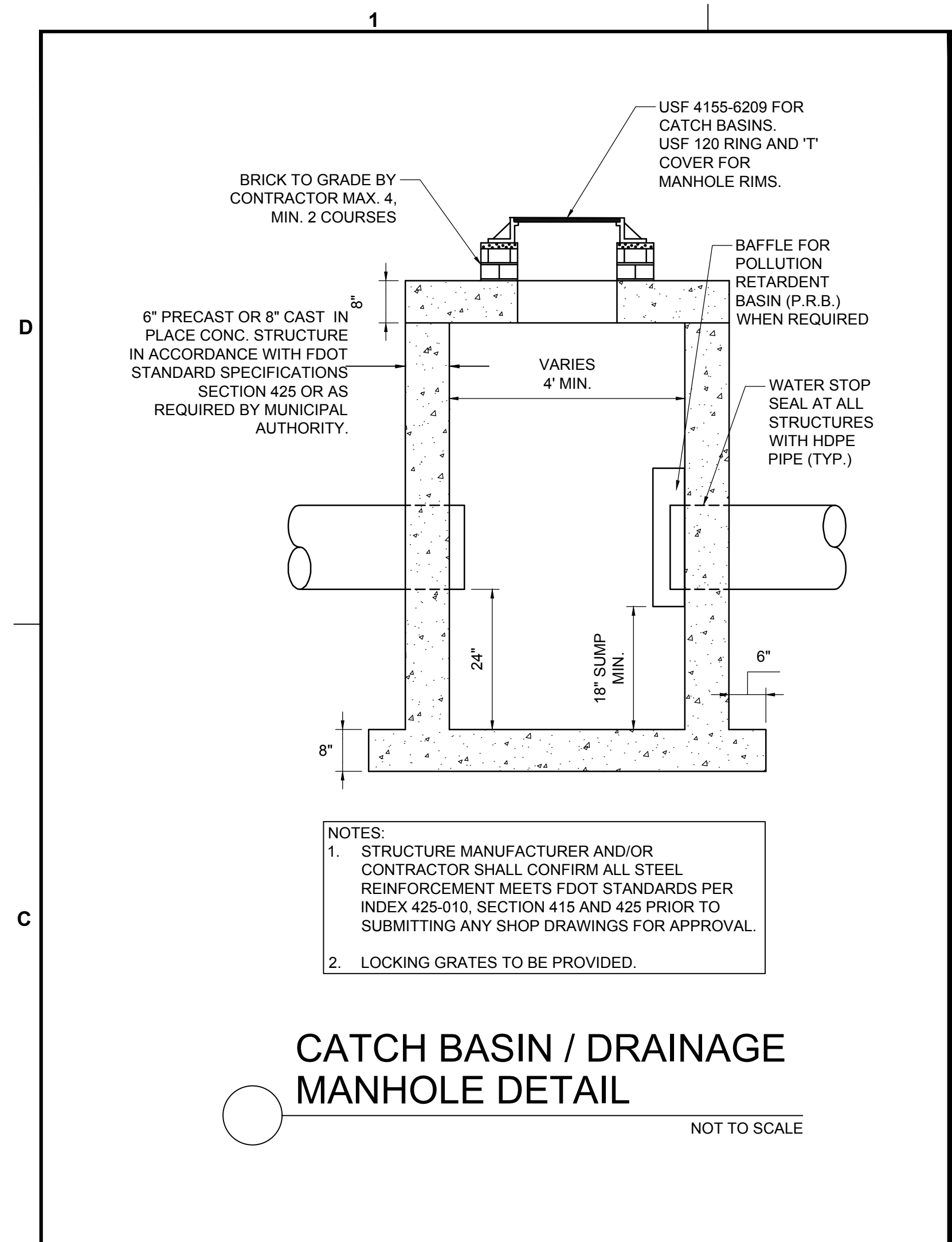
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PROJECT
19TH ST MIXED-USE DEVELOPMENT FT. LAUDERDALE - HABITAT FOR HUMANITY

SHEET TITLE
PAVING, GRADING AND DRAINAGE DETAILS

SHEET NUMBER **CP-502**
PROJECT NUMBER **10431.00**

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REVISIONS		
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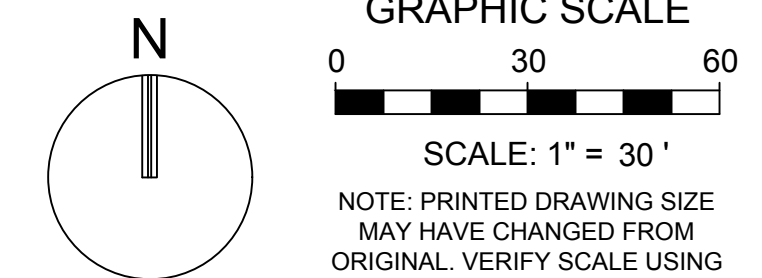
PROJECT
19TH ST MIXED-USE DEVELOPMENT FT. LAUDERDALE - HABITAT FOR HUMANITY

SHEET TITLE
PAVING, GRADING AND DRAINAGE DETAILS

SHEET NUMBER **CP-503**
PROJECT NUMBER **10431.00**

STATUS: PRELIMINARY

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Plotted by: balvarez On: 12/29/2022 3:05 PM



NOTE:

- DUE TO THE SHORTAGE OF DUCTILE IRON PIPE (DIP) UNDER CURRENT MARKET CONDITIONS, PVC (DR-18) WILL BE USED IN PLACE OF DIP.
- WATER SERVICE WILL BE SUB-METERED

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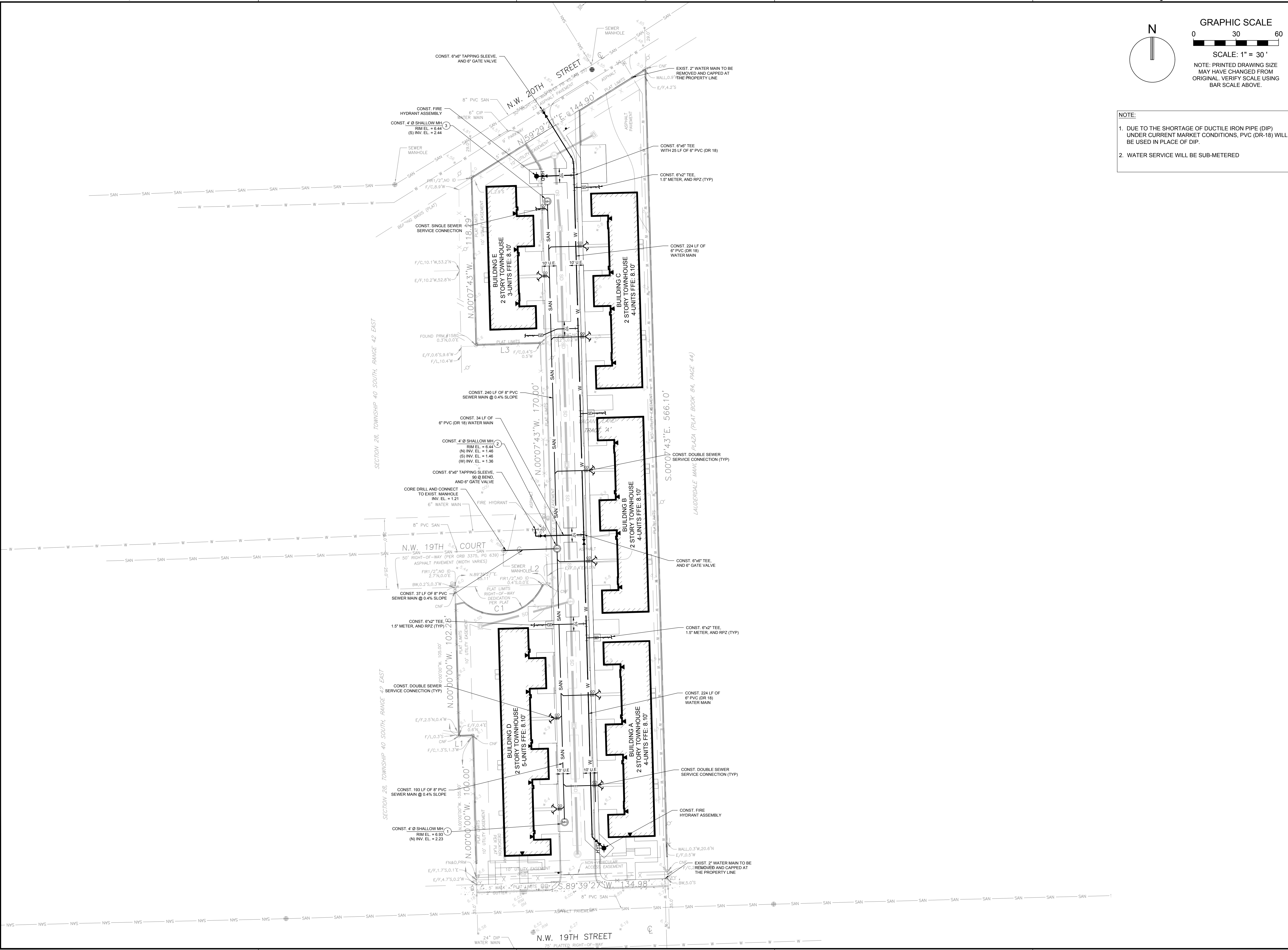
**19TH ST MIXED-USE DEVELOPMENT
FT. LAUDERDALE - HABITAT FOR HUMANITY**

SHEET TITLE

WATER AND SEWER PLAN

SHEET NUMBER **CU-101**

PROJECT NUMBER **10431.00**



STATUS: PRELIMINARY

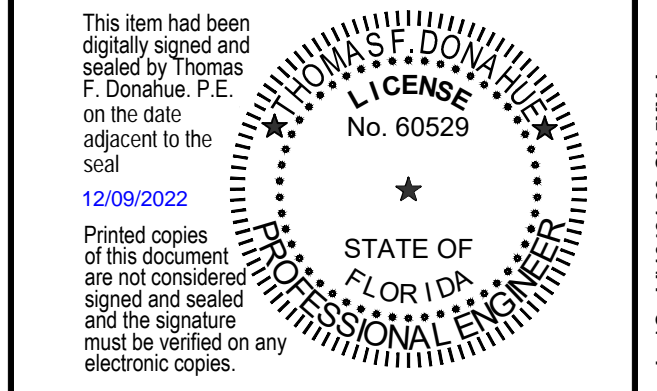
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 FLORIDA REG. NO. 60529
 (FOR THE FIRM)



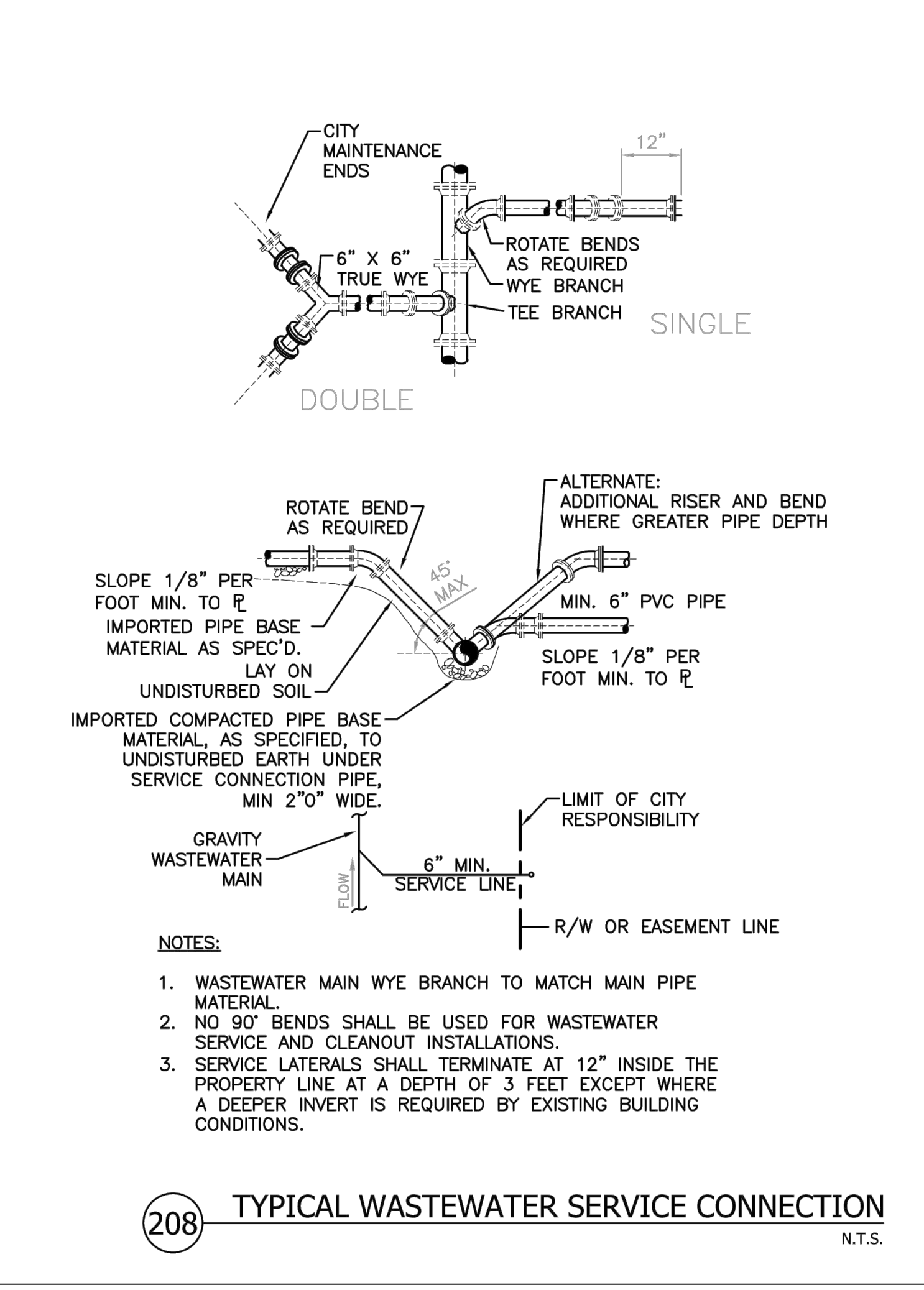
CLIENT
Habitat for Humanity
 of Broward

PROJECT
**19TH ST MIXED-USE DEVELOPMENT
 FT. LAUDERDALE - HABITAT FOR HUMANITY**

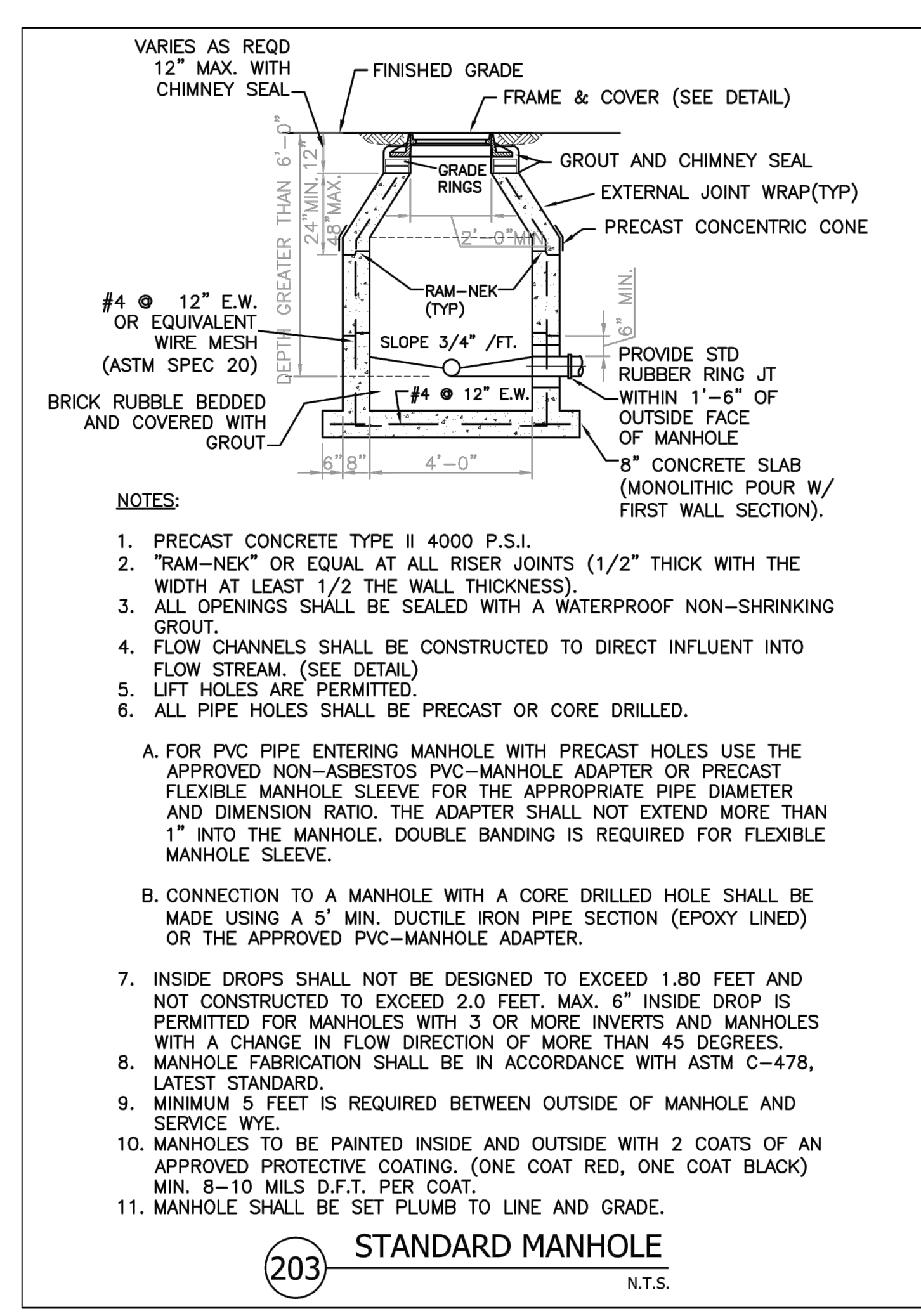
SHEET TITLE
WATER AND SEWER DETAILS

SHEET NUMBER **CU-501**
 PROJECT NUMBER **10431.00**

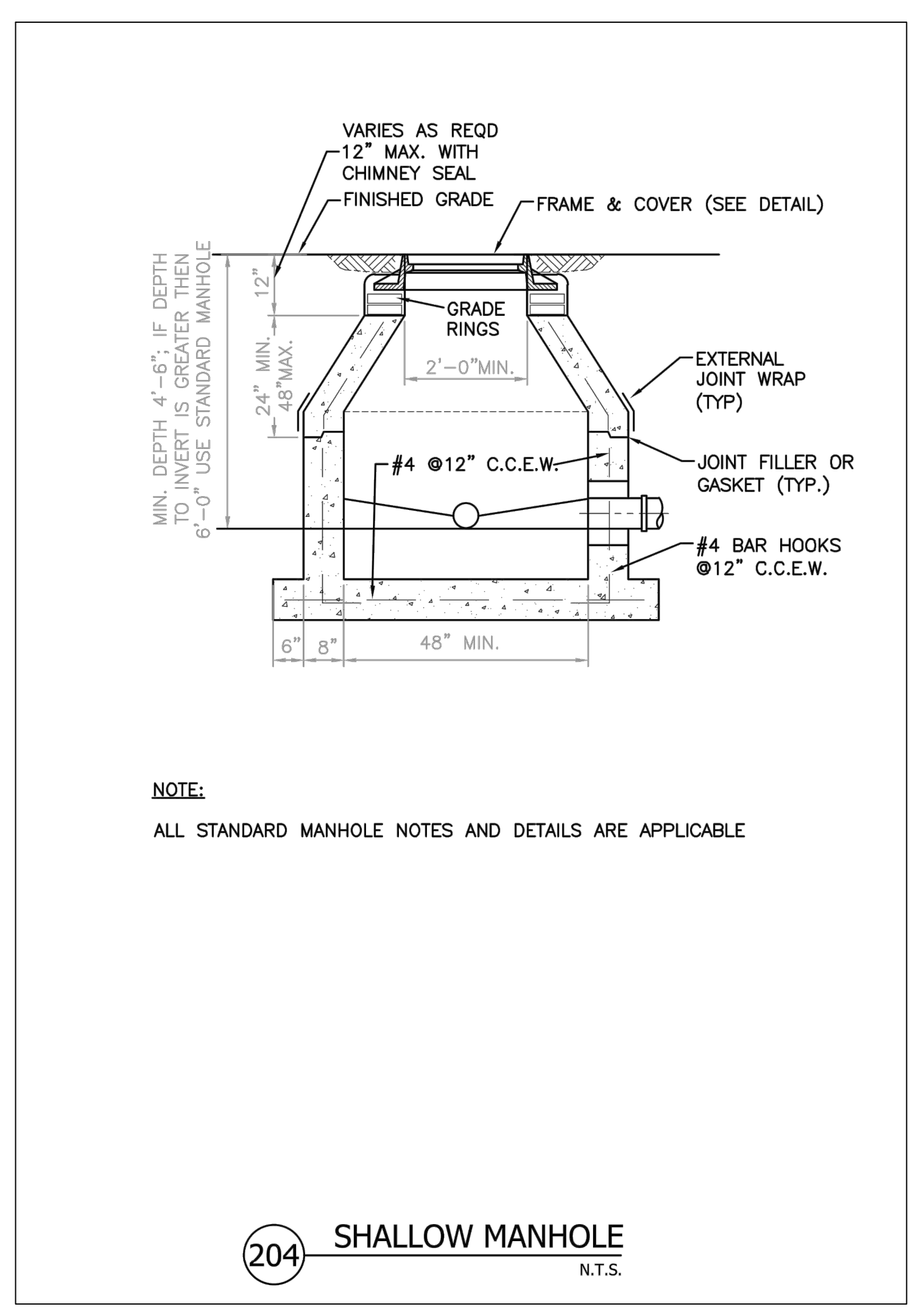
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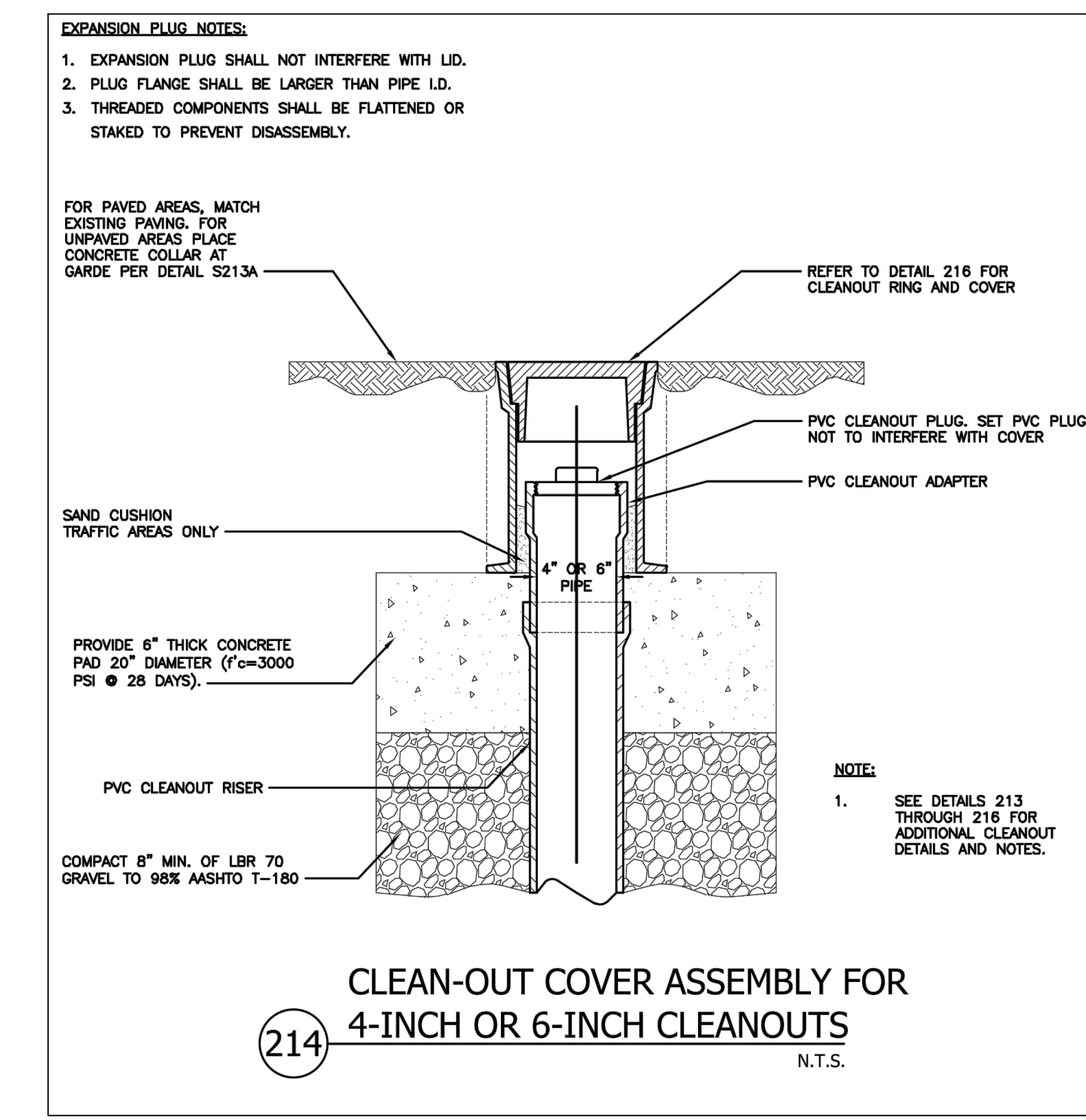
208 TYPICAL WASTEWATER SERVICE CONNECTION
 N.T.S.



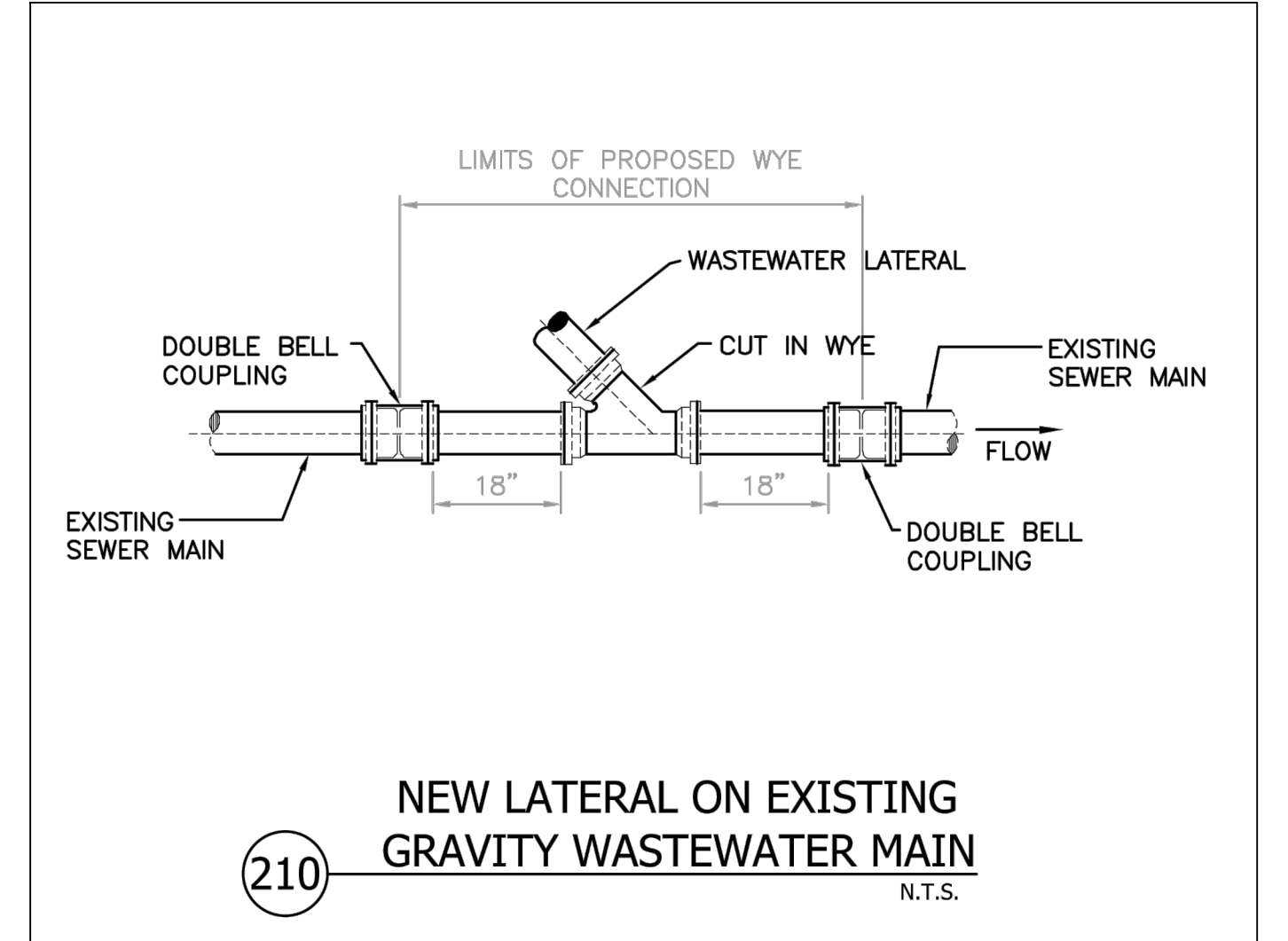
203 STANDARD MANHOLE
 N.T.S.



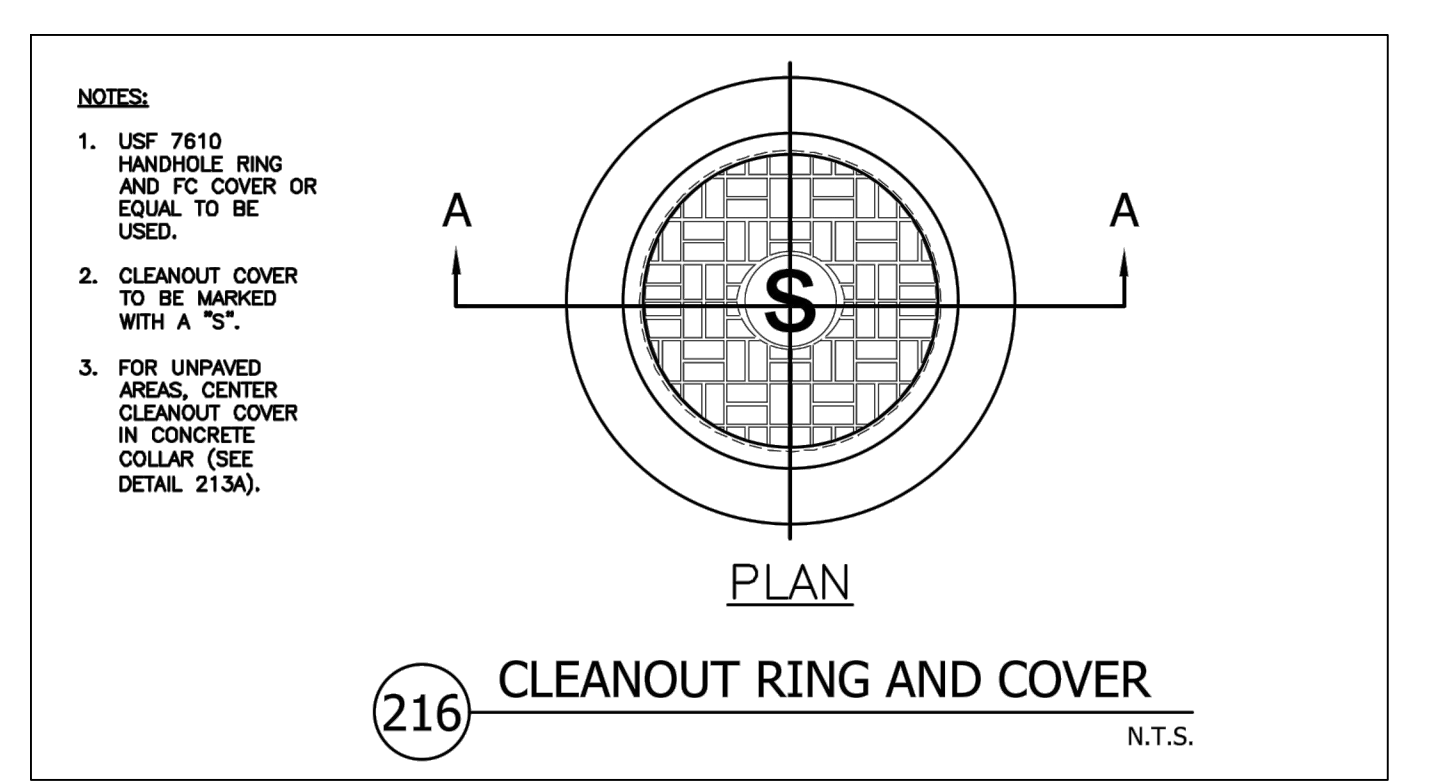
204 SHALLOW MANHOLE
 N.T.S.



214 CLEAN-OUT COVER ASSEMBLY FOR 4-INCH OR 6-INCH CLEANOUTS
 N.T.S.



210 NEW LATERAL ON EXISTING GRAVITY WASTEWATER MAIN
 N.T.S.



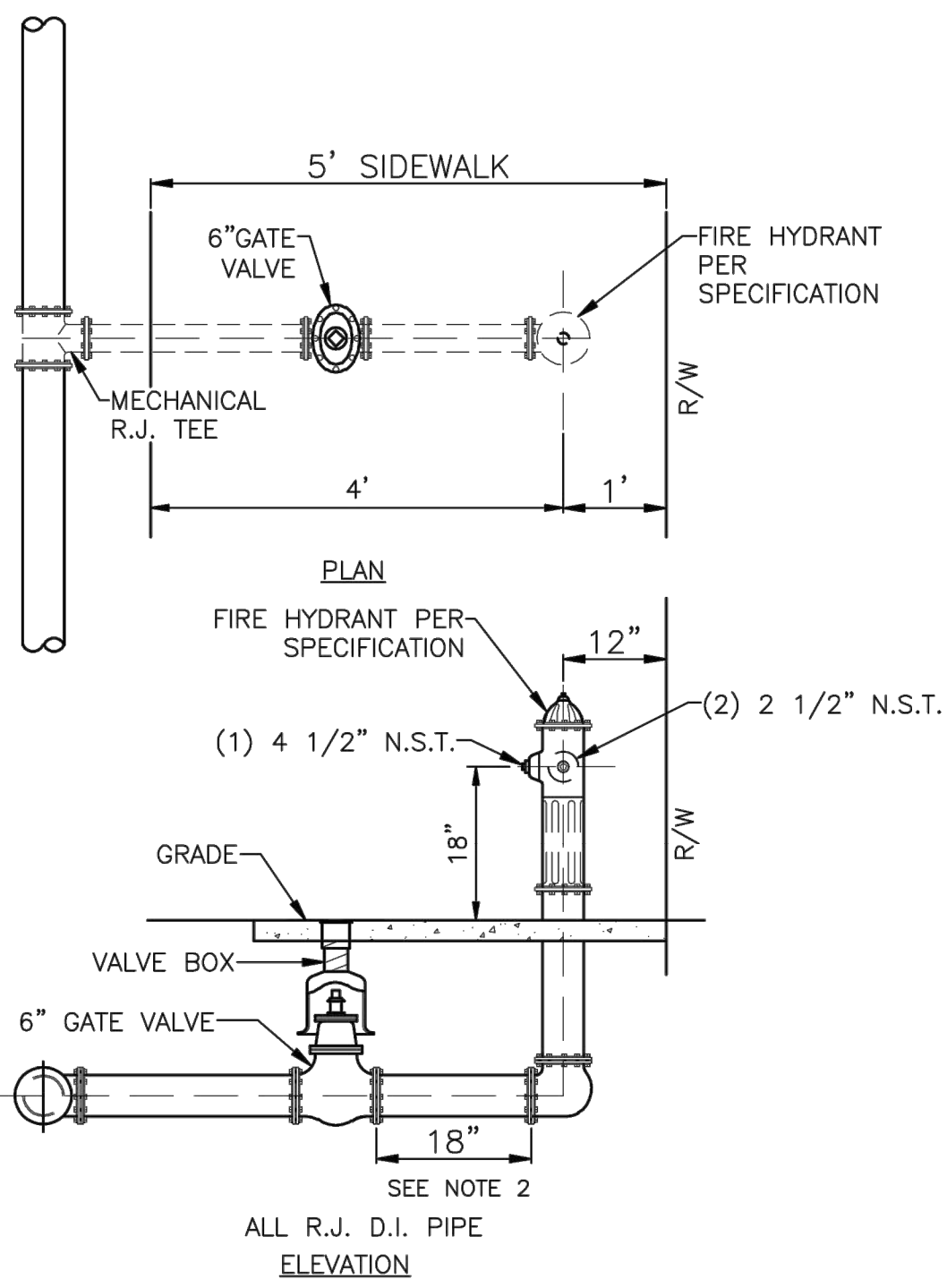
216 CLEANOUT RING AND COVER
 N.T.S.

- EXPANSION PLUG NOTES:**
1. EXPANSION PLUG SHALL NOT INTERFERE WITH I.D.
 2. PLUG FLANGE SHALL BE LARGER THAN PIPE I.D.
 3. THREADED COMPONENTS SHALL BE FLATTENED OR STAKED TO PREVENT DISASSEMBLY.

FOR PAVED AREAS, MATCH EXISTING PAVING. FOR UNPAVED AREAS, PLACE CONCRETE COLLAR AT GARDE PER DETAIL S213A

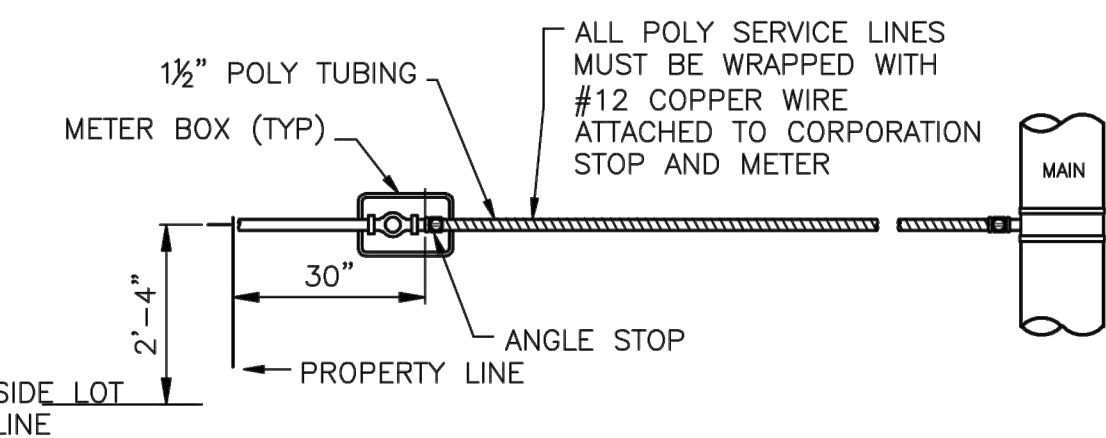
- NOTE:**
1. SEE DETAILS 213 THROUGH 216 FOR ADDITIONAL CLEANOUT DETAILS AND NOTES.

D
C
B
A

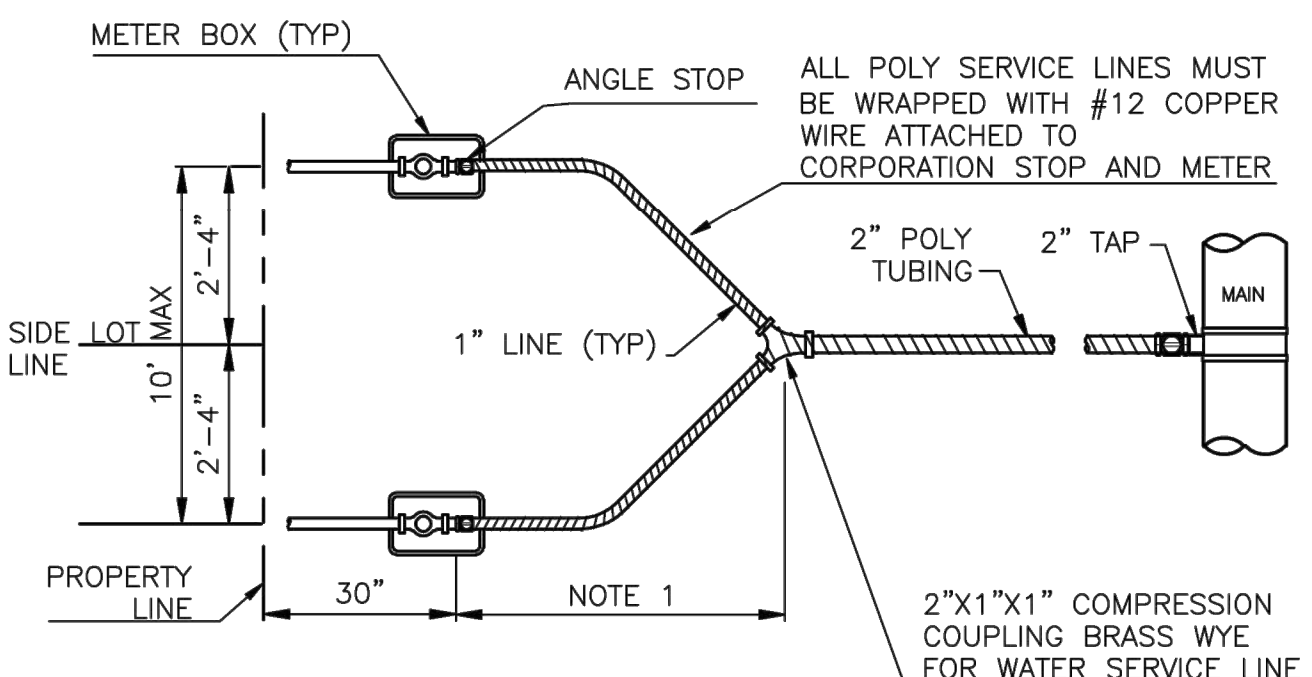


NOTES:
 1. ACTUAL LOCATION OF FIRE HYDRANT TO BE DECIDED IN THE FIELD WITH ENGINEER'S APPROVAL.
 2. KEEP VALVE AS CLOSE AS POSSIBLE TO THE HYDRANT.

TYPICAL NEW FIRE HYDRANT ASSEMBLY INSTALLATION (302)



SINGLE NEW SERVICE PLAN



DOUBLE NEW SERVICE PLAN
 NOTE:
 1. KEEP 1/2" WYE AS CLOSE AS POSSIBLE TO METER BOX.

TYPICAL WATER SERVICE (301)

WATER SYSTEM NOTES:

PIPE D.I.P.

- Ductile iron water main pipe shall conform to the requirements of A.N.S.I./ A.W.W.A. C-151/A 21.51-02 and lined and coated per A.N.S.I./A.W.W.A. C-104/A-214-03. 20" and smaller pipe shall be pressure class 350; 24" and larger, pipe shall be pressure class 250.
- All DIP shall have adequate protective measures against corrosion and it shall be used only if as determined by the design engineer, based on field conditions.
- All DIP shall be installed in accordance with A.N.S.I./A.W.W.A. C-600-99, or latest revision.

PIPE P.V.C.

- All P.V.C. mains shall be series 1120, class 150 (DR 18) pressure pipe, conforming to A.N.S.I./A.W.W.A. C-900-07, or latest revision, and shall have push on joints, and iron pipe O.D.
- All P.V.C. pipe shall be installed in accordance with the Uni-Bell plastic pipe Association's "Guide for installation of P.V.C. pressure pipe for Municipal water distribution system". Water distribution pipe shall be of "BLUE" color. All water main installations shall comply with the color coding requirements of Chapter 62-555.320 F.A.C. (Florida Administrative Code).
- Detector tape on all P.V.C. mains shall be installed 18" above the water main.

FITTINGS

- Fittings shall be ductile iron meeting A.N.S.I./A.W.W.A. C153/21.00 and shall be coated with 6 to 8 mil. Thickness coal tar epoxy conforming to the requirements of A.N.S.I./A.W.W.A. C550-05 and C116/A21.03.
- Restrained joint pipe shall be used for all bends, tees, crosses, plugs, and fire hydrants. Thrust blocks shall not be allowed.
- Retainer glands/mechanical joint restraint shall be used only if authorized by the Engineer and shall conform to A.N.S.I./A.W.W.A. standards C 111/A-21.11-03, or latest revision.

- All glands shall be manufactured from ductile iron as listed by underwriter's laboratory for 250 P.S.I. minimum water pressure rating.
- Glands shall be CLOW Corporation model F-1058, standard fire protection equipment company, or approved equal.

VALVES

- Tapping valves shall be Mueller H667 or approved equal.
- Tapping sleeves shall be Mueller H615 or approved equal.
- Gate valves 3" or less shall be NIBCO T-133 OR T-136 with malleable hand wheels. No substitutions allowed.
- Gate valves 4" or larger shall meet A.W.W.A. C-500-02 specification (latest revision). Valves shall be Mueller Co. or approved equal.
- All valves shall be furnished with extension type cast iron valve boxes of proper length for pipe depth. All boxes shall conform with A.W.W.A. specifications with a shaft of no less than 5 inches and have the word "WATER" cast in the cover. Base of valve box shall have a flared section to fit over stuffing box of valve.

HYDRANTS

- Fire hydrants shall be breakaway Mueller Co. Centurion model #A-423, or Metropolitan 250 Eddy Compression type F.H. or approved equal.
- Fire hydrants shall be installed with the center of the nozzle 18" above finished grade.
- Dead-end water mains 6" or larger shall terminate with a fire hydrant.

PLACEMENT

- The minimum depth of cover over water mains is 30" except where shown differently on plans.
- A continuous and uniform bedding shall be provided. Backfill material shall be tamped in layers around the pipe as shown on the plans and/or City of Fort Lauderdale Construction Standards and Specifications, January 1982. Rocks or stones larger than 3/4" diameter found in the trench shall be removed for a depth of at least 6" below the bottom of the pipe.

SEPARATION

- Sanitary sewers and force mains should cross under water mains whenever possible. Sanitary sewers and force mains crossing water mains shall be laid to provide a minimum vertical distance of 18" between the invert of the upper pipe and the crown of the lower pipe whenever possible.
- Where sanitary sewer force mains must cross a water main with less than 18" vertical separation, both the sewer and water main shall be constructed of ductile iron pipe (DIP) at the crossing. Sufficient lengths of DIP must be used to provide a minimum separation of 10 feet between any two joints. All joints on the water main within 20 feet of the crossing must be mechanically restrained. A minimum vertical clearance of 6" must be maintained at all crossings.
- A minimum 10 foot horizontal separation shall be maintained between any type of sewer and water main in parallel installations whenever possible.
- The preferred separation between water mains and sewer mains shall be 10 feet. In cases where it is not possible to maintain a 6 foot horizontal separation between the water mains and sewer mains, one of the following conditions must be met. The minimum separation between water and sewer mains shall be 3 feet:

SEPARATION (CONT'D)

- The water main must be laid in a separate trench or on an undisturbed earth shelf located on one side of the sewer or force main at such elevation that the bottom of the water main is at least 18 inches above the top of the sewer.
- The sewer or force main is encased in concrete or a watertight carrier pipe.
- Both the sewer and the water main are constructed of pressure pipe tested to 150 p.s.i.

- Where it is not possible to maintain a vertical distance of 18" in parallel installations, the water main shall be constructed of DIP and the sanitary sewer or force main shall be constructed of DIP, with a minimum vertical clearance of 6". The water main should be above the sewer. Joints on the water main shall be located as far apart as possible from the joints on the sewer or force main (staggered joints).
- All crossings shall be arranged so that the sewer pipe joints and the water main pipe joints are equidistant from the point of crossing (pipes centered on the crossing).
- Where a new pipe conflicts with an existing pipe with less than 18" vertical clearance, the new pipe shall be arranged to meet the crossing requirements above.

TESTING, DISINFECTION

- Pipe shall be tested under constant pressure of 150 P.S.I. for a minimum test period of 2 hours and shall not exceed the leakage requirements as per A.N.S.I./A.W.W.A. specifications of C-600-05 leakage formula:

$$Q = \frac{(SD\sqrt{P})}{133,200}$$
 Q = ALLOWABLE LEAKAGE, IN GALLONS PER HOUR
 D = DIAMETER OF THE PIPE TESTED, IN INCHES.
 S = TOTAL LENGTH OF PIPE TESTED, IN FEET.
 P = AVERAGE TEST PRESSURE, IN POUNDS PER SQUARE INCH.

- The City of Fort Lauderdale Public Services Department will take all bacteriological tests, to be scheduled via inspector. If otherwise specified in contract detailed specification and/or authorized by the engineer of record, bacteriological tests may be performed by a certified environmental testing laboratory.

- Disinfection of mains shall comply with A.N.S.I./A.W.W.A. C-651-05 standard. Bacteriological sampling points shall be designated on the engineering plans. Minimum one sampling point at each end. Maximum space between sampling points is 1200 feet.

CONNECTION

- All connections to existing mains shall be made under the direction of the City of Fort Lauderdale.
- There shall be no connection to an existing water main until pressure and bacteriological tests have been conducted and the results are approved and accepted by the City of Fort Lauderdale.

SERVICE CONNECTIONS

- All meter service connections shall be bronze from plug valve. No gate valves are to be used (2" or less).
- Service saddles shall be ductile iron with stainless steel straps. Saddles shall be double strap type. All service saddles shall conform to A.N.S.I./A.W.W.A. C 111/A-21.11-00 and A.S.T.M. A588.
- All service lines shall be copper tubing, type "K", or plasticized polyethylene 3408, A.S.T.M. D-2737, S.D.R. 9, 200 P.S.I.

GENERAL NOTE:

ALL EXISTING 2" WATER MAINS ARE TO BE CAPPED AND ABANDONED IN PLACE.
 NEW WATER SERVICE LINES SHALL BE INSTALLED TO SERVICE THE EXISTING PROPERTIES.

KEITH
 301 East Atlantic Blvd.
 Pompano Beach, FL 33060
 PH: (954) 788-3400

Florida Engineering Business License: CA7923
 Florida Surveyor and Mapper Business License: LB6860
 Florida Landscape Architecture Business License: LC26000457

REVISIONS		
NO.	DESCRIPTION	DATE

PRELIMINARY PLAN
 NOT FOR CONSTRUCTION
 THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS.
 RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE:	12/09/22
DESIGNED BY:	MVM
DRAWN BY:	JR
CHECKED BY:	FH
BID-CONTRACT:	

This item had been digitally signed and sealed by Thomas F. Donahue, P.E. on the date adjacent to the seal.
 12/09/2022
 Thomas F. Donahue, P.E.
 FLORIDA REG. NO. 60529
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA

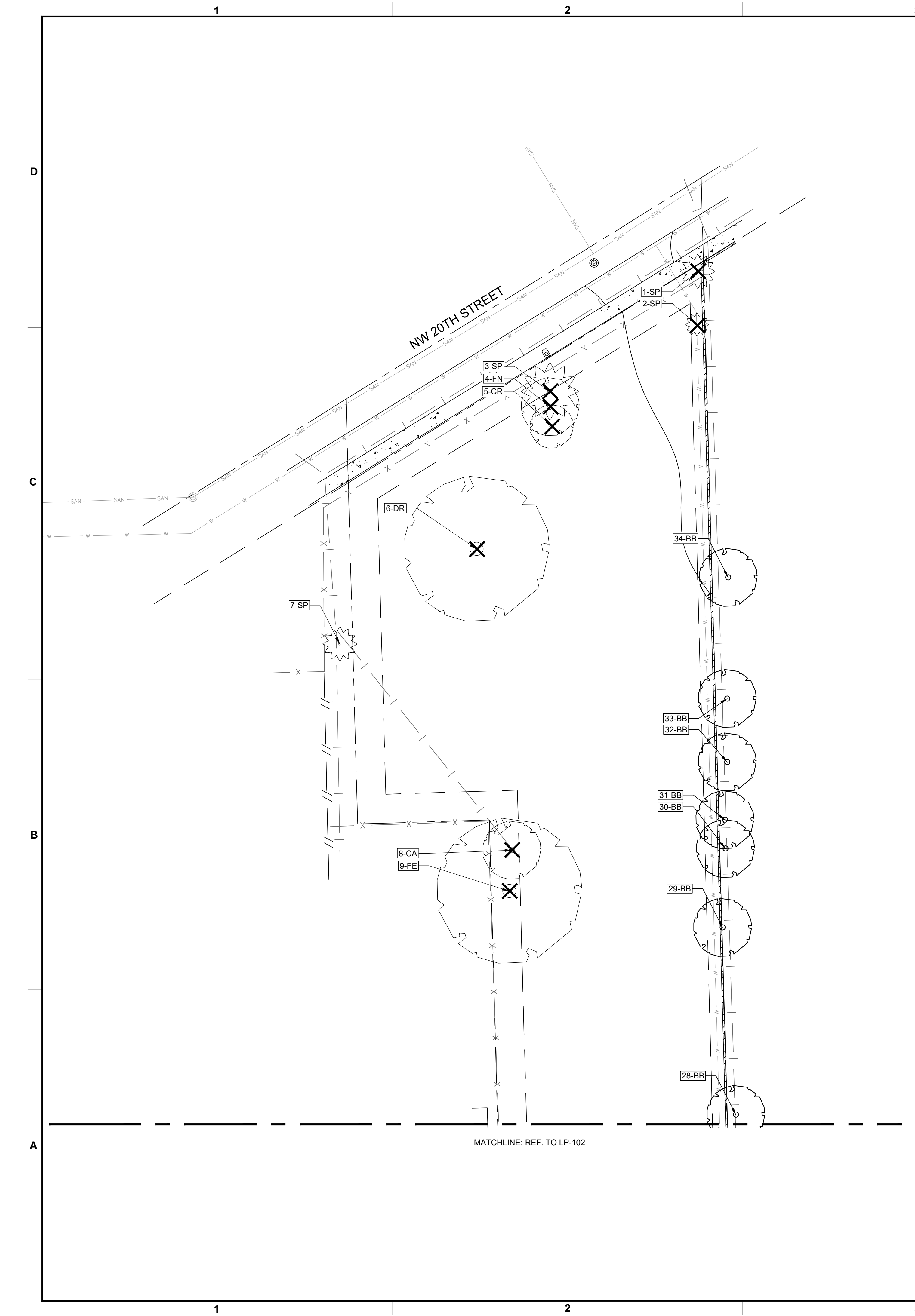
THOMAS F. DONAHUE, P.E.
 FLORIDA REG. NO. 60529
 (FOR THE FIRM)



PROJECT
 19TH ST MIXED-USE DEVELOPMENT
 FT. LAUDERDALE - HABITAT FOR HUMANITY

SHEET TITLE	WATER AND SEWER DETAILS
SHEET NUMBER	CU-502
PROJECT NUMBER	10431.00

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 STATUS: PRELIMINARY

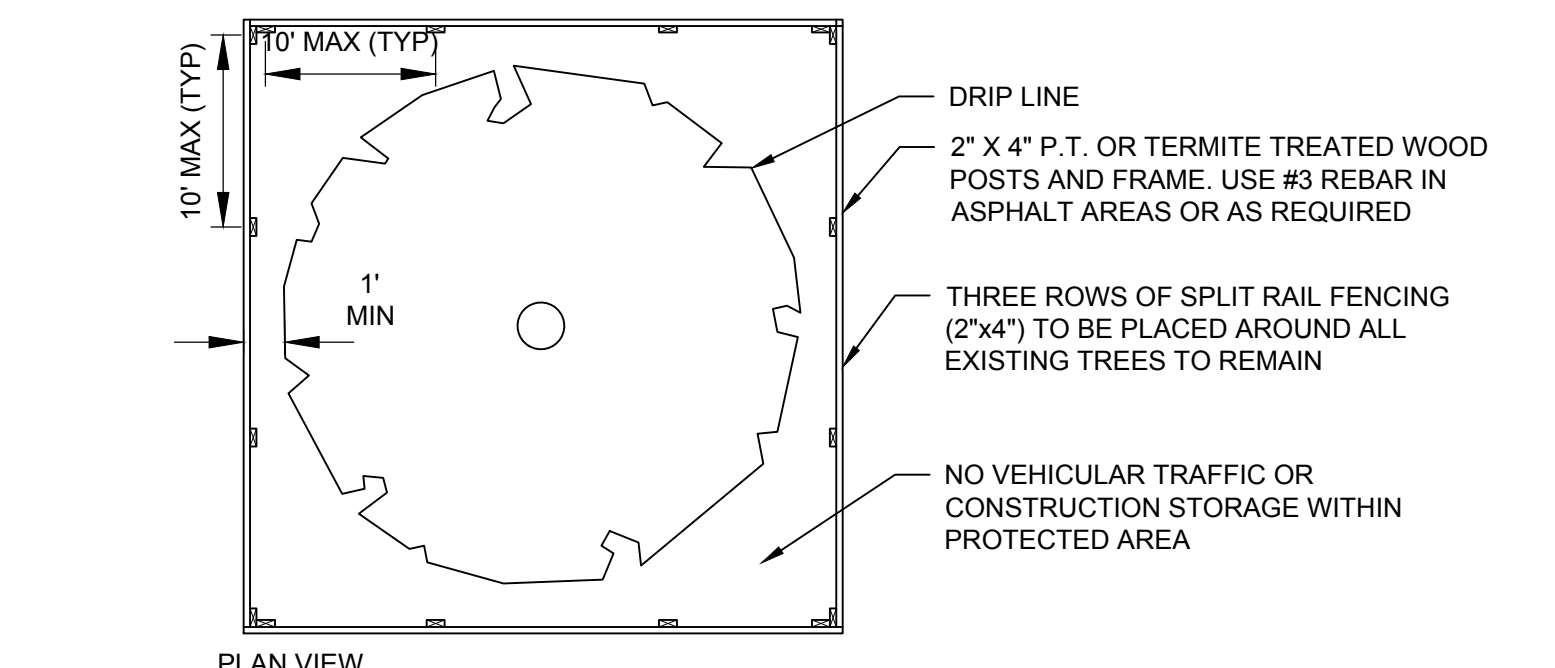
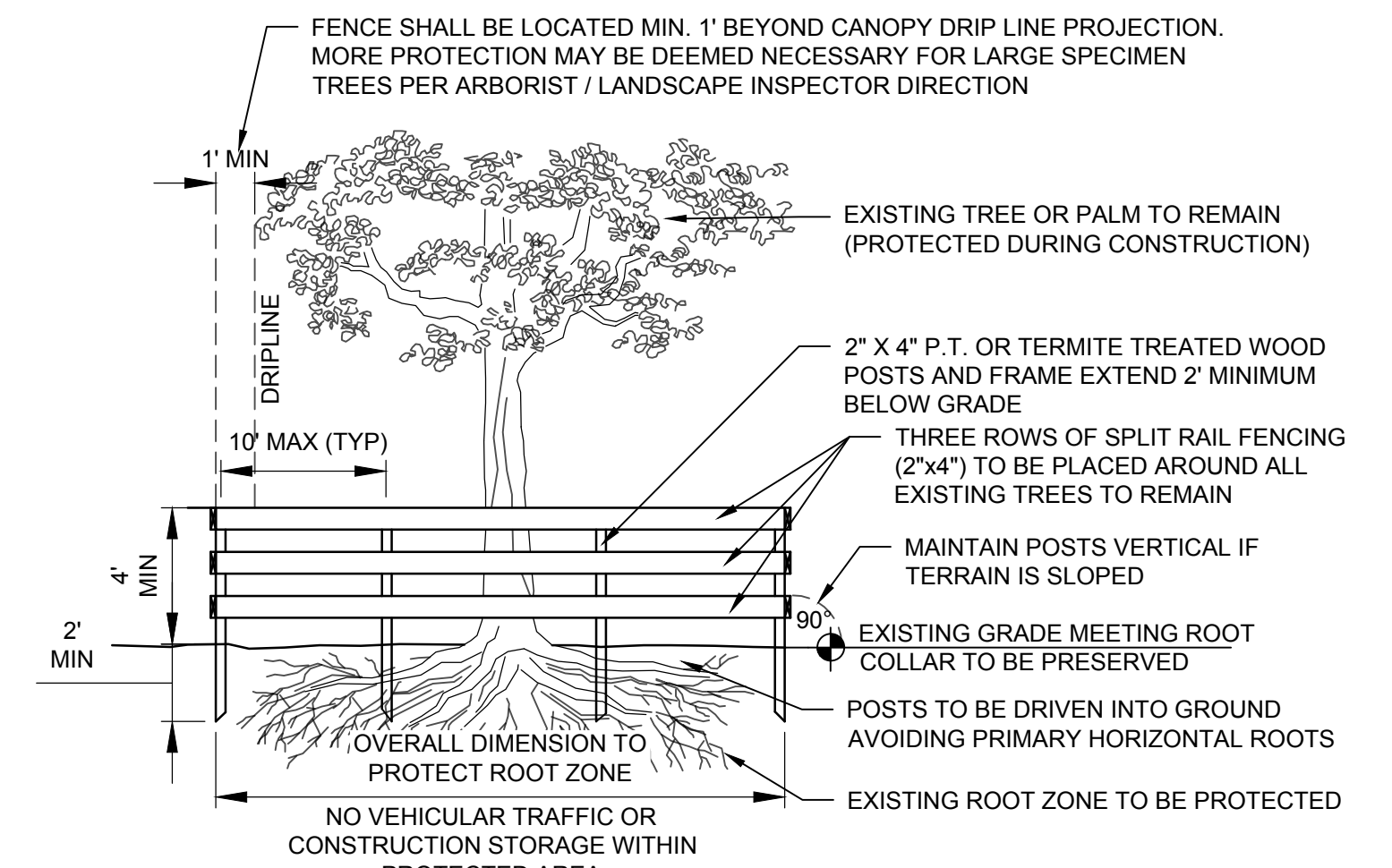


TREE DISPOSITION TABLE										
TREE #	COMMON NAME	SCIENTIFIC NAME	DBH		HT		CNPY	TREE %	TREE DISPOSITION	COMMENTS
			IN.	FT (TREE)	CT (PALM)	FT.				
1	SABAL PALM	<i>Sabal palmetto</i>		12		12			REMOVE	
2	SABAL PALM	<i>Sabal palmetto</i>		12		8			REMOVE	
3	SABAL PALM	<i>Sabal palmetto</i>		20					REMOVE	
4	INDIAN LAUREL	<i>Ficus nitida</i>	8	20		20			REMOVE	
5	PITCH APPLE	<i>Cusia rosea</i>	7	15		25			REMOVE	SPROWLING SHADED
6	ROYAL POINCIANA	<i>Delonix regia</i>	18	25		50		50%	REMOVE	TD WITH DECAY, B DMG, R DMG
7	SABAL PALM	<i>Sabal palmetto</i>	11	12		10			REMOVE	
8	CARROTWOOD	<i>Cupaniopsis anacardioides</i>							REMOVE	
9	RUBBER PLANT	<i>Ficus elastica</i>	14,12,8						REMOVE	MT, R DMG, NL, SPROWLING, T DMG, B DMG
10	SABAL PALM	<i>Sabal palmetto</i>	10	12					REMOVE	
11	FICUS BENJAMINA	<i>Ficus benjamina</i>							REMAIN	OFFSITE
12	MANGO	<i>Mangifera indica</i>	29	35		40			REMAIN	CO-D, B DMG, D
13	SABAL PALM	<i>Sabal palmetto</i>	12						REMOVE	
14	GUMBO LIMBO	<i>Bursera simaruba</i>	3	10		5			REMOVE	
15	SABAL PALM	<i>Sabal palmetto</i>	12						REMOVE	
16	SABAL PALM	<i>Sabal palmetto</i>	12						REMOVE	
17	NOT USED	#N/A							REMOVE	DEAD
18	ROYAL POINCIANA	<i>Delonix regia</i>	3	20		20			REMOVE	L
19	INDIAN LAUREL	<i>Ficus nitida</i>	12	30		30			REMOVE	AERIAL ROOTS, OVERGROWN SHR
20	SABAL PALM	<i>Sabal palmetto</i>							REMOVE	
21	ROYAL POINCIANA	<i>Delonix regia</i>	15	30		60			REMOVE	CO-D, WCPY
22	BUTTONWOOD	<i>Conocarpus erectus</i>	9	25		12			REMAIN	OFFSITE, OHE, MT
23	BLACK OLIVE	<i>Bucida buceras</i>	30	30		30			REMAIN	OFFSITE, OHE, UP
24	BLACK OLIVE	<i>Bucida buceras</i>	30	30		30			REMAIN	OFFSITE, OHE, UP
25	BLACK OLIVE	<i>Bucida buceras</i>	30	30		30			REMAIN	OFFSITE, OHE, UP
26	BLACK OLIVE	<i>Bucida buceras</i>	30	30		30			REMAIN	OFFSITE, OHE, UP
27	BLACK OLIVE	<i>Bucida buceras</i>	30	30		30			REMAIN	OFFSITE, OHE, UP
28	BLACK OLIVE	<i>Bucida buceras</i>	30	30		30			REMAIN	OFFSITE, OHE, UP
29	BLACK OLIVE	<i>Bucida buceras</i>	30	30		30			REMAIN	OFFSITE, OHE, UP
30	BLACK OLIVE	<i>Bucida buceras</i>	30	30		30			REMAIN	OFFSITE, OHE, UP
31	BLACK OLIVE	<i>Bucida buceras</i>	30	30		30			REMAIN	OFFSITE, OHE, UP
32	BLACK OLIVE	<i>Bucida buceras</i>	30	30		30			REMAIN	OFFSITE, OHE, UP
33	BLACK OLIVE	<i>Bucida buceras</i>	30	30		30			REMAIN	OFFSITE, OHE, UP
34	BLACK OLIVE	<i>Bucida buceras</i>	30	30		30			REMAIN	OFFSITE, OHE, UP

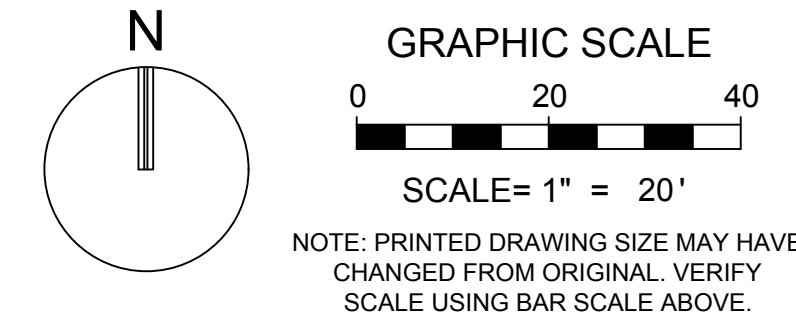
ABBREVIATIONS LEGEND	
B CAV	BRANCH CAVITY
B DMG	BRANCH DAMAGE
CB	CROSSING BRANCHES
CO-D	CO-DOMINANT
CON	CONSTRUCTION
D	DECAY
DB	DEBACK
DL	DIAL LEADER
FB	FUNGUS BOODIES
IB	INCLUDED BARK
L	LEANING
MT	MULTI-TRUNK
NL	NO MAIN LEADER
OHE	OVERHEAD UTILITIES
RA	ROOT AREA INSUFFICIENT
R DMG	ROOT DAMAGE
S	SUCKER GROWTH
T CAV	TRUNK CAVITY
T DMG	TRUNK DAMAGE
UP	UTILITY FRUINED
WCPY	WEAK CANOPY

TREE DISPOSITION LEGEND	
SYMBOL	DESCRIPTION
(No symbol)	EXISTING TREE / PALM TO REMAIN (NO SYMBOL) TO BE PROTECTED DURING CONSTRUCTION
Δ	EXISTING TREE / PALM TO RELOCATE. REFER TO LANDSCAPE PLAN FOR NEW LOCATION
X	EXISTING TREE / PALM TO REMOVE. REMOVE ALL CAT 1 INVASIVE EXOTICS. (EX: BRAZ, PEPPER)
XXX-xx	EXISTING TREE / PALM NUMBER. REFER TO TREE DISPOSITION TABLE ON LD-102

- TREE DISPOSITION NOTES**
- EXISTING TREES TO REMAIN SHALL BE TRIMMED PER ANSI-A300 STANDARDS, REMOVING WEAKEST RUBBING BRANCHES AND DEAD BRANCHES, BUT RETAINING 80% OF FOLIAGE. LARGE TREES SHALL HAVE LOWER BRANCHES CLEARED UP TO 8'.
 - SYMBOLS MAY BE SHOWN OFFSET FROM ACTUAL TREE LOCATION FOR CLARITY.
 - CONTACT LANDSCAPE ARCHITECT / ISA CERTIFIED ARBORIST FOR CLARIFICATION ON ANY DISCREPANCIES.
 - TRIMMING AND ANY NECESSARY ROOT PRUNING SHALL BE PERFORMED OR SUPERVISED BY A CERTIFIED ARBORIST.
 - ALL TREE WORK REQUIRE PERMITTING BY A REGISTERED COUNTY TREE TRIMMER.
 - BUBBLERS SHALL BE PROVIDED FOR ALL RELOCATED TREES AND PALMS.
 - REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN "TREE REMOVAL PERMIT" FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL. CONFIRM WITH LOCAL GOVERNING AGENCY THAT TREES CLASSIFIED AS NUISANCE/EXOTIC INVASIVE MAY BE EXEMPT.
 - ALL TREES AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. REFER TO TREE PROTECTION DETAIL. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, ROOT ZONES AND GRADE.
 - ALL CATEGORY 1 EXOTIC/INVASIVE TREES TO BE REMOVED PER LOCAL ORDINANCE.



- NOTES:**
- SOD TO BE ST. AUGUSTINE 'FLORATAM', EXCEPT IN RETENTION AREAS. CONTRACTOR TO DETERMINE QUANTITY.
 - ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
 - ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
 - BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLANT LIST. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.
 - PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.
 - ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.
 - NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.
 - ALL CATEGORY 1 INVASIVE/EXOTIC TREES TO BE REMOVED PER LOCAL ORDINANCE.



CITY OF FORT LAUDERDALE
TREE PROTECTION BARRICADE
00 PLAN / SECTION NOT TO SCALE

KEITH
301 East Atlantic Blvd.
Pompano Beach, FL 33060
PH: (954) 788-3400
Florida Engineering Business License: CA7923
Florida Surveyor and Mapper Business License: LB6660
Florida Landscape Architecture Business License: LC26000457

REVISIONS		
NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
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ISSUE DATE: **12/09/2022**
DESIGNED BY: **RP**
DRAWN BY: **GM**
CHECKED BY: **RP, PW**
BID-CONTRACT:

PAUL H. WEINBERG, R.L.A
FLORIDA REG. NO. LA666804
(FOR THE FIRM)

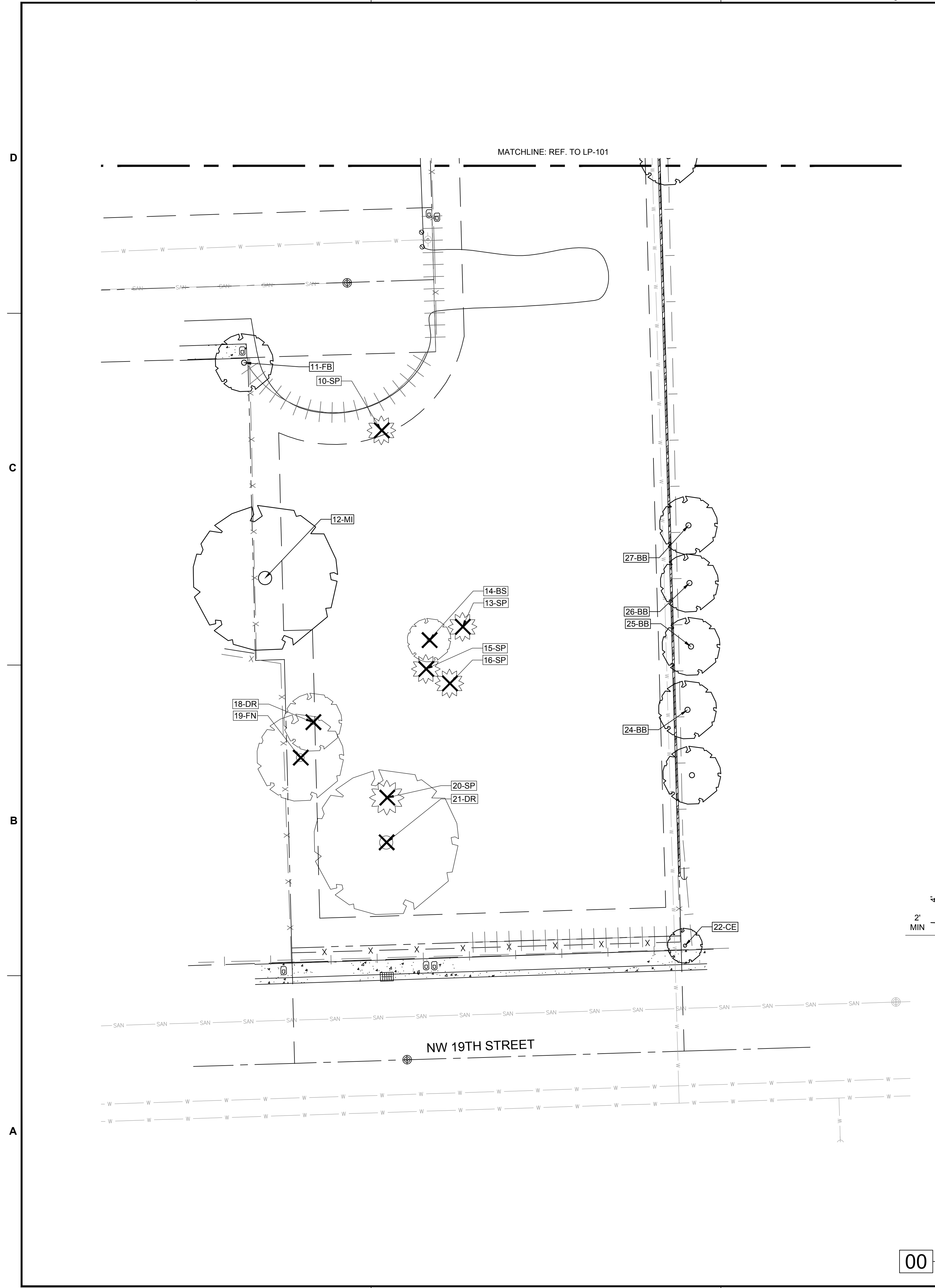


PROJECT
**19TH ST MIXED-USE DEVELOPMENT
FT. LAUDERDALE - HABITAT FOR HUMANITY**

SHEET TITLE
TREE DISPOSITION PLAN

SHEET NUMBER LD-101
PROJECT NUMBER 10431.00

STATUS: PRELIMINARY



TREE DISPOSITION TABLE

TREE #	COMMON NAME	SCIENTIFIC NAME	DBH IN.	HT FT (TREE) CT (PALM)	CNPY FT.	TREE % CONDITION	TREE DISPOSITION	COMMENTS
1	SABAL PALM	<i>Sabal palmetto</i>		12	12		REMOVE	
2	SABAL PALM	<i>Sabal palmetto</i>		12	8		REMOVE	
3	SABAL PALM	<i>Sabal palmetto</i>		20			REMOVE	
4	INDIAN LAUREL	<i>Ficus nitida</i>	8	20	20		REMOVE	
5	PITCH APPLE	<i>Cusia rosea</i>	7	15	25		REMOVE	SPROWLING SHADED
6	ROYAL POINCIANA	<i>Delonix regia</i>	18	25	50	50%	REMOVE	TD WITH DECAY, B DMG, R DMG
7	SABAL PALM	<i>Sabal palmetto</i>	11	12	10		REMOVE	
8	CARROTTWOOD	<i>Cupaniopsis anacardioides</i>					REMOVE	
9	RUBBER PLANT	<i>Ficus elastica</i>	14,12,8				REMOVE	MT, R DMG, NL, SPROWLING, T DMG, B DMG
10	SABAL PALM	<i>Sabal palmetto</i>	10	12			REMOVE	
11	FICUS BENJAMINA	<i>Ficus benjamina</i>					REMAIN	OFFSITE
12	MANGO	<i>Mangifera indica</i>	29	35	40		REMAIN	CO-D, B DMG, D
13	SABAL PALM	<i>Sabal palmetto</i>	12				REMOVE	
14	GUMBO LIMBO	<i>Bursera simaruba</i>	3	10	5		REMOVE	
15	SABAL PALM	<i>Sabal palmetto</i>	12				REMOVE	
16	SABAL PALM	<i>Sabal palmetto</i>	12				REMOVE	
17	NOT USED	#N/A					REMOVE	DEAD
18	ROYAL POINCIANA	<i>Delonix regia</i>	3	20	20		REMOVE	L
19	INDIAN LAUREL	<i>Ficus nitida</i>	12	30	30		REMOVE	AERIAL ROOTS, OVERGROWN SHR
20	SABAL PALM	<i>Sabal palmetto</i>		14	50		REMOVE	
21	ROYAL POINCIANA	<i>Delonix regia</i>	15	30	60		REMOVE	CO-D, WCPY
22	BUTTONWOOD	<i>Conocarpus erectus</i>	9	25	12		REMAIN	OFFSITE, OHE, MT
23	BLACK OLIVE	<i>Bucida buceras</i>	30	30	30		REMAIN	OFFSITE, OHE, UP
24	BLACK OLIVE	<i>Bucida buceras</i>	30	30	30		REMAIN	OFFSITE, OHE, UP
25	BLACK OLIVE	<i>Bucida buceras</i>	30	30	30		REMAIN	OFFSITE, OHE, UP
26	BLACK OLIVE	<i>Bucida buceras</i>	30	30	30		REMAIN	OFFSITE, OHE, UP
27	BLACK OLIVE	<i>Bucida buceras</i>	30	30	30		REMAIN	OFFSITE, OHE, UP
28	BLACK OLIVE	<i>Bucida buceras</i>	30	30	30		REMAIN	OFFSITE, OHE, UP
29	BLACK OLIVE	<i>Bucida buceras</i>	30	30	30		REMAIN	OFFSITE, OHE, UP
30	BLACK OLIVE	<i>Bucida buceras</i>	30	30	30		REMAIN	OFFSITE, OHE, UP
31	BLACK OLIVE	<i>Bucida buceras</i>	30	30	30		REMAIN	OFFSITE, OHE, UP
32	BLACK OLIVE	<i>Bucida buceras</i>	30	30	30		REMAIN	OFFSITE, OHE, UP
33	BLACK OLIVE	<i>Bucida buceras</i>	30	30	30		REMAIN	OFFSITE, OHE, UP
34	BLACK OLIVE	<i>Bucida buceras</i>	30	30	30		REMAIN	OFFSITE, OHE, UP

ABBREVIATIONS LEGEND

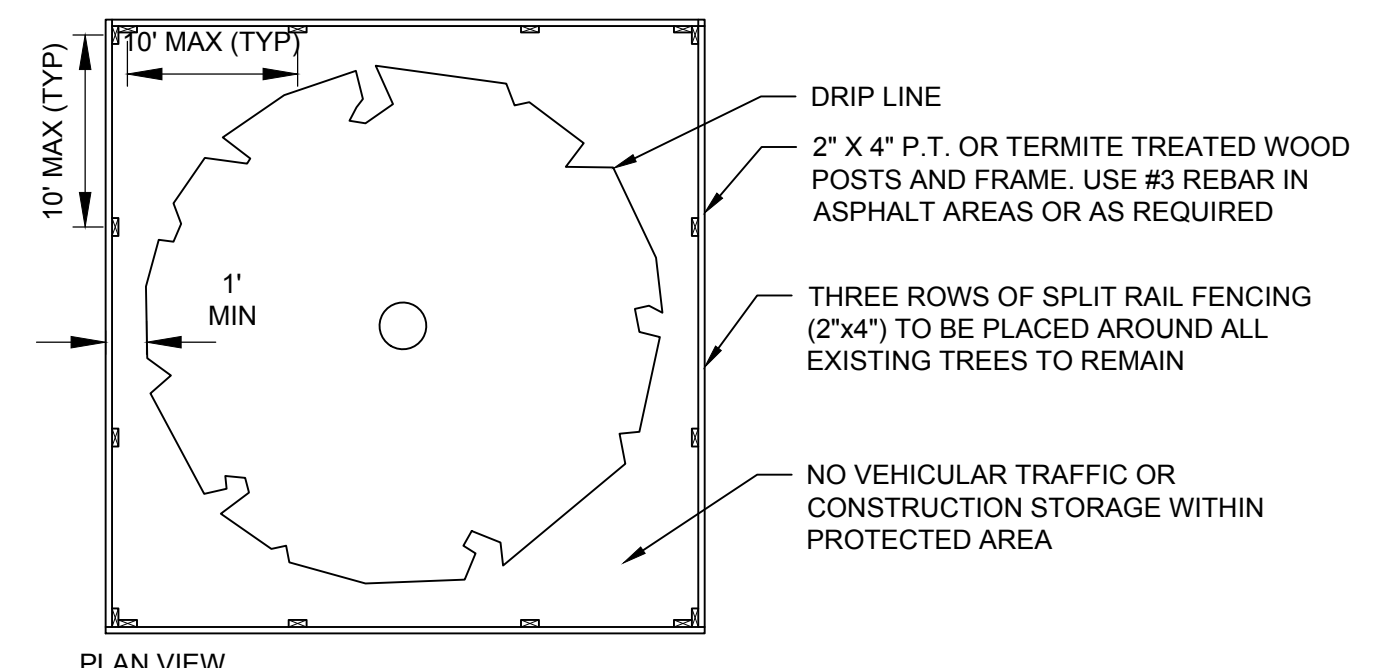
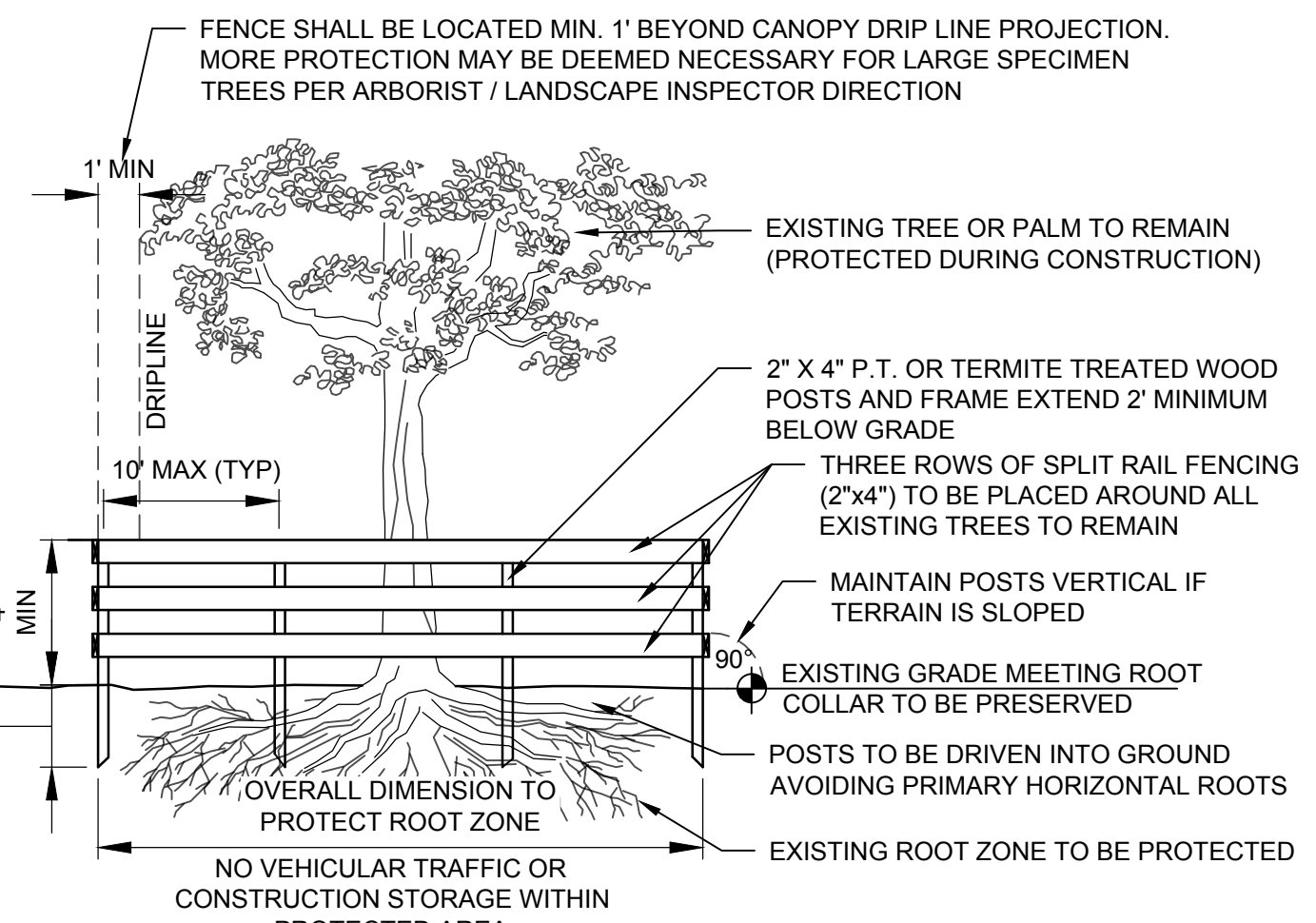
B CAV	BRANCH CAVITY
B DMG	BRANCH DAMAGE
CB	CROSSING BRANCHES
CO-D	CO-DOMINANT
CON	CONSTRUCTION
D	DECAY
DB	DEBACK
DL	DUAL LEADER
FB	FUNGUS BOCES
IB	INCLUDED BARK
L	LEANING
MT	MULTI-TRUNK
NL	NO MAIN LEADER
OHE	OVERHEAD UTILITIES
RA	ROOT AREA INSUFFICIENT
RDMG	ROOT DAMAGE
S	SUCKER GROWTH
T CAV	TRUNK CAVITY
T DMG	TRUNK DAMAGE
UP	UTILITY FRUSTR
WCPY	WEAK CANOPY

TREE DISPOSITION LEGEND

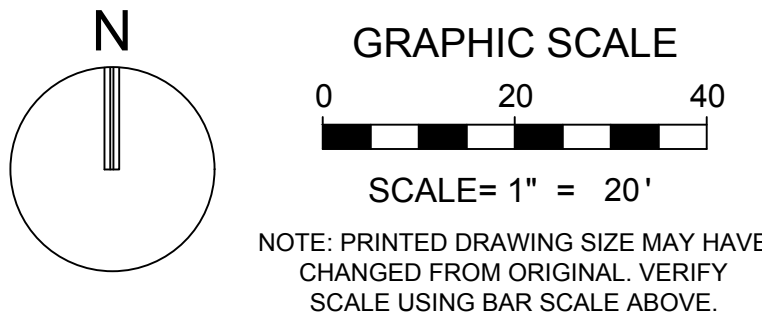
SYMBOL	DESCRIPTION
	EXISTING TREE / PALM TO REMAIN (NO SYMBOL) TO BE PROTECTED DURING CONSTRUCTION
△	EXISTING TREE / PALM TO RELOCATE. REFER TO LANDSCAPE PLAN FOR NEW LOCATION
X	EXISTING TREE / PALM TO REMOVE. REMOVE ALL CAT 1 INVASIVE EXOTICS. (EX: BRAZ, PEPPER)
XXX-xx	EXISTING TREE / PALM NUMBER. REFER TO TREE DISPOSITION TABLE ON LD-102

- TREE DISPOSITION NOTES
- EXISTING TREES TO REMAIN SHALL BE TRIMMED PER ANSI-A300 STANDARDS, REMOVING WEAKEST RUBBING BRANCHES AND DEAD BRANCHES, BUT RETAINING 80% OF FOLIAGE. LARGE TREES SHALL HAVE LOWER BRANCHES CLEARED UP TO 8'.
 - SYMBOLS MAY BE SHOWN OFFSET FROM ACTUAL TREE LOCATION FOR CLARITY.
 - CONTACT LANDSCAPE ARCHITECT / ISA CERTIFIED ARBORIST FOR CLARIFICATION ON ANY DISCREPANCIES.
 - TRIMMING AND ANY NECESSARY ROOT PRUNING SHALL BE PERFORMED OR SUPERVISED BY A CERTIFIED ARBORIST.
 - ALL TREE WORK REQUIRE PERMITTING BY A REGISTERED COUNTY TREE TRIMMER.
 - BUBBLERS SHALL BE PROVIDED FOR ALL RELOCATED TREES AND PALMS.
 - REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN "TREE REMOVAL PERMIT" FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL. CONFIRM WITH LOCAL GOVERNING AGENCY THAT TREES CLASSIFIED AS NUISANCE/EXOTIC INVASIVE MAY BE EXEMPT.
 - ALL TREES AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. REFER TO TREE PROTECTION DETAIL. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, ROOT ZONES AND GRADE.
 - ALL CATEGORY 1 EXOTIC/INVASIVE TREES TO BE REMOVED PER LOCAL ORDINANCE.

- NOTES:
- SOD TO BE ST. AUGUSTINE 'FLORATAM', EXCEPT IN RETENTION AREAS. CONTRACTOR TO DETERMINE QUANTITY.
 - ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
 - ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
 - BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLANT LIST. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.
 - PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.
 - ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.
 - NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.
 - ALL CATEGORY 1 INVASIVE/EXOTIC TREES TO BE REMOVED PER LOCAL ORDINANCE.



CITY OF FORT LAUDERDALE
TREE PROTECTION BARRICADE
00 PLAN / SECTION NOT TO SCALE



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Florida Surveyor and Mapper Business License: LB6860
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REVISIONS

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
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ISSUE DATE: 12/09/2022
DESIGNED BY: RP
DRAWN BY: GM
CHECKED BY: RP, PW
BID-CONTRACT:

PAUL H. WEINBERG, R.L.A.
FLORIDA REG. NO. LA666804
(FOR THE FIRM)



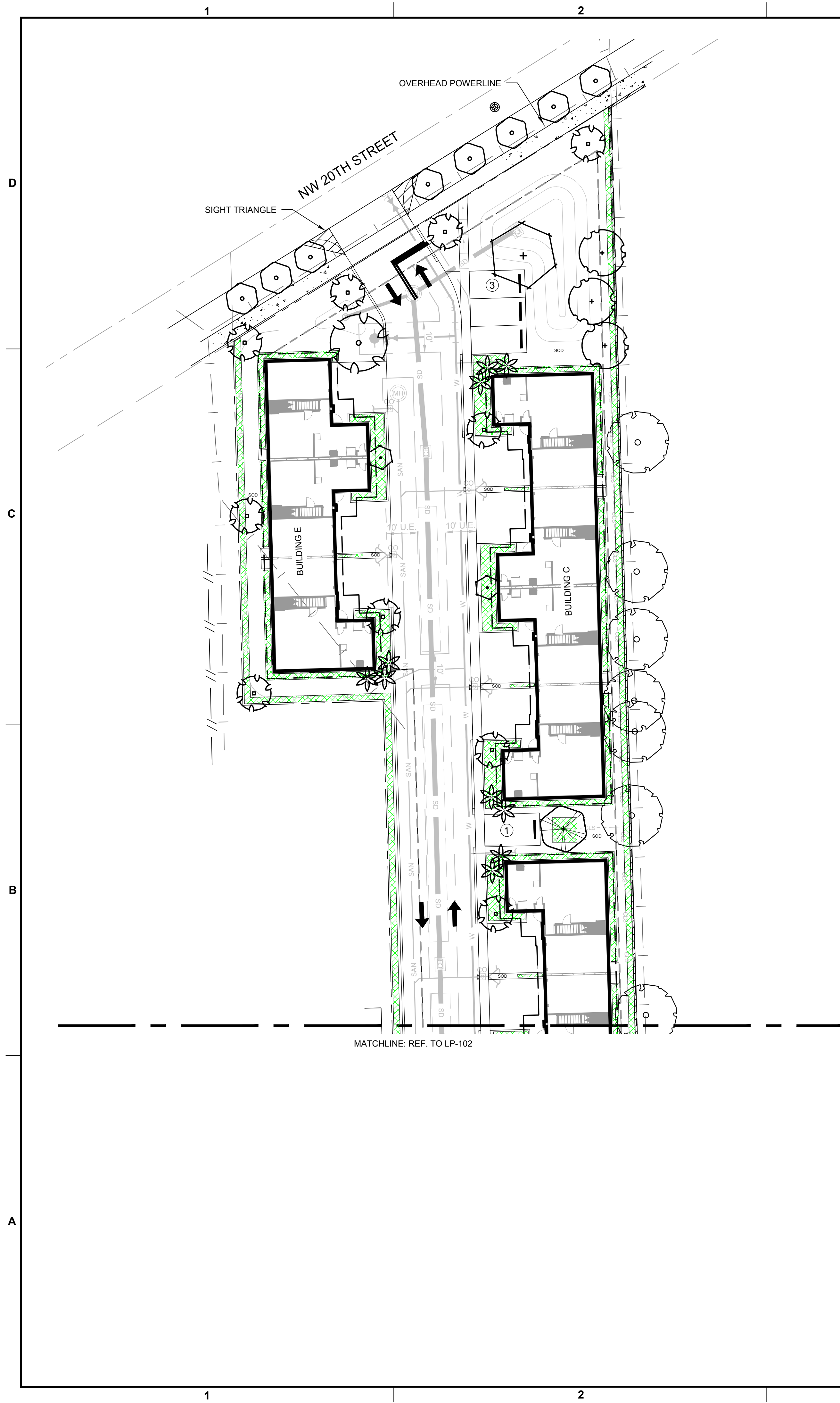
CLIENT
**19TH ST MIXED-USE
DEVELOPMENT
FT. LAUDERDALE -
HABITAT FOR
HUMANITY**

SHEET TITLE
TREE DISPOSITION PLAN

SHEET NUMBER **LD-102**
PROJECT NUMBER **10431.00**

STATUS: PRELIMINARY

Drawing name: C:\10431.00 - 19th St Townhomes Ft. Lauderdale - Habitat for Humanity\landscape Architecture\CAD\10431.00.LD-102.dwg Plotted by: rpowell On: 12/9/2022 8:37 AM

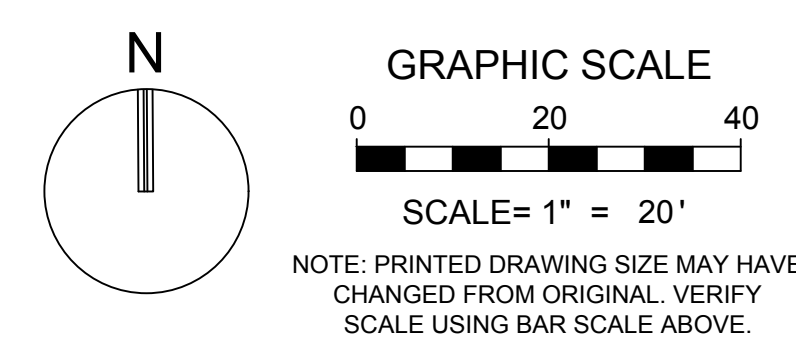


CITY OF FORT LAUDERDALE - LANDSCAPE REQUIREMENTS				REQUIRED		PROVIDED	
[UNIFIED LAND DEVELOPMENT REGULATIONS, CHAPTER 47, ARTICLE III, SECTION 47-21 LANDSCAPE AND TREE PRESERVATION REQUIREMENTS]				[SEC. 47-21.9 LANDSCAPING REQUIREMENTS FOR VEHICULAR USE AREAS]			
PROPOSED VEHICULAR USE AREAS		[AS DEFINED BY SEC. 47-58.2]		REQUIRED		PROVIDED	
TOTAL SITE AREA:	60,601	S.F.	=	1.39	ACRES		
NET LOT AREA:	16,579	S.F.	=	0.38	ACRES		
VUA AREA:	19,687	S.F.	=	0.45	ACRES		
VUA LANDSCAPE REQUIRED (20% OF VUA)				3,937	S.F.	6,254	S.F.
PERIMETER LANDSCAPE AREA							
ABUTTING A STREET				395	L.F.	3,950	S.F.
NOT ABUTTING A STREET				1132	L.F.	2,830	S.F.
INTERIOR LANDSCAPE AREA (30 S.F./PKNG SPACE)				66	SPACES	1,980	S.F.
REQUIRED LANDSCAPE:							
1 TREE REQUIRED PER 1,000 S.F. VUA AREA				20	TREES	42	TREES
BREAKDOWN:							
				=	5	TREES	5
				=	5	TREES	5
				=	4	TREES	7
				=	4	TREES	23
				=	2	TREES	2
6 SHRUBS PER 1,000 S.F. VUA AREA				=	118	SHRUBS	118+
* INCLUDES EXISTING TREES (30 TREES, 1 FLOWERING TREE, 68 PALMS)							
SITE LANDSCAPE REQUIREMENTS				REQUIRED		PROVIDED	
[SEC. 47-21.10 LANDSCAPE REQUIREMENTS FOR ALL ZONED DISTRICTS]							
LOT ZONING DESIGNATION	CB						
NET LOT AREA	16,579	S.F.					
REQUIRED LANDSCAPE:							
1 TREE/1000 S.F. OF NET LOT AREA (IN ADDITION TO VUA LANDSCAPE)				17	TREES	17	TREES
SHADE SPECIES (20% MIN)				3	SHADE TREES	13	SHADE TREES
PROVIDED BREAKDOWN:							
				1	TREES		
				0	TREES		
				0	TREES		
				12	TREES		
				4	TREES		
12 SHRUBS/1000 S.F. OF NET LOT AREA (IN ADDITION TO VUA LANDSCAPE)				199	SHRUBS	199+	SHRUBS
STREET TREES:							
1 SMALL TREE/20 LF OF STREET FRONTAGE (OHWP PRESENT)				145	L.F.		
						8	TREES
						7	TREES
PROVIDED BREAKDOWN:							
				0	TREES		
				0	TREES		
				0	TREES		
				15	TREES		
				0	TREES		
SHADE SPECIES (50% MIN)				8	SHADE TREES	15	SHADE TREES
CITY OF FORT LAUDERDALE - OPEN SPACE REQUIREMENTS				REQUIRED		PROVIDED	
[SEC. 47-18.21 MIXED USE DEVELOPMENT LANDSCAPING AND OPEN SPACE]							
PROJECT ZONING: CB							
TOTAL RESIDENTIAL UNITS				20 UNITS			
<26 UNITS = 250 S.F. OPEN SPACE/UNIT				5,000		23,331	
26-100 UNITS = 200 S.F. OPEN SPACE/UNIT				0		0	
>100 UNITS = 150 S.F. OPEN SPACE/UNIT				0	S.F.	0	S.F.
BREAKDOWN:							
GROUND LEVEL OPEN SPACE				23,331	S.F.		
ROOF AMENITY OPEN SPACE				0	S.F.		
40% OF REQUIRED OPEN SPACE MUST BE AT GROUND LEVEL				2,000	S.F.	9,332	S.F.
50% OF REQUIRED OPEN SPACE SHALL BE LANDSCAPE				2,500	S.F.	11,666	S.F.

PLANT SCHEDULE							
TREES	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	DBH/CAL	NATIVE	REMARKS
	7	COCCOLOBA DIVERSIFOLIA PIGEON PLUM	12' HT	6' SPR	2" DBH	N**	
	1	DELONIX REGIA ROYAL POINCIANA	20' HT	6' SPR	3" DBH	**	SPECIMEN
	2	FILICIUM DECIPIENS JAPANESE FERN TREE	12' HT	6' SPR	2" DBH		FULL CANOPY
	15	LAGERSTROEMIA INDICA 'NATCHEZ' NATCHEZ CRAPE MYRTLE	12' HT	6' SPR	2" DBH	**	
	16	LIGUSTRUM JAPONICUM JAPANESE PRIVET	10' HT	5' SPR	2" DBH	**	
	1	QUERCUS VIRGINIANA LIVE OAK	12' HT	8' SPR	3" DBH	N**	
	1	TABEBUIA CARAIBA YELLOW TABEBUIA	12' HT	6' SPR	2" DBH	**	
	2	TABEBUIA HETEROPHYLLA PINK TABEBUIA	12' HT	6' SPR	2" DBH	**	
	6	TIBOUCHINA GRANULOSA PURPLE GLORY TREE	6' HT	4' SPR		*	STANDARD
PALMS	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	DBH/CAL	NATIVE	REMARKS
	27	PTYCHOSPERMA ELEGANS ALEXANDER PALM	8', 12' CT				
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	SPACING	NATIVE	REMARKS
	6,972 SF	SHRUB SHRUB AREAS	N/A				

N DENOTES NATIVE SPECIES
 ** DENOTES HIGH DROUGHT TOLERANT SPECIES
 * DENOTES MODERATE DROUGHT TOLERANT SPECIES

- NOTES:
- SOD TO BE ST. AUGUSTINE 'FLORATAM', EXCEPT IN RETENTION AREAS. CONTRACTOR TO DETERMINE QUANTITY.
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 - NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.
 - ALL CATEGORY 1 INVASIVE/EXOTIC TREES TO BE REMOVED PER LOCAL ORDINANCE.



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REVISIONS		
NO.	DESCRIPTION	DATE

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ISSUE DATE: 12/09/2022
 DESIGNED BY: RP
 DRAWN BY: GM
 CHECKED BY: RP, PW
 BID-CONTRACT:

PAUL H. WEINBERG, R.L.A.
 FLORIDA REG. NO. LA666804
 (FOR THE FIRM)



PROJECT
**19TH ST MIXED-USE
 DEVELOPMENT
 FT. LAUDERDALE -
 HABITAT FOR
 HUMANITY**

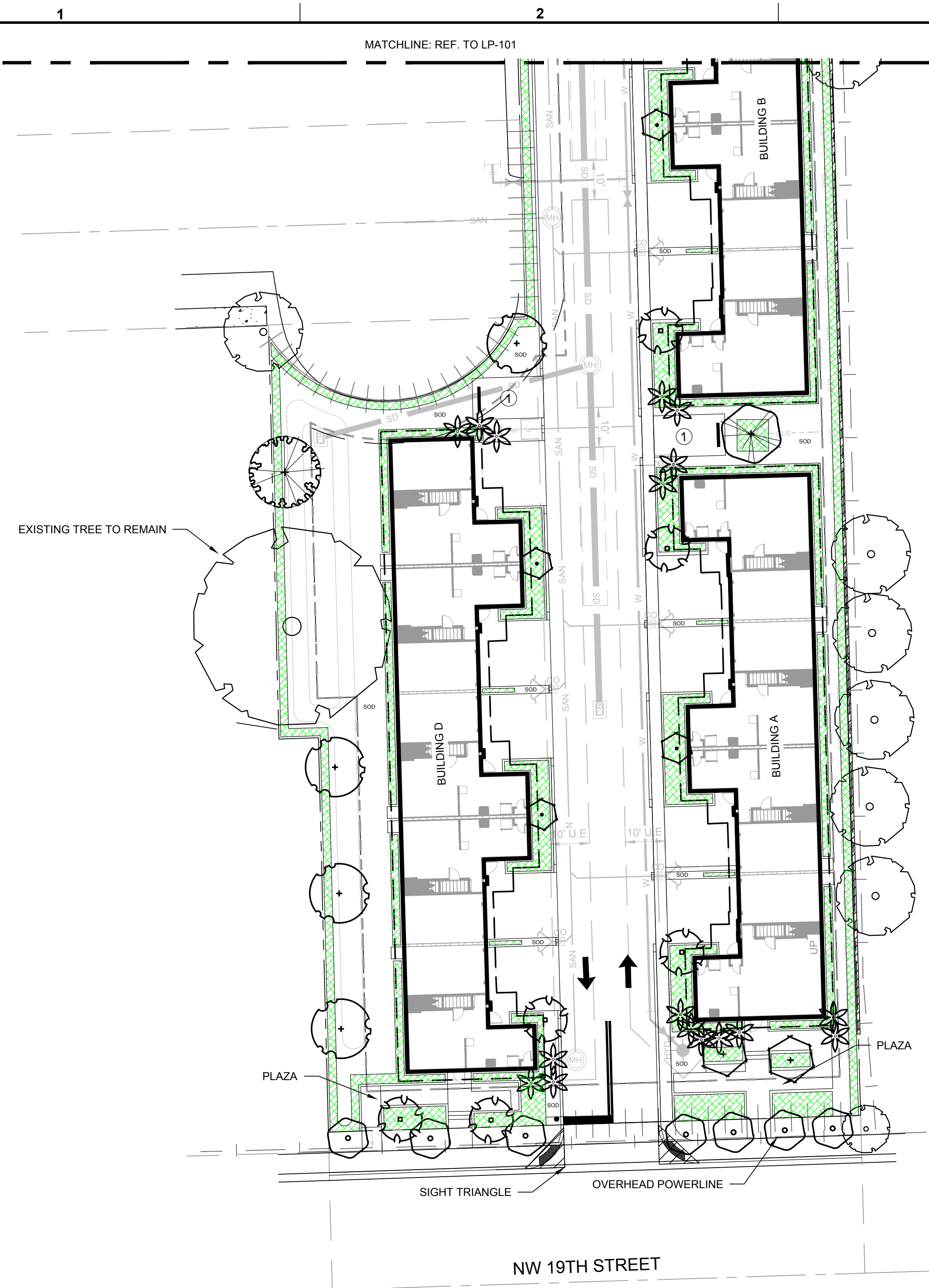
SHEET TITLE
PLANTING PLAN

SHEET NUMBER **LP-101**
 PROJECT NUMBER **10431.00**

STATUS: PRELIMINARY

Plotted by: rpowell On 12/9/2022 8:37 AM

Drawing name: C:\10431.00 - 19th St Townhomes Ft. Lauderdale - Habitat for Humanity\Landscaping Architecture\CAD\10431.00_LP-101.dwg

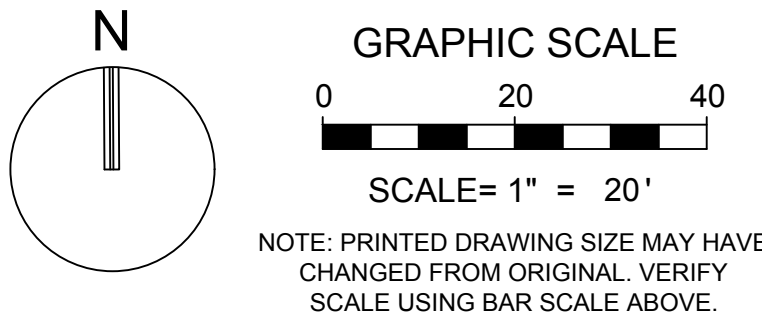


CITY OF FORT LAUDERDALE - LANDSCAPE REQUIREMENTS									
[UNIFIED LAND DEVELOPMENT REGULATIONS, CHAPTER 47, ARTICLE III, SECTION 47-21 LANDSCAPE AND TREE PRESERVATION REQUIREMENTS]									
PROPOSED VEHICULAR USE AREAS [SEC. 47-21.9 LANDSCAPING REQUIREMENTS FOR VEHICULAR USE AREAS]									
TOTAL SITE AREA:	60,601	S.F.	=	1.39	ACRES				
NET LOT AREA:	16,579	S.F.	=	0.38	ACRES				
VUA AREA:	19,887	S.F.	=	0.45	ACRES				
[AS DEFINED BY SEC. 47-58.2]									
VUA LANDSCAPE REQUIRED (20% OF VUA)						3,937	S.F.	6,254	S.F.
PERIMETER LANDSCAPE AREA									
ABUTTING A STREET				395	L.F.	3,950	S.F.	4,011	S.F.
NOT ABUTTING A STREET				1132	L.F.	2,830	S.F.	2,958	S.F.
INTERIOR LANDSCAPE AREA (30 S.F./PKNG SPACE)				66	SPACES	1,980	S.F.	7,610	S.F.
REQUIRED LANDSCAPE:									
1 TREE REQUIRED PER 1,000 S.F. VUA AREA						20	TREES	42	TREES
BREAKDOWN:									
3" CALIPER SHADE TREES (25%)				=		5	TREES	5	TREES*
2" -3" CALIPER SHADE TREES (25%)				=		5	TREES	5	TREES
FLOWERING TREE SPECIES (20%)				=		4	TREES	7	TREES*
PALM TREES (20%)				=		4	TREES	23	TREES*
OTHER TREES (FPL SMALL TREES) (10%)				=		2	TREES	2	TREES
6 SHRUBS PER 1,000 S.F. VUA AREA				=		118	SHRUBS	118*	SHRUBS
* INCLUDES EXISTING TREES (30 TREES, 1 FLOWERING TREE, 68 PALMS)									
SITE LANDSCAPE REQUIREMENTS [SEC. 47-21.10 LANDSCAPE REQUIREMENTS FOR ALL ZONED DISTRICTS]									
LOT ZONING DESIGNATION	CB								
NET LOT AREA	16,579	S.F.							
REQUIRED LANDSCAPE:									
1 TREE/1000 S.F. OF NET LOT AREA (IN ADDITION TO VUA LANDSCAPE)						17	TREES	17	TREES
SHADE SPECIES (20% MIN.)						3	SHADE TREES	13	SHADE TREES
PROVIDED BREAKDOWN:									
EXISTING SHADE TREES	1	TREES							
EXISTING FLOWERING TREES	0	TREES							
EXISTING PALM TREES	0	TREES							
PROPOSED SHADE TREES	12	TREES							
PROPOSED PALM TREES	4	TREES							
12 SHRUBS/1000 S.F. OF NET LOT AREA (IN ADDITION TO VUA LANDSCAPE)									
						199	SHRUBS	199*	SHRUBS
STREET TREES:									
1 SMALL TREE/20 LF OF STREET FRONTAGE (OHV PRESENT)	145	L.F.							
19th STREET						8	TREES	8	TREES
20th STREET						7	TREES	7	TREES
PROVIDED BREAKDOWN:									
EXISTING SMALL TREES	0	TREES							
EXISTING FLOWERING TREES	0	TREES							
EXISTING PALM TREES	0	TREES							
PROPOSED SHADE TREES	15	TREES							
PROPOSED PALM TREES	0	TREES							
SHADE SPECIES (50% MIN.)									
						8	SHADE TREES	15	SHADE TREES
CITY OF FORT LAUDERDALE - OPEN SPACE REQUIREMENTS									
[SEC. 47-18.21 MIXED USE DEVELOPMENT LANDSCAPING AND OPEN SPACE]									
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TOTAL RESIDENTIAL UNITS	20 UNITS								
<26 UNITS = 250 S.F. OPEN SPACE/UNIT						5,000		23,331	
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GROUND LEVEL OPEN SPACE	23,331	S.F.							
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40% OF REQUIRED OPEN SPACE MUST BE AT GROUND LEVEL									
						2,000	S.F.	9,332	S.F.
50% OF REQUIRED OPEN SPACE SHALL BE LANDSCAPE									
						2,500	S.F.	11,666	S.F.

PLANT SCHEDULE							
TREES	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	DBH/CAL	NATIVE	REMARKS
	7	COCCOLOBA DIVERSIFOLIA PIGEON PLUM	12' HT	6' SPR	2" DBH	N**	
	1	DELONIX REGIA ROYAL POINCIANA	20' HT	6' SPR	3" DBH	**	SPECIMEN
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	1	QUERCUS VIRGINIANA LIVE OAK	12' HT	8' SPR	3" DBH	N**	
	1	TABEBUIA CARAIBA YELLOW TABEBUIA	12' HT	6' SPR	2" DBH	**	
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	6	TIBOUCHINA GRANULOSA PURPLE GLORY TREE	6' HT	4' SPR		*	STANDARD
PALMS	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	DBH/CAL	NATIVE	REMARKS
	27	PTYCHOSPERMA ELEGANS ALEXANDER PALM	8', 12' CT				
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	SPACING	NATIVE	REMARKS
	6,972 SF	SHRUB SHRUB AREAS	N/A				

N-- DENOTES NATIVE SPECIES
 ** DENOTES HIGH DROUGHT TOLERANT SPECIES
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REVISIONS		
NO.	DESCRIPTION	DATE

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DRAWN BY: GM
CHECKED BY: RP, PW
BID-CONTRACT:

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 FLORIDA REG. NO. LA666804
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PROJECT

**19TH ST MIXED-USE
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 FT. LAUDERDALE -
 HABITAT FOR
 HUMANITY**

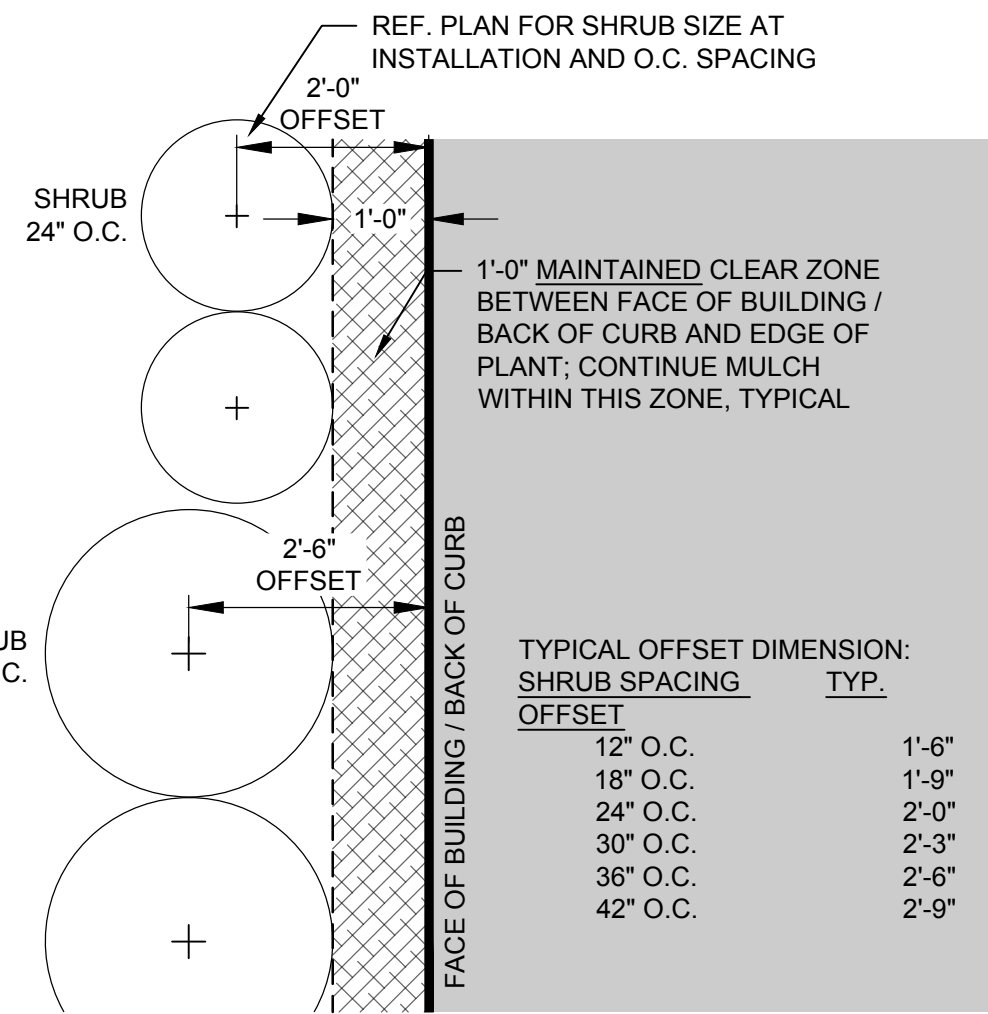
SHEET TITLE

PLANTING PLAN

SHEET NUMBER LP-102

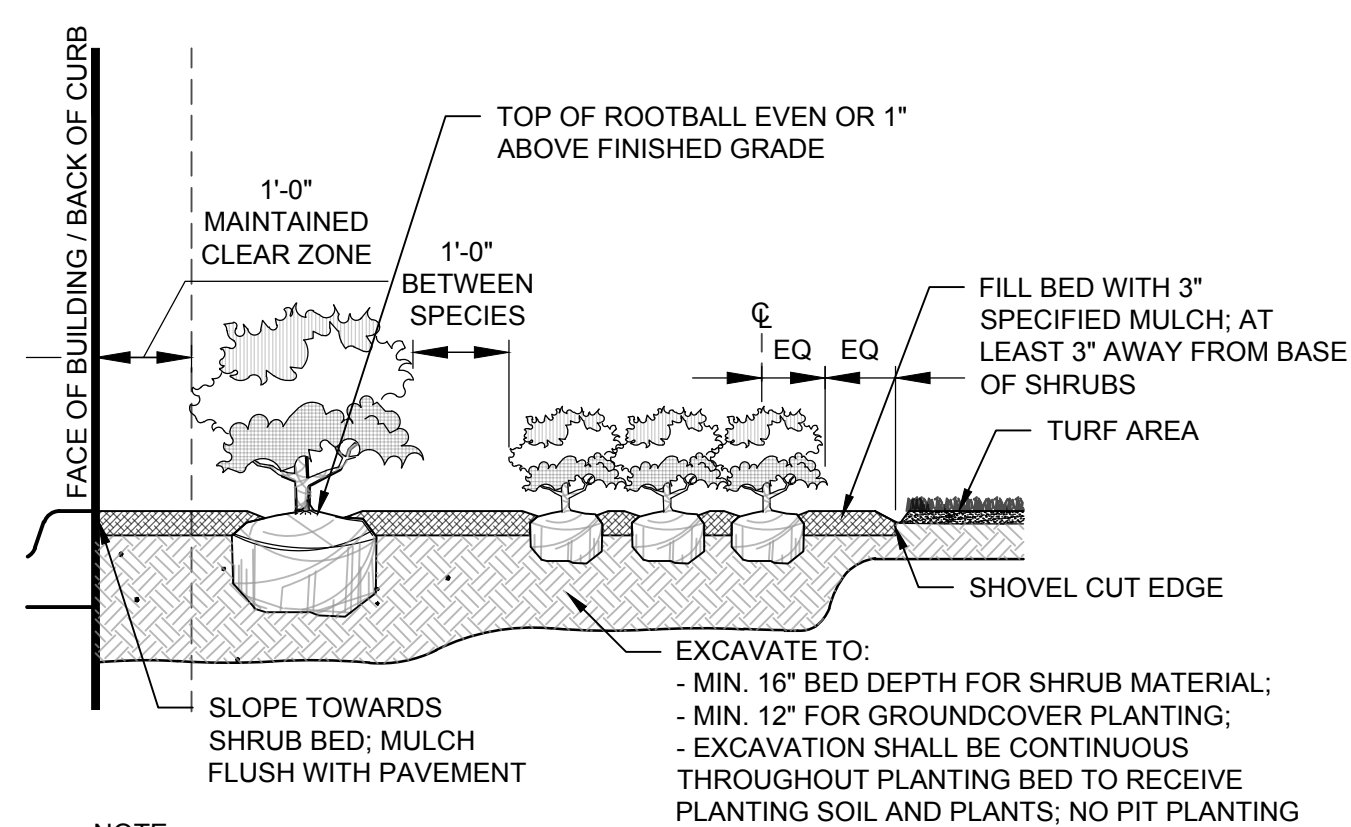
PROJECT NUMBER 10431.00

STATUS: PRELIMINARY



TYPICAL SHRUB OFFSET AT BUILDING / CURB

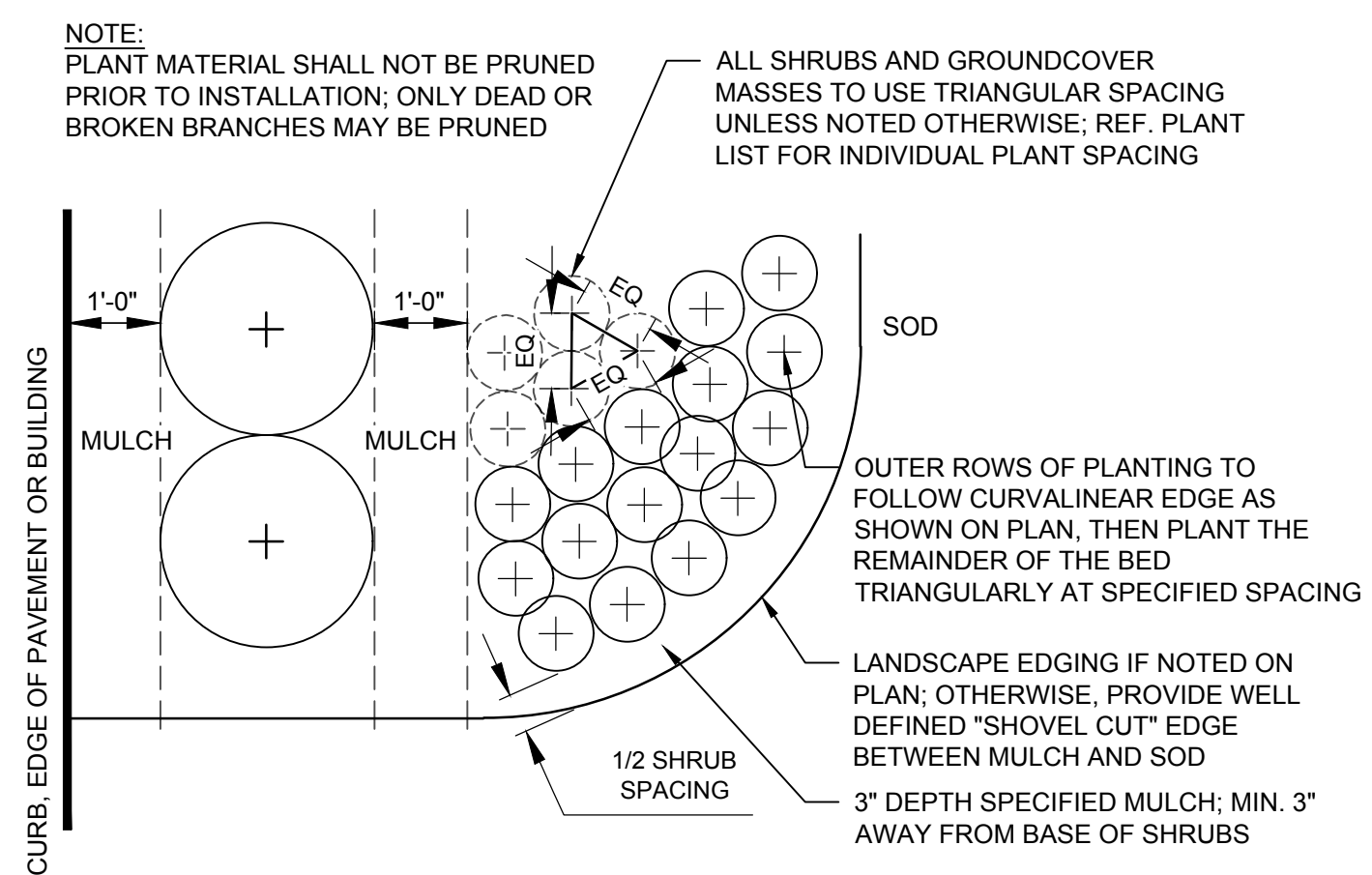
8 PLAN NOT TO SCALE



- NOTE:
- PLANT MATERIAL SHALL NOT BE PRUNED PRIOR TO INSTALLATION. AFTER PLANTS HAVE BEEN INSTALLED, EACH PLANT SHALL BE PRUNED FOR UNIFORMITY OR AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING BEDS PRIOR TO INSTALLATION.

SHRUB AND GROUNDCOVER PLANTING

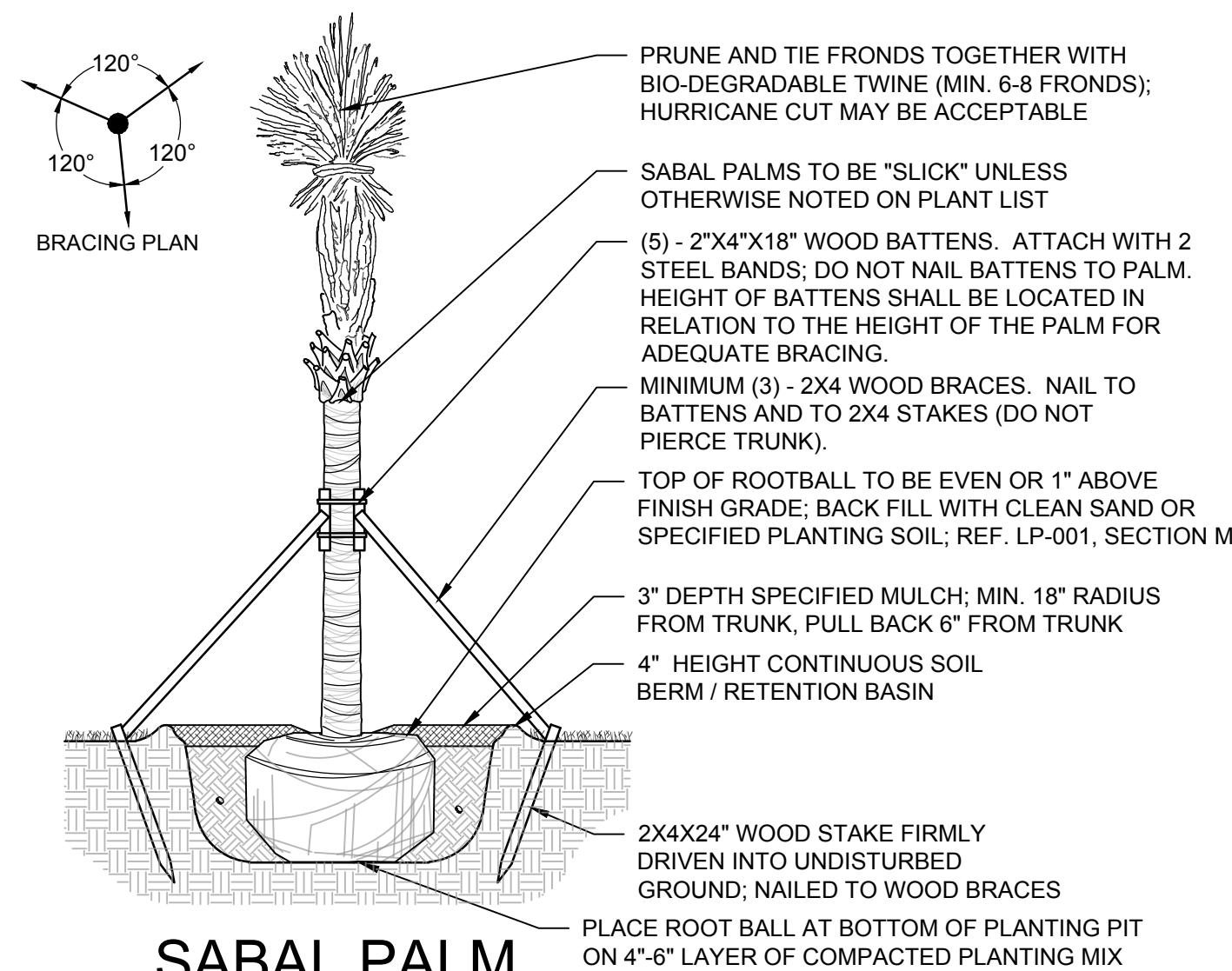
7 SECTION NOT TO SCALE



SHRUB AND GROUNDCOVER PLANTING

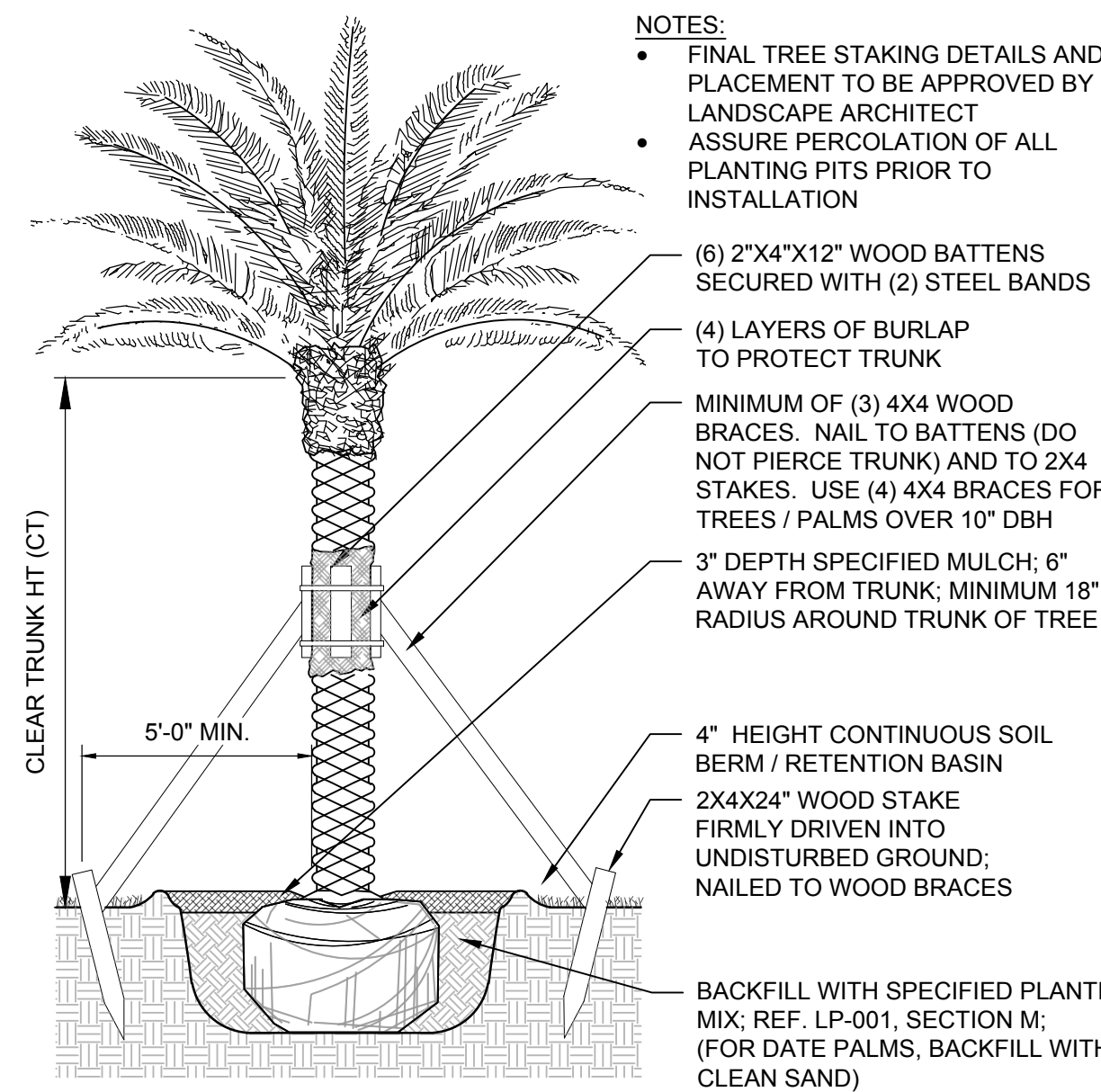
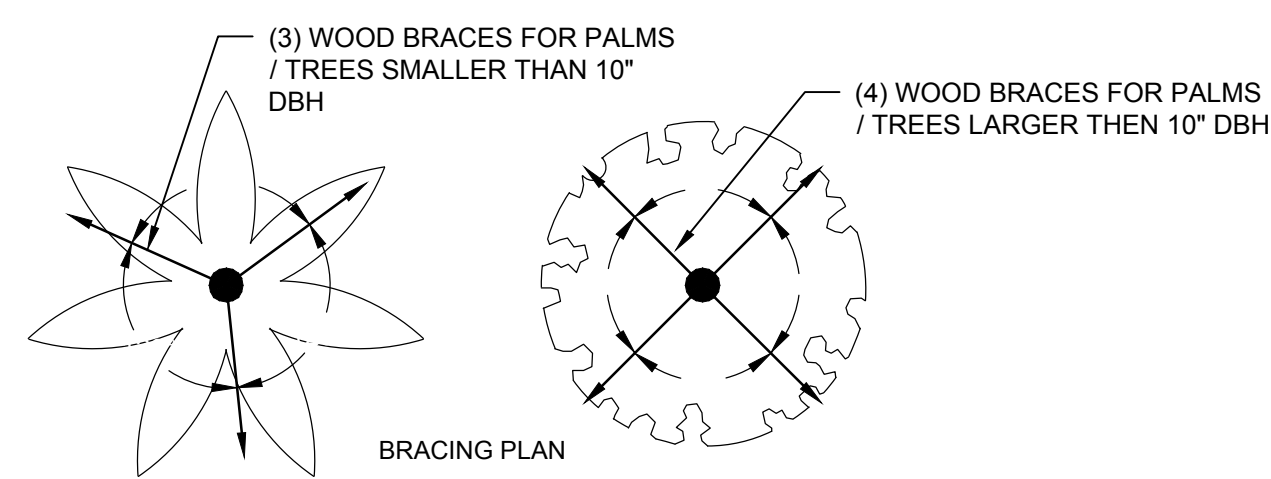
6 PLAN NOT TO SCALE

- NOTE:
- REF. LP-001, LANDSCAPE NOTES, FOR ADDITIONAL REQUIREMENTS.
 - ROOT BALL SIZE FOR ALL TREES AND PALMS TO BE IN PROPORTION TO SIZE AND TYPE OF PALM PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.



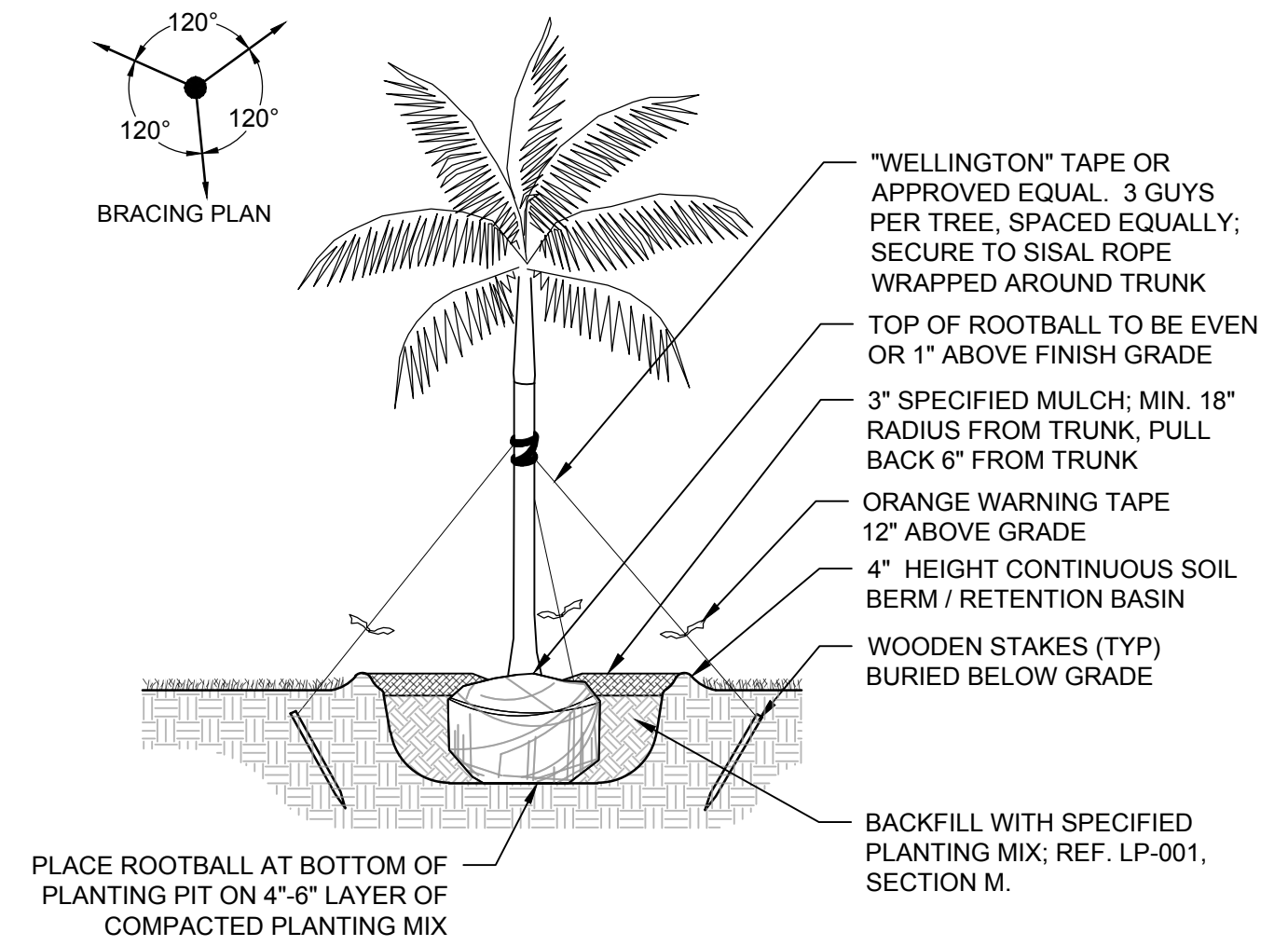
SABAL PALM PLANTING DETAIL

5 SECTION NOT TO SCALE



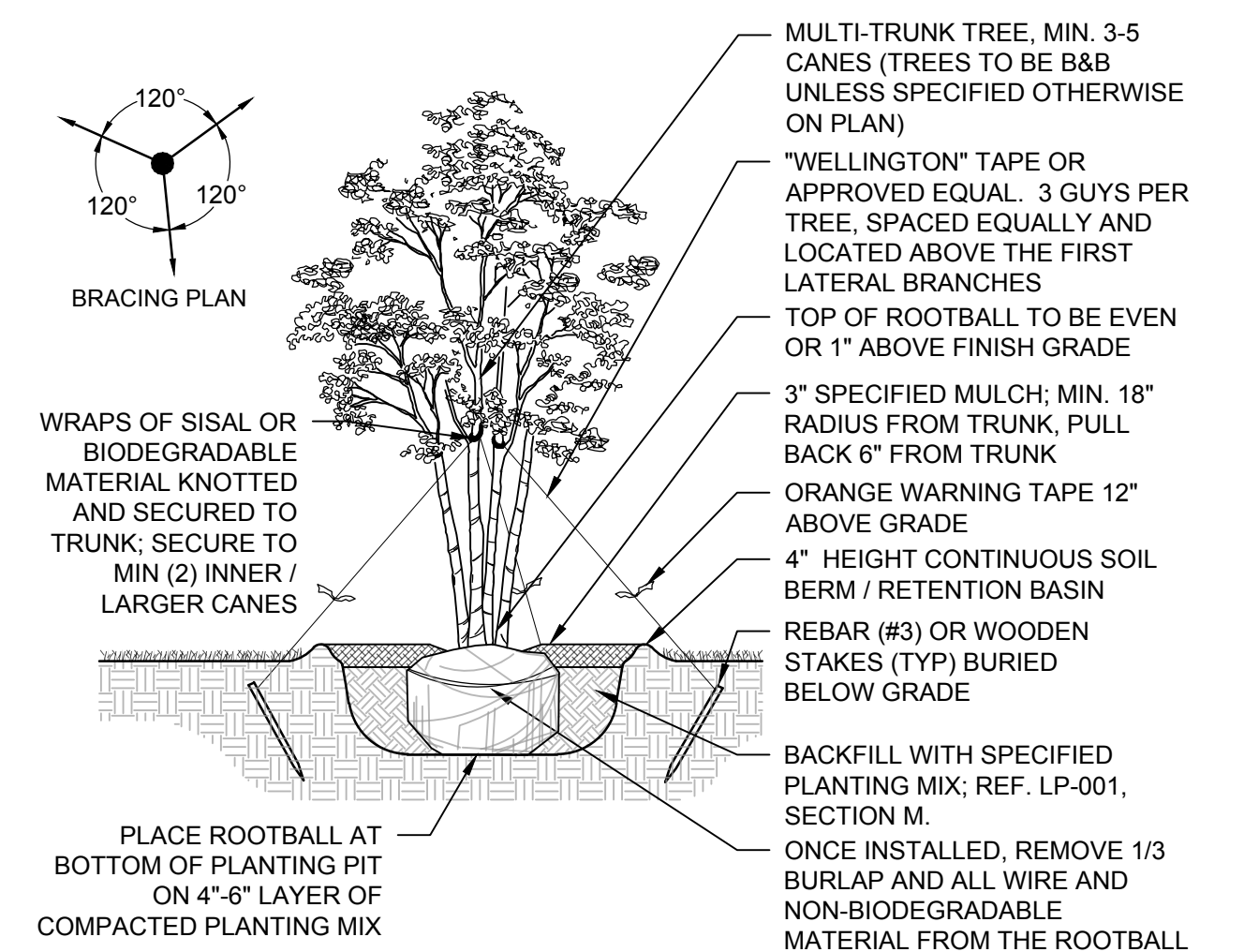
LARGE PALM / TREE PLANTING DETAIL

4 SECTION NOT TO SCALE



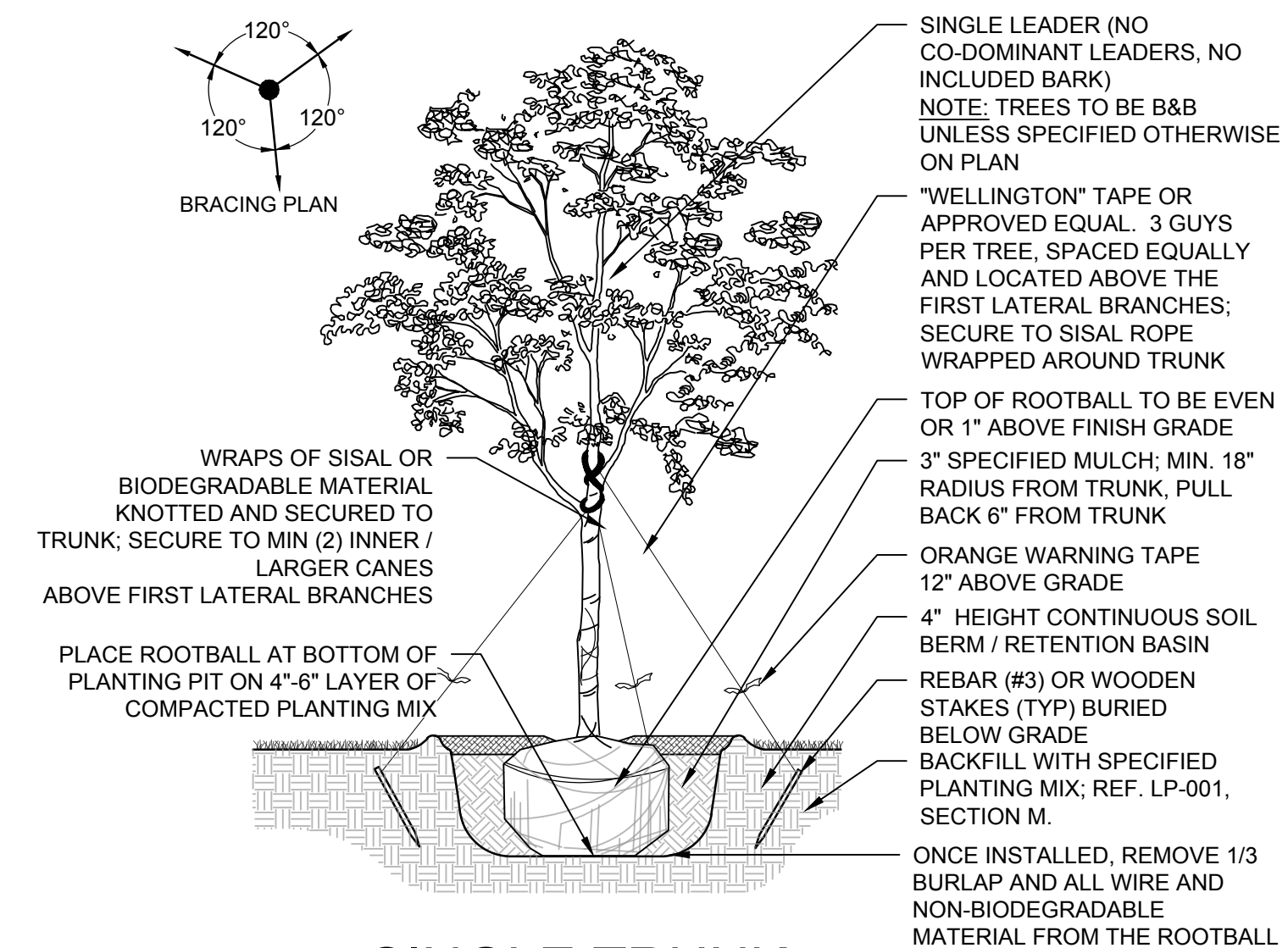
SMALL / MEDIUM TREE PALM PLANTING DETAIL

3 SECTION NOT TO SCALE



MULTI-TRUNK TREE PLANTING DETAIL

2 SECTION NOT TO SCALE



SINGLE TRUNK TREE PLANTING DETAIL

1 SECTION NOT TO SCALE

KEITH
301 East Atlantic Blvd.
Pompano Beach, FL 33060
PH: (954) 788-3400

Florida Engineering Business License: CA7923
Florida Surveyor and Mapper Business License: LB6860
Florida Landscape Architecture Business License: LC2600457

REVISIONS		
NO.	DESCRIPTION	DATE

PRELIMINARY PLAN NOT FOR CONSTRUCTION
THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 12/09/2022
DESIGNED BY: RP
DRAWN BY: GM
CHECKED BY: RP, PW
BID-CONTRACT:

PAUL H. WEINBERG, R.L.A.
FLORIDA REG. NO. LA666804
(FOR THE FIRM)

CLIENT

PROJECT

19TH ST MIXED-USE DEVELOPMENT FT. LAUDERDALE - HABITAT FOR HUMANITY

SHEET TITLE

PLANTING DETAILS

SHEET NUMBER **LP-501**
PROJECT NUMBER **10431.00**



December 8, 2022

Mr. Chris Cooper, Director
Department of Sustainable Development
City of Fort Lauderdale
700 NW 19th Avenue
Fort Lauderdale, FL 33311

RE: Site Plan Level III DRC for Habitat for Humanity

Dear Mr. Cooper,

On behalf of the Habitat for Humanity of Broward Inc. (Owner), KEITH and FSMY teams are pleased to submit this application for a Site Plan Level III for the property located at 1040 NW 20 Street, between NW 19th Street and NW 20th, within the City of Fort Lauderdale. The property is zoned Community Business (CB) with an underlying future land use of Commercial. The property will be developed as a mixed-use development with twenty (20) affordable residential units and 1,802 square feet office space. The development proposes 5 two-story buildings consisting of 3-bedroom and 4-bedroom residential units. Each residential unit includes a single car garage and driveway parking, with additional guest parking located throughout the site. Loading and trash is placed at the rear of the site at grade. The project addresses the urban fabric through scale and materials. The office space has been placed at the south end of the site to provide a better pedestrian connection to NW 19th Street. Connecting sidewalks have been placed throughout the site.

The scale and frontage of the project has been designed to complement the scale of the adjacent single-family projects to the west by breaking down the scale of the façades. This has been accomplished using hip roof forms and complementary stucco colors. The mechanical screening has been completely integrated into the landscape design. All these elements contribute to the successful integration of the project into its context.

Corporate Office
301 E. Atlantic Blvd
Pompano Beach
FL 33060
954.788.3400

Miami-Dade County
2160 N.W. 82 Ave
Doral
FL 33122
305.667.5474

Broward County
2312 S. Andrews Ave
Fort Lauderdale
FL 33316
954.788.3400

Palm Beach County
120 N. Federal Hwy
Suite 208
Lake Worth, FL 33460
561.469.0992

St. Lucie County
2325 S.E. Patio Cir.
Port St. Lucie
FL 34952
954.788.3400

Orange County
2948 E. Livingston St.
Orlando
FL 32803
954.788.3400

In connection with the site plan application, we are providing the narrative responses to the following applicable ULDR criteria:

Section 47-18.21 – Mixed Use Development

Section 47-24.3 – Conditional Use

Section 47-25.2 – Adequacy requirements

Section 47-25.3 – Neighborhood compatibility requirements

Section 47-18.21 – Mixed Use Development

A. *Generally*. To encourage diversity of compatible land uses on the same development parcel, which uses may include a mixture of residential uses in conjunction with commercial retail sales, service or office uses, the city may permit mixed use development (MXU) as a conditional use, consistent with the provisions of the city's land use plan, and in accordance with the following requirements.

Response: The Project complies with the conditional use requirements as set forth below. The Project is permitted under the Property's commercial land use.

D. *Mixed use development on commercial land use designated parcels*. The city may permit a mixed-use development when the development site has a commercial land use designation, subject to the following:

1. Approval of an allocation of available flexibility units, without the need to amend the city's land use plan or rezone land. For definition of flexibility units, see Section 47-28, Flexibility Rules.

Response: The Project complies with the Flexibility Rules as noted below.

2. The MXU shall include residential uses in conjunction with business uses as provided below in Section 47-18.21.F.3;

Response: The Project provides for residential uses in conjunction with 1,802 square feet of office.

3. The residential floor area of the MXU does not exceed fifty percent (50%) of the gross floor area of the building; or

Response: The residential floor area does exceed 50% of the gross floor area of the building; however, stand-alone residential is a permitted use if the site is less than 5 acres.

4. If the MXU is in the same building, business uses shall be limited to the floor(s) below the residential use; or

Response: The business uses are located on the first floor below the residential units.

5. For a development site that is less than five (5) acres in size, single use residential buildings are permitted. No business uses are required; or

Response: The development site is less than 5 acres and proposes predominately residential use.

6. For a development site that is greater than five (5) acres in size, single use multifamily buildings may be permitted provided gross residential acreage does not exceed five (5) acres or forty percent (40%) of the total gross acreage of the development site, whichever is greater.

Response: This Section does not apply to the Property because the Property is less than 5 acres.

F. Permitted uses.

1. The residential and business uses permitted within a mixed-use development are as provided by the zoning district where the mixed use development is located.

Response: The Project complies with the permitted uses within the CB zoning district.

2. The residential density is limited as provided by the zoning district where the mixed-use development is located unless flexibility units are allocated in accordance with Section 47-28, Flexibility Rules, however, in no case shall residential density exceed fifty (50) dwelling units per gross acre, except where:

a. There exists a residential dwelling; and

b. The residential dwelling is located on property designated commercial on the city's land use plan; and

c. The dwelling was legally permitted at a density greater than fifty (50) units per gross acre;

in which case an allocation of flexibility units may be permitted up to the density of the existing residential dwelling.

The maximum density for mixed use east of the Intracoastal Waterway shall be twenty-five (25) units per gross acre.

Response: The Project proposes 13 dwelling units per gross acre. None of the above limitations apply to this Property.



3. The business uses permitted in an MXU are as follows:

a. When located in a residential zoning district, the aggregate of the business use or uses shall be no greater than an aggregate ten thousand (10,000) square feet in gross floor area:

Response: This section does not apply as the Project is not within a residential zoning district.

G. Parking requirements. The total number of required off-street parking spaces for an MXU shall be equal to the sum of the required parking for each use as if provided separately. See Section 47-20, Parking and Loading Requirements.

Response: 28 parking spaces are required, and 66 parking spaces have been provided for the Project.

H. Landscaping and open space requirements. Street trees shall be planted and maintained along the street abutting the property where the MXU is located to provide a canopy effect. The type of street trees may include shade, flowering, and palm trees. The trees shall be planted at a minimum height and size in accordance with the requirements of Section 47-21, Landscape and Tree Preservation Requirements. The location and number of trees shall be determined by the department based on the height, bulk, shadow, mass, and design of the structures on the site and the proposed development's compatibility to surrounding properties. Open space and landscaping shall be required in conjunction with residential uses in a mixed-use development according to the following:

1. For mixed use development in a residential zoning district, landscaping shall be as required by Section 47-21.10 for the zoning district in which the mixed-use development is located.

Response: The Property is not within a residential zoning district.

2. For development in a mixed-use development in other than a residential zoning district, open space shall be required. Open space, for the purposes of this section, shall include all areas on the site not covered by structures, other than covered arcades, or not covered by vehicular use area. Covered arcades with a minimum width of ten (10) feet and at least one (1) side open to a street shall be credited towards open space requirements. The required open space shall include seating and shade provided by trees, canopies, or other unenclosed shade structures. A minimum of fifty percent (50%) of the required open space shall be in living materials used in landscaping which areas may be above grade. At least forty percent (40%) of the required open space shall be provided at-grade and the remaining open space shall be accessible to individual residential units or through a common area, or both. The total amount of open space required shall be calculated based on the size and density of the development, as follows:



- a. For development of twenty-five (25) residential units or less, or developments of fifteen (15) dwelling units per acre or less density: a minimum of two hundred fifty (250) square feet of open space per unit;
- b. For developments of between twenty-six (26) and one hundred (100) residential units, or developments of greater than fifteen (15) dwelling units per acre and up to twenty-five (25) dwelling units per acre density: a minimum of two hundred (200) square feet of open space per unit;
- c. For developments of more than one hundred (100) residential units, or developments of greater than twenty-five (25) dwelling units per acre density: a minimum of one hundred fifty (150) square feet of open space per unit;
- d. For developments which fall into more than one (1) of the above categories, the lesser open space requirement shall apply.
- e. For the property located east of the Intracoastal Waterway, the percentage of landscape materials provided above grade as permitted by this section shall also be provided off-site in an area impacted by the development as determined by the development review committee or an owner shall be required to pay a cash equivalent to the city to be used to landscape a public area impacted by the development.
- f. Developments shall be required to meet the vehicular use area requirements as provided in Section 47-21, Landscape and Tree Preservation.

Response: The Project complies with the above open space requirements.

3. A mixed-use development shall contain a public plaza open to the sky which includes pedestrian amenities such as landscaping, benches, and fountains. The public plaza shall be a minimum size of one thousand four hundred (1,400) gross square feet and shall be located to provide the principal pedestrian access to the mixed-use development. A covered arcade with a minimum width of ten (10) feet may substitute for up to fifty percent (50%) of the above public plaza requirements.

Response: The Project will feature a large public plaza area along NW 19th Street in front of the office space, which will include landscaping, specialty paving, and benches.

I. Dimensional requirements. The dimensional requirements of a mixed-use development shall be as follows:

1. Density. The density shall be the same as applies in the zoning district where the development is located.
2. Minimum lot size. Ten thousand (10,000) gross square feet.
3. Maximum structure length. Two hundred (200) feet for single use residential buildings.



4. Maximum height. The same as the district where the mixed-use development is located.
5. Minimum lot width. One hundred (100) feet.
6. Minimum floor area. Four hundred (400) square feet for each multifamily dwelling unit.
7. Yards. Yards shall be the same as the district where the mixed-use development is located.

Response: As noted in the Site Plan, the Project complies with the above dimensional requirements.

J. Sidewalk requirements. A minimum seven-foot-wide sidewalk along the street abutting the property proposed for an MXU in a location approved by the city engineer shall be required. Mixed use developments on property within a nonresidential zoning district lying east of the Intracoastal Waterway will be required to provide ten-foot sidewalks in a location and manner approved by the city engineer.

Response: Existing five-foot sidewalks are being maintained along both street frontages.

K. Requirements for conditional review and approval. In addition to the requirements established by this section, any mixed-use development shall be subject to the requirements for a conditional use permit, as provided in Section 47-24.3.

Response: As noted in the section below, the Project complies with the conditional use requirements.

Section 47-24.3 – Conditional Use

C. Application. An application for a conditional use permit shall be submitted to the department. The application shall include the information provided in Sec. 47-24.1.F and the following:

1. A description of the inherent nature of the proposed use.

Response: This conditional use application is for an affordable housing development that is designed as a mixed-use of 20 residential units and 1,802 square feet office space. The development proposes 5 two-story buildings consisting of 3-bedroom and 4-bedroom residential units. Each unit includes a single car garage and driveway parking, with additional guest parking located throughout the site. The office space has been placed at the south end of the site to provide a better pedestrian connection to NW 19th Street. Connecting sidewalks have been placed throughout the site and a large public plaza area is proposed along NW 19th Street to include landscaping, specialty paving, and benches.



2. The methods and materials utilized in the operation of the use.

Response: The materials for the buildings consist of two-tone grey stucco with horizontal banding, impact rated windows with bronze-colored frames, wood-look exterior entry doors and garage doors, and dark colored architectural asphalt shingles. The live / work unit facades facing NW 19th street incorporate powder-coated aluminum awnings to match the window frames. Unit entries are accented with dark stone veneer laid in an ashlar pattern. The scale and frontage of the project has been designed to complement the scale of the adjacent single-family projects to the west by breaking down the scale of the façades. This has been accomplished using roof forms and stucco colors. The mechanical screening has been completely integrated into the landscape design. All these elements contribute to the successful integration of the project into its context.

3. The scope of the proposed operation.

Response: The property will be developed as a mixed-use development with twenty affordable residential units and a total of 1,802 square feet office space. The development proposes 5 two-story buildings consisting of 3-bedroom and 4-bedroom units. Each unit includes a single car garage and driveway parking, with additional guest parking located throughout the site. Loading and trash is placed at the rear of the site at grade. The project addresses the urban fabric through scale and materials. The office space has been placed at the south end of the site to provide a better pedestrian connection to NW 19th Street.

4. A description of the economic and environmental impact on the surrounding area by permitting the conditional use.

Response: The Project will have a positive economic impact on the surrounding area. Currently, the Property is vacant. The proposal is for an affordable housing residential development. The development will offer affordable housing alternatives for the neighborhood. The Property's water, sewer and drainage facilities will be updated to meet water quality requirements as part of the development of the Project.

E. Conditional use approval also requires a showing that the following additional requirements have been met:

1. The location of the use or structure is not in conflict with the city's comprehensive plan.

Response: The location of the use conforms to the City's Comprehensive Plan. The commercial land use category permits mixed residential, and office uses. Additionally, residential uses are permitted within the commercial land use category with an allocation of flexibility units.

2. Off-site or on-site conditions exist which reduce any impact of permitting the use or structure.

Response: The Property is located within a residential neighborhood sharing the east property line with a commercial center. The location of proposed low scale development is favorable to provide a transition from the single-family neighborhood to the west to the commercial use to

the east of the property. Also, the lot is currently vacant, and the neighborhood will make use of a proposed affordable housing development that will add value to the area.

3. On-site improvements have been incorporated into the site plan which minimize any adverse impacts as a result of the use or structure.

Response: The development proposes five (5) two-story buildings to include a single car garage and driveway parking, with additional guest parking located throughout the site. Loading and trash is placed at the rear of the site at grade. The project addresses the urban fabric through scale and materials. The office space has been placed at the south end of the site to provide a better pedestrian connection to NW 19th Street. Connecting sidewalks have been placed throughout the site. The mechanical screening has been completely integrated into the landscape design.

4. The location of the use in proximity to a similar use does not impact the character of the zoning district in which the use is located.

Response: The property is adjacent to both commercial uses and residential developments. Therefore, this mixed-use Project will fit in well with the adjacent uses.

5. There are no adverse impacts of the use which affect the health, safety, and welfare of the adjacent properties.

Response: There are no adverse impacts of the Project which would affect the health, safety and welfare of the adjacent properties. What is being proposed will be an overall improvement as compared to what currently exists.

Section 47-25.2. - Adequacy requirements

A. Applicability. The adequacy requirements set forth herein shall be used by the city to evaluate the demand created on public services and facilities created by a proposed development permit.

Response: Acknowledged.

B. Communications network. Buildings and structures shall not interfere with the city's communication network. Developments shall be modified to accommodate the needs of the city's communication network, to eliminate any interference a development would create or otherwise accommodate the needs of the city's communication network within the development proposal.

Response: Acknowledged.

C. Drainage facilities. Adequacy of stormwater management facilities shall be evaluated based upon the adopted level of service requiring the retention of the first inch of runoff from the entire site or two and one-half (2½) inches of runoff from the impervious surface whichever is greater.

Response: The project is designed to meet all the drainage and stormwater facilities requirements.

D. Environmentally sensitive lands.

1. In addition to a finding of adequacy, a development shall be reviewed pursuant to applicable federal, state, regional and local environmental regulations. Specifically, an application for development shall be reviewed in accordance with the following Broward County Ordinances which address environmentally sensitive lands and wellfield protection which ordinances are incorporated herein by reference:

- a. Broward County Ordinance No. 89-6.
- b. Section 5-198(l), Chapter 5, Article IX of the Broward County Code of Ordinances.
- c. Broward County Ordinance No. 84-60.

2. The applicant must demonstrate that impacts of the proposed development to environmentally sensitive lands will be mitigated.

Response: It is not anticipated that there are any environmentally sensitive lands on or in the vicinity of the site.

E. Fire protection. Fire protection service shall be adequate to protect people and property in the proposed development. Adequate water supply, fire hydrants, fire apparatus and facilities shall be provided in accordance with the Florida Building Code, South Florida Fire Code and other accepted applicable fire and safety standards.

Response: The project is designed to meet all fire protection requirements and the proposed buildings will be fully sprinklered.

F. Parks and open space.

1. The manner and amount of providing park and open space is as provided in Section 47-38A, Park Impact Fees, of the ULDR.

2. No building permit shall be issued until the park impact fee required by Section 47-38A of the ULDR has been paid in full by the applicant.

Response: The future project will be designed to be consistent with park and open space requirements.

G. Police protection. Police protection service shall be adequate to protect people and property in the proposed development. The development shall provide improvements which are consistent with Crime Prevention Through Environmental Design (CPTED) to minimize the risk to public safety and assure adequate police protection.

Response: The project is designed to be consistent with CPTED guidelines and principles.

H. Potable water.

1. Adequate potable water service shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements which may be needed for the installation and maintenance of potable water systems in accordance with city engineering standards, the Florida Building Code, and applicable health and environmental regulations. The existing water treatment facilities and systems shall have sufficient capacity to



provide for the needs of the proposed development and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which potable water treatment capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the developer in accordance with Resolution 85-265, as it is amended from time to time. Improvements to the potable water service and system shall be made in accordance with city engineering standards and other accepted applicable engineering standards.

2. Potable water facilities.

- a. If the system is tied into the city treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from design capacity. If there is available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department.
- b. If there is adequate capacity available in the city treatment plant to serve the proposed development, the city shall reserve the necessary capacity to serve the development.
- c. Where the county is the projected service provider, a similar written assurance will be required.

Response: The project is designed to provide adequate potable water services.

I. Sanitary sewer.

1. If the system is tied into the city treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from the design capacity. If there is available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department.
2. If there is adequate capacity available in the city treatment plant to serve the proposed development, the city shall reserve the necessary capacity to serve the proposed development.
3. Where the county is the projected service provider, a written assurance will be required.
4. Where septic tanks will be utilized, the applicant shall secure and submit to the city a certificate from the Broward County Health Unit that certifies that the site is or can be made suitable for an on-site sewage disposal system for the proposed use.

Response: The project is designed to provide adequate sanitary sewer services.

J. Schools. For all development including residential units, the applicant shall be required to mitigate the impact of such development on public school facilities in accordance with the Broward County Land Development Code or section 47-38C. Educational Mitigation, as applicable and shall provide documentation to the city that such education mitigation requirement has been satisfied.

Response: Acknowledged

K. Solid waste.

1. Adequate solid waste collection facilities and service shall be obtained by the applicant in connection with the proposed development and evidence shall be provided to the city demonstrating that all solid waste will be disposed of in a manner that complies with all

governmental requirements.

2. Solid waste facilities. Where the city provides solid waste collection service and adequate service can be provided, an adequacy finding shall be issued. Where there is another service provider, a written assurance will be required. The impacts of the proposed development will be determined based on Table 4, Solid Waste, on file with the department.

Response: Adequate solid waste collection facilities and service will be provided with the proposed development.

L. Stormwater. Adequate stormwater facilities and systems shall be provided so that the removal of stormwater will not adversely affect adjacent streets and properties or the public stormwater facilities and systems in accordance with the Florida Building Code, city engineering standards and other accepted applicable engineering standards.

Response: Adequate stormwater facilities and service will be provided with the proposed development.

M. Transportation facilities.

1. The capacity for transportation facilities shall be evaluated based on Table 1, Generalized Daily Level of Service Maximum Volumes, on file with the department. If a development is within a compact deferral area, the available traffic capacity shall be determined in accordance with Table 2, Flowchart, on file with the department.

2. Regional transportation network. The regional transportation network shall have the adequate capacity, and safe and efficient traffic circulation to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the adopted traffic elements of the city and the county comprehensive plans and accepted applicable traffic engineering standards. Site-specific traffic studies may be required to be made and paid for by the applicant when the city determines such a study is needed in order to evaluate the impacts of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit such a study to the city which will be considered by the DRC in its review. Roadway improvements needed to upgrade the regional transportation network shall be made in accordance with the city, the county, and Florida Department of Transportation traffic engineering standards and plans as applicable.

3. Local streets. Local streets shall have adequate capacity, safe and efficient traffic circulation, and appropriate functional classification to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the city's comprehensive plan and accepted applicable traffic engineering standards. Site-specific traffic studies may be required to be made and paid for by the applicant when the city determines such a study is required in order to evaluate the impact of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit to the city such a study to be considered as part of the DRC review. Street improvements needed to upgrade the capacity or comply with the functional classification of local streets shall be made in accordance with the city engineering standards and acceptable applicable traffic engineering standards. Local streets are those streets that are not classified as federal, state or county roadways on the functional classification map adopted by the State of



Florida.

Response: Acknowledged.

4. Traffic impact studies.

- a. When the proposed development may generate over one thousand (1,000) daily trips; or
- b. When the daily trip generation is less than one thousand (1,000) trips; and (1) when more than twenty percent (20%) of the total daily trips are anticipated to arrive or depart, or both, within one-half (½) hour; or (2) when the proposed use creates varying trip generation each day, but has the potential to place more than twenty percent (20%) of its maximum twenty-four (24) hour trip generation onto the adjacent transportation system within a one-half (½) hour period; the applicant shall submit to the city a traffic impact analysis prepared by the county or a registered Florida engineer experienced in trafficways impact analysis which shall:
 - i. Provide an estimate of the number of average and peak hour trips per day generated and directions or routes of travel for all trips with an external end.
 - ii. Estimate how traffic from the proposed development will change traffic volumes, levels of service, and circulation on the existing and programmed trafficways.
 - iii. If traffic generated by the proposed development requires any modification of existing or programmed components of the regional or local trafficways, define what city, county or state agencies have programmed the necessary construction and how this programming relates to the proposed development.
 - iv. A further detailed analysis and any other information that the review committee considers relevant.
 - v. The traffic impact study may be reviewed by an independent licensed professional engineer contracted by the city to determine whether it adequately addresses the impact and the study supports its conclusions. The cost of review by city's consultant shall be reimbursed to the city by the applicant.
 - vi. When this subsection M.4.b. applies, the traffic study shall include an analysis of how the peak loading will affect the transportation system including, if necessary, an operational plan showing how the peak trips will be controlled and managed.

Response: A traffic statement is be provided.

5. Dedication of rights-of-way. Property shall be conveyed to the public by plat, deed or grant of easement as needed in accordance with the Broward County Trafficways Plan, the city's comprehensive plan, subdivision regulations and accepted applicable traffic engineering standards.

Response: Acknowledged.

6. Pedestrian facilities. Sidewalks, pedestrian crossing and other pedestrian facilities shall be provided to encourage safe and adequate pedestrian movement on-site and along roadways to adjacent properties. Transit service facilities shall be provided for as required by the city and Broward County Transit. Pedestrian facilities shall be designed and installed in accordance with city engineering standards and accepted applicable engineering standards.

Response: Sidewalk facilities exist on NW 19th Street and NW 20th Street.

7. Primary arterial street frontage. Where a proposed development abuts a primary arterial street either existing or proposed in the trafficways plan, the development review committee (DRC) may require marginal access street, reverse frontage with screen planting contained in a non-access reservation along the rear property line, deep lots with or without rear service alleys, or such other treatment as may be necessary for adequate protection of residential properties and to assure separation of through and level traffic.

Response: Acknowledged.

8. Other roadway improvements. Roadways adjustments, traffic control devices, mechanisms, and access restrictions may be required to control traffic flow or divert traffic, as needed to reduce or eliminate development generated traffic.

Response: Acknowledged.

9. Street trees. In order to provide for adequate landscaping along streets within the city, street trees shall be required along the length of the property abutting a street. A minimum of fifty percent (50%) of the required street trees shall be shade trees, and the remaining street trees may be provided as flowering or palm trees. These percentages may be varied based on existing or proposed physical conditions which may prevent the ability to comply with the street tree requirements of this subsection. The street trees shall be planted at a minimum height and size in accordance with the requirements of Section 47-21, Landscape and Tree Preservation Requirements, except in the downtown RAC districts the requirements of Sec. 47-13.20.H.8 shall apply. The location and number of street trees shall be determined by the department based on the height, bulk, mass and design of the structures on the site and the proposed development's compatibility to surrounding properties. The requirements for street trees, as provided herein, may be located within the public right-of-way as approved by the entity with jurisdiction over the abutting right-of-way.

Response: The proposed project will comply with all landscape requirements.

N. Wastewater.

1. Wastewater. Adequate wastewater services shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements which may be needed for the installation and maintenance of a wastewater and disposal system in accordance with applicable health, environmental and engineering regulations and standards. The existing wastewater treatment facilities and systems shall have adequate capacity to provide for the needs of the proposed development and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which wastewater treatment or disposal capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the developer in accordance with Resolution 85-265, as it is amended for time to time. Improvements to the wastewater facilities and system shall be made in accordance with the city engineering and accepted

applicable engineering standards.

Response: Adequate wastewater services be provided.

O. Trash management requirements. A trash management plan shall be required in connection with non-residential uses that provide prepackaged food or beverages for off-site consumption. Existing non-residential uses of this type shall adopt a trash management plan within six (6) months of the effective date of this provision.

Response: Acknowledged.

P. Historic and archaeological resources.

1. If a structure or site has been identified as having archaeological or historical significance by any entity within the State of Florida authorized by law to do same, the applicant shall be responsible for requesting this information from the state, county, local governmental or other entity with jurisdiction over historic or archaeological matters and submitting this information to the city at the time of, and together with, a development permit application. The reviewing entity shall include this information in its comments.

Response: It is not anticipated that there are any historic or archaeological resources on or in the vicinity of the site.

Q. Hurricane evacuation. If a structure or site is located east of the Intracoastal Waterway, the applicant shall submit documentation from Broward County or such agency with jurisdiction over hurricane evacuation analysis either indicating that acceptable level of service of hurricane evacuation routes and hurricane emergency shelter capacity shall be maintained without impairment resulting from a proposed development or describing actions or development modifications necessary to be implemented in order to maintain level of service and capacity.

Response: This project is not located east of the Intracoastal Waterway.

Section 47-25.3. - Neighborhood compatibility requirements

1. Adequacy requirements. See Sec. 47-25.2.

Response: Applicant has provided a separate point-by-point narrative addressing the adequacy requirements.

2. *Smoke, odor, emissions of particulate matter and noise.*

a. Documentation from the Broward County Department of Natural Resource Protection (DNRP) or a report by a certified engineer, licensed in the State of Florida, that the proposed development will not exceed the maximum levels of smoke, odor, emissions of particulate matter and noise as regulated by Chapter 27, Pollution Control, of the Code of Broward County, and that a DNRP permit for such facility is not required.

b. Where a DNRP license is required in accordance with Chapter 27, Pollution Control, of the Code of Broward County, all supporting documentation and information to obtain such permit shall be submitted to the DRC as part of a site plan review.

c. Such DNRP licenses shall be required to be issued and copies provided to the city prior

to the issuance of a building permit for the proposed development.

Response: To the extent that any DPEP (formerly DNRP) permits are required, Applicant will apply for and obtain such permits.

3. *Design and performance standards.*

a. *Lighting.* No lighting shall be directed from a use which is subject to the requirements of this Sec. 47-25.3 in a manner which illuminates abutting residential property and no source of incandescent or mercury vapor illumination shall be directly visible from any abutting residential property. No neon lights inside or outside structures shall be visible from any abutting residential property.

i. Glare. Any nonresidential operation or activity producing glare shall be conducted so that direct or indirect illumination of light shall not cause illumination in excess of one (1) footcandle on any abutting residential property except as provided in subsection iii. of this subsection a.

ii. Control of effects of lights from automobiles or other sources. Where the site plan indicates potential adverse effects of parking or of other sources on the lot on which the nonresidential use is to be located, such effects shall be eliminated or at a minimum prevented so that lights do not illuminate adjacent residential property below a height of five (5) feet at the residential lot line, or from shining into any residential window if there is to be nonresidential parking on the premises after dark.

iii. In addition to the above, parking lots and garages will be subject to the provisions of Sections 47-20.14 and if in conflict with the provisions of this section, the more restrictive provisions shall apply.

Response: The proposed development will not create illumination in excess of one (1) footcandle on any neighboring property.

b. *Control of appearance.* The following design standards are provided to protect the character of abutting residential areas from the visual impact which may result from a use which is subject to the requirements of this Sec. 47-25.3.

i. Architectural features. The facade of any side of a nonresidential building facing the residential property shall be constructed to compliment a residential structure and shall include the following:

a) Fenestration such as windows, doors and openings in the building wall; and
b) Shall contain a minimum of one (1) feature from each of the following architectural feature groups with a total of four (4) architectural features from the following list:

1. Detail and embellishments:

- a. Balconies,
- b. Color and material banding,
- c. Decorative metal grates over windows,
- d. Uniform cornice heights,
- e. Awnings.

2. Form and mass:



- a. Building mass changes including projection and recession,
- b. Multiple types and angles of roofline, or any combination thereof.
- c) The above required facade treatment shall be required to continue around the corner onto the adjoining wall for a distance of twenty (20) feet.

Response: The proposed development considered the transition to the adjacent uses, by providing a sensitive design solution to the nearby neighborhood. Overall, a well-thought design is being proposed to enhance the visual appearance of the site and improve the public space. The project includes significant architectural design elements, such as: color and material banding, decorative metal fencing, articulated eave height, awnings. The architectural design of the building includes building mass and color changes, projection and recession, multiple roof lines, and architectural featured elements that are continuous around the building.

- ii. Loading facilities. Loading and service facilities shall be screened so as not to be visible from abutting residential uses or vacant residential zoned property.

Response: Loading and service facilities of the Habitat for Humanity Fort Lauderdale project are located at the north end of the site.

- iii. Screening of rooftop mechanical equipment. All rooftop mechanical equipment, stair and elevator towers shall be designed as an integral part of the building volume and shall be required to be screened with material that matches the material used for the principal structure and shall be at least as high as six (6) inches above the top most surface of the roof mounted structure.

Response: The project does not include any rooftop mechanical equipment.

c. *Setback regulations.* When a nonresidential use which is subject to the requirements of this Sec. 47-25.3 is contiguous to any residential property, there shall be an additional setback required for any yard of that use which is contiguous to the residential property, as follows:

- i. When any side of a structure greater in height than forty (40) feet is contiguous to residential property, that portion of the structure shall be set back one (1) foot for each one (1) foot of building height over forty (40) feet up to a maximum width equal to onehalf ($\frac{1}{2}$) the height of the building, in addition to the required setback, as provided in the district in which the proposed nonresidential use is located.

Response: The structure is not greater in height than forty (40) feet.

d. *Bufferyard requirements.* Excluding parks, open space and conservation areas, when a use which is subject to the requirements of this Sec. 47-25.3 is contiguous to any residential property, the property where the use is located shall be required to have a landscaped strip area and a physical barrier between it and the residential property. Such landscape strip shall meet the following requirements:

- i. *Landscape strip requirements.* A ten (10) foot landscape strip shall be required to be located along all property lines which are adjacent to residential property. Such landscape strip shall include trees, shrubs and ground cover as provided in the landscape provisions of Section 47-21, Landscape and Tree Preservation Requirements. The width of the landscape area shall extend to the property line.



All required landscaping shall be protected from vehicular encroachment. When walls are required on nonresidential property abutting an alley, required shrubbery shall be installed and located within the landscape area on the exterior of the wall.

Response: The proposed development will comply with all landscaping requirements.

ii. *Parking restrictions.* No parking shall be located within twelve (12) feet of the property line, within the yard area required by the district in which the proposed nonresidential use is located, when such yard is contiguous to residential property.

Response: Acknowledged.

iii. *Dumpster regulations.* All solid waste refuse containers (dumpsters) shall be set back a minimum of twelve (12) feet from any property line which is contiguous to residential property, and shall be screened in accordance with the Dumpster requirements, as provided in Section 47-19, Accessory Uses, Buildings and Structures.

Response: Acknowledged.

iv. *Wall requirements.* A wall shall be required on the nonresidential property, a minimum of five (5) feet in height, constructed in accordance with Section 47-19.5 and subject to the following:

- a) Decorative features shall be incorporated on the residential side of such wall according to the requirements of Section 47-19.5,
- b) Shall be located within, and along the length of the property line which abuts the residential property,
- c) When the nonresidential property is located adjacent to an alley such wall shall be located at least five (5) feet from the right-of-way line located closest to the nonresidential property,
- d) When a utility, or other public purpose easement, on the nonresidential property precludes the construction of a wall, then an opaque fence, constructed in accordance with the standards described in Section 47-19.5, may be erected in lieu of the wall required by subsection iv. above. The use of an opaque fence as a physical barrier between nonresidential and residential property shall be reviewed and recommended by the city engineer.

Response: Acknowledged.

iv. *Application to existing uses.* Within five (5) years from the effective date of subsections A.3.c and d (effective date: September 19, 1989), all nonconforming uses of land which were in existence prior to such date shall comply with the requirements of subsections A.3.c and d unless compliance would cause one (1) or more of the following to occur:

- a) Demolition of any load-bearing portion of a building as it exists on September 19, 1989, the effective date of subsections A.3.c and d;
- b) Reduction of required parking spaces;
- c) A reduction in the number of parking spaces provided for use of a parcel which



would be required if based on the parking requirements of Section 47-20, Parking and Loading Requirements in effect on and applicable to such use on March 6, 1990;

d) Relocation of an existing wall which complied with the Code prior to September 19, 1989, the effective date of subsections A.3.c and d;

e) Access to the land would be substantially impaired;

f) Installation of the wall as provided in subsection iv. would require a modification of the existing vehicular use area, which would impair traffic circulation on the site and a minimum five (5) foot high hedge, fence or other physical barrier is in place along the length of the nonresidential property line which abuts the residential property;

g) In such cases, the use shall otherwise comply with the requirements of this section to the maximum possible extent; however, the requirement of subsections A.3.d.i to install a landscape strip shall be met if an abutting residential property owner agrees in writing that the landscape strip may be placed on his or her property. An agreement in form provided by the department must be executed by the applicant and the abutting property owner. If the abutting property owner removes the landscape strip after it has been installed, there shall be no further requirement to install another landscape strip on the abutting property in connection with the commercial use which existed at the time of the initial installation.

Response: N/A.

e. Neighborhood compatibility and preservation. In addition to the review requirements provided in subsections A.1, A.2 and A.3.a, b, c, and d, the following review criteria shall also apply as provided below:

i. All developments subject to this Sec. 47-25.3 shall comply with the following:

a) Development will be compatible with, and preserve the character and integrity of adjacent neighborhoods, the development shall include improvements or modifications either on-site or within the public rights-of-way to mitigate adverse impacts, such as traffic, noise, odors, shadow, scale, visual nuisances, or other similar adverse effects to adjacent neighborhoods. These improvements or modifications may include, but shall not be limited to, the placement or orientation of buildings and entryways, parking areas, bufferyards, alteration of building mass, and the addition of landscaping, walls, or both, to ameliorate such impacts. Roadway adjustments, traffic control devices or mechanisms, and access restrictions may be required to control traffic flow or divert traffic as needed to reduce or eliminate development generated traffic on neighborhood streets.

Response: The proposed development is compatible with the character of the neighborhood. The mass and scale are compatible with the development patterns along NW 19th Street. The scale and frontage of the project has been designed to complement the scale of the adjacent single-family projects to the west by breaking down the scale of the façades. This has been

accomplished using hip roof forms and complementary stucco colors. The mechanical screening has been completely integrated into the landscape design. All these elements contribute to the successful integration of the project into its context.

b) Consideration shall be given to the recommendations of the adopted neighborhood master plan in which the proposed development is to be located, or which it abuts, although such neighborhood master plan shall not be considered to have the force and effect of law. When recommended improvements for the mitigation of impacts to any neighborhood, conflicts with any applicable ULDR provision, then the provisions of the ULDR shall prevail. In order to ensure that a development will be compatible with, and preserve the character and integrity of adjacent neighborhoods, the development shall include improvements or modifications either on-site or within the public rights-of-way to mitigate adverse impacts, such as traffic, noise, odors, shadow, scale, visual nuisances, or other similar adverse effects to adjacent neighborhoods. These improvements or modifications may include, but shall not be limited to, the placement or orientation of buildings and entryways, parking areas, bufferyards, alteration of building mass, and the addition of landscaping, walls, or both, to ameliorate such impacts. Roadway adjustments, traffic control devices or mechanisms, and access restrictions may be required to control traffic flow or divert traffic as needed to reduce or eliminate development generated traffic on neighborhood streets.

Response: N/A

ii. All development within the RAC-TMU (RAC-EMU, RAC-SMU and RAC-WMU) district that is greater in density than twenty-five (25) dwelling units per net acre:

a) In addition to meeting the review requirements of subsection A.3.e.i, building sites within the RAC-TMU (RAC-EMU, RAC-SMU and RAC-WMU) district shall be eligible to apply for additional dwelling units over and above twenty-five (25) dwelling units per net acre, provided such additional dwelling units are available for distribution in the downtown regional activity center. However, in order to obtain such additional dwelling units, a site plan level II permit must be approved. Such approval shall be based upon consideration of the number of additional dwelling units available under the city land use plan, the number of additional dwelling units requested, the impact of the proposed development on abutting residential areas, the proposed residential density of the proposed development, location of the proposed development, the sensitivity to adjacent development of the site design and proposed orientation of the proposed development (including proposed setbacks), pedestrian movements associated with the proposed development, proposed landscaping, and traffic and parking impacts of the proposed development on the transportation network. Approval for allocations of any additional dwelling units, hotel rooms or both, for multifamily dwellings, hotels and mixed-use developments shall conform to the city's land use plan and may be granted subject to approval of a site plan level II permit, subject to the considerations for such review as prescribed above. A minimum setback of twenty (20) feet from all property lines



for every building used exclusively for residential purposes may be required. Such minimum setback may also be required for mixed use buildings in which residential use exceeds fifty-nine percent (59%) of the total floor area, exclusive of parking garages.

Response: N/A

iii. All development within any downtown RAC district that is within one hundred (100) feet of residential property that is located outside of any downtown RAC district and all development within the RAC-TMU (RAC-EMU, RAC-SMU and RAC-WMU) district; and all development that is located on land adjacent to the New River within the RACAS and RAC-CC which deviates from the New River corridor requirements as provided in Section 47-13, Downtown Regional Activity Center:

a) In addition to meeting the review requirements of subsection A.3.e.i, the setbacks imposed for a development plan may be modified subject to the requirements provided as follows:

1. No structure, or part thereof, shall be erected or used, or land or water used, or any change of use consummated, nor shall any building permit or certificate of occupancy be issued therefor, unless a development plan for such structure or use shall have been reviewed and approved, where applicable, after development review as prescribed in subsection A.3.e.i. In approving such development plan, consideration shall be given to the location, size, height, design, character and ground floor utilization of any structure or use, including appurtenances; access and circulation for vehicles and pedestrians, streets, open spaces, relationship to adjacent property, proximity to New River and other factors conducive to development and preservation of a high quality downtown regional activity center district. No approval shall be given to the setbacks shown on the development plan unless a determination is made that the setbacks conform to all applicable provisions of the ULDR, including the requirements of Section 47-13, Downtown Regional Activity Center Districts, that the safety and convenience of the public are properly provided for and that adequate protection and separation are provided for contiguous property and other property in the vicinity. Approval of the setbacks of a development plan may be conditioned by imposing one (1) or more setback requirements exceeding the minimum requirements.

Response: N/A

iv. All development that is located on land within the CBA zoning districts;

AND

All development that is zoned RMM-25, RMH-25 and RMH-60 east of the Intracoastal Waterway;

AND

All nonresidential development lying east of the Intracoastal Waterway.

a) In addition to meeting the other applicable review requirements of this subsection 3., it shall be determined if a development meets the Design and Community Compatibility Criteria. The purpose of the Community Compatibility Criteria is to define objectives for private sector development which either abuts or is readily visible from public corridors. The relationship between private and public sector development must

be carefully planned to avoid negative impacts of one upon the other. The city's intent in implementing these objectives is to:

- i. Protect the investment of public funds in public corridor improvements.
- ii. Improve the visual and functional quality of both public and private development by coordinating the transition between these areas.
- iii. The ultimate goal of these objectives is to integrate buildings, vehicular circulation, pedestrian circulation, open space and site elements into a unique, pedestrian sensitive environment which stimulates revitalization.

Response: N/A

Thank you for your review of this application. Please feel free to contact (954) 788-3400 if you require additional information or have questions regarding this application. We look forward to working with you on this exciting project.

Respectfully Submitted,



Florentina Hutt, AICP
Senior Planner

STORMWATER MANAGEMENT CALCULATIONS

PROJECT NO. 10431.00
ISSUED: DECEMBER 2022



Habitat for Humanity Fort Lauderdale Fort Lauderdale, FL 33311



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I. INTRODUCTION

1 Project Location.

The project is located approximately 0.10 miles west of the intersection of NW 19th Street and NW 9th Avenue on the northside of NW 19th Street within the City of Fort Lauderdale, Broward County, Florida (Section 28, Township 49 South, and Range 42 East). In review of the Broward County - Surface Water Management Licensing Section - Drainage District Boundary Map, the site is located within the jurisdiction of Broward County Resilient Environment Department.

2 Project Description

The purpose of this report is to provide an analysis of the stormwater management system for the proposed development of a 1.39-acre site. The proposed site will be developed as multi-family residential affordable housing.

According to the Broward County Surface Water Management Licensed Projects interactive map, the existing site is located within Flatwoods soils of the Urban Land-Dade-Duette Association.

To achieve the required water quality, as well as provide adequate flood protection, the proposed stormwater management system will consist of a series of drainage inlets that convey runoff through an exfiltration trench system to retention areas.

KEITH performed a post-development analysis. The post-development analysis was performed by incorporating the proposed improvements which includes a series of drainage inlets and 265 linear feet of new exfiltration trench that will collect and convey runoff through properly sized pipes to a dry detention area. To achieve the required water quality and provide adequate flood protection, the runoff will be held in the exfiltration trench system and controlled by the lowest catch basin grate set at an elevation of 6.00' NAVD. To contain the 25-year 3-day storm event on-site, a knee wall and berm will be constructed with a top elevation of 7.10' NAVD.

The K-Value used for the exfiltration trench calculations assumed to be 5.0×10^{-4} since testing has not been completed at this time. These calculations will be updated after testing has been completed, which will be prior to submitting for permits to the agencies.

II. STORMWATER MANAGEMENT CRITERIA

1 Basis of Design

The project's stormwater management (SWM) system design is based on the South Florida Water Management District (SFWMD) and the Broward County Resilient Environment Department (BCRED) criteria.

2 SBDD/ SFWMD / BCRED Requirements

- **Flood Protection:** The lowest floor elevation shall be set at or above the elevation required in the Florida Building Code (FBC) per section 14-11(1) of the City of Fort Lauderdale Code of Ordinances. The minimum finished floor elevation based on FBC criteria requires the elevation of the lowest floor to be 1.00' above the FEMA Base Flood Elevation (BFE) or at the Design Flood Elevation (DFE), whichever is higher.

Per the FEMA Flood maps the site is located within Flood Zone X, which has no elevation associated with it since it is not a high risk flood zone. The DFE as established by the Broward County Future Conditions 100 Year Flood Map 2060 elevation was determined to be 8.00' NAVD.

Per the criteria described above the minimum finished floor elevation (FFE) is 8.00' NAVD, however, we are proposing a finished floor elevation of **8.10'** NAVD to allow for a 0.1 ft construction tolerance.

- **Driveway and Parking Lot:** Per SFWMD Basis of Review for Environmental Resource Permit Applications Section 6.5. In cases where criteria are not specified by the local government with jurisdiction, the following design criteria for drainage and flood protection shall be used: frequency – 5 years, duration 1 day (driveway centerlines) or 1 hour (parking lots served by exfiltration trench systems).
- **Water Quality:** Per the SBDD Stormwater Management Design Criteria Manual, the water quality requirements are governed by SFWMD which dictate that the treatment to be provided should equal the greater of 1-inch over the site or 2.5-inch times the percentage of impervious area. The required volume will be treated within the proposed exfiltration trench.

II.3 STORMWATER MANAGEMENT POST-DEVELOPMENT CALCULATIONS

Project: Habitat for Humanity Fort Lauderdale
 Flood Routing Description:

Date: 12/8/22

Client : Habitat for Humanity
 Design Engineer : Thomas Donahue
 Project Address / Location : City: Fort Lauderdale
 Section/Township/Range: 28/49/42
 Surfacewater License:
 FEMA FIRM Information: 12011C0368J
 Project Description: Townhome Buildings

Job Number: 10431.00

County: Broward State: Florida

Total Drainage Basin: 1.390 Acres

Hydrogeologic Information :

Table 1.	1 Day Storm Event			3 Day Storm Event		
RAINFALL DATA	Rainfall Inches	Runoff Inches	Runoff Ac-Ft	Rainfall Inches	Runoff Inches	Runoff Ac-Ft
100 Year Return Period				18.8	15.65	1.813
25 Year Return Period				13.7	10.68	1.237
10 Year Return Period						
5 Year Return Period						
3 Year Return Period						
5 Yr Return Period - 1 Hr	3.1	0.00	0.000			

Runoff estimation - USDA SCS formula

$$\text{Runoff (in)} Q = \frac{(P-0.2S)^2}{P+0.8S}$$

Where: P = accumulated rainfall (in.)
 S = Soil Storage Value

Table 2. SUMMARY OF FLOOD ROUTING	Agency maps	SBUH Calculated with Q-1 Day Storm		SBUH Calculated with Q-3 Day Storm		SBUH Calculated *Zero Q-3 Day Storm		Calc. 5Yr 1 hour Peak Stage (ft)
		Peak Stage(ft)	Peak Q (CFS)	Peak Stage(ft)	Peak Q (CFS)	Peak Stage(ft)	Peak Q (CFS)	
100 Year Return Period				7.64	0.00	7.64	0.00	Zero Q (Water Budget) 4.00
25 Year Return Period				7.02	0.00	7.02	0.00	
10 Year Return Period								
5 Year Return Period								
3 Year Return Period								

For 5 yr - 1 hr rainfall, Calculate 5 yr Vol by subtracting Exfil vol in inches from 5 yr 1 h rainfall, then calc Runoff using SCS formula. From stage storage table find Zero Discharge Stage. Uses Max. Elev of Lookup Stage or highest top of EXFIL trench. If exfil vol exceeds 5 year 1 hour vol. Uses Max. Elev of highest top of EXFIL trench.

* Zero Q indicates there is no offsite discharge included in the calculations (only Exfil Trench and Wells). Hypothetical stage calc. for PRE-POST Analysis.

Table 3. WATER QUALITY STORAGE REQUIREMENTS:	
Based on Total Drainage Basin Acreage	Ac-Ft
1" x Basin Area	0.116
2.5" x WQPI x (Basin Area)	0.83 Inches 0.097
Required Wet Detention (Total basin incl Offsite)	
0.5" Pretreatment-Com. Prjs,x(Basin Area - water area)	0.058
Credit for Inlets in Grass Areas, GAC=0.2" x (TDA	0.023 N

Table 4. WATER QUALITY STORAGE SOURCE	Basin Storage Elev. (Ac-Ft)	WQ Eq WDV (Ac-Ft)	WQ Eq WDV Inches
Retention (RV) @			
Dry Det. (DDV) @			
Wet Det. (WDV) @			
Equiv WDV=WDV+RV/.5+DDV/.75)		0.000	
Exfil Trench Storage	0.306	0.611	5.27
Total WQ EQ WDV - Provided		0.611	5.27
Total WQ EQ WDV - Required		0.116	1.00

Exfil Vol. in Stage Storage =	(Ac-Ft)	(Inches)
	0.363	3.14

Project: Habitat for Humanity Fort Lauderdale
 Flood Routing Description:

Date: 12/8/22

Client : Habitat for Humanity

Job Number: 10431.00

Routing Results from Analysis ZERO Offsite Discharge

Table 6. STAGE - DISCHARGE INFORMATION 100 - YEAR STORM - ZERO Offsite Discharge

TIME STEP (HOUR)	Rain Fall RATIO	Rain C*P (IN)	Q Scs (IN)	Inst Q In (CFS)	Sbuh Q (CFS)	Tot Q In (AC-FT)	Sumq Out (AC-FT)	Stored Vol (AC-FT)	Stage Lk-Up (FEET)	Inst Q Lkup (CFS)	Avg. Q Out (CFS)	Step Qout (AC-FT)
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
4.00	0.02	0.33	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
8.00	0.05	0.68	0.00	0.01	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
12.00	0.07	1.01	0.05	0.03	0.03	0.01	0.00	0.01	2.06	0.00	0.00	0.00
16.00	0.10	1.34	0.15	0.03	0.04	0.02	0.00	0.02	2.19	0.00	0.00	0.00
20.00	0.12	1.69	0.29	0.07	0.05	0.03	0.00	0.03	2.36	0.00	0.00	0.00
24.00	0.15	2.02	0.46	0.08	0.06	0.05	0.00	0.05	2.58	0.00	0.00	0.00
28.00	0.18	2.52	0.76	0.15	0.12	0.09	0.00	0.09	2.94	0.00	0.00	0.00
32.00	0.22	3.00	1.08	0.11	0.11	0.12	0.00	0.12	3.31	0.00	0.00	0.00
36.00	0.25	3.49	1.43	0.12	0.11	0.16	0.00	0.16	3.69	0.00	0.00	0.00
40.00	0.29	3.98	1.81	0.12	0.13	0.21	0.00	0.21	4.08	0.00	0.00	0.00
44.00	0.32	4.48	2.20	0.19	0.15	0.25	0.00	0.25	4.43	0.00	0.00	0.00
48.00	0.36	4.97	2.60	0.13	0.13	0.30	0.00	0.30	4.75	0.00	0.00	0.00
52.00	0.40	5.59	3.13	0.27	0.23	0.36	0.00	0.36	5.10	0.00	0.00	0.00
56.00	0.50	6.86	4.25	0.56	0.51	0.48	0.00	0.48	5.61	0.00	0.00	0.00
58.00	0.57	7.91	5.20	0.78	0.77	0.59	0.00	0.59	5.93	0.00	0.00	0.00
59.00	0.63	8.69	5.92	1.15	1.12	0.67	0.00	0.67	6.13	0.00	0.00	0.00
59.50	0.68	9.38	6.56	1.81	1.75	0.74	0.00	0.73	6.27	0.00	0.00	0.00
59.75	0.85	11.72	8.78	12.41	6.29	0.86	0.00	0.86	6.54	0.00	0.00	0.00
60.00	1.02	14.04	11.01	12.53	11.53	1.10	0.00	1.10	6.85	0.00	0.00	0.00
60.50	1.09	15.05	11.99	2.71	3.58	1.35	0.00	1.35	7.14	0.00	0.00	0.00
61.00	1.13	15.58	12.50	1.43	1.56	1.43	0.00	1.43	7.23	0.00	0.00	0.00
62.00	1.18	16.28	13.19	0.83	0.89	1.52	0.00	1.52	7.33	0.00	0.00	0.00
64.00	1.24	17.14	14.03	0.53	0.57	1.62	0.00	1.62	7.44	0.00	0.00	0.00
68.00	1.31	18.14	15.00	0.30	0.34	1.73	0.00	1.73	7.56	0.00	0.00	0.00
72.00	1.36	18.80	15.65	0.23	0.23	1.81	0.00	1.81	7.64	0.00	0.00	0.00
Peak stage						7.64	At hour	72.00				
Peak discharge						0.00	At hour	72.00				

Project: Habitat for Humanity Fort Lauderdale
 Flood Routing Description:

Date: 12/8/22

Client : Habitat for Humanity

Job Number: 10431.00

Routing Results from Analysis WITHOUT Offsite Discharge

Table 7. STAGE - DISCHARGE INFORMATION 25 - YEAR STORM - Zero Offsite Discharge

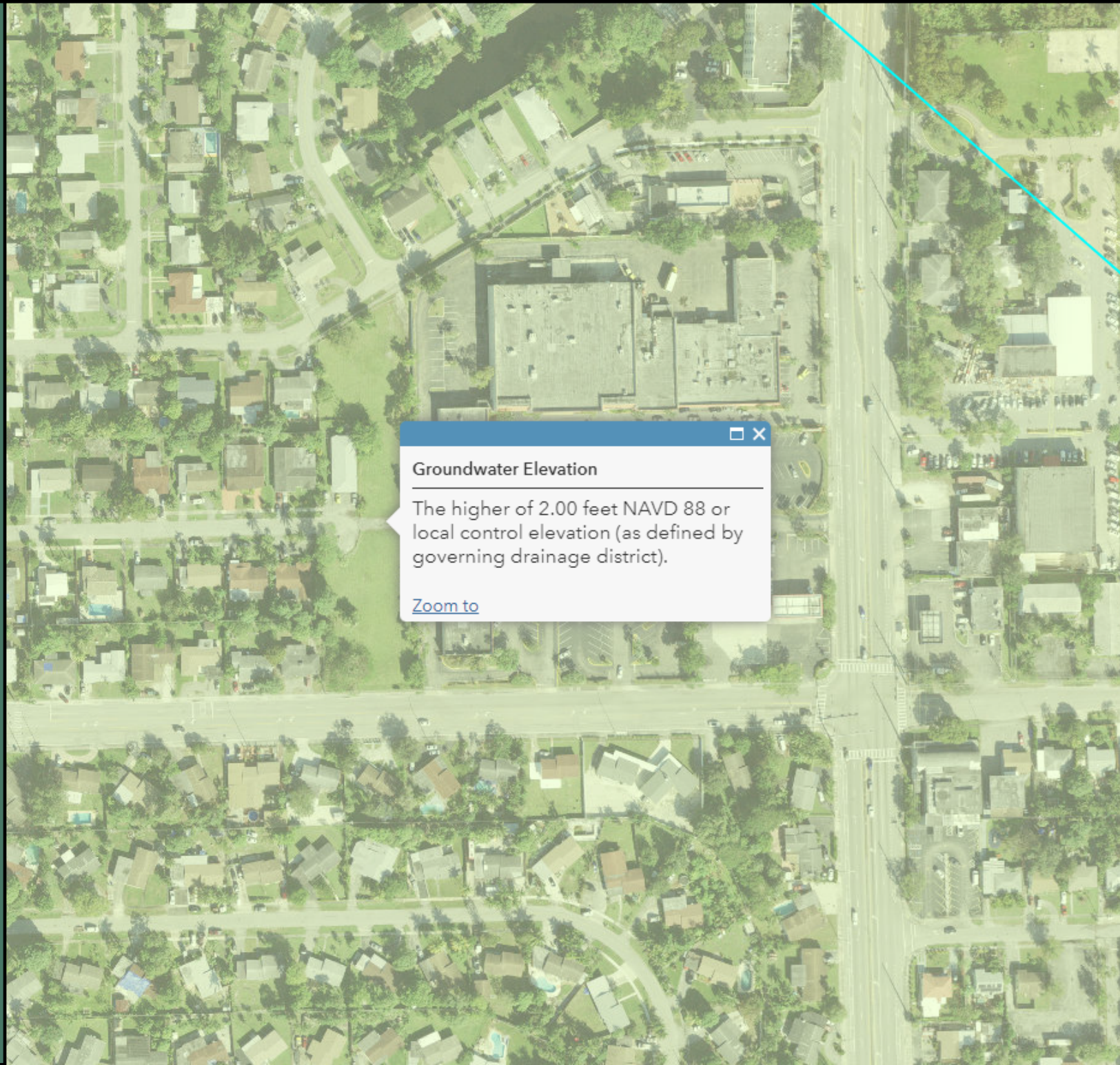
TIME STEP (HOUR)	Rain Fall RATIO	Rain C*P (IN)	Q Scs (IN)	Inst Q In (CFS)	Sbuh Q (CFS)	Tot Q In (AC-FT)	Sumq Out (AC-FT)	Stored Vol (AC-FT)	Stage Lk-Up (FEET)	Inst Q Lkup (CFS)	Avg. Q Out (CFS)	Step Qout (AC-FT)
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
4.00	0.02	0.24	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
8.00	0.05	0.49	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
12.00	0.07	0.74	0.01	0.01	0.01	0.00	0.00	0.00	2.01	0.00	0.00	0.00
16.00	0.10	0.98	0.04	0.01	0.02	0.00	0.00	0.00	2.05	0.00	0.00	0.00
20.00	0.12	1.23	0.11	0.04	0.03	0.01	0.00	0.01	2.14	0.00	0.00	0.00
24.00	0.15	1.47	0.20	0.05	0.03	0.02	0.00	0.02	2.25	0.00	0.00	0.00
28.00	0.18	1.83	0.37	0.08	0.07	0.04	0.00	0.04	2.45	0.00	0.00	0.00
32.00	0.22	2.19	0.56	0.06	0.07	0.06	0.00	0.06	2.70	0.00	0.00	0.00
36.00	0.25	2.54	0.77	0.07	0.07	0.09	0.00	0.09	2.97	0.00	0.00	0.00
40.00	0.29	2.90	1.01	0.08	0.08	0.12	0.00	0.12	3.24	0.00	0.00	0.00
44.00	0.32	3.27	1.26	0.12	0.10	0.14	0.00	0.14	3.52	0.00	0.00	0.00
48.00	0.36	3.62	1.53	0.09	0.09	0.18	0.00	0.18	3.80	0.00	0.00	0.00
52.00	0.40	4.07	1.88	0.18	0.15	0.21	0.00	0.21	4.14	0.00	0.00	0.00
56.00	0.50	5.00	2.63	0.38	0.35	0.30	0.00	0.30	4.75	0.00	0.00	0.00
58.00	0.57	5.77	3.28	0.54	0.53	0.37	0.00	0.37	5.16	0.00	0.00	0.00
59.00	0.63	6.33	3.78	0.80	0.78	0.43	0.00	0.43	5.41	0.00	0.00	0.00
59.50	0.68	6.83	4.23	1.26	1.22	0.47	0.00	0.47	5.58	0.00	0.00	0.00
59.75	0.85	8.54	5.78	8.71	4.41	0.56	0.00	0.56	5.85	0.00	0.00	0.00
60.00	1.02	10.23	7.37	8.89	8.13	0.73	0.00	0.73	6.27	0.00	0.00	0.00
60.50	1.09	10.97	8.06	1.93	2.55	0.90	0.00	0.90	6.59	0.00	0.00	0.00
61.00	1.13	11.35	8.43	1.02	1.12	0.96	0.00	0.96	6.67	0.00	0.00	0.00
62.00	1.18	11.87	8.92	0.59	0.64	1.02	0.00	1.02	6.75	0.00	0.00	0.00
64.00	1.24	12.49	9.52	0.38	0.41	1.10	0.00	1.10	6.84	0.00	0.00	0.00
68.00	1.31	13.22	10.22	0.22	0.25	1.18	0.00	1.18	6.95	0.00	0.00	0.00
72.00	1.36	13.70	10.68	0.16	0.16	1.23	0.00	1.23	7.02	0.00	0.00	0.00
Peak stage						7.02	At hour	72.00				
Peak discharge						0.00	At hour	72.00				

III. APPENDIX

APPENDIX A

FUTURE CONDITIONAL GROUNDWATER ELEVATION MAP

GROUNDWATER ELEVATION MAP



Groundwater Elevation

The higher of 2.00 feet NAVD 88 or local control elevation (as defined by governing drainage district).

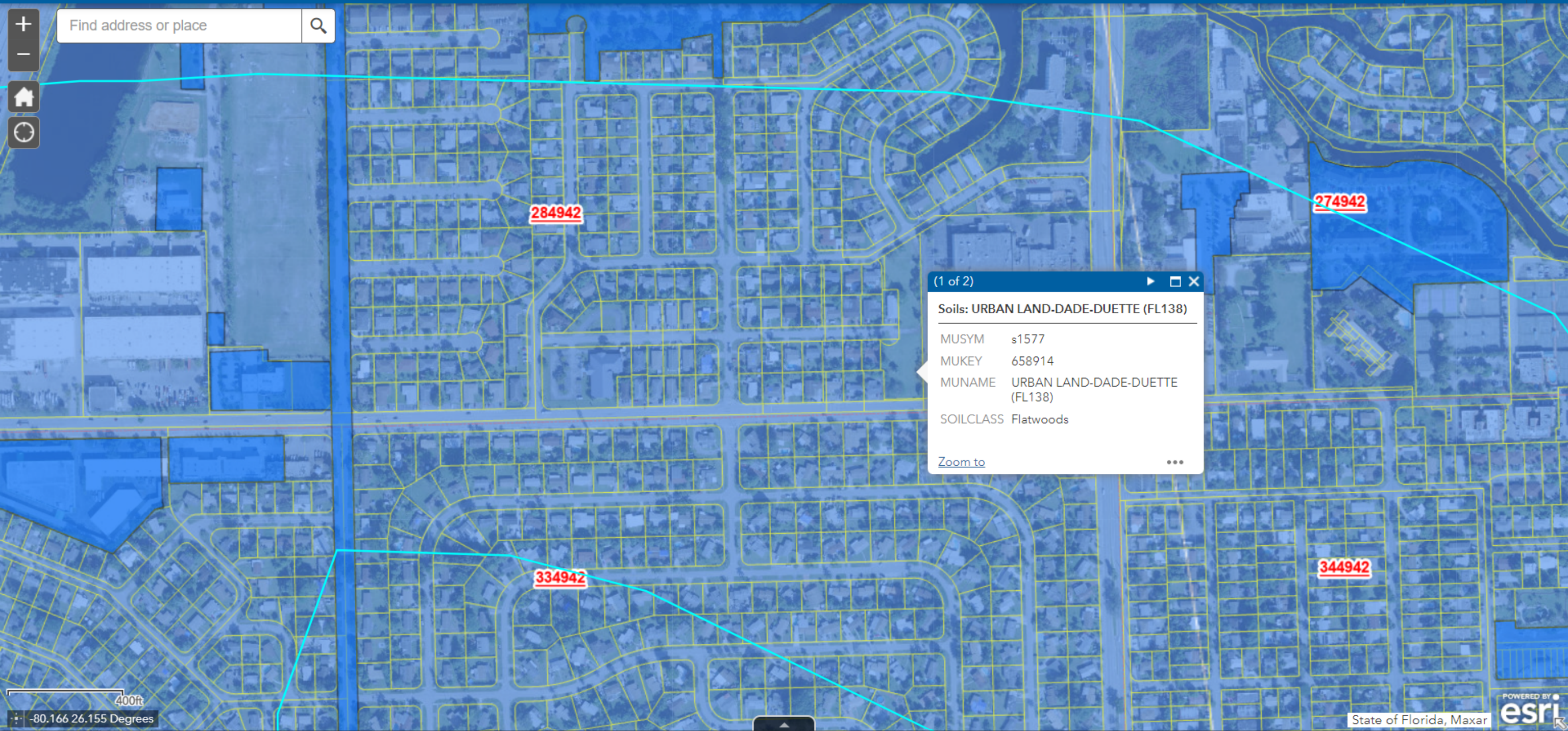
[Zoom to](#)

APPENDIX B

BROWARD COUNTY GENERAL SOIL MAP

Find address or place

+
-
Home
Refresh



(1 of 2) ▶ □ ✕

Soils: URBAN LAND-DADE-DUETTE (FL138)

MUSYM	s1577
MUKEY	658914
MUNAME	URBAN LAND-DADE-DUETTE (FL138)
SOILCLASS	Flatwoods

Zoom to ⋮

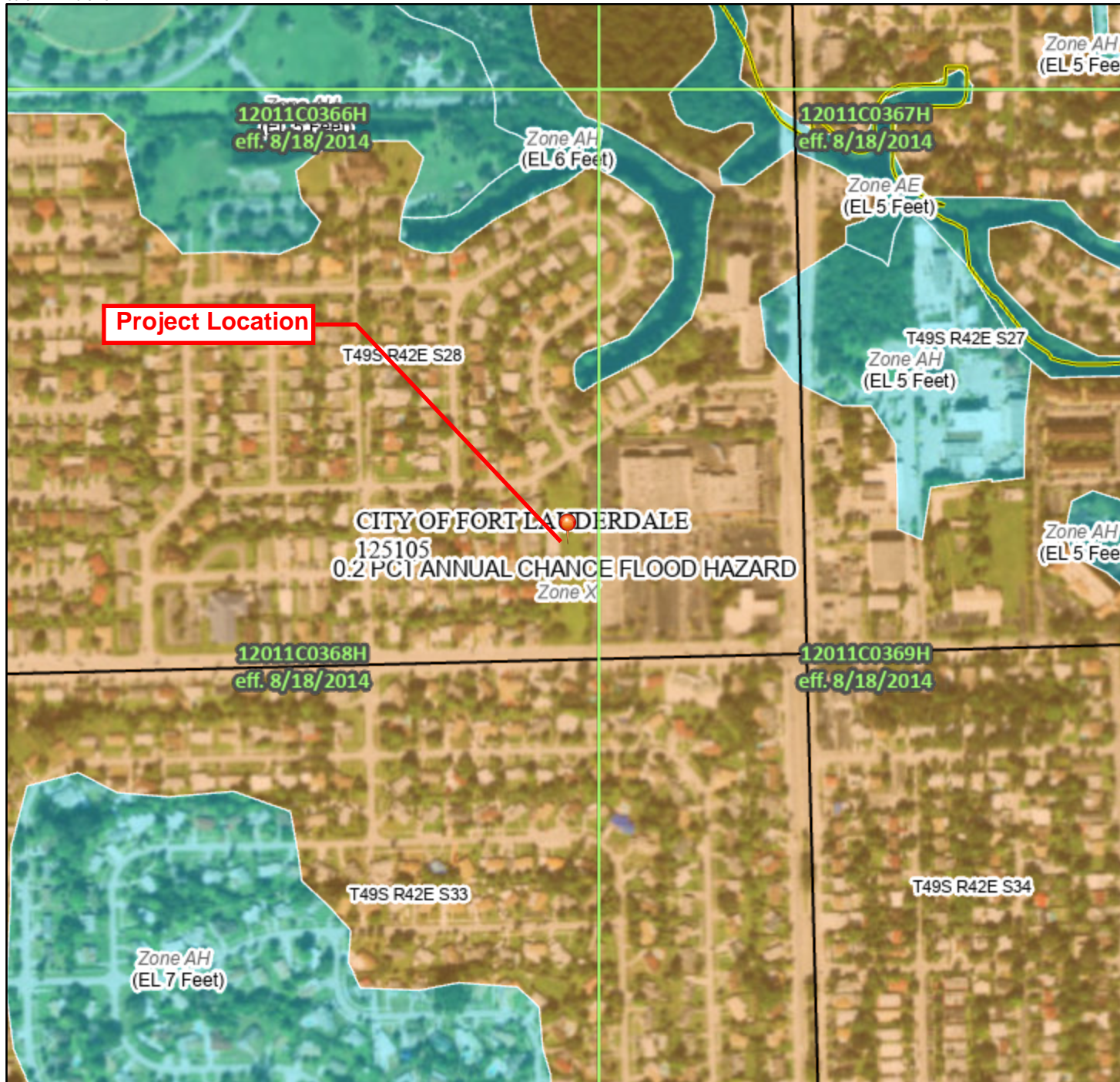
APPENDIX C

FEMA FLOOD INSURANCE RATE MAP

National Flood Hazard Layer FIRMMette



80°9'42"W 26°9'25"N



Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
OTHER FEATURES		Levee, Dike, or Floodwall
		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
MAP PANELS		17.5 Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

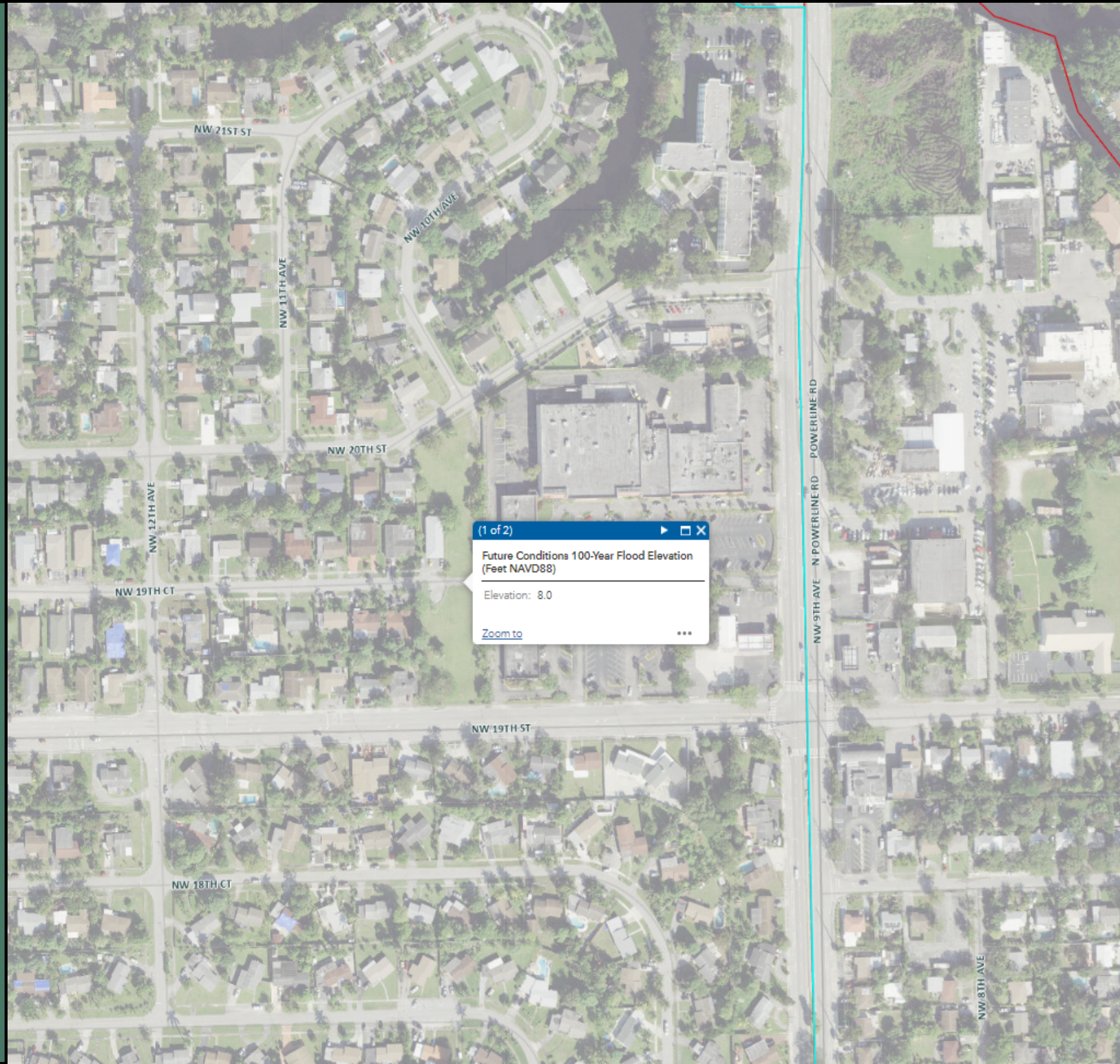
The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 12/6/2022 at 10:56 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

APPENDIX D

**BROWARD COUNTY
100 YEAR FLOOD ELEVATION FLOOD MAP 2060**

FUTURE CONDITIONS 100-YEAR FLOOD MAP 2060



APPENDIX E

NOAA 14 ATLAS PRECIPITATION DATA



NOAA Atlas 14, Volume 9, Version 2
Location name: Fort Lauderdale, Florida, USA*
Latitude: 26.1524°, Longitude: -80.1565°
Elevation: 5.83 ft**
 * source: ESRI Maps
 ** source: USGS



POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Deborah Martin, Sandra Pavlovic, Ishani Roy, Michael St. Laurent, Carl Trypaluk, Dale Unruh, Michael Yekta, Geoffrey Bonnin

NOAA, National Weather Service, Silver Spring, Maryland

[PF_tabular](#) | [PF_graphical](#) | [Maps & aeriels](#)

PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches) ¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.563 (0.449-0.714)	0.649 (0.517-0.825)	0.791 (0.628-1.01)	0.909 (0.718-1.16)	1.07 (0.821-1.42)	1.20 (0.899-1.61)	1.33 (0.964-1.83)	1.45 (1.02-2.07)	1.63 (1.10-2.38)	1.76 (1.16-2.62)
10-min	0.824 (0.657-1.05)	0.950 (0.757-1.21)	1.16 (0.919-1.48)	1.33 (1.05-1.70)	1.57 (1.20-2.08)	1.75 (1.32-2.36)	1.94 (1.41-2.68)	2.13 (1.49-3.03)	2.38 (1.61-3.49)	2.57 (1.70-3.84)
15-min	1.00 (0.801-1.28)	1.16 (0.923-1.47)	1.41 (1.12-1.80)	1.62 (1.28-2.08)	1.91 (1.47-2.53)	2.14 (1.61-2.88)	2.37 (1.72-3.27)	2.60 (1.82-3.69)	2.90 (1.96-4.25)	3.13 (2.07-4.68)
30-min	1.59 (1.27-2.02)	1.84 (1.47-2.34)	2.26 (1.80-2.88)	2.61 (2.06-3.34)	3.09 (2.36-4.08)	3.46 (2.59-4.64)	3.83 (2.78-5.28)	4.21 (2.95-5.98)	4.71 (3.18-6.90)	5.09 (3.36-7.59)
60-min	2.20 (1.75-2.79)	2.52 (2.01-3.21)	3.08 (2.45-3.93)	3.57 (2.82-4.57)	4.28 (3.30-5.71)	4.85 (3.65-6.57)	5.45 (3.98-7.57)	6.09 (4.28-8.70)	6.96 (4.72-10.2)	7.65 (5.06-11.4)
2-hr	2.80 (2.25-3.54)	3.20 (2.57-4.04)	3.91 (3.12-4.95)	4.54 (3.60-5.77)	5.47 (4.25-7.28)	6.25 (4.75-8.43)	7.08 (5.21-9.80)	7.97 (5.64-11.3)	9.21 (6.30-13.5)	10.2 (6.79-15.1)
3-hr	3.16 (2.54-3.96)	3.60 (2.89-4.53)	4.41 (3.53-5.56)	5.16 (4.11-6.54)	6.30 (4.93-8.39)	7.27 (5.55-9.80)	8.31 (6.15-11.5)	9.45 (6.73-13.5)	11.1 (7.61-16.2)	12.4 (8.28-18.3)
6-hr	3.70 (2.99-4.61)	4.30 (3.47-5.37)	5.41 (4.35-6.77)	6.44 (5.16-8.10)	8.02 (6.32-10.7)	9.38 (7.21-12.6)	10.8 (8.08-14.9)	12.5 (8.94-17.6)	14.8 (10.2-21.5)	16.6 (11.2-24.4)
12-hr	4.16 (3.39-5.16)	5.03 (4.09-6.24)	6.58 (5.33-8.19)	8.00 (6.45-10.00)	10.1 (8.02-13.4)	11.9 (9.21-15.9)	13.9 (10.4-18.9)	15.9 (11.5-22.4)	18.9 (13.2-27.3)	21.3 (14.4-31.1)
24-hr	4.74 (3.87-5.83)	5.80 (4.74-7.14)	7.69 (6.26-9.49)	9.41 (7.62-11.7)	12.0 (9.55-15.7)	14.2 (11.0-18.8)	16.5 (12.4-22.4)	19.0 (13.8-26.6)	22.6 (15.8-32.5)	25.5 (17.4-36.9)
2-day	5.56 (4.57-6.80)	6.61 (5.43-8.09)	8.54 (7.00-10.5)	10.3 (8.43-12.7)	13.1 (10.5-17.1)	15.5 (12.1-20.4)	18.1 (13.7-24.5)	20.9 (15.3-29.1)	25.0 (17.7-35.8)	28.3 (19.4-40.8)
3-day	6.13 (5.06-7.46)	7.16 (5.90-8.72)	9.07 (7.45-11.1)	10.9 (8.89-13.3)	13.7 (11.0-17.8)	16.1 (12.7-21.2)	18.8 (14.3-25.3)	21.7 (15.9-30.0)	25.9 (18.4-36.9)	29.4 (20.2-42.1)
4-day	6.65 (5.50-8.07)	7.63 (6.30-9.26)	9.47 (7.81-11.5)	11.2 (9.22-13.8)	14.0 (11.4-18.2)	16.4 (13.0-21.5)	19.1 (14.6-25.7)	22.1 (16.3-30.5)	26.3 (18.7-37.4)	29.9 (20.6-42.7)
7-day	8.12 (6.75-9.79)	8.92 (7.41-10.8)	10.5 (8.72-12.8)	12.2 (10.0-14.8)	14.8 (12.1-19.1)	17.2 (13.6-22.4)	19.8 (15.3-26.5)	22.8 (16.9-31.4)	27.2 (19.5-38.5)	30.9 (21.4-43.9)
10-day	9.32 (7.77-11.2)	10.1 (8.44-12.2)	11.8 (9.78-14.2)	13.4 (11.1-16.3)	16.1 (13.1-20.6)	18.4 (14.7-23.9)	21.1 (16.3-28.1)	24.1 (17.9-33.0)	28.5 (20.4-40.1)	32.1 (22.3-45.5)
20-day	12.3 (10.3-14.7)	13.7 (11.5-16.4)	16.2 (13.5-19.4)	18.4 (15.3-22.1)	21.6 (17.5-27.1)	24.2 (19.2-30.8)	26.9 (20.8-35.2)	29.8 (22.2-40.1)	33.8 (24.3-46.9)	37.0 (25.9-52.1)
30-day	14.7 (12.4-17.5)	16.7 (14.0-19.8)	19.9 (16.7-23.7)	22.5 (18.8-27.0)	26.2 (21.2-32.4)	29.0 (23.0-36.4)	31.7 (24.5-41.0)	34.5 (25.7-46.0)	38.2 (27.5-52.5)	41.0 (28.8-57.5)
45-day	17.9 (15.1-21.2)	20.3 (17.1-24.1)	24.2 (20.3-28.7)	27.2 (22.8-32.5)	31.3 (25.3-38.3)	34.2 (27.2-42.6)	37.0 (28.5-47.4)	39.7 (29.5-52.4)	43.0 (31.0-58.6)	45.4 (32.0-63.3)
60-day	20.7 (17.5-24.4)	23.4 (19.8-27.6)	27.5 (23.2-32.6)	30.8 (25.8-36.6)	34.9 (28.3-42.5)	37.9 (30.2-47.0)	40.7 (31.4-51.8)	43.3 (32.3-56.9)	46.4 (33.5-62.9)	48.5 (34.4-67.5)

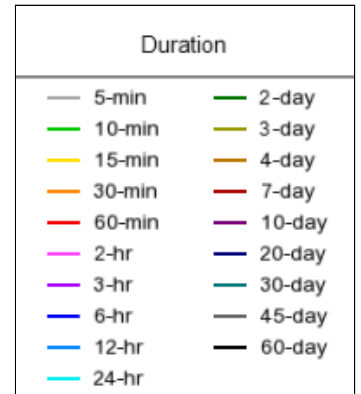
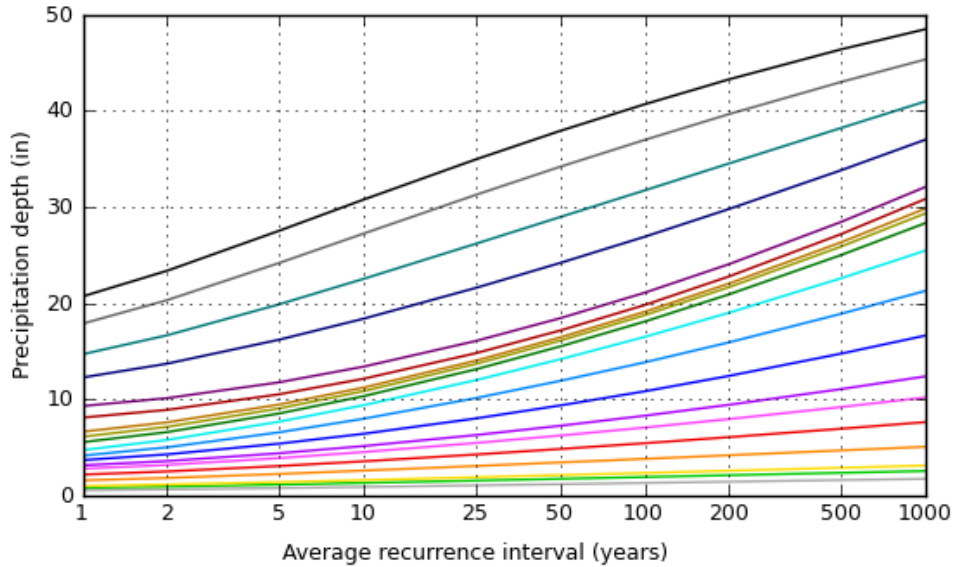
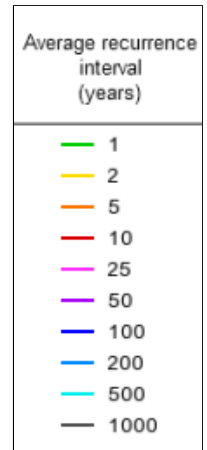
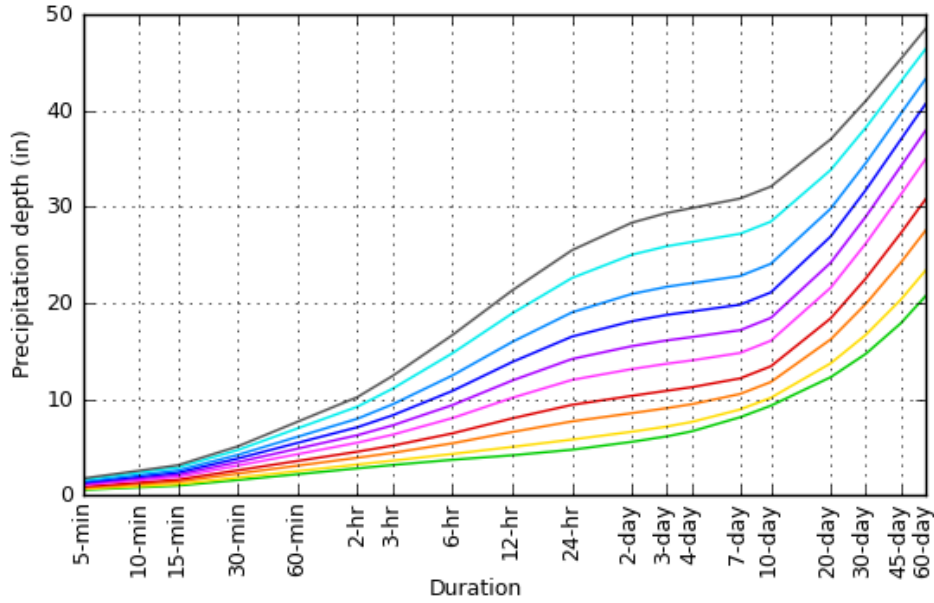
¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

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PF graphical

PDS-based depth-duration-frequency (DDF) curves

Latitude: 26.1524°, Longitude: -80.1565°



[Back to Top](#)

Maps & aerials

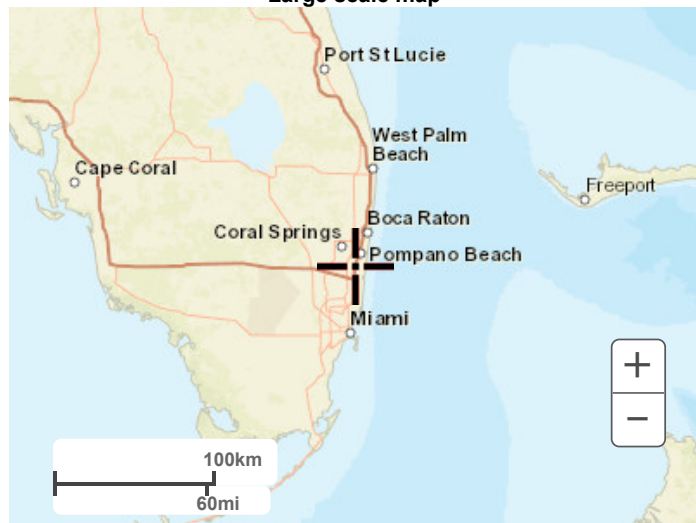
Small scale terrain



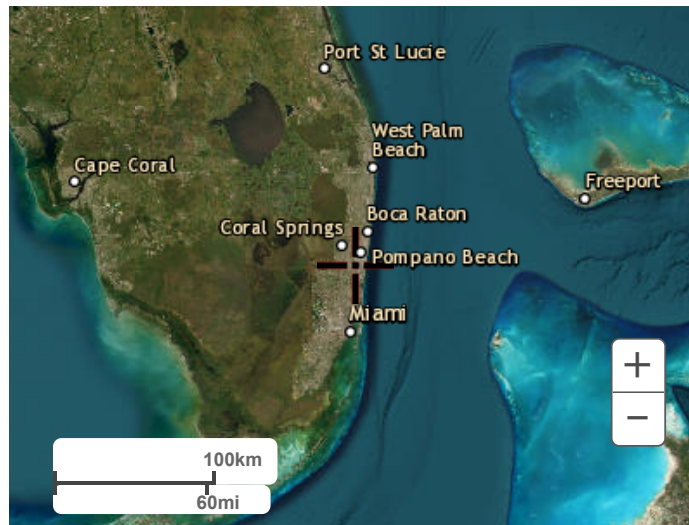
Large scale terrain



Large scale map



Large scale aerial



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[National Weather Service](#)
[National Water Center](#)
1325 East West Highway
Silver Spring, MD 20910
Questions?: HDSC.Questions@noaa.gov

[Disclaimer](#)

19th Street Townhomes - Habitat for Humanity

KEITH PROJECT NUMBER: 10431.00

TRAFFIC IMPACT STATEMENT

DECEMBER 2022



Florida Engineering Business License: CA7928
Florida Surveyor and Mapper Business License: LB6860
Florida Landscape Architecture Business License: LC26000457
301 E. Atlantic Boulevard, Pompano Beach, FL 33060
954-788-3400

19th STREET TOWNHOMES
NW 19th ST, FORT LAUDERDALE,
FL 33311

TRAFFIC IMPACT STATEMENT

Prepared For:

Habitat for Humanity
3564 North Ocean Blvd
Fort Lauderdale, FL 33308

Prepared By:

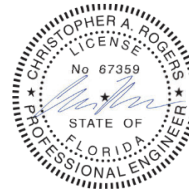


301 East Atlantic Boulevard
Pompano Beach, Florida 33060

Engineer's Certification

I, Chris Rogers, PE, PE number 67359, certify that I currently hold an active Professional Engineer's License in the State of Florida, and I am competent through education or experience to provide engineering services in the civil and traffic engineering disciplines contained in this report. I further certify that this report was prepared by me or under my responsible charge as defined in Chapter 61G15-18.001 F.A.C. and that all statements, conclusions and recommendations made herein are true and correct to the best of my knowledge and ability.

Project Description: Traffic Impact Statement – 19th Street Townhomes Project



C=US,
E=crogers@keithteam.com,OU=Director of Engineering,
CN=Christopher Rogers
2022.12.09
15:22:18-05'00'

Chris Rogers, P.E.
Florida Registration P.E. No. 67359
KEITH

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1.2	Existing Conditions	1-1
2	PROPOSED DEVELOPMENT	2-1
2.1	Proposed Land Use	2-1
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APPENDICES

Appendix A: Fort Lauderdale Unified Land Development Code (ULDC)

Appendix B: Conceptual Site Plan

Appendix C: Existing Property Information

Appendix D: Trip Generation Rates

1 PROJECT OVERVIEW

1.1 Introduction

KEITH was retained by the *Habitat for Humanity* to complete a Traffic Impact Statement for the proposed Townhomes at NW 19th St in Fort Lauderdale, Florida. The Traffic Impact Statement was prepared following the City of Fort Lauderdale Unified Land Development Code (ULDC), Article 5 – Development Review Criteria, which is included in **Appendix A**. **Figure 1.1** shows the project location, and a conceptual site plan is included in **Appendix B**.



Figure 1.1: Project Location

1.2 Existing Conditions

The existing site is an empty parcel. The Parcel ID for the site is 4942-28-31-00010. A copy of the existing property information for the parcel is included in **Appendix C**.

2 PROPOSED DEVELOPMENT

2.1 Proposed Land Use

The proposed development comprises of 20 units of Townhouses and an office space for the residents of 1802 sq. ft. A copy of the conceptual site plan is included in **Appendix B**.

2.2 Trip Generation

The Institute of Transportation Engineers (ITE) Trip Generation Manual, 11th Edition was utilized to estimate the proposed development's daily and peak hour trips. Based on the proposed development, Single-Family Attached Housing (LUC) 215 and Small Office Building (LUC) 712 was applied in the trip generation calculations. The following equations were used for Daily, A.M. peak, and P.M. peak hour periods:

- **LUC 215 - Single-Family Attached Housing:**

Daily: $T=7.20(X)$ (Directional Distribution: 50% In / 50% Out)

AM Peak Hour: $T=0.48(X)$ (Directional Distribution: 31% In / 69% Out)

PM Peak Hour: $T=0.57(X)$ (Directional Distribution: 57% In / 43% Out)

- **LUC 712 - Small Office Building:**

Daily: $T=14.39(X)$ (Directional Distribution: 50% In / 50% Out)

AM Peak Hour: $T=1.67(X)$ (Directional Distribution: 82% In / 18% Out)

PM Peak Hour: $T=2.16(X)$ (Directional Distribution: 34% In / 66% Out)

The trip generation results are summarized in **Table 2.1** for the Daily, A.M. peak hour, and P.M. peak hour, and a copy of the ITE Trip Generation Rates used is included in **Appendix D**. The proposed development is expected to generate 170 Daily Trips, 13 A.M. peak hour and 15 P.M. peak hour trips. According to the City of Fort Lauderdale ULDC, Article 5, a Traffic Study is required if the development is expected to generate more than 1000 Daily Trips. Since, the proposed development is expected to generate 170 Daily trips, therefore only a Traffic Statement is prepared for this proposed development.

Table 2.1: Trip Generation

Daily Trip Generation									
Land Use	ITE Code	Intensity		Trip Generation Rate	Directional Distribution		Total Calculated Trips		
		Quantity	Units		% Entering	% Exiting	Entry	Exit	Total
Proposed Development Single-Family Attached Housing	215	20	Dwelling Units	T = 7.20 (X)	50%	50%	72	72	144
Small Office Building	712	1802	Square Feet	T = 14.39 (X)	50%	50%	13	13	26
Proposed Daily Trips							85	85	170

Source: Institute of Transportation Engineers (ITE) Trip Generation Manual, 11th Edition

A.M. Peak Hour Trip Generation									
Land Use	ITE Code	Intensity		Trip Generation Rate	Directional Distribution		Total Calculated Trips		
		Quantity	Units		% Entering	% Exiting	Entry	Exit	Total
Proposed Development Single-Family Attached Housing	215	20	Dwelling Units	T = 0.48 (X)	31%	69%	3	7	10
Small Office Building	712	1802	Square Feet	T = 1.67 (X)	82%	18%	2	1	3
Proposed Daily Trips							6	7	13

Source: Institute of Transportation Engineers (ITE) Trip Generation Manual, 11th Edition

P.M. Peak Hour Trip Generation									
Land Use	ITE Code	Intensity		Trip Generation Rate	Directional Distribution		Total Calculated Trips		
		Quantity	Units		% Entering	% Exiting	Entry	Exit	Total
Proposed Development Single-Family Attached Housing	215	20	Dwelling Units	T = 0.57 (X)	57%	43%	6	5	11
Small Office Building	712	1802	Square Feet	T = 2.16 (X)	34%	66%	1	3	4
Proposed Daily Trips							8	7	15

Source: Institute of Transportation Engineers (ITE) Trip Generation Manual, 11th Edition

3 CONCLUSION

A Traffic Impact Statement has been prepared to evaluate and estimate any traffic related impacts of the proposed development following the City of Fort Lauderdale Unified Land Development Code (ULDC) Article 5 Development Review Criteria. Based on the trip generation analysis, the proposed development is expected to generate 170 Daily Trips, 13 A.M. peak hour and 15 P.M. peak hour trips, which is less than 1000 Daily Trips; therefore, a Traffic Impact Study is not required. Additionally, the proposed development is not expected to adversely impact any surrounding roadways within the project area.

APPENDIX A

Fort Lauderdale Unified Land Development Code (ULDC)

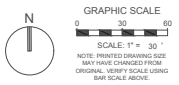
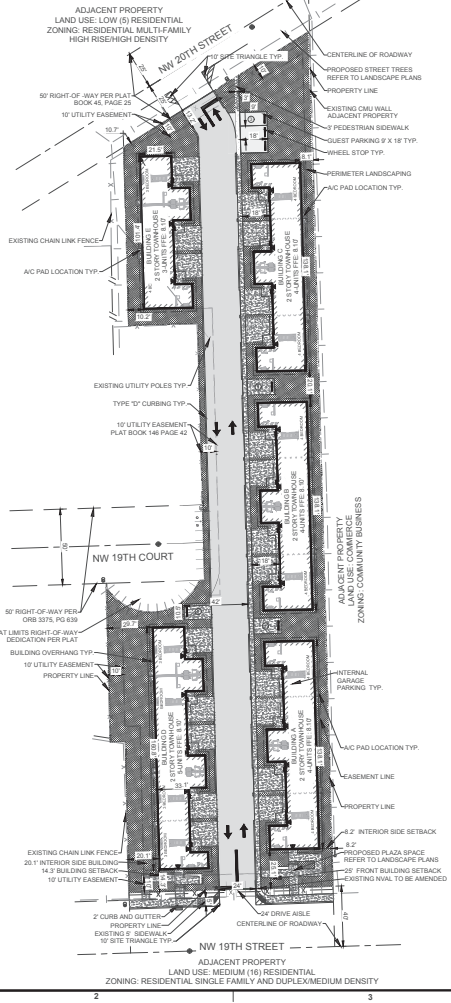
city's comprehensive plan and accepted applicable traffic engineering standards. Site-specific traffic studies may be required to be made and paid for by the applicant when the city determines such a study is required in order to evaluate the impact of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit to the city such a study to be considered as part of the DRC review. Street improvements needed to upgrade the capacity or comply with the functional classification of local streets shall be made in accordance with the city engineering standards and acceptable applicable traffic engineering standards. Local streets are those streets that are not classified as federal, state or county roadways on the functional classification map adopted by the State of Florida.

4. Traffic impact studies.

- a. When the proposed development may generate over one thousand (1,000) daily trips; or
 - b. When the daily trip generation is less than one thousand (1,000) trips; and (1) when more than twenty percent (20%) of the total daily trips are anticipated to arrive or depart, or both, within one-half (½) hour; or (2) when the proposed use creates varying trip generation each day, but has the potential to place more than twenty percent (20%) of its maximum twenty-four (24) hour trip generation onto the adjacent transportation system within a one-half (½) hour period; the applicant shall submit to the city a traffic impact analysis prepared by the county or a registered Florida engineer experienced in trafficways impact analysis which shall:
 - i. Provide an estimate of the number of average and peak hour trips per day generated and directions or routes of travel for all trips with an external end.
 - ii. Estimate how traffic from the proposed development will change traffic volumes, levels of service, and circulation on the existing and programmed trafficways.
 - iii. If traffic generated by the proposed development requires any modification of existing or programmed components of the regional or local trafficways, define what city, county or state agencies have programmed the necessary construction and how this programming relates to the proposed development.
 - iv. A further detailed analysis and any other information that the review committee considers relevant.
 - v. The traffic impact study may be reviewed by an independent licensed professional engineer contracted by the city to determine whether it adequately addresses the impact and the study supports its conclusions. The cost of review by city's consultant shall be reimbursed to the city by the applicant.
 - vi. When this subsection M.4.b. applies, the traffic study shall include an analysis of how the peak loading will affect the transportation system including, if necessary, an operational plan showing how the peak trips will be controlled and managed.
5. *Dedication of rights-of-way.* Property shall be conveyed to the public by plat, deed or grant of easement as needed in accordance with the Broward County Trafficways Plan, the city's comprehensive plan, subdivision regulations and accepted applicable traffic engineering standards.
 6. *Pedestrian facilities.* Sidewalks, pedestrian crossing and other pedestrian facilities shall be provided to encourage safe and adequate pedestrian movement on-site and along roadways to adjacent properties. Transit service facilities shall be provided for as required by the city and Broward County Transit. Pedestrian facilities shall be designed and installed in accordance with city engineering standards and accepted applicable engineering standards.
 7. *Primary arterial street frontage.* Where a proposed development abuts a primary arterial street either existing or proposed in the trafficways plan, the development review committee (DRC) may require

APPENDIX B

Conceptual Site Plan



NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING GRAPH SCALE ABOVE.

LEGAL DESCRIPTION
TRACT #1 OF "NORTH CAMERON PLAT" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 546 PAGE 42 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

NOTES
1. REFER TO SURVEY FOR FULL LEGAL DESCRIPTION
2. REFER TO ARCHITECTURE FOR INTERIOR LAYOUT



SITE DATA TABLE			
PROJECT ADDRESS: NW 19 ST FORT LAUDERDALE, FL 33311			
PROJECT INFORMATION			
LAND USE DESIGNATION:	COMMERCIAL		
ZONING DESIGNATION:	CB - COMMUNITY BUSINESS		
GROSS SITE AREA (PER SURVEY)	SQ. FT.	ACREAGE	
	60,601	1.39	
ROW DEDICATION	0		
NET SITE AREA (SF)	60,601	1.39	
GROSS BUILDING AREA (SF)			
NOTES:	1. SEE ARCHITECTURAL PLANS FOR INTERIOR BUILDING AREA		
SERVICE PROVIDERS			
POTABLE WATER:	CITY OF FORT LAUDERDALE		
SANITARY SEWER:	CITY OF FORT LAUDERDALE		
SOLID WASTE:	WASTE MANAGEMENT		
ZONING DISTRICT REQUIREMENTS			
	REQUIRED (MIN)	PROVIDED	
BUILDING HEIGHT	150'	N/A	
LOT COVERAGE	N/A	29.0%	
PERVIOUS AREA	N/A	33.7%	
VIA PERVIOUS AREA (20% OF VUA)			
SETBACK REQUIREMENTS			
	REQUIRED (MIN)	PROVIDED	
FRONT YARD (NW 20TH ST)	5'	10.7'	
INTERIOR SIDE YARD (WEST)	10'	10.2'	
INTERIOR SIDE YARD (EAST)	N/A	8.1'	
FRONT YARD (NW 19TH ST)	5'	14.3'	
SITE AREA CALCULATIONS			
	SQ. FT.	%	ACREAGE
NET SITE AREA:	60,601	100%	1.39
PERVIOUS AREA			
	SQ. FT.	%	ACREAGE
BUILDING FOOTPRINT (INCL. OVERHANG)	17,583	29.0%	0.40
VEHICULAR USE AREA/PAVEMENT	19,687	32.5%	0.45
SIDEWALKS/CONCRETE	2,815	4.6%	0.08
PERVIOUS AREA (25% MINIMUM)	20,516	33.9%	0.47
TOTAL	60,601	100%	1.39
PROPOSED USE			
	UNITS	SQUARE FEET	
RESIDENTIAL UNITS	20		
THREE-BEDROOM	13		
FOUR-BEDROOM	7		
LIVE-WORK UNITS		1,802	
RETAIL / OFFICE		1,802	
PARKING CALCULATIONS			
	REQUIRED	PROVIDED	
USE			STD. SPACES (9X18)
1 SPACE PER DWELLING UNIT (20 UNITS)	20		
OFFICE / RETAIL SERVICE 1250 SF OF A (1,802 SF)	8		
TOTAL PARKING	28	66	

KEITH
301 East Atlantic Blvd.
Pompano Beach, FL 33060
PH: (954) 788-5400

Florida Engineering Business License #C2789
Florida Surveyor and Mapper Business License #3899
Florida Landscape Architectural Business License #12389494

NO. DESCRIPTION DATE

REVISIONS

PRELIMINARY PLAN
NOT FOR CONSTRUCTION
THESE PLANS ARE NOT TO BE PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 12/09/22
DESIGNED BY: MVM
DRAWN BY: JR
CHECKED BY: PH
BID-CONTRACT:

THOMAS F. DONAHUE, P.E.
FLORIDA REG. NO. 66629
(FOR THE FIRM)

Habitat for Humanity
of Broward

PROJECT
**19TH ST TOWNHOMES
FT. LAUDERDALE -
HABITAT FOR
HUMANITY**

SHEET TITLE
SITE PLAN

SHEET NUMBER **SP-101**
PROJECT NUMBER **10431.00**

STATUS: PRELIMINARY

APPENDIX C

Existing Property Information



Site Address	NW 19 STREET, FORT LAUDERDALE FL 33311	ID #	4942 28 31 0010
Property Owner	HABITAT FOR HUMANITY OF BROWARD INC	Millage	0312
Mailing Address	888 NW 62 ST 2FL FORT LAUDERDALE FL 33309	Use	10-01
Abbr Legal Description	VICTOR CAMERON PLAT 146-42 B TRACT 'A'		

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2023 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2023	\$514,730		\$514,730	\$514,730	
2022	\$514,730		\$514,730	\$499,590	\$788.24
2021	\$454,180		\$454,180	\$454,180	\$788.24

2023 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$514,730	\$514,730	\$514,730	\$514,730
Portability	0	0	0	0
Assessed/SOH	\$514,730	\$514,730	\$514,730	\$514,730
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type 34-15	\$514,730	\$514,730	\$514,730	\$514,730
Taxable	0	0	0	0

Sales History				Land Calculations		
Date	Type	Price	Book/Page or CIN	Price	Factor	Type
12/21/2018	WD-D	\$495,000	115519442	\$8.50	60,557	SF
4/14/2015	WD-Q	\$330,000	112944641			
8/18/2008	CET-T	\$100	45706 / 666			
11/13/2006	WD	\$500,000	43186 / 348			
6/2/1997	WD	\$120,000	26554 / 426			
				Adj. Bldg. S.F.		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F3		
L								
1						60557		

APPENDIX D

Trip Generation Rates

Land Use: 215

Single-Family Attached Housing

Description

Single-family attached housing includes any single-family housing unit that shares a wall with an adjoining dwelling unit, whether the walls are for living space, a vehicle garage, or storage space.

Additional Data

The database for this land use includes duplexes (defined as a single structure with two distinct dwelling units, typically joined side-by-side and each with at least one outside entrance) and townhouses/rowhouses (defined as a single structure with three or more distinct dwelling units, joined side-by-side in a row and each with an outside entrance).

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in British Columbia (CAN), California, Georgia, Illinois, Maryland, Massachusetts, Minnesota, New Jersey, Ontario (CAN), Oregon, Pennsylvania, South Dakota, Utah, Virginia, and Wisconsin.

Source Numbers

168, 204, 211, 237, 305, 306, 319, 321, 357, 390, 418, 525, 571, 583, 638, 735, 868, 869, 870, 896, 912, 959, 1009, 1046, 1056, 1058, 1077

Single-Family Attached Housing (215)

Vehicle Trip Ends vs: Dwelling Units
On a: Weekday

Setting/Location: General Urban/Suburban

Number of Studies: 22

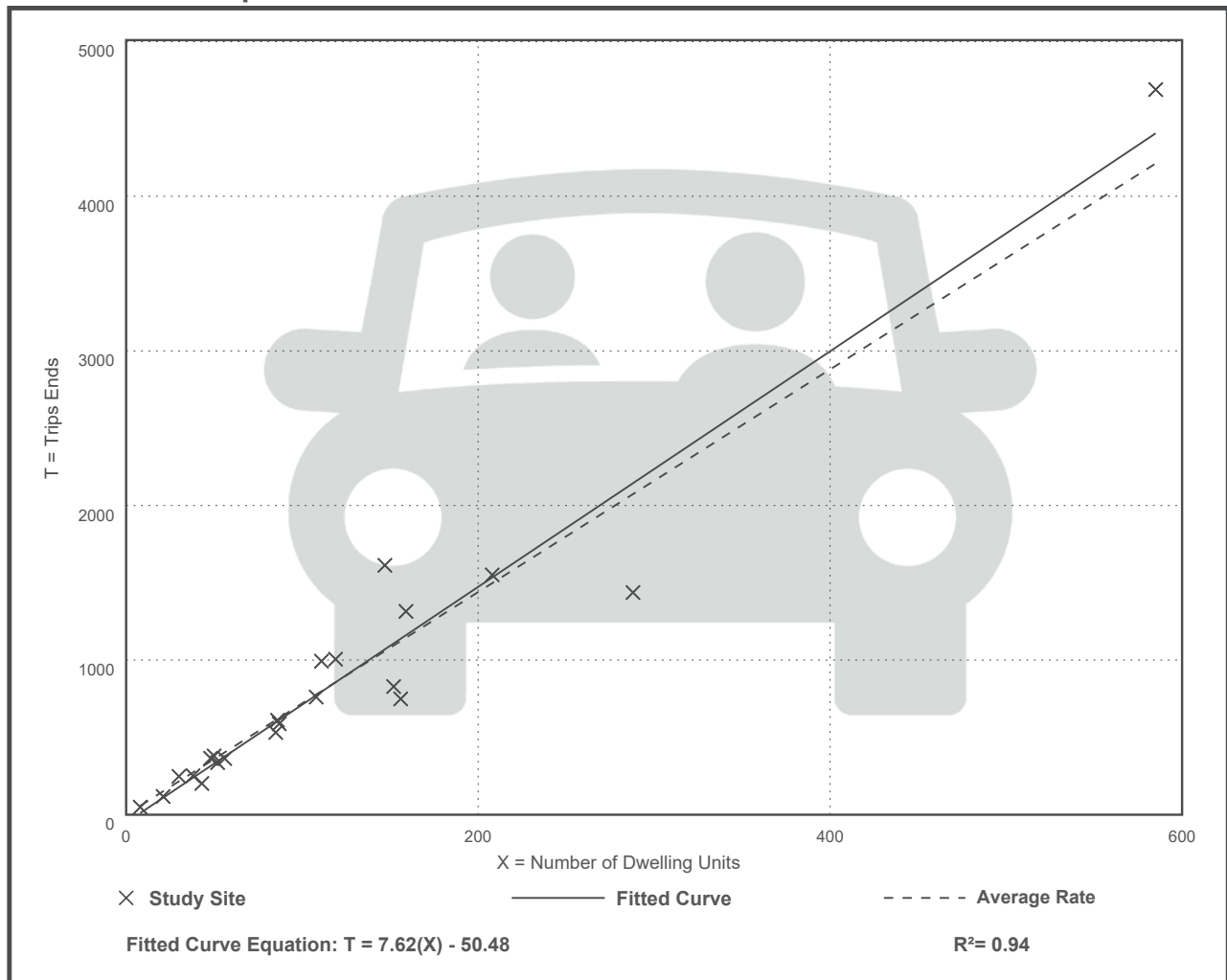
Avg. Num. of Dwelling Units: 120

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
7.20	4.70 - 10.97	1.61

Data Plot and Equation



Single-Family Attached Housing (215)

Vehicle Trip Ends vs: Dwelling Units

On a: **Weekday,**

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 46

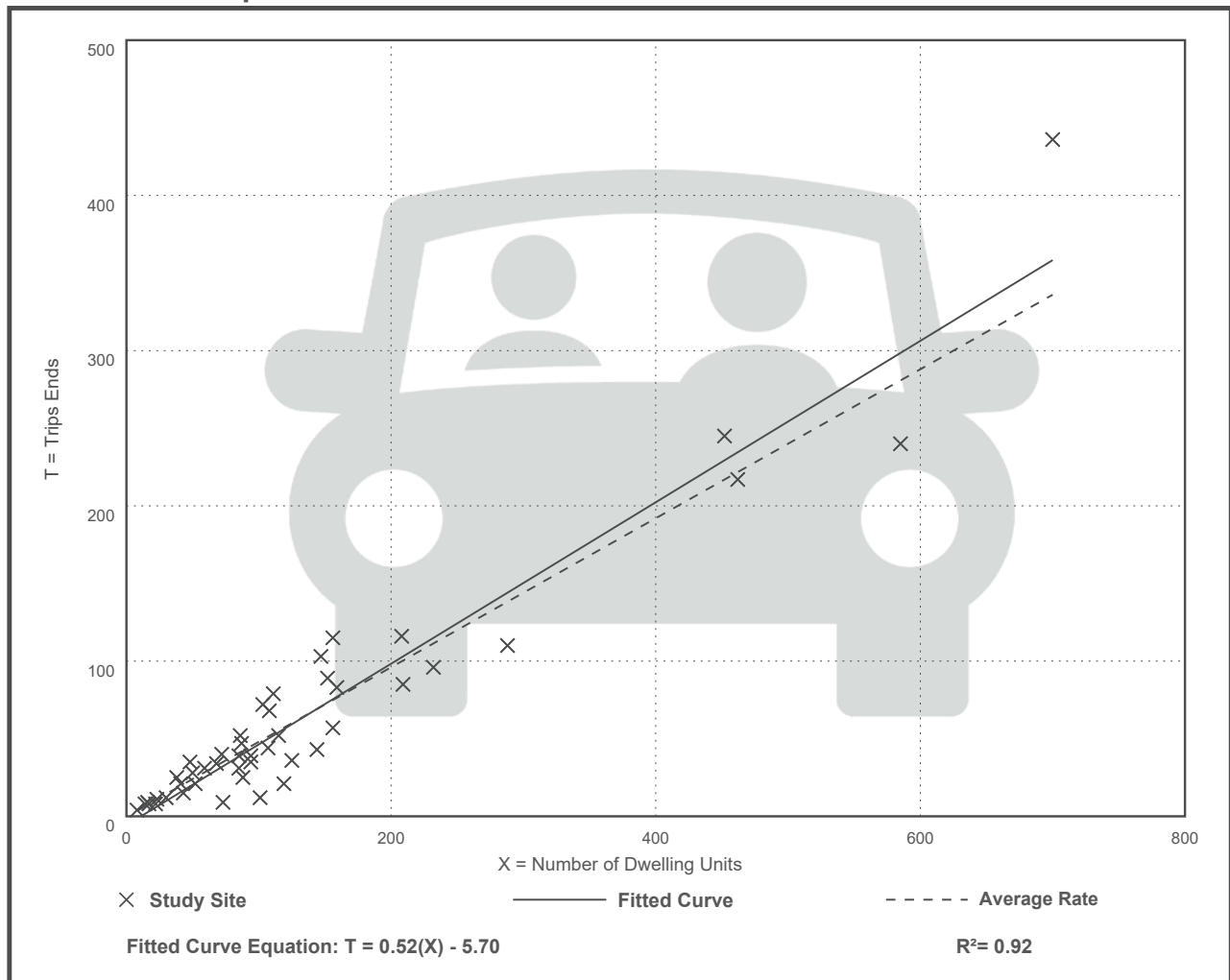
Avg. Num. of Dwelling Units: 135

Directional Distribution: 31% entering, 69% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.48	0.12 - 0.74	0.14

Data Plot and Equation



Single-Family Attached Housing (215)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 51

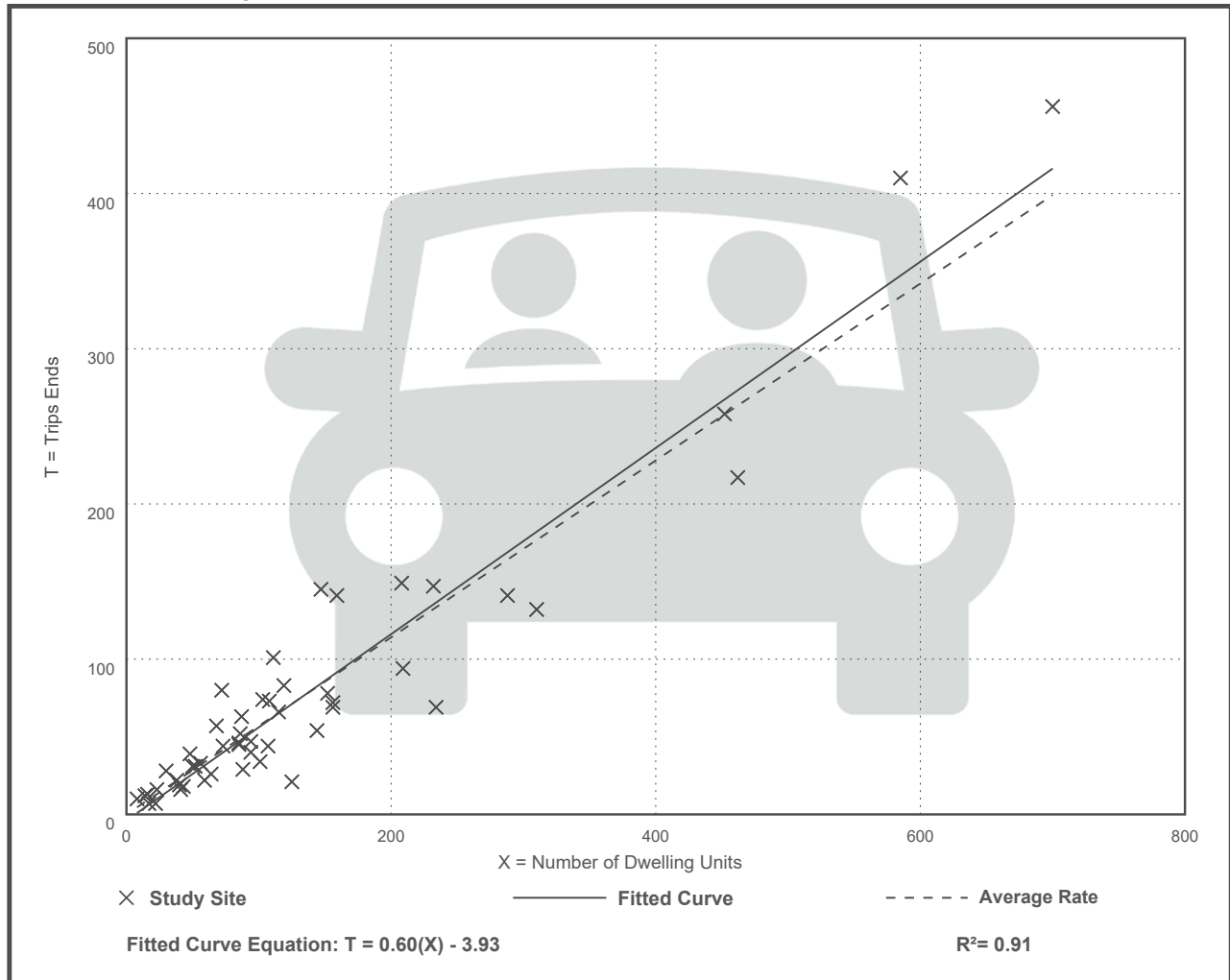
Avg. Num. of Dwelling Units: 136

Directional Distribution: 57% entering, 43% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.57	0.17 - 1.25	0.18

Data Plot and Equation



Land Use: 712

Small Office Building

Description

A small office building is the same as a general office building (Land Use 710) but with less than or equal to 10,000 square feet of gross floor area. The building typically houses a single tenant. It is a location where affairs of a business, commercial or industrial organization, or professional person or firm are conducted. General office building (Land Use 710) is a related use.

Additional Data

Attorney office, mortgage company, financial advisor, insurance agency, home health care provider, and real estate company are examples of tenants included in the small office building database. The diversity of employer types results in a wide range in employee density in the database. Densities range from a high of 1,300 to a low of 240 square feet per employee with an overall average of nearly 600 square feet per employee (a value much larger than the average observed in a general office building study sites).

In addition to the significant difference in employee density, small office buildings tend to be dominated by a single tenant (or very few) that are more service-oriented than a typical general office building. The result is more frequent and regular visitors and higher trip generation rates.

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

The sites were surveyed in the 1980s and the 2010s in Alberta (CAN), California, Texas, and Wisconsin.

Source Numbers

418, 890, 891, 959, 976

Small Office Building (712)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban

Number of Studies: 21

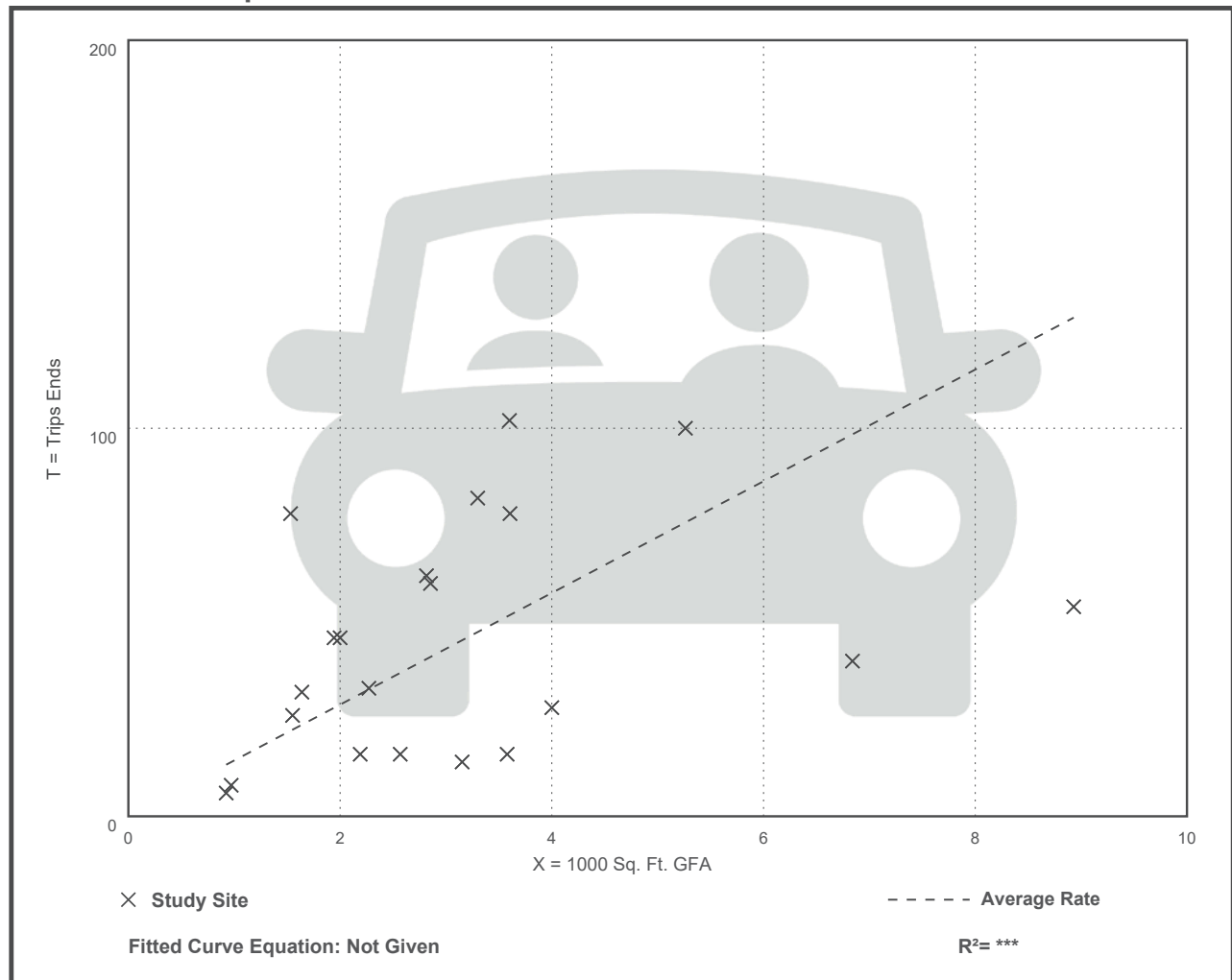
Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
14.39	4.44 - 50.91	10.16

Data Plot and Equation



Small Office Building (712)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 21

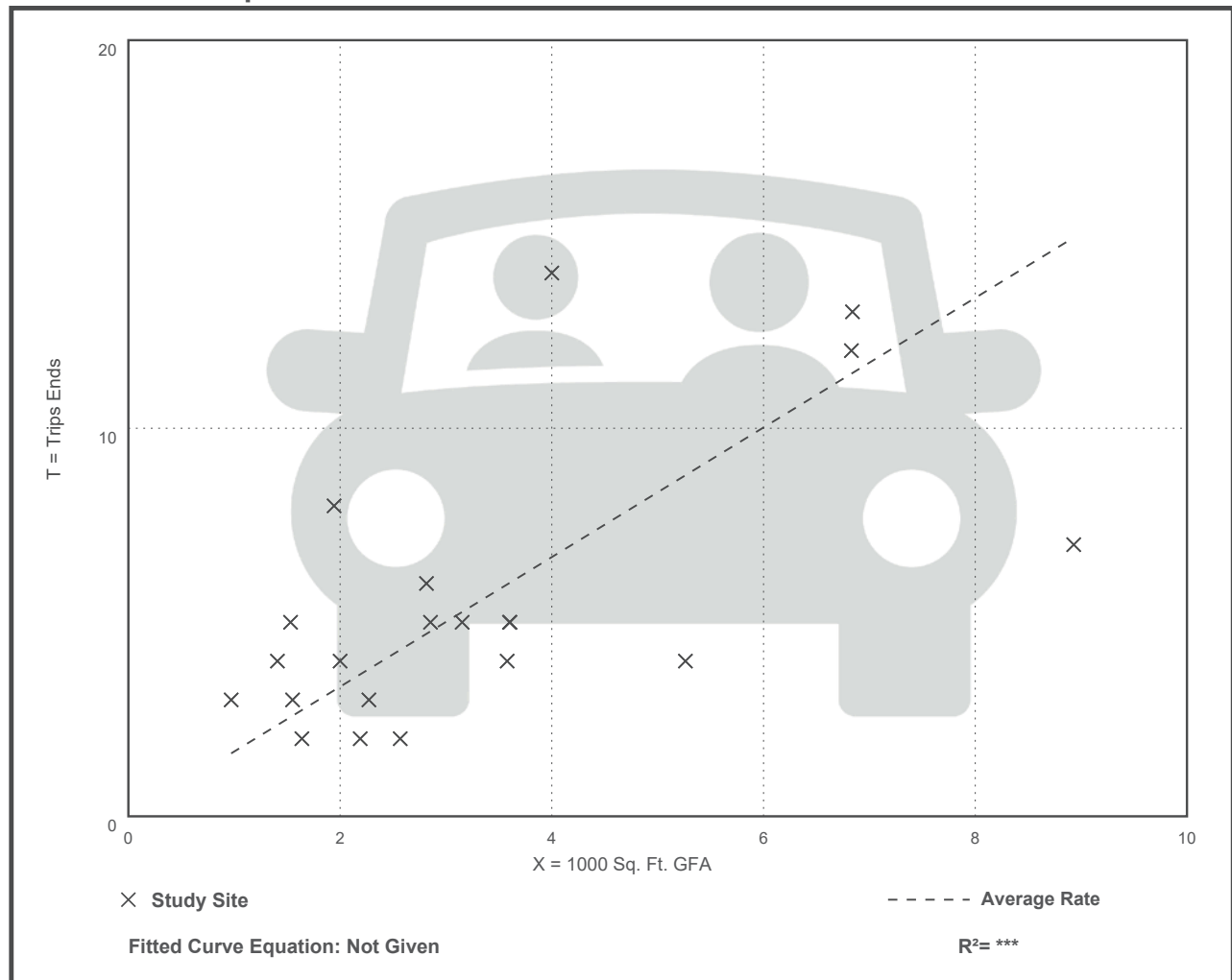
Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 82% entering, 18% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
1.67	0.76 - 4.12	0.88

Data Plot and Equation



Small Office Building (712)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 21

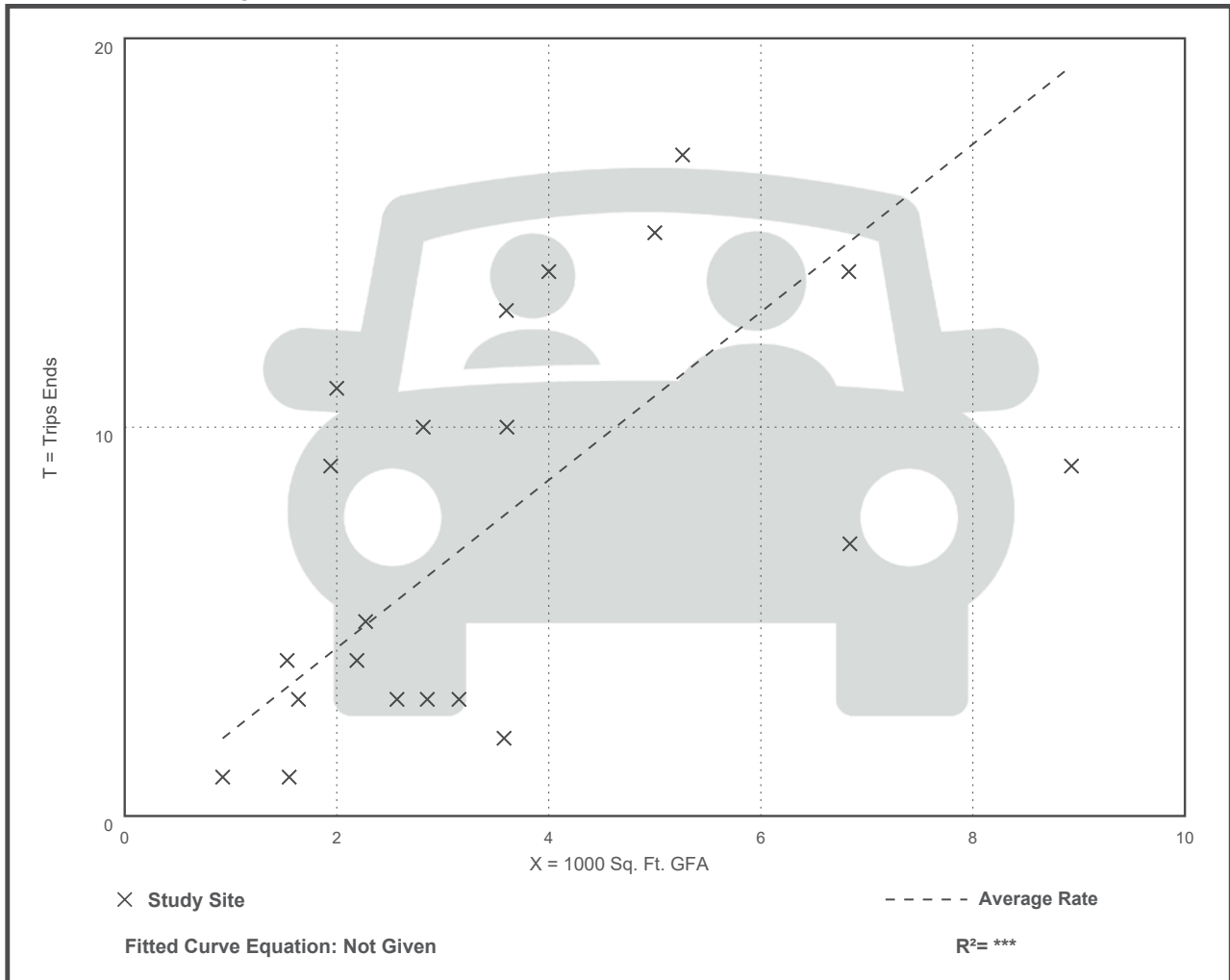
Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 34% entering, 66% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
2.16	0.56 - 5.50	1.26

Data Plot and Equation





LETTER OF AUTHORIZATION

City of Fort Lauderdale
Urban Design and Planning Division
700 NW 19th Ave
Fort Lauderdale, FL 33311

Broward County
Urban Planning Division
1 N University Drive
Plantation, FL 33324

RE: Habitat for Humanity Broward
NW 19TH ST
Fort Lauderdale, FL 33311

Folio: 4942 28 31 0010

To Whom It May Concern:

I, NANCY ROSIN, am the authorized agent of HABITAT FOR HUMANITY OF BROWARD INC, the owner of property located at NW 19TH ST and described in the legal description.

TRACT 'A', OF "VICTOR CAMERON PLAT", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 146, PAGE 42, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

Said land is situated in the City of Fort Lauderdale, Broward County, Florida.

We hereby authorize Keith & Associates, Inc. (KEITH), to act on our behalf to submit all necessary applications for entitlement and development related issues.

Signature of owner/agent

Print Name

[Handwritten signature of Nancy Rosin]

NANCY ROSIN, CEO

Sworn and subscribed to before me this 30th day of November, 2022

He/she is personally known to me or
Has presented as identification.

[Handwritten signature of Zayn Frost]
Signature of Notary Public

[Handwritten signature of Denise Peterson] 11/30/22
Witness Date

Zayn Frost
Print Name

[Handwritten signature of Xena von] 11/30/2022
Witness Date



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CITY OF FORT LAUDERDALE

DEPARTMENT OF SUSTAINABLE DEVELOPMENT • BUILDING SERVICES DIVISION

ADDRESS VERIFICATION

CONTACT: Devon Anderson
Phone: 954-828-5233
Email: DAnderson@fortlauderdale.gov

PROJECT ADDRESS: 1040 NW 20 ST, 33311

PREVIOUS ADDRESS: 1040 NW 20 ST, 33311

NOTES: NEW 20-UNIT TOWNHOME DEVELOPMENT

ZONING: CB

FOLIO #: 494228310010

LEGAL DESCRIPTION: VICTOR CAMERON PLAT 146-42 B TRACT 'A'

DRC #: _____

AUTHORIZED SIGNATURE:  _____

DATE: 12/01/2022



Site Address	NW 19 STREET, FORT LAUDERDALE FL 33311	ID #	4942 28 31 0010
Property Owner	HABITAT FOR HUMANITY OF BROWARD INC	Millage	0312
Mailing Address	888 NW 62 ST 2FL FORT LAUDERDALE FL 33309	Use	10-01
Abbr Legal Description	VICTOR CAMERON PLAT 146-42 B TRACT 'A'		

The just values displayed below were set in compliance with Sec. 193.011, Fla. Stat., and include a reduction for costs of sale and other adjustments required by Sec. 193.011(8).

* 2022 values are considered "working values" and are subject to change.

Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2022*	\$514,730		\$514,730	\$499,590	
2021	\$454,180		\$454,180	\$454,180	\$788.24
2020	\$454,180		\$454,180	\$454,180	\$788.24

2022* Exemptions and Taxable Values by Taxing Authority

	County	School Board	Municipal	Independent
Just Value	\$514,730	\$514,730	\$514,730	\$514,730
Portability	0	0	0	0
Assessed/SOH	\$499,590	\$514,730	\$499,590	\$499,590
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type 34-15	\$499,590	\$514,730	\$499,590	\$499,590
Taxable	0	0	0	0

Sales History				Land Calculations		
Date	Type	Price	Book/Page or CIN	Price	Factor	Type
12/21/2018	WD-D	\$495,000	115519442	\$8.50	60,557	SF
4/14/2015	WD-Q	\$330,000	112944641			
8/18/2008	CET-T	\$100	45706 / 666			
11/13/2006	WD	\$500,000	43186 / 348			
6/2/1997	WD	\$120,000	26554 / 426			

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F3		
L								
1						60557		



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Not For Profit Corporation
HABITAT FOR HUMANITY OF BROWARD, INC.

Filing Information

Document Number	769100
FEI/EIN Number	59-2320573
Date Filed	06/24/1983
State	FL
Status	ACTIVE
Last Event	AMENDMENT
Event Date Filed	09/17/2020
Event Effective Date	NONE

Principal Address

888 NW 62ND ST
2ND FLOOR
FORT LAUDERDALE, FL 33309

Changed: 02/14/2022

Mailing Address

888 NW 62ND ST
2ND FLOOR
FORT LAUDERDALE, FL 33309

Changed: 02/14/2022

Registered Agent Name & Address

Robin, Nancy L
888 NW 62ND ST
2ND FLOOR
FORT LAUDERDALE, FL 33309

Name Changed: 07/07/2016

Address Changed: 02/14/2022

Officer/Director Detail

Name & Address

Title TREA

PALMER, STEPHEN R
888 NW 62ND ST
2ND FLOOR
FORT LAUDERDALE, FL 33309

Title SECRETARY

BARRON, ROBERT
350 EAST LAS OLAS BLVD STE 1000
FT LAUDERDALE, FL 33301

Title CEO

Robin , Nancy
888 NW 62ND ST
2ND FLOOR
FORT LAUDERDALE, FL 33309

Title P

KELLY, KOLB
401 E LAS OLAS BLVD - STE. 2250
FT. LAUDERDALE, FL 33301

Title T

PARDO, LILY
888 NW 62ND ST
2ND FLOOR
FORT LAUDERDALE, FL 33309

Annual Reports

Report Year	Filed Date
2020	01/07/2020
2021	04/13/2021
2022	02/14/2022

Document Images

02/14/2022 -- ANNUAL REPORT	View image in PDF format
04/13/2021 -- ANNUAL REPORT	View image in PDF format
09/17/2020 -- Amendment	View image in PDF format
01/07/2020 -- ANNUAL REPORT	View image in PDF format
01/29/2019 -- ANNUAL REPORT	View image in PDF format
01/16/2018 -- ANNUAL REPORT	View image in PDF format
10/26/2017 -- Amendment	View image in PDF format
04/04/2017 -- ANNUAL REPORT	View image in PDF format
07/07/2016 -- AMENDED ANNUAL REPORT	View image in PDF format
03/21/2016 -- ANNUAL REPORT	View image in PDF format
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