



DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

MEETING DATE: January 24, 2023

**PROPERTY OWNER /
APPLICANT:** Cypress Creek Leaseholder, LLC.

AGENT: Robert Lochrie, Lochrie & Chakas, P.A.

PROJECT NAME: WP Aspire Cypress Creek

CASE NUMBER: UDP-S22083

REQUEST: Site Plan Level II Review: Mixed-Use Development with
345 Multifamily Residential Units and 4,519 Square-Foot
Commercial Use in Uptown Project Area

LOCATION: NW 60th Street

ZONING: General Business District (B-2)

LAND USE: Commercial

CASE PLANNER: Michael Ferrea



Case Number: UDP-S22083

CASE COMMENTS:

Please provide a response to the following:

1. Dimension accessibility requirements to site per 2020 FBC Accessibility Code.
2. Show that exits stairways discharge directly to the exterior of the building leading to the public way FBC 1028.
3. Exterior exit door must be readily visible and identifiable from interior exit stairways terminating at a lobby per section 1028.1.1.1 of the FBC.

GENERAL COMMENTS

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. FBC Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances and accessed at;

- a. https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

Please consider the following prior to submittal for Building Permit:

1. On December 31st, 2020 the 7th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations:
 - b. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services>
 - c. https://floridabuilding.org/bc/bc_default.aspx
 - d. <http://www.broward.org/codeappeals/pages/default.aspx>

General Guidelines Checklist is available upon request.



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DEDICATION OF RIGHTS-OF-WAY: Per ULDR Section 47-25.2.M.5, property shall be conveyed to the public by plat, deed or grant of easement as needed in accordance with the Broward County Trafficways Plan, the city's comprehensive plan, subdivision regulations and accepted applicable traffic engineering standards:

- a. Provide copy of Florida Department of Transportation (FDOT) Pre-application meeting memorandum or approval letter as applicable for the proposed improvements along South Atlantic Boulevard. For meeting request or for additional information please contact FDOT District 4 Access Manager at **D4AccessManagement@dot.state.fl.us**
- b. Provide permanent Sidewalk Easement as appropriate along east side of N Andrews to accommodate portion of pedestrian clear path (coordinate required width with FDOT and TAM) that may be located beyond public Right-of-Way; show / label delineation in the plans.
- c. Provide permanent Sidewalk Easement as appropriate along south side of E Cypress Creek Road to accommodate portion of pedestrian clear path (coordinate required width with BCHCED and TAM) that may be located beyond public Right-of-Way; show / label delineation in the plans.

CASE COMMENTS:

Prior to Final DRC sign-off, please provide updated plans and written response to the following review comments:

1. Please provide a letter of no objection from Broward County for the vacation of the existing water easements.
2. Please provide a letter of no objection from FPL for the vacation of the existing FPL easements located within the property lines.
3. Proposed ingress point along NW 60th St is located within an limited access right of way line.
4. Provide disposition of existing utilities on-site and within the adjacent right of way that maybe impacted by the proposed development. Label information on plans (i.e. utility to remain/ be relocated/ removed). Provide correspondence from utility owner (as applicable) and depict any additional requirements they may have on plan (i.e. easements). Utilities include but are not limited to above and underground water, sewer, drainage, electrical, communications, light/power poles, down guys, fire hydrants, manholes, etc.
5. On sheet C300 proposed silt fence and construction fence shall be contained within private property limits.
6. Proposed required on-site improvements (i.e. building terrace, building foundation, building doors, etc.) shall not be constructed within existing or proposed right of way/ dedications/ easements. If encroachments are proposed, provide correspondence from FDOT indicating the same is allowed. Please verify improvements adjacent to E Cypress Creek Rd.
7. Clearly indicate on plans the limits of construction and how the proposed improvements will transition into the existing (on-site and off-site) as applicable. Please depict connections/crosswalks to adjacent sites.
8. Depict/ label existing/ proposed stop sign/ bar on right of way adjacent to the site and on driveway connections to right of way as applicable. PI



9. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges), alleys with alleys (15' measured from intersection point of extended property lines), alleys with streets (15' measured from intersection point of extended property lines), and streets with streets (25' measured from intersection point of extended property lines). The request for reduction of sight triangle dimensions is subject to review by the City Engineer on a case-by-case basis. Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35. Ensure sight triangles are also depicted on adjacent driveways that would be impacted by proposed improvements on this project. Sight triangles located at the intersection of a local street or driveway with a right-of-way under County, State or Federal jurisdictions, are subject to the sight visibility requirements of those jurisdictions.
10. Clearly depict trash enclosure on site plan. Show truck turning movements in and out the proposed dumpster enclosure/ building as applicable. Ensure sufficient height clearance is provided within garage for truck access.
11. Per ULDR Section 47-20.17, show and label on Site Plan the Vehicle Reservoir Spaces (VRS) required for the proposed development – a minimum 10' x 20' area for each vehicle to be accommodated for the temporary stopping of a vehicle awaiting service, which shall be located in an area within a parking facility which is not used for any other vehicular use such as access, parking, site circulation or loading. Each VRS shall be in a location that does not conflict or interfere with other traffic entering, using or leaving the site; design configuration shall be such that there shall be no backing into the street permitted. Clarify whether the proposed parking is 100% valet or not. Depict information on site plan data table/ plans accordingly.
12. Label on Site Plan Data Table the required and proposed type of loading zone(s) required, per ULDR Section 47-20.2 Table 2 and Section 47-20.6; also label location of ADA van-accessible parking stalls. If applicable.
13. For all levels in the parking garage:
 - a. Per ULDR Section 47-20.9.A, parking garage sloping floor grades shall not exceed 5% and 4%, adjacent to 90-degree and 60-degree angle parking stalls, respectively; angle parking on sloping floors shall be minimum 60 degrees. Ramp grades shall have 12% maximum slope where not adjacent to parking stalls.
14. Per ULDR Sec. 47-20.13.D - On-site stormwater retention shall be provided in accordance with the requirements of the regulatory authority with jurisdiction over stormwater management System. Therefore, please provide drainage calculation showing proposed design will meet applicable South Florida Water Management District design criteria.
15. Please provide reasonable assurances that the drainage system will be able to be effectively operated and maintained. Response shall include the following at a minimum:
 - a. Detailed information regarding the structural design of the building and provide a certified geotechnical and structural engineering analysis to demonstrate that the proposed drainage system will not undermine the structural components of the building.
 - b. Provide plans demonstrating how will the drainage structures will be accessible by equipment required to maintain the system and or replaced the system in the event of failure.
16. Show and label all existing and proposed utilities (utility type, material and size) on civil and landscaping plans for potential conflict. A min. 5 feet and 10 feet horizontal clearance horizontal separation is required between city utilities infrastructure and proposed small and large trees,



respectively (including proposed water and sewer services to the development). Any new trees (located within or adjacent to City Right-of-Way) should be placed with sufficient horizontal and vertical distances (per City, County, and State guidelines) to / from City's public infrastructure, including stormwater assets, to allow for continued Public Works maintenance without obstruction. If this cannot be accommodated due to field conditions, then the developer shall relocate the existing City's public infrastructure to resolve the conflict(s) and to comply with City's, County's & State's engineering standards/permits/policies. Ensure separation is provided and include a note regarding horizontal clearance requirement on the landscape plans.

17. Discuss how surface runoff from the proposed development (between building and Right-of-Way boundaries) will be mitigated such that it won't be conveyed into the adjacent existing public storm drain infrastructure or waterways, and whether additional infrastructure will be required within City Right-of-Way (coordinate as appropriate with the respective FDOT and BCHCED agencies for mitigation of additional runoff within those jurisdictions). Show location of building roof drains, and their proposed connection(s) to the on-site drainage system.

For Engineering General Advisory DRC Information, please visit our website at <https://www.fortlauderdale.gov/home/showdocument?id=30249>

Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.



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CASE COMMENTS:

Please provide a response to the following: Prior to Final DRC sign off and update plans and provide a narrative with a written response for each comment.

Comment 1

Provide elevations of ground floor (first floor) and any floors below in feet using the NAVD 88 DATUM on Architectural floor plan. The elevation sheets do not show any FFE in feet using the NAVD 88 datum please provide.

Finish Floor Elevation should meet BFE 8' + 1' Freeboard = 9' NAVD 88. The preliminary flood maps show panel 359J with a base flood elevation of 8' NAVD 88. The 2014 FIRM shows Flood Zones, (359H, BFE 8' /AE/AH.

Show the following finish floor elevations (FFE) of all enclosed rooms on first-floor elevations. (Floodproofing is allowed for mixed use buildings only.

Mixed-use building: Building that has both residential and commercial or other non-residential uses. https://www.fema.gov/sites/default/files/documents/fema_technical-bulletin-6_1-2021.pdf

Comment 2

Show all FFE elevations of parking garage below the (Base Flood Elevation 8' (BFE) NAVD 88.) and all rooms below and floors below BFE Base Flood Elevation. (**Sheet LS-0.1 level 1**)

Flood Resistant Design and Construction ASCE 24-14 (section 2.7 Enclosures Below Design Flood Elevation)

Comment 3

Site Plan & Data (Provide flood zone information) and Site Plan should provide the following details:

- Delineations of flood hazard areas
- Flood Zones (359J), (BFE 8' NAVD 88) & (AH), preliminary)
- Flood Zones, (359H, BFE 8' /AE/AH (2014 FIRM)
- Finish Floor Elevation (BFE 8' + 1' Freeboard= 9' (FFE)

The preliminary flood maps show a (BFE 8 ft. NAVD 88: Please note that the once the flood preliminary maps become effective that the (BFE) Base Flood Elevation of 8' + 1' freeboard =9 feet NAVD 88 for the (FFE) finish floor elevation will need to be met). Unless you have obtained a building permit prior to the Preliminary maps becoming effective.

The site plan should show the flood zone delineation and how the flood zones and what flood zones impact this project.

Presently due to HB 401 effective July 1, 2021, currently we are only able to enforce the 2014 FIRM. But when the Flood Insurance Rate Maps change to the higher elevations shown on the preliminary maps then we will be requiring that the new BFE 8' + 1' =9 'NAVD 88 will need to be meet for all finish floor elevations (FFE).

(Code of Ordinances, Chapter 14),

https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA



Comment 4

Per FEMA Elevator Installation (NFIP Technical Bulletin 4/ June 2019) see link below:

- A) Elevate all equipment above (BFE 8 ft. + 1')
- B) Cloud on plans that a (float switch) will be installed
- C) Link provided

https://www.fema.gov/sites/default/files/2020-07/fema_tb4_elevator_installation.pdf

Additional Code Reference Material

Florida Building Code (7th edition) Flood Resistant Provision

https://portal.floridadisaster.org/mitigation/SFMP/External/Community%20Resources/Florida%20Building%20Code%20Resources/7th%20Ed_FBC_FloodProvisions_Nov2020r.pdf

City of Fort Lauderdale Flood Ordinance

https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeld=COOR_CH14FLMA

Highlights of ASCE 24-14 Flood Resistant Design and Construction (FEMA)

<https://portal.floridadisaster.org/mitigation/SFMP/External/Community%20Resources/Florida%20Building%20Code%20Resources/highlights-of-asce-24-14-flood-resistant-design-and-construction.pdf?Web=1>

Per FEMA Elevator Installation (NFIP Technical Bulletin 4/ June 2019)

https://www.fema.gov/sites/default/files/2020-07/fema_tb4_elevator_installation.pdf

FEMA Technical Bulletin -6.1 2021

Mixed-use building:

https://www.fema.gov/sites/default/files/documents/fema_technical-bulletin-6_1-2021.pdf



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CASE COMMENTS:

Please provide a response to the following.

1. There is a discrepancy between the existing site survey, tree disposition survey, and Arborist information. The Arborist indicates 296 trees on site, existing site survey indicates those not shown on the tree disposition survey of which 78 are shown. Please indicate all trees and palms within the city limits and provide the calculated information for permit purposes and mitigation. Please indicate those to be impacted within the Oakland Park city limits that will be under their jurisdiction.
2. Please verify requirements of Section 47-21.12. as it appears that the tree brake down percentages is not being met. It appears that there is area of which trees may be located to count toward the on-site VUA requirements. The east side between the handicap stall and parking spaces to the south and the southeast corner just beyond the loading and bus area.
3. Approval from jurisdiction for landscape installation in Right of Way preferred prior to final DRC sign off. If jurisdiction approval is obtained after DRC final sign off and the plans require any change, Administrative Review will be required prior to permit review.
4. Additional comments may be forthcoming after next review of new plans and written comment responses.

GENERAL COMMENTS

The following comments are for informational purposes.

Please consider the following prior to submittal for Building Permit:

1. A separate sub-permit application for Tree Removal, Relocation, and General Landscaping for site is required at time of master permit submittal. These are Landscape and Tree permit application documents different than the Broward County standard applications. Please do not submit for tree removal at this time of DRC submittal.
2. Note that tree removal at time of demolition will not be permitted unless the Master Permit for redevelopment has been submitted for review.
3. Proposed landscaping work in the City's right of way requires engineering approval. This approval requires documents to be submitted for Engineering review. Note that Landscape will not approve permit review without these Engineering documents being submitted.



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CASE COMMENTS:

Please provide a response to the following:

1. Residential and retail units' entry and exterior doors should be solid, impact-resistant, or metal.
2. Residential units' entry doors should be equipped with a quality secondary deadbolt locking system and have a 180-degree peephole or viewport for security.
3. Retail unit doors exterior doors should be equipped with burglary resistant lock systems like door pins or lock security plates.
4. The site should be equipped with a comprehensive CCTV system that is capable of retrieving an identifiable image of an individual on-site. The system should cover all entry-exit points, parking garage, common areas, mailroom, storage areas, and any sensitive area of the site.
5. Ground-level stair doors should be egress only or access controlled. Stair doors into floors should be access controlled.
6. All elevator lobbies and/or elevators should be access controlled.
7. The parking garage resident's levels should be equipped with vehicular access control systems to prevent unauthorized intrusion or access to residents' vehicles.
8. Light reflective paint should be used in the parking garage to increase visibility and safety.
9. Easily identifiable emergency communication devices should be available at the pool areas, common areas and the parking garage.
10. There should be child-proof safety features to prevent unsupervised children access to the pool.
11. Retail tenant employees should only have access to their respective duty areas and not to the residential tenant amenities area unless their duties require it.
12. Lighting and landscaping should follow C.P.T.E.D. guidelines.

GENERAL COMMENTS

It is highly recommended that the managing company make arrangements for private security during construction.

Please submit responses in writing prior to DRC sign off.



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CASE COMMENTS:

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your business creates, and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
4. Solid Waste charges shall be included in monthly maintenance fee as prescribed in owner's association documents (multi-family).
5. Solid Waste charges shall be collected in monthly lease with Sanitation account for property under one name (Commercial).
6. Solid waste collection shall be from a private loading area.
7. Confirm where the collection will take place within the site.
8. Indicate how trash and recycling collection will take place at the site.
9. Provide on the site plan a garbage truck turning radii for City review. Indicate how truck will circulate within property.
10. Consult DRC Engineering staff to ensure adequate vehicle height and width clearance, configuration for accessibility to containers, and to confirm circulation standards are met.
11. Show containers on site plan. Trash room must accommodate trash and recycle containers.
12. Provide letter from chute company indicating make and model of proposed equipment and that it will meet the capacity needs of building.
13. Trash Room services will be handled by private collector, or Trash Room services will be done by on site personnel, or Trash Room services will be done by custodial staff.
14. Containers: must comply with 47-19.4
15. Submit a Solid Waste Management Plan on your letterhead containing name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
 - o This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to dwilson@fortlauderdale.gov. Letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and container requirements to meet proposed capacity.
 - o Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.

GENERAL COMMENTS

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. None



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CASE COMMENTS:

1. Submit a formal sign and sealed traffic impact statement and include the trip generation formulas and sheets from the ITE trip generation manual. If a traffic study is needed Pursuant to 47-25.2.M.4. Applicant must fund City's review by consultant and pay a \$4,000 deposit prior to scheduling a methodology meeting after which the study will be prepared, transmitted and reviewed by the City's consultant. Staff and consultant's review concerns shall be adequately resolved prior to gaining authorization for either the Planning & Zoning Board or City Commission hearings. Take into consideration that the review of this study, once submitted, will take about 4-6 weeks once all documents are received.
2. The residential parking must not be included in the shared parking analysis. The residential parking must only be dedicated towards residential use. The proposed Hotel and Retail uses may be used in the shared parking analysis.
3. Include a table showing the proposed land uses, the floor area in square feet for each land use, the parking ratio, the number of parking spaces required by type, and the number of parking spaces proposed by type (standard, compact, handicapped, bicycle, loading, etc.). ULDR Sec. 47-20.2. - Parking and loading zone requirements.
4. All parking must be provided in accordance with design and construction standards of the ULDR Section 47-20.11. Show dimensions for: stall width, depth of stall 90 degrees to aisle, aisle width, width of stall parallel to aisle, module width, angle of parking stalls. Properly dimension the parking stall dimensions on the plan sets.
5. Show inbound and outbound stacking requirements from the property line to the first conflict point according to Section 47-20.5 General design of parking facilities for each proposed driveway. Please note that if there is proposed gate at the ingress and egress points for this development, the gate will be considered the first conflict point.
6. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges), alleys with alleys (15' measured from intersection point of extended property lines), alleys with streets (15' measured from intersection point of extended property lines), and streets with streets (25' measured from intersection point of extended property lines). The request for reduction of sight triangle dimensions is subject to review by the City Engineer on a case-by-case basis. Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35.
7. All internal circulation and queuing areas must be designed to accommodate the turning radii of the vehicles that will be using the site. Provide auto turn vehicular paths to depict how the ground floor site circulation will work.
8. Provide correspondence from Broward County Transit that they in acceptance of the proposed transit stop relocations.



9. Provide a minimum of 10 feet wide on **Cypress Creek Rd**. This minimum is in reference to clear, unobstructed pathways –Light poles, trees and landscaping is not to be included in this zone. Landscaping should be between the sidewalks and back of curb and a minimum of 5 feet in width..
10. Provide a minimum of 10 feet wide on **Andrews Ave**. This minimum is in reference to clear, unobstructed pathways –Light poles, trees and landscaping is not to be included in this zone. Landscaping should be between the sidewalks and back of curb and a minimum of 5 feet in width.
11. Any proposed drainage well, manhole, pull box etc. installed in the sidewalk must be flat, ADA compliant and not impact the effective width of the sidewalk clear path.
12. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices and indicate on the site plan. This includes all access to/from the site entrance. Add the dimension, clearances, and slopes of the walkways.
13. Coordinate with the I-95 Cypress Creek Rd interchange FDOT project manager Kenzot Jasmin 954-777-4462, Kenzot.Jasmin@dot.state.fl.us. FDOT's proposal may be widening or making changes to the roadway that may impact your proposed site.
14. Bicycle parking is strongly encouraged. Consult the APBP Bicycle Parking Guidelines, city of Fort Lauderdale Parking Standards and Broward County End-of-Trip Bicycle Facilities Guide. Look to provide the minimum long term and short-term bicycle parking based on requirements in the guide and include total counts on the site plan data sheet. Bicycle parking needs to be located on the site so that it is accessible to the public.
15. Additional comments may be provided upon further review.

GENERAL COMMENTS

Please address comments below where applicable.

1. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.
2. Please note that any work within the City's right-of-way will require an MOT approved by Transportation and Mobility and Engineering for permitting. Any full closures of roadways, alleys, or sidewalks that are over 72 hours will require a Revocable License Agreement (RLA) with the City of Fort Lauderdale.

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CASE COMMENTS:

Please provide a response to the following:

1. The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a listing of officially-recognized associations is provided on the City's website: <https://www.fortlauderdale.gov/departments/city-manager-s-office/office-of-neighbor-support/neighborhood-associations> and a map of neighborhood associations may be found at: <http://gis.fortlauderdale.gov>). Please provide acknowledgement and/or documentation of any public outreach.
2. The site is designated Commercial on the City's Future Land Use Map. The proposed use is permitted in this designation with the approval and allocation of flex residential units. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
3. Provide a Plat Determination Letter from Broward County Planning Council verifying whether the property needs to be platted or re-platted. If a plat or re-plat is not required, contact the Broward County, Development Management and Environmental Review Section, at (954) 357-8695 to ensure that the proposed project is consistent with the latest recorded plat restriction(s). If a plat note or non-vehicular access line (NVAL) amendment is needed, a separate application is required, which is reviewed administratively and can be found here: [Administrative Review Application](#)
4. Provide total park impact fee amount due. Park impact fees are assessed and collected at time of permit per each new hotel room and dwelling unit type. An impact fee calculator can be found at: <https://www.fortlauderdale.gov/departments/sustainable-development/building-services/park-impact-fee-calculator>
5. This project is subject to the requirements of Broward County Public School Concurrency. The applicant will notify the School Board Superintendent or designee of this proposal. Prior to submitting an application for placement on a Planning and Zoning Board or City Commission agenda, a written response from the School Board shall be provided by the applicant. Prior to application for final DRC approval, please provide confirmation from the School District that the residential development is exempt or vested from the requirements of public-school concurrency, or a School Capacity Availability Determination (SCAD) letter that confirms that capacity is available, or if capacity is not available, that mitigation requirements have been satisfied. The City cannot accept a building permit application, nor issue a building permit, for new or additional residential units, unless the applicant presents evidence from Broward County that the impact of the proposed development on public educational sites and facilities has been mitigated by payment of school impact fees.
6. Pursuant to ULDR Section 47-28, the proposed project requires allocation of residential flex units. Applications requesting residential dwelling units are subject to unit availability at the time of site plan approval on a first come, first served basis. Contact Jim Hetzel, Principal Urban Planner at jhetzel@fortlauderdale.com to verify the availability of flex units and include the flex unit request in the application project narratives. Demonstrate that the use of flexibility units meets ULDR criteria, supports and implements specific relevant goals, objectives and policies of the City's Comprehensive Plan, Land Use Element, by providing point-by-point narrative responses, on letterhead, with date and author indicated. Application submittal does not guarantee unit availability. Units will be allocated to this project and assigned accordingly upon site plan approval. Staff will advise the applicant on the status of



these units during the review and approval process. If project proposes affordable housing units, such units shall be allocated from the City's available flex affordable units.

In the event dwelling units are not available in the unified flex pool, per Unified Land Development Regulations (ULDR) Section 47-23.16.B.2.c., Broward County Land Use Plan (BCLUP) Permitted Density Bonus for Affordable Housing, bonus residential density can be applied to access residential units if the development includes a component of affordable housing or provides a payment in lieu.

7. Provide a preliminary construction staging plan which includes anticipated hours of operation on site, debris mitigation plan, and map indicating where crane operations and employee and/or equipment parking and storage will be placed. A revocable license application and a traffic circulation plan may be required if the sidewalk or right-of-way requires to be closed at any time, which should be filed under a separate application and coordinated through the City's Maintenance of Traffic (MOT) process with the Transportation and Mobility Department.
8. Pursuant to State Statute 166.033(1) the application must be deemed approved, approved with conditions, or denied within 120 days of completeness determination, on or before April 29, 2022, unless a mutually agreed upon time extension is established between the City and the applicant. Provide a statement requesting and agreeing to a waiver of this timeframe or request a specified amount of additional time to address the comments and provide sufficient time for review and approval. Failure to meet the applicable timeframe or request an extension may result in the application being denied by the City and the applicant may be required to refile a new application and fees to proceed.
9. The residential and commercial building and garage are being proposed on water easements to the east, south and west of the property. There are also two FPL easements of 12 feet and 3 feet on the east portion of the property. Provide information on how the applicant plans on addressing the easement conflict. A Letter of No Objection from Broward County may be required. Note vacation of easements is a separate application and process.
10. The project is subject to a rezoning from General Business (B-2) District to Uptown Urban Village Northeast (UUV-SE) District. In order to avoid delays, submit the following necessary documents to mferrera@fortlauderdale.gov: application, current survey, sketch and legal description, project narrative, ULDR narratives and owner authorization form.
11. The survey that was provided is not signed and sealed. Provide a signed and sealed survey.
12. Throughout the development site, it appears that improvements are being proposed outside of the property boundaries. Adjust accordingly and/or clarify.
13. The site plan depicts two separate connections to what appears to be a proposed drive-thru building to the east. Provide additional information as to the use of this property.
14. The project depicts two gyms totaling 3,177 square feet. Clarify if the gyms are open to the public, or if they are private. If the gyms are open to the public, then the parking requirements will be affected.
15. Since there appear to be no requests for deviations from the regulations, please clarify the Site Plan Level III request on application submittal and narratives and update accordingly.
16. Provide the following changes on the application:
 - a. On page 2, add the structure length in the proposed column; and
 - b. On page 3, provide preliminary meeting date



17. Provide the following changes on site plan:
 - a. On sheet SP-1, the unit mix depicts an "ST2" unit. Clarify the difference between this unit and a regular studio.
 - b. Indicate all adjacent building footprints, indicating their uses and heights, and dimension approximate setbacks.
 - c. Show centerlines of all adjacent ROWs and dimension widths. Also dimension all sidewalks on site.
 - d. There are overhead lines running through the center of the property. Indicate all utilities (both above and below ground) that would affect the proposed planting or landscape plan. Overhead lines (if any) should be placed underground. If the lines cannot be placed underground, provide documentation from Florida Power & Light Company indicating such.

18. Provide the following changes on elevations:
 - a. Corner treatments should extend past the existing roof line to create additional variation in height and to further enhance the corners overall. Refer to comment number 33(b)(3) for further information.
 - b. Sheet A-3.1 depicts a portion of the mechanical equipment two (2) inches above the parapet. Revise accordingly. Additional information has been provided in comment number 19.
 - c. On sheet A-3.1-D, overlay the architectural elements/materials to better understand the elements that are being considered of high-quality. Note that when calculating the percentage and number of high-quality materials for the first two floors, the windows on the second floor cannot be used.
 - d. The renderings and elevations do not match. The renderings do not appear to represent articulation depicted on the elevations. Revise accordingly.
 - e. Clarify the finished floor requirements per floodplain and FEMA. If the finish floor will be raised, then provide location and details for stairs and ramps.
 - f. First level floor to ceiling height is provided at 14'-6". The Uptown master Plan requires that the ground floor not be less than 15 feet. Revise accordingly.
 - g. Provide a night-time rendering of the proposed project elevations.

19. Based on the location of the proposed project, the FAA needs to review to determine whether the project is a potential hazard to aviation and in compliance with No. FAR Part 77. To initiate FAA review, access the FAA web page at <https://oeaaa.faa.gov>. FAA approval must be obtained prior to Final-DRC sign-off unless made a condition or otherwise deemed unnecessary by the City Airport Manager or designee.

20. Provide pedestrian level perspective renderings clearly indicating how the proposed development will be perceived from a pedestrian's perspective, as viewed along the public realm. Include building details, outdoor seating, and proposed landscaping. Such renderings should illustrate key aspects of the project and should also reflect the context of the area.

21. Pursuant to ULDR, Section 47-19.2.Z, Accessory Uses, Buildings, and Structures; rooftop mechanical equipment such as air conditioners, compressors, generators, etc. shall be screened with material that matches the material used for the principal structure and shall be at least six (6) inches high above the top most surface of the roof mounted structures. Address the following:
 - a. As proposed, the mechanical equipment does not appear to be adequately screened. Sheet A-3.1 depicts some of the mechanical equipment two (2) inches above the parapet.
 - b. Provide any proposed screening material including images or pictures of actual application of such of proposed building.

22. Provide a mood board and renderings depicting how the pocket park and plaza space is providing greenery, seating, and other pedestrian friendly elements for use by residents. Incorporate the dog park in the mood board and renderings to determine if the dog park can be counted towards the pocket park requirement. See example image below.

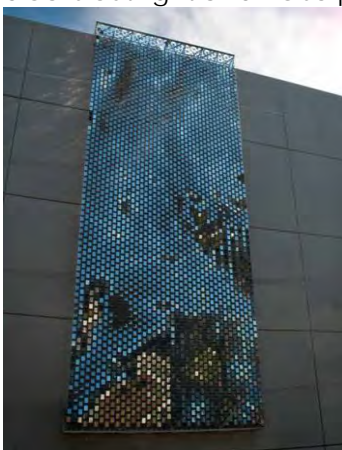


23. On sheets RE-1 through RE-6, it appears that the legend is pointing to the incorrect location. Adjust the legend accordingly.

24. Pursuant to Section 47-22.4.C.8, a master sign plan may be provided for development review associated with site plan; however, it should be noted that any proposed signs will require a separate permit application. If signage is provided during development review, detailing the following:

- a. Location and orientation of all proposed signage;
- b. Dimensions of each proposed sign (height, width, depth, etc.);
- c. Proposed sign copy; and,
- d. Proposed color and materials

25. Pursuant to Section 47-37B.6.1, the garage screening needs to incorporate additional architectural elements. Specifically, the garage is utilizing two separate screening methods: decorative screening and egg grate screening. A higher-quality material should be used to replace the egg grate screen similar to that of the decorative screening. The use of perforated metal screening is encouraged, but the use of exceptional screening solutions including articulation, variation in form and material diversification over large surface areas is needed to break up the parking garage façades. Ensure screening adequately blocks out light and noise pollution. See below for examples of screening materials.



26. As proposed, the project design does not meet the overall design intents for the Uptown area including the site layout, public realm interaction, park and plaza space, and building architectural design. The internalization of the building on the site lacks relation to the surrounding public frontages. In addition, the current design does not provide for respites for pedestrians, outdoor seating, public amenities. The building should be divided to create a much larger breezeway and connection from North Andrews Avenue to the interior road. This will not only reduce the mass and scale of the building but will also provide improved pedestrian access for pedestrians trying to access either N. Andrews Ave or the internal road. Furthermore, there is what appears to be a proposed drive-thru building to the east with pedestrian access from the northwest and west portion of the property to this proposed project. The spacing between both buildings can also be utilized to create additional pocket park/plaza gathering spaces. The division of the building will provide additional safe access to N. Andrews Avenue. The pocket park and plaza/gathering space should be extended to the north of the property, facing Cypress Creek Road. The overall building design needs improvement to reduce mass and scale. The architectural design requires stronger articulation throughout the building and the corner treatments should be extended passed the existing roof line. This can be improved by incorporating larger wall offsets, height variations, increasing the first-floor height, incorporating diversified architectural elements and accent lines. See images below regarding the creation and utilization of the space between two (2) buildings.



27. Be advised, the proposed project is being reviewed based on the proposed rezoning of the subject site from General Business (B-2) Zoning District to Uptown Urban Village Northeast (UUV-SE) Zoning District pursuant to ULDR, Section 47-37B regulations, including compliance with the UMP vision and design intents. Where appropriate, staff has commented accordingly below.

- a. As proposed, it is unclear whether the pocket park and plaza/gathering areas meet the intent of the Uptown Master Plan. Further information is needed to adequately make a determination. Generally, parks in similar contexts provide publicly accessible open space with active and passive uses where people can enjoy or socialize in the space as part of the urban fabric. The space should incorporate amenities such as bike racks, tables, benches, cafe kiosks, or space for vendors. Furthermore, such space should relate to the ground floor uses to create synergy between the park and plaza space with the building uses. Where possible, pocket parks, communal spaces, and plaza/gathering areas should be connected to greenway/multi-use trail networks via walkways and/or bike lanes to complete a cohesive linear park system for outdoor recreation, relaxation, and enjoyment within the Uptown Urban Village. As designed, the proposed pocket park lacks amenities and design features to meet this intent. Refer to images below for examples. Provide details/plan sheet depicting the amenities that will be utilized.
- b. Pursuant to Section 47-37B.6.B, the pocket park space required for this project is 34,500 square feet. Sheet A-0.3, Open Space Calculations depicts the total amount of open space requirement per open space type. However, the square footage of private amenity and pool decks can be counted toward the pocket park requirements at no greater than 40%. In addition, pocket parks



- that are connected to or adjacent to plaza/gathering space can be used to reduce the required pocket park requirement by 50%. Provide calculations with the above information.
- c. The location of the dog park to the south of the property lacks connection from the rest of the project. A majority of the residents would have to traverse much of the property to access the dog park. Relocate the dog park to a more suitable location where the majority of residents can access. An alternative option would be to provide a smaller secondary open space/park on the northern half of the site.



- d. Pursuant to ULDR, Section 47-37B.6.F, Building Design. Address the following building design requirements:
1. Provide a diagram that depicts the 2-foot building articulation required for every 100 feet of frontage.
 2. Provide additional building materials for the first two floors on all sides fronting streets that are reflective of higher quality material and note that stucco cannot count toward the materials; and
 3. Provide more architectural articulation and corner treatments vertically passed the existing roof line to emphasize the building corner on the Northeast, Southwest and Northwest corners. Cornices should also be added to several portions of the parapets to enhance the overall design of the building. See images below for examples.





- e. Pursuant to ULDR, Section 47-37B.6.I, Streetscape, as proposed, it does not appear the streetscape on the east portion meets the requirements of this section. Provide detailed cross sections for the interior road facing east, depicting the streetscape zones in relation to the building frontage. Refer to image below.



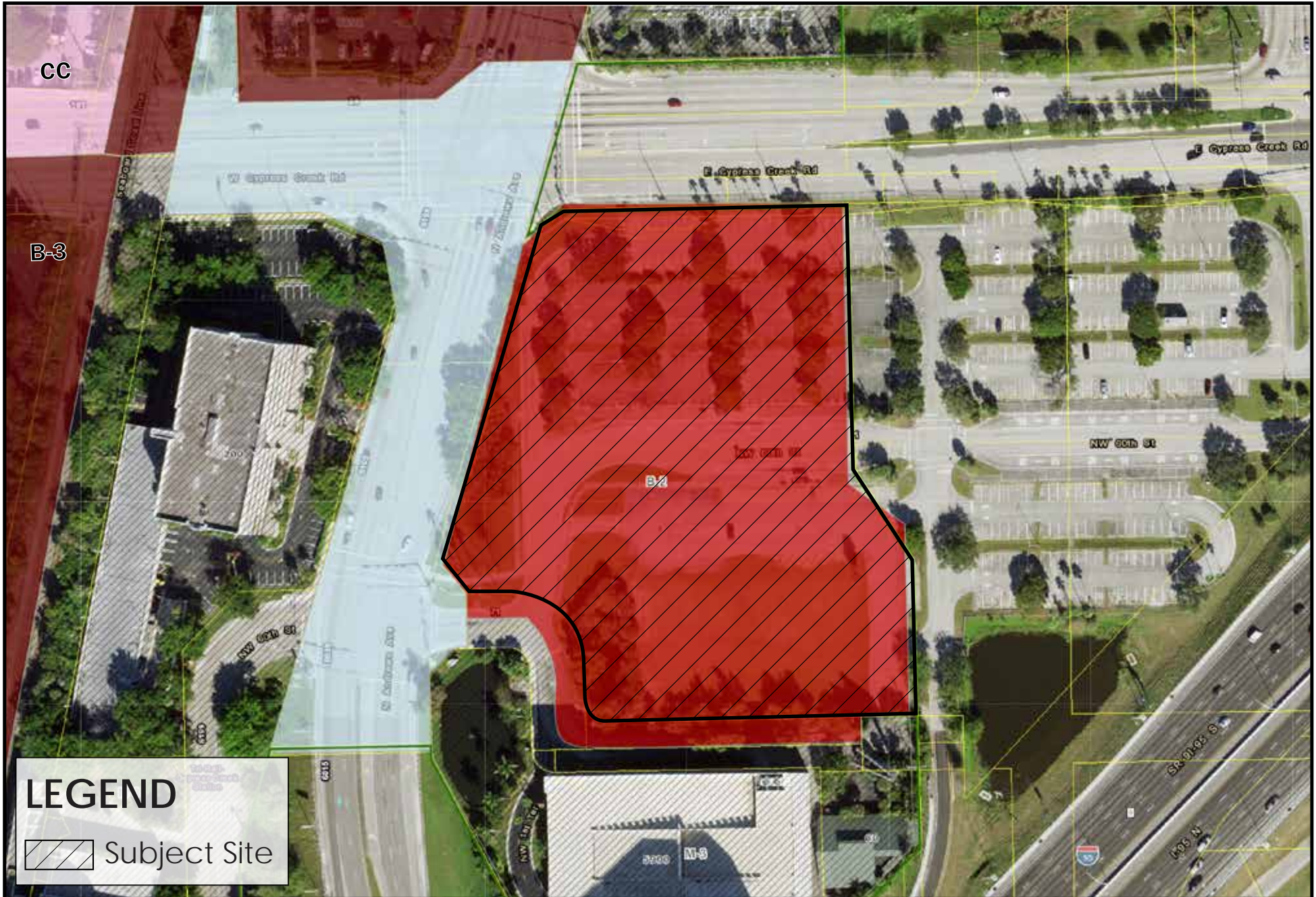
- f. Pursuant to ULDR, Section 47-37B.6.L, Sense of Place Elements. As proposed, the project does not appear to contain elements as described in this section of the ULDR. Provide more information and images of proposed sense of place elements for this project. Building illumination should also be considered as a method for complying with this section. Note that building illumination can be considered such an element.
28. Ensure the site plan package contains adequate amount of detail drawings and cross sections for: (1) frontages at key points reflecting variations in grade, design, and site elements; (2) the frontage along Cypress Creek Road and Andrews Avenue; (3) and other building design features as necessary to demonstrate compliance with Uptown regulations.
29. Per the City of Fort Lauderdale's Comprehensive Plan - Urban Design Element, Goal 2, Objective UD 2.2, Policy UD 2.2.4, the City's goal is to encourage public art features in development projects to enhance the nature of our urban spaces. Public art has been provided however, consider placing smaller art pieces throughout the pocket parks to further enhance the overall public realms and vitality of public spaces. It is encouraged that any incorporated art features are clearly visible or easily accessible to the public from adjacent public property, including sidewalks, streets or other public thoroughfares, and possess functional as well as aesthetic qualities that typically reflect an awareness of a given site, both physically and socially.
30. Be advised, additional comments may be generated based on revised plans.



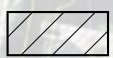
GENERAL COMMENTS

The following comments are for informational purposes.

1. If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative. All construction activity must comply with Code of Ordinances, Section 24-11, Construction sites. Contact Noel Zamora, Structural Plans Examiner (954-828-5536) to obtain his signature on the final DRC plans.
2. An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Final DRC sign-off, please schedule an appointment with the case planner (Michael Ferrera, mferrera@fortlauderdale.gov) to review project revisions and/or to obtain a signature routing stamp.
3. The City's Vision is to support sustainable infrastructure. Consider employing green building practices throughout the project such as, but not limited to; charging stations, tank-less water heaters, rain collection systems, pervious pavement where appropriate, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs.



LEGEND

 Subject Site

UDP-S22083 - Aspire Cypress Creek - 20-80 NE 62nd Street

