



DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

MEETING DATE: February 14, 2023

**PROPERTY OWNER /
APPLICANT:** City of Fort Lauderdale

AGENT: Robert HDR Engineering, Inc.

PROJECT NAME: Dorsey Riverbend Neighborhood Stormwater
Improvement

CASE NUMBER: UDP-S22084

REQUEST: Site Plan Level IV Review: Public Purpose Use for
Stormwater Pump Station, Electrical Building, and
Emergency Generator

LOCATION: 515 NW 15th Avenue

ZONING: Residential Single Family/Low Medium Density District
(RS-8)

LAND USE: Northwest Regional Activity Center

CASE PLANNER: Michael Ferrera



Case Number: UDP-S22084

CASE COMMENTS:

Please provide a response to the following:

1. Specify uses and occupancy classification per Chapter 3 of the 2020 FBC.
2. Provide building construction type designation per Chapter 6 of the 2020 FBC.
3. Specify fire-resistance rating requirements based on building separation per Table 601 and 602 of the 2020 FBC.
4. Reference the Florida Building Code 7th edition on plan for the proposed development [FBC 2020-101.2]

GENERAL COMMENTS

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. FBC Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances and accessed at;

- a. https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

Please consider the following prior to submittal for Building Permit:

1. On December 31st, 2020 the 7th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations:
 - b. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services>
 - c. https://floridabuilding.org/bc/bc_default.aspx
 - d. <http://www.broward.org/codeappeals/pages/default.aspx>

General Guidelines Checklist is available upon request.



Case Number: UDP-S22084

CASE COMMENTS:

Prior to Planning and Zoning Board Meeting, please provide updated plans and written response to the following review comments:

1. Landscaping Plan
 - a. Please provide 10-ft separation between proposed trees and all underground infrastructure to include both existing and proposed.
 - i. Provide 10 feet of separation between the proposed Live Oaks and the 10" gravity sewer system.
 - ii. Provide 10 feet of separation from the Live Oaks to the 60" Drainage pipe.
 - iii. Provide 10 feet of separation from the 24" force main to the Live oak and Silver Buttonwood.
 - b. Please address existing discrepancies between site plan and landscaping plans such as
 - i. Landscape plan shows 2 force main pipes.
 - ii. Landscape plans show a large circular MH and a Rectangular MH while the site plan shows a rectangular MH.
 - iii. Landscaping plan shows a square over the proposed drainage on the North Side of the site.
 - c. Please address onsite drainage pipe conflict with landscaping tree and manual bar screen structure.
2. Site plan shall level and differentiate between sodded (pervious) and paved (impervious) areas.
3. Please identify how will stormwater enter the distribution channel from the bar screen area.
4. Please address fence conflict with proposed 8" stormdrain pipe near the northeast corner of the screen basin. Similarly, please address conflict with ¾-inch water line in conflict with the fence corner post south of same basin.
5. Prior to permitting, plans shall denote right-of-way driveway and swales in accordance with City of Fort Lauderdale Standard Detail C1.3R and D4.2.
6. Provide Erosion and Sediment Control (ESC) Plan showing site layout, details and notes identifying the implementation of the following minimum temporary BMP's to be used during constructions:
 - a. Perimeter control measures such as Silt Fence or floating and provide details.
 - b. Inlet protection measure such as Hay Bale and Filter Fabric on any existing or proposed inlet impacted by any disturbed area before permanently stabilized.
 - c. Stabilized construction entrance and exit such as a gravel construction entrance.
7. Provide disposition of existing perimeter fence that encroaches onto adjacent private property, along portion of North and west property boundary (per Sheet SU-18).



8. Prior to permitting, please indicate in the details that concrete sidewalk will be 4" thick (Residential), 6" at driveway approaches, 3000 psi @ 28 days with sawcuts every 5 ft. and expansion joints every 20 ft. and at beginning and end points of curvature. Construct sidewalk per City of Fort Lauderdale Sidewalk Construction Detail C2.1.

For Engineering General Advisory DRC Information, please visit our website at <https://www.fortlauderdale.gov/home/showdocument?id=30249>

Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.



Case Number: UDP-S22084

CASE COMMENTS:

Please provide a response to the following:

1. 2014 Existing Map AH-6.
2. Electrical room, generator and HVAC elevation proposed at 7.5 ft NAVD is acceptable.

GENERAL COMMENTS

The following comments are for informational purposes.

1. 2019 Preliminary Flood Zone to change to AE-6 (same BFE).
2. Additional comments may follow pending submittal of complete plan set.



Case Number: UDP-S22084

CASE COMMENTS:

Please provide a response to the following:

1. Please have a certified ISA Arborist provide the information as to the existing trees including the condition ratings that will be required for mitigation purposes. Here is a link to a city web page to help with mitigation calculations.
<https://www.fortlauderdale.gov/home/showpublisheddocument/67614/637889169624700000>
2. Provide calculations of mitigation and how it will be provided, please provide also in both equivalent replacement and value. Being that there are many Sabal palms to be replaced, please investigate the installation of thin trunked palms, minimum 8 feet clear trunk height, around the site for added buffering to the neighboring properties.
3. Verify Neighborhood requirements if they apply, VUA and Wall.
4. If fence is to be utilized adjacent to the VUA, a 2.5 landscape width strip is required the length of the driveway starting at the street property line. Within this 2.5 landscape strip is to be a continuous hedge. Minimum height of the hedge at installation is 24 inches, yet please provide taller materials to create a strong visual buffer to the neighboring property.
5. If a wall is to be adjacent to the VUA and neighboring property, a 2.5 landscape buffer and hedge not required. If a wall is utilized for this site, any adjacent trees, and palms on adjacent properties to be shown and demonstrated how the wall will be constructed without damage to those materials.
6. Shade trees six feet from the public realm of the sidewalk may utilize root barriers tree side of the edge of the sidewalk. Please provide the shade trees at a minimum six feet from the sidewalk and provide root-barriers along the sidewalk. Also, demonstrate the measured distance between edge of sidewalk to the outside trunk of tree.
7. When shifting back the Oak trees from the sidewalk they would appear to crowd out the Sliver Buttonwood trees, a possible alternative species may be warranted.
8. VUA tree requirements are one per one thousand or partial thereof, please provide three trees towards this requirement. Palms such as those to mitigate the Sabal palms may be utilized towards the VUA. Trees and palms must be within ten feet of the VUA to work towards site requirement.
9. Additional comments may be forthcoming after next review of new plans and written comment responses.

GENERAL COMMENTS

The following comments are for informational purposes.

Please consider the following prior to submittal for Building Permit:

1. A separate sub-permit application for Tree Removal, Relocation, and General Landscaping for site is required at time of master permit submittal. These are Landscape and Tree permit application documents different than the Broward County standard applications. Please do not submit for tree removal at this time of DRC submittal.
2. Note that tree removal at time of demolition will not be permitted unless the Master Permit for redevelopment has been submitted for review.



Case Number: UDP-S22084 – Dorsey Riverbend Stormwater Improvements

CASE COMMENTS:

Please provide a response to the following:

1. Pursuant to Public Participation requirements of Unified Land Development Regulations (ULDR), Sections 47-24.1.F.14 and 47-27.4.A.2.c, the applicant must complete the following:
 - a. Prior to submittal of an application to the Planning and Zoning Board (PZB), the applicant shall:
 - i. Provide notice via e-mail and regular mail to the official city-recognized civic organization(s) within 300 feet of the proposed project, notifying of the date, time and place of applicant's project presentation meeting to take place prior to the PZB meeting (a listing of officially-recognized neighborhood associations is provided on the City of Fort Lauderdale website: <https://www.fortlauderdale.gov/government/departments-a-h/city-manager-s-office/office-of-neighbor-support/neighborhood-associations>); and,
 - ii. Provide notice via mailed letter to property owners whose real property is located within 300 feet of the proposed project, notifying of the date, time and place of applicant's project presentation meeting to take place prior to the PZB meeting.
 - b. The applicant shall conduct the public participation meeting(s) a minimum of 30 days prior to the PZB. This date and location of the meeting are at the discretion of the applicant. Once the meeting(s) is conducted, the applicant shall provide a written report letter to the Development Services Department, with copy to subject association(s), documenting the date(s), time(s), location(s), number of participants, presentation material and general summary of the discussion after a public participation meeting(s). The report letter shall summarize the substance of comments expressed during the process and shall be made a part of the administrative case file record. A minimum of ten (10) days prior to the PZB meeting, the applicant shall execute and submit an affidavit of proof of public notice to the Department.
2. The proposed project requires review and recommendation by the Planning and Zoning Board (PZB) and approval by the City Commission. A separate fee is required for both PZB review and City Commission review. Pursuant to Section 47-27.5 of ULDR, prior to the public hearing before the planning and zoning board mail notice shall be given to the owners of lands within three hundred (300) feet of the proposed project at least ten (10) days prior to the date set for public hearing.
3. The site is designated Northwest Regional Activity Center on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives, and Policies.
4. Pursuant to State Statute 166.033(1) the application must be deemed approved, approved with conditions, or denied within 180 days of completeness determination, on or before July 18, 2023, unless a mutually agreed upon time extension is established between the City and the applicant. Failure to meet the applicable timeframe or request an extension may result in the application being denied by the City and the applicant may be required to refile a new application and fees to proceed.
5. Provide a narrative stating how the project meets ULDR Section 47-18.26 satisfying public purpose intent and the specific code requirements not being met or is site specific. Staff recommends the applicant provide required code and proposed code deviations in a table format for comparison. Depending on the code requirement deviations, the site plan and elevation sheets may need to be adjusted to reflect any updates.
6. Indicate the project's compliance with the following ULDR sections by providing point-by-point responses to criteria, on letterhead, with date and author indicated.



- a. Section 47-25.2, Adequacy Review
 - b. Section 47-25.3, Neighborhood Compatibility
7. Provide the following changes on the Development Application:
- a. On page 3, provide check marks for each item that has been provided as part of the submittal set.
8. Provide the following changes on the site plan:
- a. Provide setbacks of the generator, transformer, electrical building, and any other structure.
 - b. Provide an illustrative site plan clearly depicting structures, location of landscaping, and methods of buffering as per ULDR Section 47-25.3 Neighborhood Compatibility. See below for example of illustrative site plan.

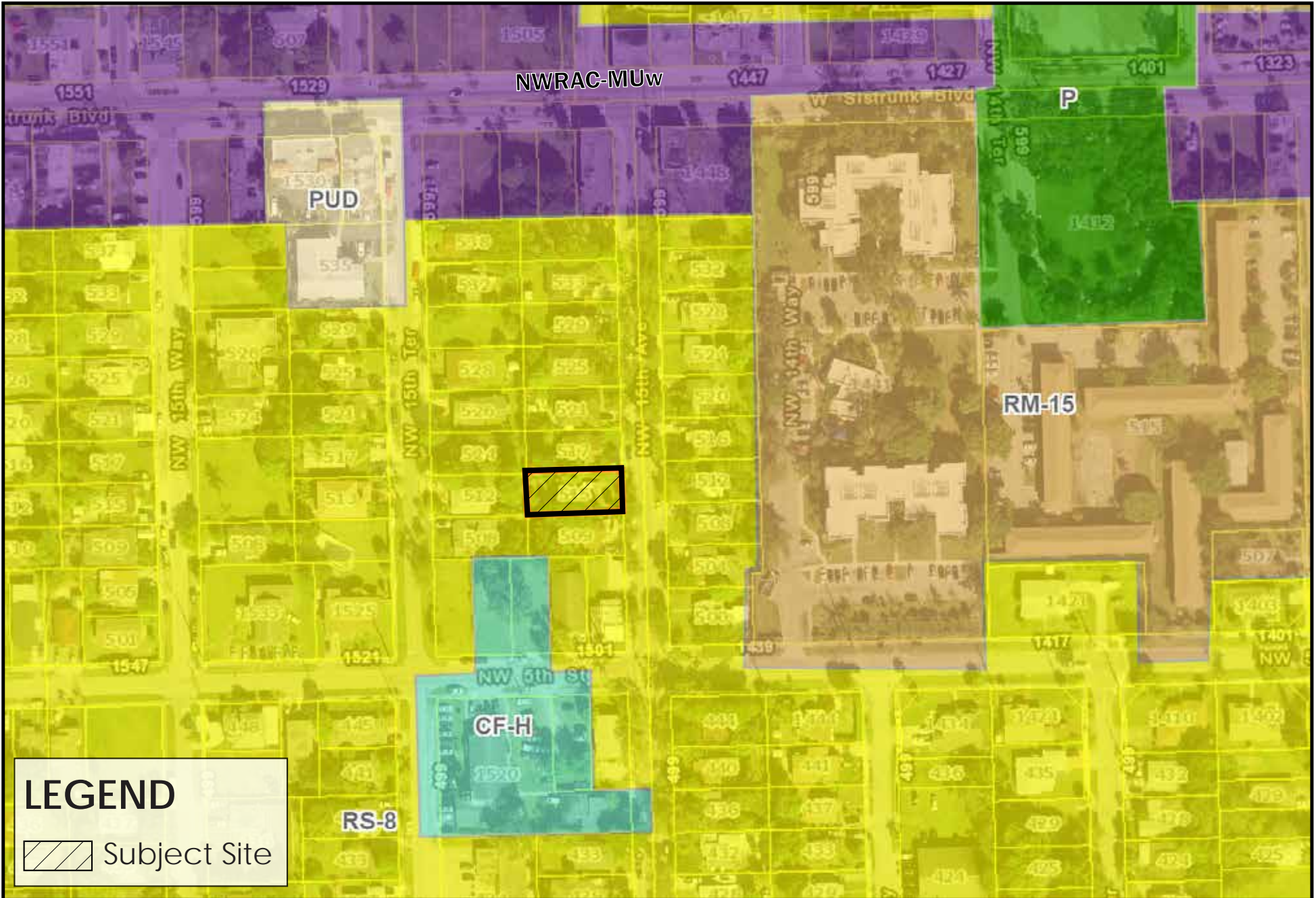


9. Provide the following changes to the elevations:
- a. Provide the height of all structures.
 - b. On sheet 02A002, indicate direction of each façade (north, east, etc.)
10. Further comments may be forthcoming based on revised plans and missing information.

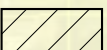
GENERAL COMMENTS

The following comments are for informational purposes.

11. The City's Vision is to support sustainable infrastructure. Consider employing green building practices throughout the project such as, but not limited to, charging stations, tank-less water heaters, rain collection systems, pervious pavement where appropriate, bio-swales, Florida Friendly™ plant materials, solar panels, and green roofs.
12. When resubmitting, the plan set shall be uploaded as one (1) pdf document under the "supporting documents" dropdown. Any other supporting documentation can be submitted as individual PDF's.



LEGEND

 Subject Site

UDP-S22084 - Dorsey Riverbend Stormwater Improvement - 515 NW 15 Avenue

