



# DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

**MEETING DATE:** August 22, 2023

**PROPERTY OWNER / APPLICANT:** Atlantic Aviation

**AGENT:** Thomas F. O'Donnell, Kimely-Horn and Associates

**PROJECT NAME:** Atlantic Aviation FXE FBO Facilities and Site Renovation

**CASE NUMBER:** UDP-S23042

**REQUEST:** Site Plan Level II Review: 39,000 Square Foot Hangar, Service Equipment Building and Fuel Facility

**LOCATION:** 6020 NW 28th Way

**ZONING:** General Aviation Airport (GAA)

**LAND USE:** Transportation

**CASE PLANNER:** Nancy Garcia



**Case Number: UDP-S23042**

**CASE COMMENTS:**

Please provide a response to the following:

1. Specify uses and occupancy classification per Chapter 3 of the 2020 FBC.
2. Specify height and area compliance per Chapter 5 of the 2020 FBC.
3. Show allowable height, allowable number of stories, and allowable area compliance per Chapter 5 of the 2020 FBC.
4. Provide building construction type designation per Chapter 6 of the 2020 FBC.
5. Specify fire-resistance rating requirements based on building separation per Table 601 and 602 of the 2020 FBC.
6. Provide occupancy loads with compliant life safety egress design per Chapter 10 of the 2020 FBC.
7. Indicate code compliant sprinkler system per Section 903 of the 2020 FBC.
8. Dimension accessibility requirements to site per the 2020 FBC Accessibility Code.
9. Provide accessible parking spaces in accordance with chapter 208 of the 2020 FBC Accessibility Code.
10. Provide accessible route connecting handicap parking spaces to accessible building entrances per FBC Accessibility volume.
11. Reference the Florida Building Code 7th edition on plan for the proposed development.

**GENERAL COMMENTS**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. FBC Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

**Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at;

- a. [https://library.municode.com/fl/fort\\_lauderdale/codes/code\\_of\\_ordinances?nodeId=COOR\\_CH14FLMA](https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA)

**Please consider the following prior to submittal for Building Permit:**

1. On December 31st, 2020 the 7th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations:
  - b. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services>
  - c. [https://floridabuilding.org/bc/bc\\_default.aspx](https://floridabuilding.org/bc/bc_default.aspx)
  - d. <http://www.broward.org/codeappeals/pages/default.aspx>

**General Guidelines Checklist is available upon request.**



**Case Number: UDP-S23042**

**CASE COMMENTS:**

**Prior to Final DRC sign-off, please provide updated plans and written response to the following review comments:**

1. Provide 10' x 15' (min.) permanent Utility Easement for any 4 Inch or larger water meter located within the proposed development (for City Maintenance access); show/label delineation in the plans as appropriate.
2. Meet the City's Adequacy requirements for services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If the adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
3. Sheet C.01 (Cover Sheet)/Sheet List Table: Revise such that Sheet Numbers/Titles listed are consistent with PDFs included with this DRC #UDP-S23042 submittal, including Sheets C1.8, C5.6, C5.7, and all Landscape Sheets.
4. Update 'Sketch of Specific Purpose Survey' provided with the following additional information:
  - a. Provide an abstracted survey of the subject property that depicts all easements, encumbrances, and ownership information, and done with the benefit of a Standard Title Commitment (issued by a Title Insurer, licensed to do business in Florida) or an Opinion of Title (issued by an attorney, admitted to the Florida Bar). It is recommended that the survey meet the 2016 Minimum Standard Detail Requirements of the American Land Title Association /National Society of Professional Surveyors (ALTA/NSPS).
  - b. Property lines, public and private easements (including Official Record Book/Page of recorded documents), and adjacent Right-of-Way (R/W) shall be clearly shown (i.e. NW 59<sup>th</sup> St and NW 28<sup>th</sup> Way), labeled and width dimensioned. All existing features including, but not limited to, structures, roadways, watercourses, above and below ground utilities, inverts, medians/openings, sidewalks, curb cuts, etc. shall be clearly shown and labeled.
    - i. Show/label existing City 8" PVC water mains located within the adjacent City R/W (i.e. NW 59<sup>th</sup> St and NW 28<sup>th</sup> Way) and existing 8" DIP and 6" water mains located within the property being developed (possibly within existing Utility Easements), all of which appear to be depicted on the Civil Plans.
    - ii. Show/label existing City 8" VCP gravity sewer main and 18" DIP sewer force main located within the adjacent City R/W (i.e. NW 28<sup>th</sup> Way), existing 18" DIP sewer force main located within the property being developed (possibly within existing Utility Easements), and existing private 8" gravity sewer pipes located within the property being developed, most of which appear to be depicted on the Civil Plans.
  - c. Provide spot elevations at property corners and along property boundaries (50' max. interval) adjacent to property as appropriate.
5. Confirm with UD&P Case Planner for this DRC #UDP-S23042 submittal if parking is required for proposed GSE Building, Fuel Farm, and Hangar.
6. Civil and Landscape Sheets:
  - a. Depict adjacent existing R/W boundaries (i.e. NW 59<sup>th</sup> St and NW 28<sup>th</sup> Way) and any existing Easements per the updated property survey.



- b. Label adjacent public access streets (i.e. NW 59<sup>th</sup> St and NW 28<sup>th</sup> Way) and private street (i.e. W Perimeter Rd) on all Civil Sheets as appropriate (similar to Landscape Sheets).
7. Sheet C2.3 & C2.4 (Demolition Plan): Label disposition of existing fence and gates fronting NW 28<sup>th</sup> Way, including at the south end of NW 28<sup>th</sup> Way R/W (i.e. intersection with NW 59<sup>th</sup> St) driveway access to/from the site.
  8. Sheet C4.2A (Paving, Grading, & Drainage Plan Add Alt 1):
    - a. Provide existing parking stall layout (including ADA parking stall) on east side of eastern of the 3 parking lots.
    - b. Confirm that proposed parking stall striping layout will match existing (for all 3 parking lots), and label on the plans as appropriate.
  9. Sheet C4.3 (Paving, Grading, & Drainage Plan):
    - a. Confirm if proposed 12.2 contour elevation around 'Proposed Fuel Farm by Others' is intended to be higher than the proposed FFE = 12.00.
    - b. Label RCP sizes for 'Proposed Stormwater Pipes'.
    - c. Show/label all existing utilities, as depicted on Sheet C6.3 (Utility Plan).
    - d. Discuss disposition of conflicts between 'Proposed 200 LF of RCP Stormwater Pipe' and existing utilities depicted on Sheet C6.3 (i.e. 'Existing 8" PVC Sewer to Remain' and 'Existing 6" Water Main to Remain').
    - e. Since existing City streets in vicinity of proposed development predominantly have roadside swales, label reference to City Detail D4.2R (Typical Swale Cross Section) for construction of roadside swale in areas of proposed 'Full Depth Pavement Removal' of exist asphalt driveway connections within the adjacent NW 28<sup>th</sup> Way R/W.
    - f. Demonstrate how surface runoff from the proposed development will not be conveyed into the adjacent NW 28<sup>th</sup> Way R/W. Show location of building roof drains, and their proposed connection(s) to the on-site drainage system.
  10. Sheet C4.4 (Paving, Grading, & Drainage Plan):
    - a. Show/label how proposed contours harmonize with the existing contours, especially north of the 'Proposed Hangar Building' adjacent to the 'Existing Swale to Remain' (per Sheet C3.4).
    - b. Since existing City streets in vicinity of proposed development predominantly have roadside swales, label reference to City Detail D4.2R (Typical Swale Cross Section) for construction of roadside swale in areas of proposed 'Full Depth Pavement Removal' of exist asphalt driveway connections within the adjacent NW 28<sup>th</sup> Way R/W.
    - c. Demonstrate how surface runoff from the proposed development will not be conveyed into the adjacent NW 28<sup>th</sup> Way R/W. Show location of building roof drains, and their proposed connection(s) to the on-site drainage system.
  11. Sheets C4.6 & C4.7 (Paving, Grading, & Drainage Plan):
    - a. Depict existing spot elevations from the 'Sketch of Specific Purpose Survey'.
    - b. Show existing contours with a slightly darker/thicker linestyle, and label contour elevations (should be NAVD 88).
    - c. Label RCP sizes for 'Proposed Stormwater Pipes'.
    - d. Provide conceptual details for proposed 'Existing Stormwater Catch Basin to be Modified', Proposed Stormwater Catch Basin, and 'Proposed Stormwater Manhole'.
    - e. Show/label contours for the 'detention areas east of the apron', as described in the DRC Narrative.
    - f. Show/label existing contours adjacent to the 'Proposed 155 LF of RCP Stormwater Pipe' and 'Proposed 50 LF of RCP Stormwater Pipe'.
    - g. Demonstrate that 'Proposed Stormwater Catch Basin' depicted on Sheet C4.7 is located within a low point of the existing concrete pavement area.



12. Sheet C6.1 (Utility Plan):
  - a. Confirm size of proposed 6" domestic water connection to 'Proposed GSE Building'. Please be advised that any 4" or larger water meter (with backflow preventer) will require a minimum 10' x 15' Water Easement on private property abutting north property boundary (i.e. south R/W boundary of NW 59<sup>th</sup> St), to facilitate perpetual City Maintenance Access.
  - b. Discuss purpose of "Proposed 12' Fire Main License Agreement", and depict overlap with existing R/W boundary (per the updated property survey) along the adjacent NW 59<sup>th</sup> St.
13. Sheet C6.3 (Utility Plan): Discuss if there will be any proposed water/sewer service connections with 'Proposed Fuel Farm by Others'.
14. Sheet C6.4 (Utility Plan):
  - a. Label pipe size for all proposed water and sewer service connections.
  - b. Discuss purpose of "Proposed 12' Fire Main License Agreement", and depict overlap with any existing Utility Easement (per the updated property survey) along the 'Existing 6" DIP Water Main to Remain' that it connects to.
15. Provide Utility Plan for 'northeastern project area' (as described in DRC Narrative), to help identify potential conflicts with proposed stormwater infrastructure depicted on Sheet C4.6 (Paving, Grading, & Drainage Plan).
16. Sheets LA1.1 thru LA1.3, and LA1.5 (Landscape Plan):
  - a. Show and label all existing and proposed utilities (utility type, material and size) on landscaping plans for potential conflict, including:
    - i. Existing City 8" PVC water mains located within the adjacent City R/W (i.e. NW 59<sup>th</sup> St and NW 28<sup>th</sup> Way) and existing 8" DIP and 6" water mains located within the property being developed (possibly within existing Utility Easements), all of which appear to be depicted on the Civil Plans.
    - ii. Existing City 8" VCP gravity sewer main and 18" DIP sewer force main located within the adjacent City R/W (i.e. NW 28<sup>th</sup> Way), existing 18" DIP sewer force main located within the property being developed (possibly within existing Utility Easements), and existing private 8" gravity sewer pipes located within the property being developed, most of which appear to be depicted on the Civil Plans.
  - b. Label 5' (min.) and 10' (min.) clear horizontal clearance horizontal separation between city utilities infrastructure and proposed small and medium/large trees, respectively (including proposed water and sewer services to the development). Any new trees (located within or adjacent to City Right-of-Way) should be placed with sufficient horizontal and vertical distances to/from City's public infrastructure, to allow for continued Public Works maintenance without obstruction.
  - c. Label proposed trees along the adjacent NW 59<sup>th</sup> St and NW 28<sup>th</sup> Way travel lanes with a 6' (min.) clear horizontal offset where no curb is present.
17. Technical Memorandum – Drainage Calculations:
  - a. Drainage calculations received, but flood routing analysis does not show nor provide maximum stage storage elevation for pre-condition.
  - b. Since both project areas are a part of a master conceptual permit (Environmental Resource Permit No. 06-80040-P/Surface Water Management License No. SWM2019067-0), please provide PDF copy of those documents.
18. Demonstrate that proposed SF for new GSE Building, Fuel Farm, and Hangar is not increasing the water/sewer demand compared to the existing condition. Otherwise, prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department in order to meet the City's adequacy requirements per ULDR



Section 47-25.2 of the City's Code of Ordinances. Submit water and wastewater capacity availability request form and documents/ plans at <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services/engineering-permits/development-review-committee-service-demand-calculations-for-water-sewer-request-form>.

19. Provide Maintenance Agreement Area Exhibit, which depicts a visual representation of the area within the adjacent City R/W (i.e. NW 59<sup>th</sup> St and NW 28<sup>th</sup> Way) to be maintained in perpetuity by the developer. Label all proposed improvements, including asphalt paving, landscaping, irrigation, etc. that will be maintained by the Applicant throughout the life of the improvements.

For Engineering General Advisory DRC Information, please visit our website at <https://www.fortlauderdale.gov/home/showdocument?id=30249>

Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.



**Case Number: UDP-S23042**

**CASE COMMENTS:**

Please provide a response to the following:

Prior to Final DRC sign off and update plans and provide a narrative with a written response for each comment. Please view the following comments.

1. Provide the following flood zone data on the site plan from the (2014 FIRM Flood Insurance Rate Maps) 358H, X500, and "AH" flood zone with a base flood elevation of 10' NAVD 88. Provide the finish floor elevations (FFE) on the ground floor plans, offices and elevations sheets in (feet) using the (NAVD 88 datum). Presently it shows 0'0" on the elevation sheets. All equipment and panels shall be at BFE + 1' = FFE.

The preliminary maps were updated 8/11/2023 and are currently not in effect at this time but the BFE elevation may be in effect at time of building permit. You would then need to meet BFE + 1' = FFE under the preliminary flood maps. <https://gis.fortlauderdale.gov/2020prelimFEMAFloodMaps/>

2. Provide a delineation of flood hazard areas, and flood zone(s), base flood elevation(s), and ground elevations if necessary for review of the proposed development. The plans submitted show a finish floor elevation of 8' NAVD 88

**REFERENCES**

**Florida Building Code (7<sup>th</sup> edition) Flood Resistant Provision**

[https://portal.floridadisaster.org/mitigation/SFMP/External/Community%20Resources/Florida%20Building%20Code%20Resources/7th%20Ed\\_FBC\\_FloodProvisions\\_Nov2020r.pdf](https://portal.floridadisaster.org/mitigation/SFMP/External/Community%20Resources/Florida%20Building%20Code%20Resources/7th%20Ed_FBC_FloodProvisions_Nov2020r.pdf)

**City of Fort Lauderdale Flood Ordinance**

[https://library.municode.com/fl/fort\\_lauderdale/codes/code\\_of\\_ordinances?nodeId=COOR\\_CH14FLMA](https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA)

**Highlights of ASCE 24-14 Flood Resistant Design and Construction (FEMA)**

<https://portal.floridadisaster.org/mitigation/SFMP/External/Community%20Resources/Florida%20Building%20Code%20Resources/highlights-of-asce-24-14-flood-resistant-design-and-construction.pdf?Web=1>



**Case Number: UDP-S23042**

**CASE COMMENTS:**

Please provide a response to the following.

1. Sheet LA1.5 proposed hanger please provide all requirements as to Section 47-21. Landscape for vehicle use area (car parking).
  - a. It appears that the proposed paved area extends to the property line along NW 28<sup>th</sup> WAY. All VUAs including those for aircraft are to have a landscape buffer between the VUA and property line.
  - b. Please investigate maintaining the existing trees and palms along the west perimeter incorporating into the buffer to the ROW.
  - c. Being that there is to be a continuous fence with no ingress and egress along NW 28<sup>th</sup> WAY, please remove the asphalt and road rock along the ROW swale and improve the turf ground cover.
2. Sheet LA1.4 existing parking lot there is a tree island without any code landscape materials. Please provide a Sabal palm (due to limited planting width) minimum 8 feet of wood trunk height, and shrub ground covers minimum 24 inches tall as a VUA landscape buffer to NW 24<sup>th</sup> WAY. Section 47-21.11.
3. Sheet LA1.3 shows a Fuel Farm being proposed. Please indicate if this Fuel Farm's fuel tanks are to be located below ground or above ground. If the fuel tanks are to be located above ground, please provide screening as per code Section 47-18.13. Flammable liquids and fuel storage.
4. Show all underground utilities within the swale area of NW 28<sup>th</sup> WAY on Landscape plans.
  - a. Sabal palms require a minimum 5 feet separation from underground utilities minimum 6 feet from the travel lane. Please show these measured horizontal clearances on Landscape plan.
5. Sheet LA1.3 shows that there is to be a continuous fence without entry ways into the site, please remove the asphalt and road rock improve with turf sod (Bahia).
6. Sheet LA1.2 shows Oak trees to be relocated along NW 59<sup>th</sup> Street. Please demonstrate horizontal off-set measurements of a minimum 6 feet from the travel lane and 10 feet from the 8inch PVC line on plans.
7. Sheet LA1.2 per code Section 47-21.12. A.4.d. every tree island is to have a tree. Please provide trees for the tree islands without trees. Those near the fence small maturing trees that are not climbable to scale the fence.
8. Sheet LA.1.1 please provide trees for the tree islands that have no tree. Also, please show horizontal clearance (minimum 5 feet) of the proposed relocated Sable palm to the underground utility while providing a minimum 6 feet from the travel lane.
9. As seen from street view there is missing buffer hedge materials between the VUA and adjacent right of way. Please demonstrate on plans all code planting for site code is being met. Section 47-21.11.
10. Please clarify on tree disposition sheet within the KEY, tree to remain and tree shown as removal are identical.
11. Additional comments may be forthcoming after next review of new plans and written comment responses.





## **GENERAL COMMENTS**

The following comments are for informational purposes.

Please consider the following prior to submittal for Building Permit:

1. A separate sub-permit application for Tree Removal, Relocation, and General Landscaping for site is required at time of master permit submittal. These are Landscape and Tree permit application documents different than the Broward County standard applications. Please not this at time of submittal.
2. Provide separate Plumbing sub permit application for irrigation. Irrigation plans are required at time of Building permit submittal. Plans are to be in compliance with ULDR 47-21.6, A.11 and 47-21.10. Note that planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Illustrate hydrozones on planting plan and include calculations in table.
3. Note that tree removal at time of demolition will not be permitted unless the Master Permit for redevelopment has been submitted for review.
4. Proposed landscaping work in the City's right of way requires engineering approval. This approval requires documents to be submitted for Engineering review. Note that Landscape will not approve permit review without these Engineering documents being submitted.

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**CASE COMMENTS:**

Please provide a response to the following:

1. Entry doors should be solid, impact resistant or metal and should be equipped with a 180-degree view peephole if it is a solid door. (All doors should comply with current NFPA Code)
2. Exterior doors should be equipped with burglary resistant lock systems such as latch guards or security plates and hinge pins where applicable.
3. The business should be pre-wired for an intrusion protection alarm system, to include but not limited to, motion sensors and door contacts on all entry exit doors.
4. An electronic access control system should be installed on specific entry/exit doors to prevent unauthorized access, as well as restrict access during non-operating hours.
5. A video surveillance system (VSS) should be employed throughout the property with a focus on entry/exit points, hallways, and common areas. The exterior perimeter should be incorporated into the VSS installation. The system should be capable of retrieving an identifiable image of a person and video retention should be for a minimum of 30 days.
6. All exterior security fencing should meet ASTM Standards.
7. All Lighting at the facility, including in the parking lot, should conform to IES standards and landscaping should follow CPTED guidelines. The exterior lighting should be Dusk to Dawn-Photocell.

**GENERAL COMMENTS**

It is highly recommended that the managing company arrange for private security during construction.

Please submit responses in writing prior to DRC sign off.



**Case Number: UDP-S23042**

**CASE COMMENTS:**

Please provide a response to the following:

1. Recycling reduces the amount of trash your business creates, and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.
2. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
3. Solid Waste charges shall be collected in monthly lease with Sanitation account for property under one name (Commercial).
4. Service Days shall be: No restriction for Commercial collection. Service may not occur earlier than 7:00 am or later than 10:00 pm within 250 feet of residential.
5. Solid Waste Collection shall be on private property container shall not be placed, stored, or block the public street to perform service (large multifamily and commercial parcels).
6. Provide on the site plan a garbage truck turning radius for City review. Indicate how truck will circulate within property.
7. Containers: must comply with 47-19.4
8. Dumpster enclosure: concrete pad, decorative block wall, gates hung independently, protective bollards, secondary pedestrian side entry, high strengthened apron and driveway approach, night light, hot water, hose bib, drain, low circulating ventilation for dampness, weep holes, landscaping, smooth surface walkway to accommodate wheeled containers.
9. Trash Room services will be handled by private collector, or Trash Room services will be done by on site personnel, or Trash Room services will be done by custodial staff.
10. Submit a Solid Waste Management Plan on your letterhead containing the name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
  - ***This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to Gwoolweaver@fortlauderdale.gov . The letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and containers requirements to meet proposed capacity.***
  - ***Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.***

**GENERAL COMMENTS**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

Please provide specific details of solid waste and recycling collection per building



**Case Number: UDP-S23042**

**CASE COMMENTS:**

Please provide a response to the following:

1. Pursuant to State Statute 166.033(1) the application must be deemed approved, approved with conditions, or denied within 120 days of completeness determination, on or before November 29, 2023, unless a mutually agreed upon time extension is established between the City and the applicant or the a waiver to timeline requirements is submitted. The City acknowledges and is in receipt of a waiver by the applicant to the timeline requirements.
2. The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a listing of officially recognized associations are provided on the City's website: <https://www.fortlauderdale.gov/departments/city-manager-s-office/office-of-neighbor-support/neighborhood-associations> and a map of neighborhood associations may be found at: <http://gis.fortlauderdale.gov> ). Please provide acknowledgement and/or documentation of any public outreach.
3. The site is designated Transportation and Employment Center on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives, and Policies. In addition, note that the site is zoned General Aviation Airport (GAA) District and pursuant to Unified Land Development Regulations (ULDR) Section 47-14.10, List of permitted, conditional uses, and accessory uses, general aviation airport (GAA) district will be allowed.
4. The proposed project must be consistent with the latest recorded plat restrictions. Provide a Plat Determination Letter from Broward County Planning Council verifying whether the property needs to be platted or re-platted by following the Platting Determination Submittal Requirements or contact the Broward County Planning Council, at (954) 357-6695. If a plat note or non-vehicular access line (NVAL) amendment is needed, a separate application is required, which is reviewed administratively and can be found here: Administrative Review Application
5. Revise the Application Information (Section B) of the Development Application Form to either provide the property owner's signature or e complete the Authorized Agent information portion and provide an agent authorization letter signed by the property owner.
6. Indicate the project's compliance with ULDR Section 47-25.2, Adequacy Requirements by providing point-by-point responses to criteria, on letterhead, with date and author indicated.
7. Provide a Traffic Statement. If the Traffic Statement indicates that the project will exceed 1,000 trips, a traffic study is required pursuant to Section 47-25.2.M.4., and will need to be provided or the application will be deemed incomplete until a full traffic study is submitted.
8. Provide a plan sheet that depicts the overall proposed site improvements on one sheet.
9. Revise the site plan to include a site plan data table. The table should include the following information:
  - a. Current use of property and intensity.
  - b. Land use and zoning designations.
  - c. Water/wastewater service provider.
  - d. Site area (square feet and acres).
  - e. Building footprint coverage.



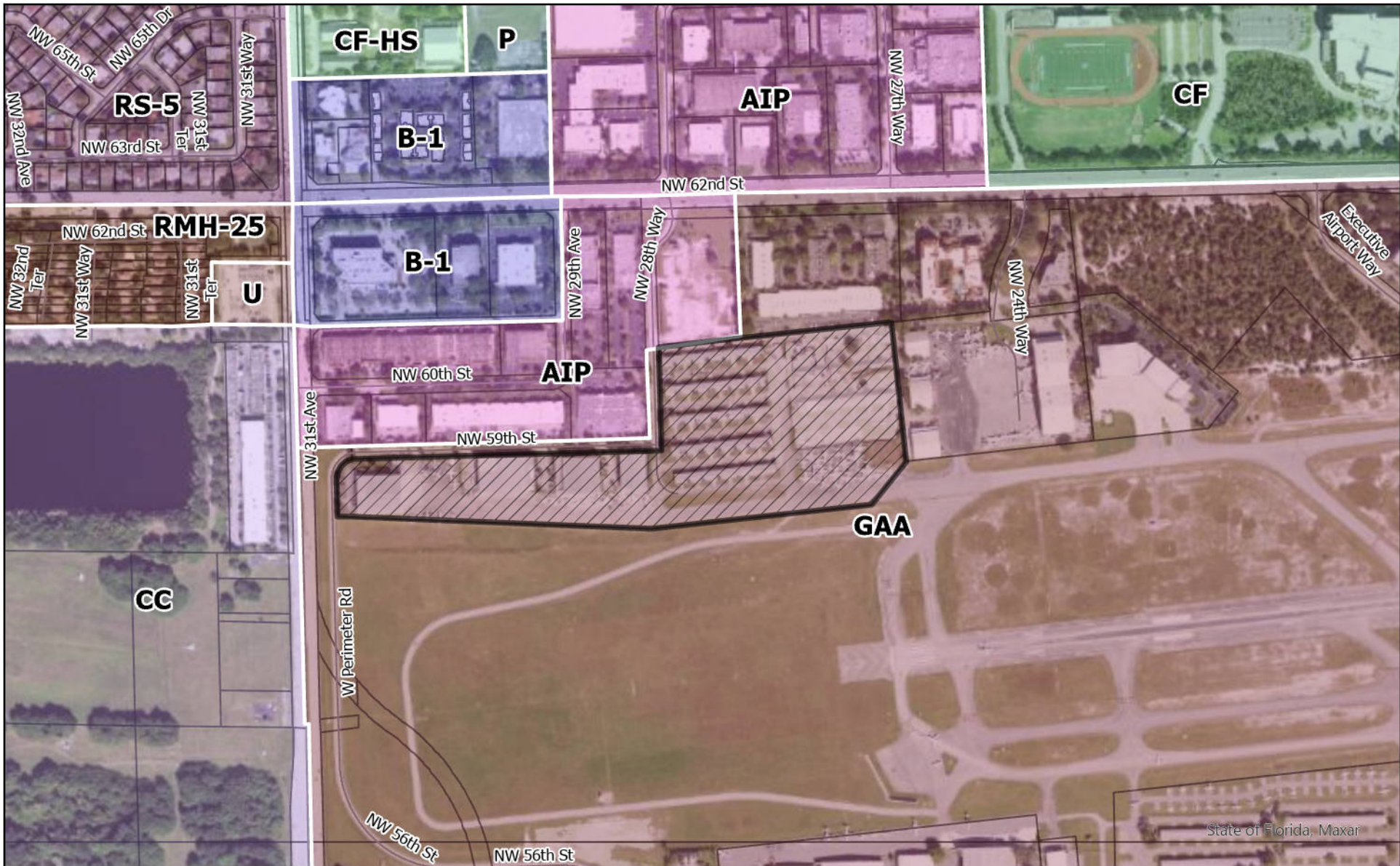
- f. Uses, gross floor area.
  - g. Floor Area Ratio (FAR).
  - h. Parking data: parking required (#), parking provided (#), loading zones (if applicable), ADA spaces, bicycle spaces.
  - i. Building height (expressed in feet above grade).
  - j. Structure length.
  - k. Number of stories.
  - l. Setback table (required vs. provided).
  - m. Open space (required vs. provided).
  - n. Vehicular use area (as defined by ULDR Section 47-58.2).
  - o. Landscape area.
10. Provide the following changes on elevation sheets:
- a. Provide each building facade in color with directional labels (e.g. North, South, etc.).
  - b. Provide building material details, including images of the product material by manufacturer.
  - c. Include additional materials to differentiate and highlight building features.
  - d. Incorporate overhangs, awnings, material banding and other architectural elements that soften the building's features and provide relief from large blank walls.
11. If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative. All construction activity must comply with Code of Ordinances, Section 24-11, Construction sites. Contact Noel Zamora, Structural Plans Examiner (954-828-5536) to obtain his signature on the final DRC plans.
12. Pursuant to ULDR Section 47-19.2.Z, all rooftop mechanical equipment, stair and elevator towers shall be designed as an integral part of the building volume and shall be screened with material that matches the material used for the principal structure and shall be at least six (6) inches high above the top most surface of the roof mounted structures. Provide the following:
- a. Roof plan indicating the location of all mechanical equipment with spot elevations of the parapet wall and roof as well as mechanical equipment to verify adequate screening;
  - b. Identify the location of equipment on building elevations by outlining the equipment with dash lines; and
  - c. Provide screening product material including images or pictures of actual application of such.

### **GENERAL COMMENTS**

The following comments are for informational purposes.

1. An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments.
2. Additional comments may be forthcoming at the DRC meeting.





State of Florida, Maxar

# UDP-S23042 - 6020 NW 28 WAY



0 100 200  
US Feet