



DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

MEETING DATE: September 12, 2023

**PROPERTY OWNER /
APPLICANT:** Broward Health

AGENT: Stephanie Toothaker

PROJECT NAME: Broward Health Corporate Training Center

CASE NUMBER: UDP-S23046

REQUEST: Site Plan Level II Review: 15,500 Square Foot Office

LOCATION: 1527 SW 1st Avenue

ZONING: South Regional Activity Center-South Andrews west
(SRAC-Saw)

LAND USE: South Regional Activity Center

CASE PLANNER: Adam Schnell

Case Number: UDP-S23046

CASE COMMENTS:

Please provide a response to the following:

1. Specify uses and occupancy classification per Chapter 3 of the 2020 FBC.
2. Specify height and area compliance per Chapter 5 of the 2020 FBC.
3. Show allowable height, allowable number of stories, and allowable area compliance per Chapter 5 of the 2020 FBC.
4. Provide building construction type designation per Chapter 6 of the 2020 FBC.
5. Specify fire-resistance rating requirements based on building separation per Table 601 and 602 of the 2020 FBC.
6. Provide occupancy loads with compliant life safety egress design per Chapter 10 of the 2020 FBC.
7. Indicate code compliant sprinkler system per Section 903 of the 2020 FBC
8. Dimension accessibility requirements to site per the 2020 FBC Accessibility Code.
9. Relocate proposed ADA parking space to avoid user having to traverse behind vehicular spaces to access building entrance.
10. Reference the Florida Building Code 7th edition on plan for the proposed development [FBC 2020-101.2]

GENERAL COMMENTS

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. FBC Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances and accessed at;

- a. https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

Please consider the following prior to submittal for Building Permit:

1. On December 31st, 2020 the 7th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations:
 - b. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services>
 - c. https://floridabuilding.org/bc/bc_default.aspx
 - d. <http://www.broward.org/codeappeals/pages/default.aspx>

General Guidelines Checklist is available upon request.



Case Number: UDP-S23046

CASE COMMENTS:

Prior to Final DRC sign-off, please provide updated plans and written response to the following review comments:

1. Demonstrate having obtained engineering certificate for the execution of the right-of-way vacating Ordinance No. C-05-03.
2. Provide instrument for the recording of the Access easement denoted on survey in compliance with Section 2 of the vacating Ordinance No. C-05-03. Please note the Book and Page denoted on the survey does not appear to be correct.
3. Correct survey to depicted utility easement as indicated on the right-of-way Vacation Ordinance No. C-05-03 Section 2.
4. Provide permanent Sidewalk Easement as appropriate along West side of SW 1st Avenue to accommodate portion of pedestrian clear path (coordinate required width with TAM) that may be located beyond public Right-of-Way and/or Right-of-Way Easement dedication; show / label delineation in the plans.
5. Remove all encroachments into the Utility Easement, including parking, ramp, building, etc.
6. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If the adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
 - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Submit water and wastewater capacity availability request form and documents/ plans through the city website.
7. Provide disposition of existing utilities on-site and within the adjacent right of way that may be impacted by the proposed development. Label information on plans (i.e. utility to remain/ be relocated/ removed). Provide correspondence from utility owner (as applicable) and depict any additional requirements they may have on plan (i.e. easements). Utilities include but are not limited to above and underground water, sewer, drainage, electrical, communications, light/power poles, down guys, fire hydrants, manholes, etc.
8. The proposed structures building, handicap ramps and dumpster enclosure may not be constructed within the vacated right-of-way per Ordinance No. C-05-03 Section 3.
9. The proposed site plan layout does not match civil plans specifically regarding proposed improvement along Flagler Avenue.
10. The proposed sidewalk along the North side of SW 16th Street should be located along the property line and extend to the west end of property line.



11. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges), alleys with alleys (15' measured from intersection point of extended property lines), alleys with streets (15' measured from intersection point of extended property lines), and streets with streets (25' measured from intersection point of extended property lines). The request for reduction of sight triangle dimensions is subject to review by the City Engineer on a case-by-case basis. Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35. Ensure sight triangles are also depicted on adjacent driveways that would be impacted by proposed improvements on this project. Sight triangles located at the intersection of a local street or driveway with a right-of-way under County, State or Federal jurisdictions, are subject to the sight visibility requirements of those jurisdictions.
 - a. The proposed offsite parallel parking located along SW 1st Avenue is located within 25' sight triangle.
12. Clearly depict truck turning movements in and out the proposed trash enclosure on site plan.
13. Provide and label typical roadway cross-sections for the proposed development side of SW 1st Ave and SW 16th Street at on-street parallel parking, and at landscape areas (i.e. between travel lane and sidewalk).
 - a. Cross-sections should show existing right of way and proposed right of way and/or easement boundaries.
 - b. Travel lane pavement width along SW 1st Avenue shall be retain at the existing 12ft or alternatively may be reduce to 10 ft with adequate transitions.
 - c. Parking stall on parallel parking shall be minimum 8'-8" x 24 ft.
 - d. Northern parking lane end along SW 1st Ave (landscaping bulb out) shall to extent to the existing driveway beyond the frontage to harmonize proposed design and existing conditions.
14. Should this development fall under substantial improvements, on-site stormwater retention shall be provided in accordance with the requirements of the regulatory authority with jurisdiction over stormwater management System per ULDR Sec. 47-20.13.D. Otherwise, On-site drainage plan shall be provided to ensure the new development does not impact existing site drainage conditions.
15. Demonstrate how surface runoff from the proposed development (between building and Right-of-Way boundaries) will be mitigated such that it won't be conveyed into the adjacent existing public storm drain infrastructure. Show location of building roof drains, and their proposed connection(s) to the on-site drainage system.
16. Proposed trees shall be installed a min. 4 feet behind proposed curbs when adjacent to travel lanes.
17. Landscape plans shall depict existing and proposed water and sewer line as depicted on engineering plan to ensure there is no conflict with utilities.
18. Label proposed horizontal clearance to utilities, provide 10 ft minimum separation (face-face) between utilities and trees. For small trees, a 5 ft minimum separation will be acceptable. Should separation requirements not be obtainable, provide a root barrier with a minimum separation of 1 ft from utility, please show note on plan and detail.
 - a. Show proposed and existing underground facilities in the plans.
 - b. The Live Oaks on the South are too close too close to the 24" Storm infrastructure.



- c. The inlet that is covered in the on-street parking does not match the civil plan configuration.
 - d. The 3 Christmas Palms on the South need to be shifted West to avoid the storm pipe.
19. Discuss if pedestrian lighting is proposed; if not, discuss the possibility of the addition of pedestrian lighting along City Right-of-Way, which requires perpetual maintenance by the Applicant via a Maintenance Agreement executed with the city. Please contact the Case Planner for details to match the area.
20. Provide Maintenance Agreement Area Exhibit, which provides a visual representation of the area within the adjacent public Right-of-Way (adjacent to the proposed development) to be maintained in perpetuity by the developer. Also please level all proposed improvements that will need to be maintain including on-street parking, curbs, sidewalk, landscaping, irrigation, lighting, etc.

For Engineering General Advisory DRC Information, please visit our website at <https://www.fortlauderdale.gov/home/showdocument?id=30249>

Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.



Case Number: UDP-S23046

CASE COMMENTS:

Please provide a response to the following:

1. Change of Use will be evaluated for substantial improvement percentage once applications with job values are submitted. No response required at this time.

GENERAL COMMENTS

The following comments are for informational purposes.

1. For further information regarding substantial improvements, please refer to the FEMA Substantial Improvement / Substantial Damage Desk Reference.

https://www.fema.gov/sites/default/files/documents/fema_nfip_substantial-improvement-substantial-damage-desk-reference.pdf

Case Number: UDP-S23046

CASE COMMENTS:

Please provide a response to the following.

1. During staff discussion it was mentioned that verification of Flagler AVE vacation is needed. If Flagler AVE is not officially vacated there would be an impact on the backout parking from landscape perspective. The newly proposed backout parking and possibly the existing would require a tree island after not more than four stalls in a row with a minimum five feet landscape area along the front of the stall. Section 47-21.14. A.6.
2. Illustrate and label the horizontal clearance from tree trunk to edge of utility on the landscape plan. Landscaping must provide a minimum horizontal clearance of 5 feet for small trees and palms, and a minimum of 10 feet for large trees and palms from underground utilities.
3. Proposed Oak trees as street trees along SW 16th Street, due to the existing underground utility, will need to be switched out to an alternative species. Please propose small maturing trees such as Pigeon Plum, Stoppers, Sliver Button, or similar. With the six feet wide landscape strip and the use of small maturing trees, CU Structural Soil is not required. Tree canopy within or encroaching a sight triangle requires a canopy clearance of 8 feet all others to have a minimum 7 feet canopy height clearance. Please maintain tree canopy 60% to clear trunk 40% ratio heights preferred, 50% to 50% acceptable.
4. Per code Section 47-13.20. H.2. a. ii. When shade tree street trees can not be utilized due to site conflicts, small maturing trees are to be proposed on a maximum fifteen feet centers.
5. Parking stall located within the sight triangle is a conflict and may need to be removed and turned into landscape area and materials.
6. Please provide street trees within the landscape area of the bulb-out. Trees within the landscape strip and those adjacent in the bulb-out may be closer than the fifteen feet separation.
7. On SW 16th Street the sidewalk is being asked for additional connectivity westward. To protect the existing tree number nine critical rootzone, please provide an off set of 5.5 feet from the trunk of this tree to the edge of the new sidewalk.
8. The proposed sidewalk on SW 16th is being asked to be widen to ten feet.
 - a. To protect the sidewalk from situations from root growth, please propose root-barrier along the sidewalk for tree eight and tree nine.
 - b. Please have ISA Arborist provide prescriptive actions for root pruning of the trees and certified Tree Service to provide those actions if Arborist does not perform the work.
9. The City has adopted Florida Friendly Landscaping requirements into our ULDR Section 47-21. This basically means that plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Plant material species must be minimum 50% Florida Friendly Landscaping. Planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Illustrate hydrozones on planting plan and include calculations in table.



10. Additional comments may be forthcoming after next review of new plans and written comment responses.

GENERAL COMMENTS

The following comments are for informational purposes.

Please consider the following prior to submittal for Building Permit:

1. Proposed landscaping work in the City's right of way requires engineering approval. This approval requires documents to be submitted for Engineering review. Note that Landscape will not approve permit review without these Engineering documents being submitted.
2. Note that tree removal at time of demolition will not be permitted unless the Master Permit for redevelopment has been submitted for review.
3. Provide separate Plumbing sub permit application for irrigation. Irrigation plans are required at time of Building permit submittal. Plans are to be in compliance with ULDR 47-21.6. A.11 and 47-21.10. Note that planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Illustrate hydrozones on planting plan and include calculations in table.



Case Number: UDP-S23046

CASE COMMENTS:

Please provide a response to the following:

1. Please submit a photometric plan for the exterior that meets IES standards. Areas should include the parking lot, walkways, and drive.
2. Entry doors should be solid, impact resistant or metal and should be equipped with a 180-degree view peephole if it is a solid door.
3. Exterior doors should be equipped with burglary resistant lock systems such as latch guards or security plates and hinge pins where applicable.
4. All glazing should be impact resistant.
5. The building should be pre-wired for an alarm system, to include duress, motion, and door contacts.
6. A video surveillance system (VSS) should be employed throughout the property with a focus on entry/exit points, hallways, and common areas. Exterior parking areas should be incorporated into the VSS installation. The system should be capable of retrieving an identifiable image of a person and video retention should be a minimum of 30 days.
7. All Lighting, including at the remote parking lot, should conform to IES standards and landscaping should follow CPTED guidelines.

GENERAL COMMENTS

It is highly recommended that the managing company arrange for private security during construction.

Please submit responses in writing prior to DRC sign off.



Case Number: UDP-S23046

CASE COMMENTS:

Please provide a response to the following:

1. Recycling reduces the amount of trash your business creates, and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.
2. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
3. Solid Waste charges shall be collected in monthly lease with Sanitation account for property under one name (Commercial).
4. Service Days shall be: No restriction for Commercial collection. Service may not occur earlier than 7:00 am or later than 10:00 pm within 250 feet of residential.
5. Solid Waste Collection shall be on private property container shall not be placed, stored, or block the public street to perform service (large multifamily and commercial parcels).
6. Provide on the site plan a garbage truck turning radius for City review. Indicate how truck will circulate within property.
7. Containers: must comply with 47-19.4
8. Dumpster enclosure: concrete pad, decorative block wall, gates hung independently, protective bollards, secondary pedestrian side entry, high strengthen apron and driveway approach, night light, hot water, hose bib, drain, low circulating ventilation for dampness, weep holes, landscaping, smooth surface walkway to accommodate wheeled containers.
9. Submit a Solid Waste Management Plan on your letterhead containing the name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
 - ***This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to Gwoolweaver@fortlauderdale.gov . The letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and containers requirements to meet proposed capacity.***
 - ***Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.***

GENERAL COMMENTS

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

- Please provide specific details of solid waste and recycling collection per building



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CASE COMMENTS:

1. Submit a formal sign and sealed traffic impact statement and include the trip generation formulas and sheets from the ITE trip generation manual. If a traffic study is needed Pursuant to 47-25.2.M.4. Applicant must fund City's review by consultant and pay a \$4,000 deposit prior to scheduling a methodology meeting after which the study will be prepared, transmitted and reviewed by the City's consultant. Staff and consultant's review concerns shall be adequately resolved prior to gaining authorization for either the Planning & Zoning Board or City Commission hearings. Take into consideration that the review of this study, once submitted, will take about 4-6 weeks once all documents are received.
2. Include a table showing the proposed land uses, the floor area in square feet for each land use, the parking ratio, the number of parking spaces required by type, and the number of parking spaces proposed by type (standard, compact, handicapped, bicycle, loading, etc.). ULDR Sec. 47-20.2. - Parking and loading zone requirements.
3. All parking must be provided in accordance with design and construction standards of the ULDR Section 47-20.11. Show dimensions for: stall width, depth of stall 90 degrees to aisle, aisle width, width of stall parallel to aisle, module width, angle of parking stalls for off-street and on-street parking stalls.
4. For handicapped parking stalls, pursuant to Florida Statute 553.5041, each parking space must be at least 12 feet wide. Parking access aisles must be at least 5 feet wide and must be part of an accessible route to the building or facility entrance. The access aisle must be striped diagonally to designate it as a no-parking zone. Handicap Parking spaces shall be level, no more than a 2% slope. Handicap people shall not be directed to travel behind parked vehicles to access the building.
5. Back of sidewalk of SW 16th Street shall be placed on the property/right of way line.
6. Add Pedestrian lighting along the perimeter of the site.
7. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges), alleys with alleys (15' measured from intersection point of extended property lines), alleys with streets (15' measured from intersection point of extended property lines), and streets with streets (25' measured from intersection point of extended property lines). The request for reduction of sight triangle dimensions is subject to review by the City Engineer on a case-by-case basis. Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35.
8. Show inbound and outbound stacking requirements from the property line to the first conflict point according to Section 47-20.5 General design of parking facilities for each proposed driveway. Please note that if there is proposed gate at the ingress and egress points for this development, the gate will be considered the first conflict point. This proposal is required to have a minimum of 1 inbound and outbound stacking space.
9. All internal circulation and queuing areas must be designed to accommodate the turning radii of the vehicles that will be using the site. Provide auto turn vehicular paths to depict how the ground floor site circulation will work.
10. Any proposed drainage well, manhole, pull box etc. installed in the sidewalk must be flat, ADA compliant and not impact the effective width of the sidewalk clear path.



11. The city reserves the right to meter on street parking stalls on the public right of way at any time.
12. Please add the following note on the site plan for the on-street parking, "None of the on-street spaces are reserved for the development and may be used by any member of the public. On-street spaces will not count towards the parking requirements for the project; The spaces may be removed at any time for any reason and the City of Fort Lauderdale will not relocate displaced on-street parking."
13. The property may be affected by the proposed Broward Commuter Rail (BCR) station, thus further coordination with the City Transportation and Mobility (TAM) and BCR team is needed. City's TAM will schedule a meeting with the applicant and BCR team to further discuss.
14. Continue to coordinate with Milos Majstorovic, MSCE P.E. the deputy director of the City of Fort Lauderdale Transportation and Mobility department regarding the future location of the Broward Commuter Rail (BCR) station. Contact information: mmajstorovic@fortlauderdale.gov, 954.828.5216.
15. Bicycle parking is strongly encouraged. Consult the APBP Bicycle Parking Guidelines, city of Fort Lauderdale Parking Standards and Broward County End-of-Trip Bicycle Facilities Guide. Look to provide the minimum long term and short-term bicycle parking based on requirements in the guide and include total counts on the site plan data sheet. Bicycle parking needs to be located on the site so that it is accessible to the public.
16. Additional comments may be provided upon further review.

GENERAL COMMENTS

Please address comments below where applicable.

1. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle repair stations, short term and long term bicycle parking and bicycle lockers.
2. Please note that any work within the City's right-of-way will require an MOT approved by Transportation and Mobility and Engineering for permitting. Any full closures of roadways, alleys, or sidewalks that are over 72 hours will require a Revocable License Agreement (RLA) with the City of Fort Lauderdale.

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CASE COMMENTS:

Please provide a response to the following:

1. Pursuant to State Statute 166.033(1) the application must be deemed approved, approved with conditions, or denied within 120 days of completeness determination, on or before December 20, 2023, unless a mutually agreed upon time extension is established between the City and the applicant. Please provide a statement requesting and agreeing to a waiver of these timeframes or request a specified amount of additional time to address the comments and provide sufficient time for review and approval. Failure to meet the applicable timeframe or request an extension may result in the application being denied by the City and the applicant may be required to refile a new application and fees to proceed.
2. The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a listing of officially-recognized associations is provided on the City's website: www.fortlauderdale.gov/neighbors/civic-associations and a map of neighborhood associations may be found at: <http://gis.fortlauderdale.gov>). Please provide acknowledgement and/or documentation of any public outreach.
3. The site is designated South Regional Activity Center on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
4. Per Section 47-24. (Table 1) of the Unified Land Development Regulations (ULDR) of the City of Fort Lauderdale the proposed project is subject to a 30-day request for review period by the City Commission. A separate submittal and application are required for City Commission review. Should the Commission call up the application, the applicant is responsible for all public notice requirements (Sec. 47-27). Note: The City Clerk's office requires 48 hours' notice prior to a Commission meeting if a computer presentation is planned i.e. Power Point, to be provided on CD or flash drive and a copy submitted to the City Clerk.
5. The proposed project must be consistent with the latest recorded plat restrictions. Provide a Plat Determination Letter from Broward County Planning Council verifying whether the property needs to be platted or re-platted by following the Platting Determination Submittal Requirements or contact the Broward County Planning Council, at (954) 357-6695. If a plat note or non-vehicular access line (NVAL) amendment is needed, a separate application is required, which is reviewed administratively.
6. 1527 SW 1st Avenue has been identified as a potential historic landmark in a recent Architectural Resource Survey and has been documented through a Florida Master Site File Historic Structures Form (FMSF Number: BD08182). Prior to Final DRC, provide color photos of the exterior and interior of the structure to the City's Historic Preservation Board Liaison, Trisha Logan (tlogan@fortlauderdale.gov) to be included in the Florida Master Site File documentation that is held by the State of Florida's Historic Resources Division.
7. Provide the Engineering Certificate for the SW Flagler Avenue right-of-way vacation.
8. Provide copies of Ordinance 39206, PG. 109, B.C.R and Ordinance 40606, PG. 167, B.C.R. for the vacation and retention of easements over SW Flagler Avenue.
9. Per Section 47-3.6. - Change in Structure, if more than fifty percent (50%) of the total gross floor area of the building or more than fifty percent (50%) of a structure or more than fifty percent (50%) of its replacement value is damaged, destroyed or removed for any reason the entire building, structure or use thereof shall be required to meet the ULDR. Provide a percentage breakdown of the gross floor



areas being replaced and value of redevelopment compared to the value of the building, excluding the value of land. If either calculation exceeds 50%, the entirety of the site, including existing nonconformities, shall comply with the ULDR requirements.

10. The project does not meet certain South Andrews Master Plan (DMP) design intents as outlined in ULDR, Section 47-13.20 and Section 47-13.30, respectively. Staff has commented below under the applicable category and has provided images to assist the applicant.

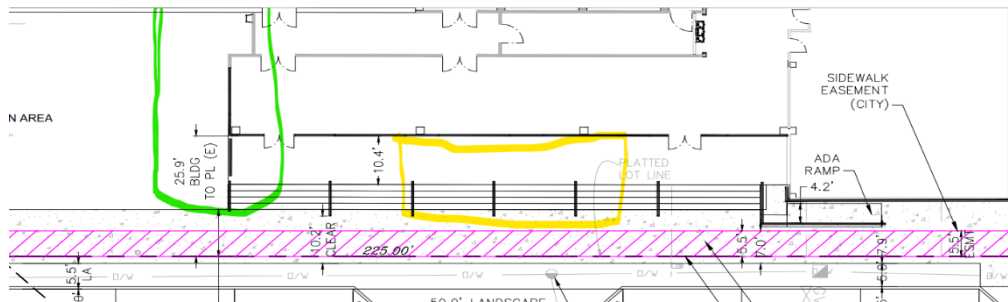
Street Design Standards

- a. S-7, maximum curb radii is 15 feet for both corners. Reduce curb radii to 15 feet.
b. S-9, provide updated utility plans showing all existing and proposed utilities, and ensure all plans are consistent with the location of catch basins.
c. S-10, update landscaping plans and provide street tree dimensional separation. Coordinate with Landscape Reviewer to ensure the street trees on SW 1st Avenue have enough overhead clearance from powerlines and the species of trees along SW 16th Street are not in conflict with existing underground infrastructure.

Building Design Standards

- d. B-4, provide a centralized entranceway or activate the dead space along the frontage with art, seating, or water features, etc. The center of the stairs along SW 1st Avenue (identified in yellow, below) lead pedestrians to a landing without an entrance.

Wrap the stairs around the southern corner of the building's entrance and extend the overhang. These improvements will aid in concealing the blank wall of the auditorium, provide additional articulation, activate of an unused corner, and rounds out the aesthetics of the entranceway.



- e. B-17, the plans show low and high roof measurements on the east facade, but the height of the entrance seems higher than what is labeled. Update plans to reflect the proper height and clarify if the clerestory windows above the front entrance are frosted glass, and if so, add the material to the elevation material list.



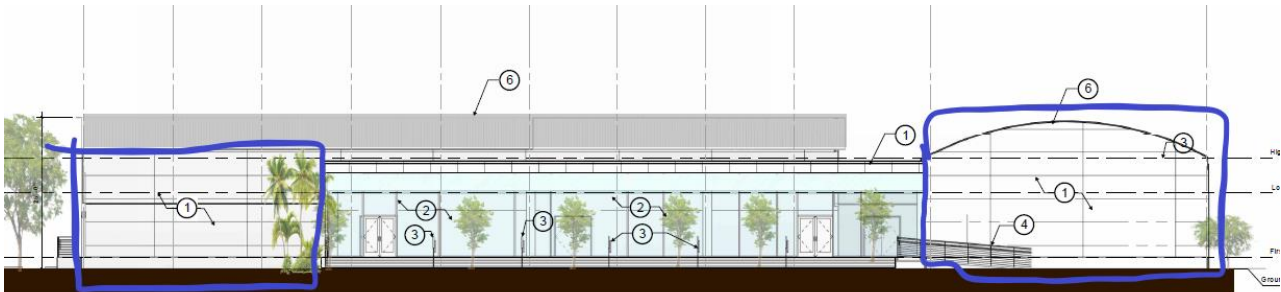
- f. C-19, roofing material, is unclear. Update the elevation material list and elevation plans to show the proposed material that will be visible on the exterior of the building.



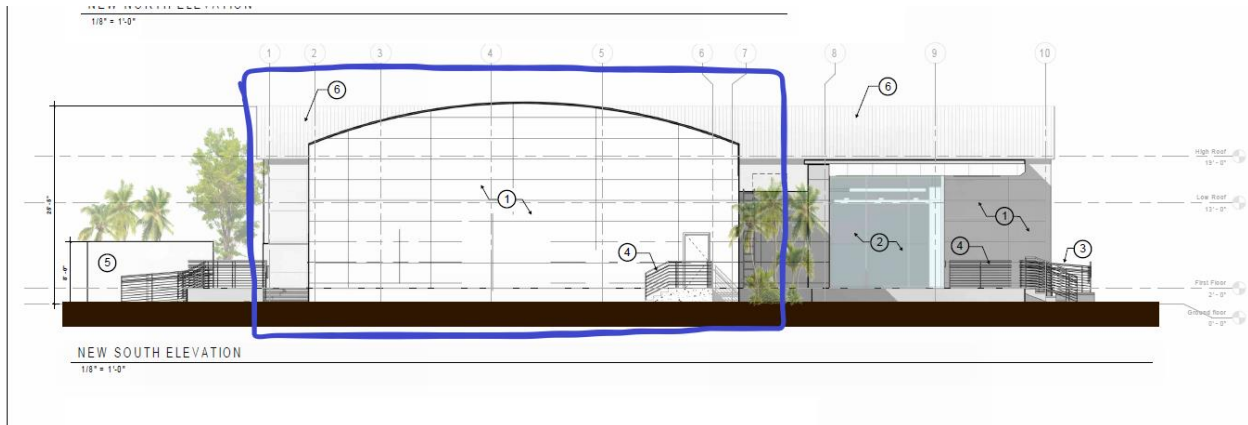
11. Pursuant to ULDR Section 47-19.2.Z, Accessory Uses, Buildings, and Structures; rooftop mechanical equipment such as air conditioners, compressors, generators, etc. shall be screened with material that matches the material used for the principal structure and shall be at least six (6) inches high above the topmost surface of the roof mounted structures. Provide the following:
 - a. Roof plan indicating the location of all mechanical equipment with spot elevations of the parapet wall and roof as well as mechanical equipment to verify adequate screening;
 - b. Identify the location of equipment on building elevations by outlining the equipment with dash lines; and
 - c. Provide screening product material including images or pictures of actual application of such.

12. Provide the following changes on site plan:
 - a. The Site Plan, Landscaping Plans, and Engineering Plans are inconsistent, such as, but not limited to the length of the westerly parking spaces, dumpster enclosure placement, handicap parking space location and variations in handicap accessibility.
 - b. Update parking and loading zone data table on the Site Plan, Sheet CO.
 - c. Update site plan data table:
 - i) Remove the gross site area calculation. Gross acre calculations do not apply to SRAC properties, unless calculating the maximum density permitted on a parcel when applying flexibility units.
 - ii) Building height is incorrect. Update building height to match the definition of height under Section 47-2.2-measurements- Height. The height of buildings and structures shall be measured from grade to the uppermost part of the roof or structure. Church spires and steeples, chimneys, parapet walls, machine rooms, elevator towers and the like necessary to the design and function of a building but not designed for human occupancy, shall not be included in the measurement of overall height of a building. The height shall be the roof peak for structures with pitched roofs and the roof slab for structures with flat roofs."
 - d. Identify and show location and size of all exterior mechanical equipment.
 - e. Provide dashed line to show entrance overhang.
 - f. Remove all encroachments into the access and utility easement over SW Flagler Avenue.
 - g. Widen the sidewalk from 7 feet to 10 feet on SW Flagler Avenue.
 - h. Extend the sidewalk to the corner of SW Flager Avenue and SW 16th Street.
 Update parking space length to 18-foot requirement for western parking spaces

13. Provide the following changes on elevations:
 - a. Provide windows on the east and south facades to provide transparency and break up the large blank walls and improve the pedestrian experience.



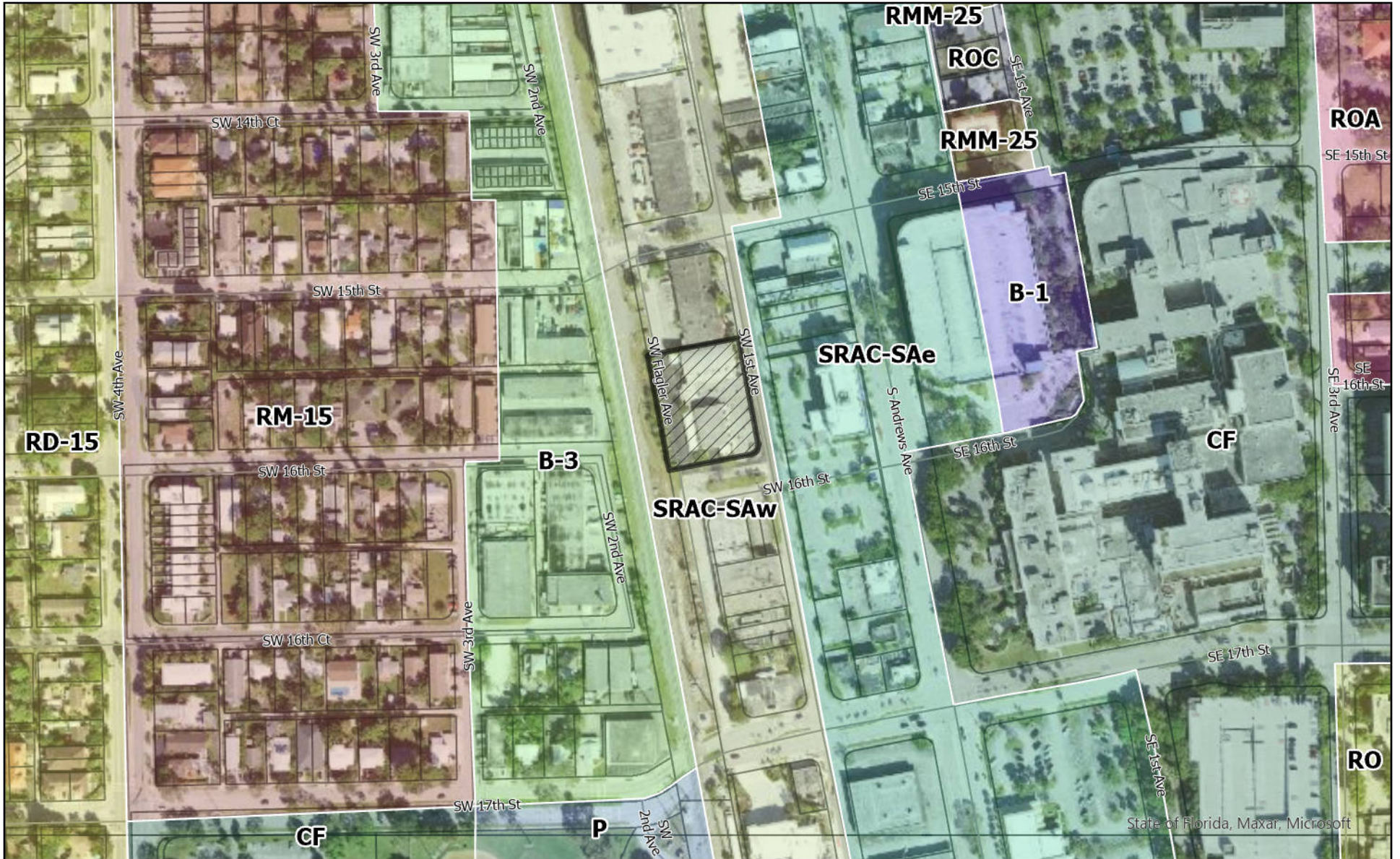
NEW EAST ELEVATION
 3/16" = 1'-0"



14. The City's Vision is to support sustainable infrastructure. Consider employing green building practices throughout the project such as, but not limited to; charging stations, tank-less water heaters, rain collection systems, pervious pavement where appropriate, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs.

GENERAL COMMENTS

1. Please note any proposed signs will require a separate permit application.
2. If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.
3. An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Pre-PZ and/or Final DRC sign-off, please schedule an appointment with the project planner (call 954-828-4798) to review project revisions and/or to obtain a signature routing stamp. Please note applicant is responsible for obtaining signatures from all discipline members that had comments and may need to resolve comments through individual appointments if necessary.



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