

FMSF Number: BD02764

Folio: 504209020310

Address: 724 SW 12 AVE

Year Built: 1931

Permit Year: 1941

Style: Transitional Ranch

Architect: Morton T. Ironmonger

Alterations: 1994 new roof; 1962 add screen porch and access. Carport; 1965 reroof; 1992 reroof tile; 2013 install 7 new windows, R&R 3 windows with impact; 2014 sfr 2-story steel addition; 2017 reroof

Exterior Plan: U-Shaped

Stories: 1

Exterior Material: Stucco/Brick

Roof Type: Intersecting Gables

Roof Material: Flat Tile

Windows: Single-Hung

Narrative: 724 SW 12 Avenue is a one-story Transitional Ranch Style residential structure with a u-shaped plan. It has a stucco and slump brick exterior with an intersecting gable flat tile roof. Character defining features include the wide roof eaves with exposed outriggers, the u-shaped plan with a central covered front entrance flanked by a series of single-hung windows, and the slump brick lining the lower half of the façade.

Significance (Explanation of Evaluation) This property appears eligible for listing on the National Register of Historic Places under Criterion C in the area of architecture as an intact example of its style. The house retains a high degree of integrity of location, design, setting, materials, workmanship, feeling, and association.

Transitional Ranch

The Transitional Ranch (sometimes “minimal Ranch”) Style is represented by the earlier houses in the neighborhood built in the late 1940s and early 1950s. They bridge the gap between the small Minimal Traditional style of the 1930s and 1940s and the sprawling Ranch homes of the 1950s and 1960s. Their small scale is a vestige of the planning and financing guidelines developed by the FHA during the Great Depression and World War II but incorporate modern design elements of the Ranch Style. A Transitional Ranch residence is one story high with a low-pitched or flat roof and typically features moderate or wide eave overhangs, large picture windows, and sheltered entrances. The type does not typically have a garage but is often accompanied by a carport which is frequently integrated into the roofline of the house. Other features found on examples include awning and jalousie windows, masonry and brick veneer wall texture variation, exposed rafter tails, broad low masonry chimneys, integrated planters, and screening fences.

Historic Context

By 1925, the “Land Boom” peaked. With an increased population, there was a tremendous need for imported food and building materials, most of which had to be transported over the single-track FEC railroad. The effect on construction in Fort Lauderdale was catastrophic. By early 1926, northern banks became cautious about construction lending. A majority of speculative developers were wiped out immediately during this period of restrictive capital allocation.

Historian Bill McGoun shared the compounded downward trajectory of speculative development, “...others (developers), who might have been able to survive the economic downturn, could not weather the great hurricane that roared out of the Caribbean and smashed squarely into south Broward on September 17 and 18, 1926.” The Great Hurricane coupled with bleak headlines in northern newspapers brought the Depression to South Florida three years before it hit the rest of the nation.

One unique feature of Riverside Park is the peninsula known as “Little Florida,” located at the point where the north and south forks of the New River diverge, which imitates the form of the State of Florida. The property was purchased in 1936 by Grace Patton Barrows and her husband. It is a key landmark along the river.

The end of the speculative land bubble in the late twenties and the Great Depression in the thirties brought a fundamental termination to developments in the Southwest Quadrant of Fort Lauderdale. Only in the post-World War II population boom did further development have an impact on this area as undeveloped lots became popular home construction sites. However, due to the collapse of the real estate boom in 1926, the Riverside subdivisions remained with little population through the 1930s. Eventually, the entire area came to be called Riverside Park.

Bibliography

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Logan, Trisha and Uguccioni, Ellen. “Sailboat Bend Architectural Resource Survey Update.” Fort Lauderdale, Florida. 2020.

FMSF Number: BD02839

Folio: 504209022280

Address: 1016 SW 5 PL

Year Built: 1939

Permit Year: 1946

Style: Cape Cod

Architect: Unknown

Alterations: 1968 reroof; 1969 alum shutters; 1969 reroof 1974 reroof; 1988 raised wood deck

Exterior Plan: Rectangular

Stories: 2

Exterior Material: Wood Clapboard

Roof Type: Saltbox

Roof Material: Asphalt Single

Windows: Single-Hung

Narrative: 1016 SW 5th Place is a two-story Cape Cod Style residential structure with a rectangular plan. It has a wood clapboard exterior with a saltbox asphalt shingle roof. Character defining features include the wide roof eaves with exposed outriggers, the u-shaped plan with a central covered front entrance flanked by a series of single-hung windows, and the slump brick lining the lower half of the façade.

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Cape Cod

The Cape Cod style originated in New England in the late 1600s as a modest and practical home. More contemporary versions of the Cape Cod style are traditionally one to one and a half stories and have a symmetrical facade often times containing a steep roof with a dormer window and a chimney.

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Logan, Trisha and Ugucioni, Ellen. "Sailboat Bend Architectural Resource Survey Update." Fort Lauderdale, Florida. 2020.

FMSF Number: BD02844**Folio: 504209021390****Address: 800 SW 14 TER**

Year Built: 1926

Permit Year: 1947

Style: Mediterranean

Architect: Unknown

Alterations: 1947 accessory bldg (garage); 1974 replace windows and termite damage; 1989 add 2nd flr deck; 2003 reroof metal;

Exterior Plan: Rectangular

Stories: 2 and a 1/2

Exterior Material: Stucco

Roof Type: Hipped

Roof Material: Barrel Tile

Windows: Single-Hung

Narrative: 800 SW 14 Terrace is a two-story Mediterranean Style residential structure with a rectangular plan. It has a stucco exterior with a hipped barrel tile roof. Character defining features include its elongated two-story height including columns that extend the double height, its symmetrical appearance with punctured openings lining the open porch, the covered entrance combined with the open porch, the deep roof eaves, and the decorative dormer at the half story.

The property was owned by J.P. Shull who served as a messenger orderly under the Commanding Officer of the U.S.S. South Carolina in World War I. Shull and his family may have lived in the home between the years 1934 through 1943.

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Mediterranean Revival

Mediterranean Revival: The Spanish Revival style and the Italian Renaissance Revival style are often referred to collectively as the Mediterranean Revival style and were the most popular styles during the Florida land boom of the 1920s. In Florida, the Spanish Revival style was introduced by Henry Flagler in his grand hotels constructed along the path of his Florida East Coast Railroad, one of which was the Hotel Ponce de Leon in St Augustine completed in 1888. The style was adapted to include a more regional dimension by local architects Maurice Fatio and Addison Mizner. The Mediterranean Revival style is noted for the combination of one and two story sections, a plan shape that included an interior courtyard, arcades and loggias, flat roofs, terracotta barrel-tile coping, columns, decorative door surrounds, decorative tiles, and ornate iron work.

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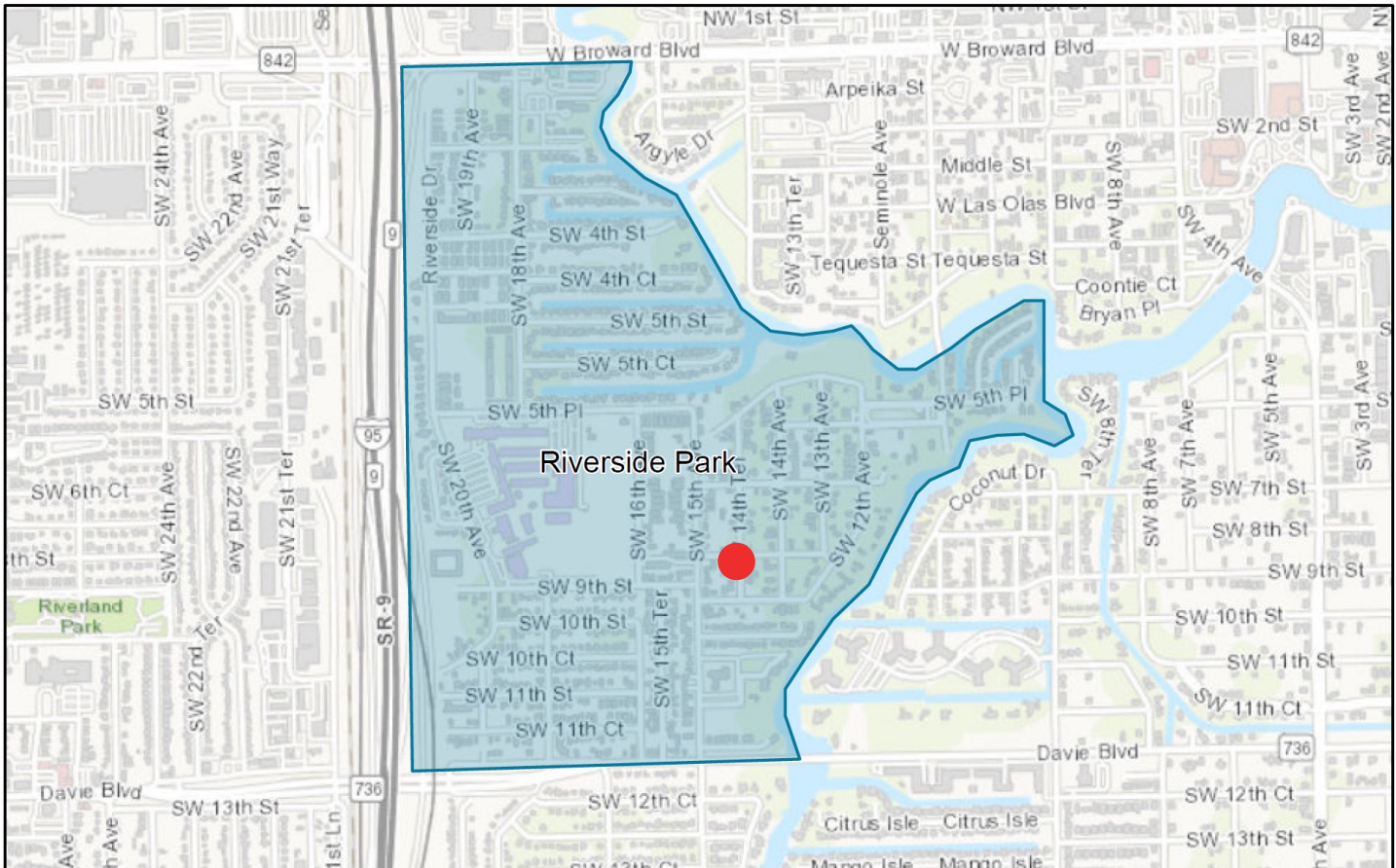
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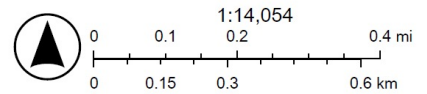
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Architectural Resource Survey Area Map: Riverside Park



Esri, HERE, Garmin, GeoTechnologies, Inc., USGS, MET/NASA, EPA, USDA



FMSF Number: BD09380**Folio: 504209010280****Address: 1401 SW 11 PL**

Year Built: 1955

Permit Year: 1954

Style: Mid-Century Modern

Architect: Lester Avery

Alterations: 1993 2nd Floor addition, bed & bath suite; 1959 addition of cabana, pool; 1975 reroof; 1989 reroof; 1991 wood storage bldg with garage door detached; 2013 sfr addition 1 bed 1 bath, and new roof;

Exterior Plan: Irregular

Stories: 1

Exterior Material: Stucco and Wood Clapboard

Roof Type: Flat

Roof Material: Built-up

Windows: Casement

Narrative: 1401 SW 11th Place is a one-story Mid-Century Modern Style residential structure with an irregular plan. It has a stucco exterior with a flat built-up roof. Character defining features include its wide eaves that extend into a carport structure supported by a metal pole, the exterior façade materials including a combination of smooth stucco and wood clapboard, its low chimney cap, and its elongated irregular plan.

Significance (Explanation of Evaluation) This property appears eligible for listing on the National Register of Historic Places under Criterion C in the area of architecture as an intact example of its style. The house retains a high degree of integrity of location, design, setting, materials, workmanship, feeling, and association.

Mid-Century Modern

The architecture of the period, which spans the years directly after WWII and the beginning of the 1970s (1945-1970) began a new aesthetic which capitalized on minimalism and the rejection of ornament. In its place, architects turned to the design of geometric and angular forms and their relationship to one another and the illusion of the outdoors brought inside. To do this, architects employed large expanses of glass and open floor plan to maximize the interior light.

Following on the heels of the likes of Frank Lloyd Wright and Mies van der Rohe flat planes and clean lines became the desirable aesthetic. In Florida's domestic architecture there was a proliferation of ranch style and Minimal Traditional homes which emphasized the connection between the interior and exterior spaces, acknowledging that living included backyard space.

Raw materials such as brick and wood were featured in many of the designs, sometimes in geometric patterns, and often in abstract patterns. Mass production standardized many of the options in house design and led to an affordability in home ownership illustrating the prosperity of the new middle class.

Lester Avery

Lester Avery (1891-1973) Avery was born in Montana and graduated from St. John's Academy in British Honduras where he studied architecture. His career began in Clearwater, Florida, but later moved to South Florida, actively designing in building types within various modern styles. He is primarily known for single-family residences in the modern vernacular and minimal traditional styles, and later in his career, he designed several mid-century modern and modern vernacular motels, hotels, and apartment buildings.

Historic Context

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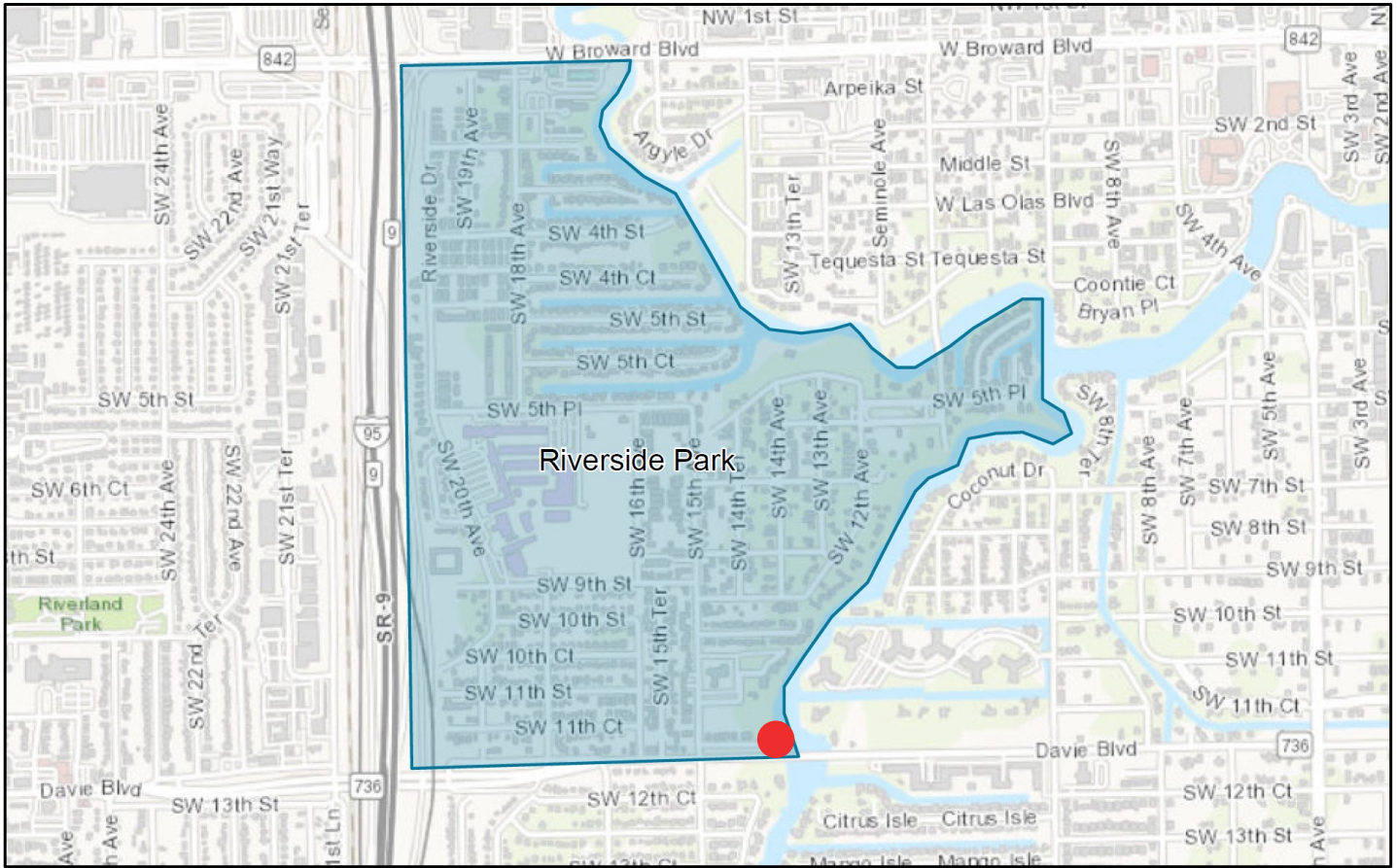


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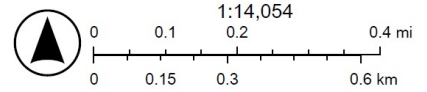
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Architectural Resource Survey Area Map: Riverside Park



Esri, HERE, Garmin, GeoTechnologies, Inc., USGS, METINASA, EPA, USDA



FMSF Number: BD09384

Folio: 504209021360

Address: 1415 SW 9 ST #1-4

Year Built: 1970

Permit Year: 1969

Style: Contemporary

Architect: Donald Singer

Alterations: 1988 replace 4 windows; 1996 reroof flat

Exterior Plan: Irregular

Stories: 2

Exterior Material: Stucco

Roof Type: Flat

Roof Material: Built-up

Windows: Casement; Fixed

Narrative: 1415 SW 9th Street is a two-story Contemporary Style multi-family residential structure with an irregular plan. It has a stucco exterior with a flat built-up roof. Character defining features include the multiple sheltered entrances for the multiple units, the extruded elements extending outward from the façade, and the multi-tiered roof creating an asymmetrical façade.

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Contemporary

The contemporary style was inspired by the modern movement and Frank Lloyd Wright's Usonian house paradigm. The Contemporary style is defined by its widely overhanging eaves, roof beams, obscured or recessed entries, and windows located in gable ends or tucked under the eaves. The style has many variants in plan and roof forms. Window placement is generally dictated by intentional views or light access, rather than symmetry or traditional convention.

Historic Context

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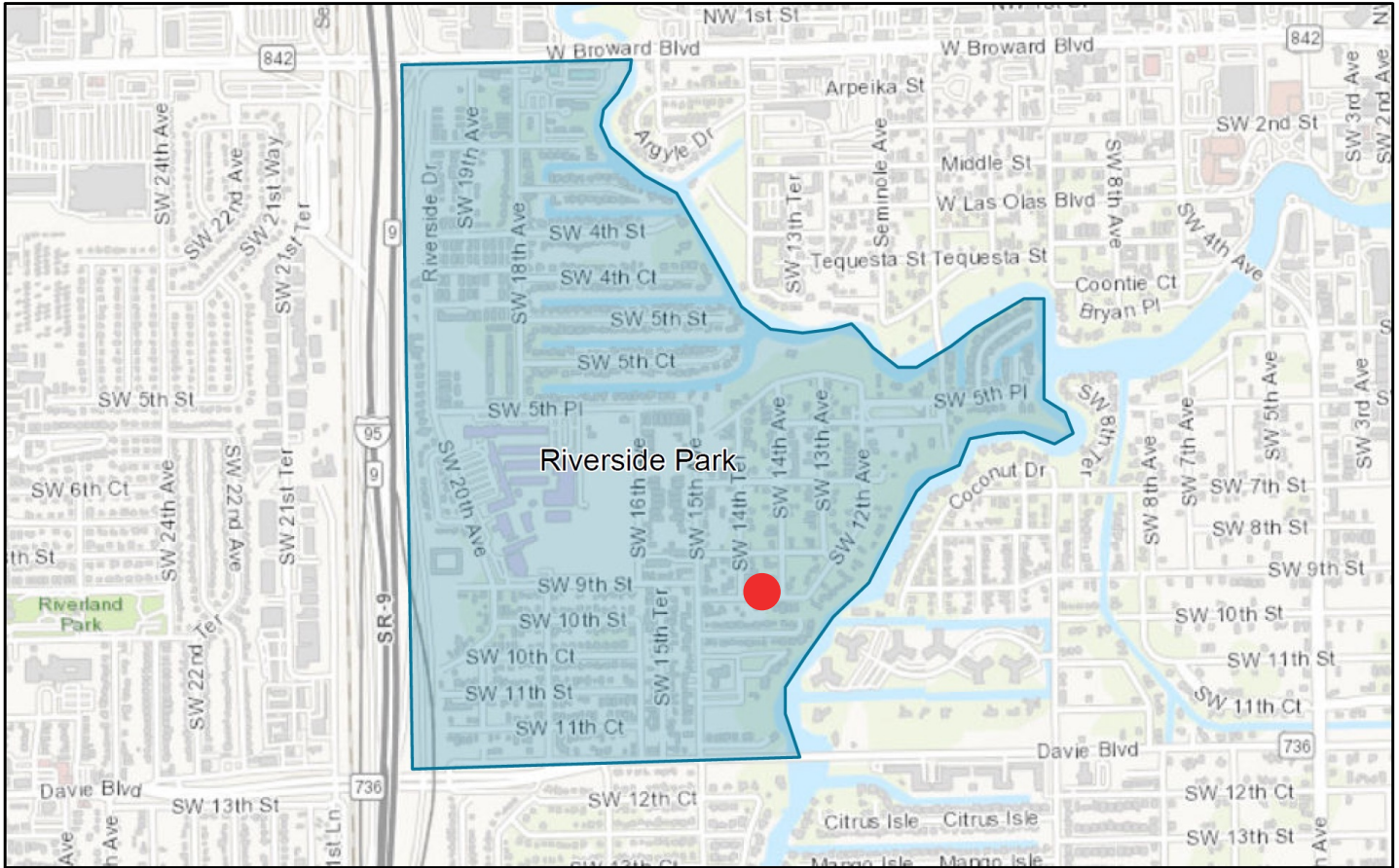
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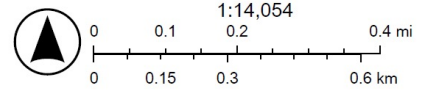
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Esri, HERE, Garmin, GeoTechnologies, Inc., USGS, MET/NASA, EPA, USDA



FMSF Number: BD09385**Folio: 504209021660****Address: 625 SW 14 AVE**

Year Built: 1924

Permit Year: 1938

Style: Mission

Architect: Unknown

Alterations: 1938 bathroom on back of house; 1947 foundation; 1947 addition of room; 1973 reroof;

Exterior Plan: Rectangular

Stories: 1

Exterior Material: Stucco

Roof Type: Flat

Roof Material: Built-up

Windows: Single-Hung

Narrative: 625 SW 14 Avenue is a two-story Mission Style residential structure with a rectangular plan. It has a textured stucco exterior with a flat built-up roof. Character defining features include the textured stucco façade, the covered porch with curved top openings, the symmetrical plan with entry stairs framed by a curved low wall, and the flat roof with caps punctuating the roof line at regular intervals.

Significance (Explanation of Evaluation) This property appears eligible for listing on the National Register of Historic Places under Criterion C in the area of architecture as an intact example of its style. The house retains a high degree of integrity of location, design, setting, materials, workmanship, feeling, and association.

Mission

The Mission Revival style rose in popularity beginning in the 1890s and continued being used into the 1920s. The style, which was used less frequently in Florida than Spanish and Italian Renaissance-revival styles, began in California as a reflection of that area's colonial past. Although plan books often included examples of the Mission style, it was rarely used outside of the southwestern states. Within Victoria Park, typical features of the style include decorative roof parapet, prominent coping, bell-tower inspired chimney caps and roof scuppers.

Historic Context

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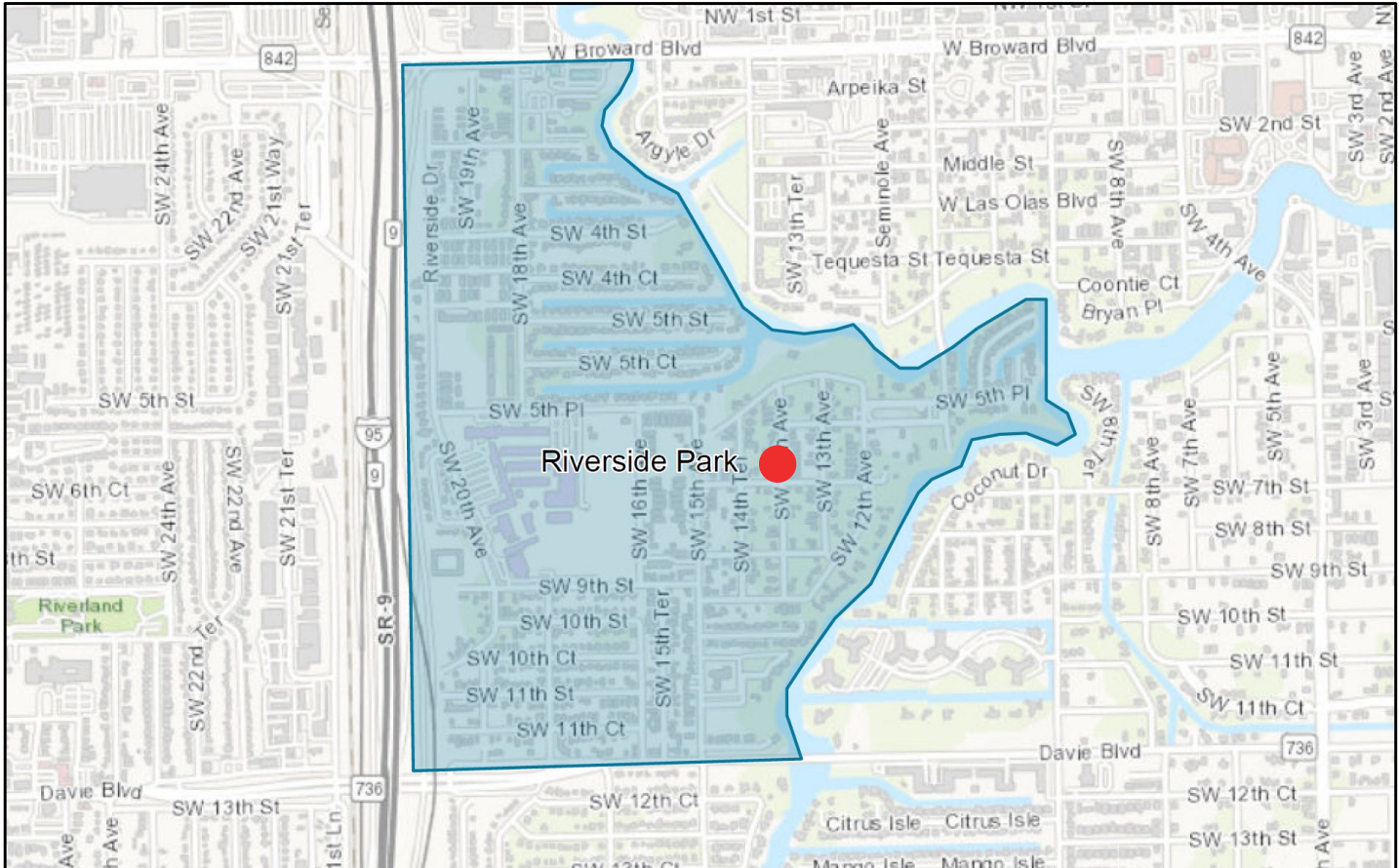
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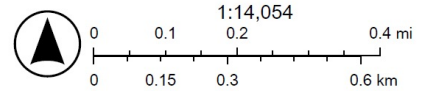
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Architectural Resource Survey Area Map: Riverside Park



Esri, HERE, Garmin, GeoTechnologies, Inc., USGS, MET/NASA, EPA, USDA



FMSF Number: BD09386

Folio: 504209022030

Address: 1425 SW 8 CT

Year Built: 1926

Permit Year: 1948

Style: Mission

Architect: Unknown

Alterations: 1948 add to acc building; 1958 reroof; 1965 replace windows; 1967 Repairs to res;

Exterior Plan: Rectangular

Stories: 1

Exterior Material: Stucco

Roof Type: Flat

Roof Material: Built-up

Windows: Single-Hung

Narrative: 1425 SW 8th Court is a one-story Mission Style residential structure with a rectangular plan. It has a textured stucco exterior with a flat built-up roof. Character defining features include its textured stucco exterior, the flat roof with a decorative parapet lined with a wide coping, and its asymmetrical façade with its offset entryway.

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Mission

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FMSF Number: BD09389

Folio: 504209220190

Address: 1709 W LAS OLAS BLVD

Year Built: 1968

Permit Year: 1968

Style: Modern

Architect: Arthur H. Rude

Alterations: 1983 3 windows; 1984 reroof; 2002 reroof flat;

Exterior Plan: Rectangular

Stories: 2

Exterior Material: Stucco; Wood

Roof Type: Low profile slope; Flat

Roof Material: Built-up

Windows: Awning

Narrative: 1709 W Las Olas Boulevard is a two-story Tropical Modern Style residential structure with a rectangular plan. It has a stucco and wood exterior with a mixture of a low profile slope and flat built-up roof. Character defining features include the semi-symmetrical façade with a double floor to ceiling high set of fixed windows creating an elongated appearance to the two-story structure, the wide roof eaves, the large expanse of awning windows on the second floor, the tucked in front entrance protected by an eyebrow protrusion that is an extension of the garage roof, the wood clapboard siding, and the low brick planter that sits adjacent to the front entrance.

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Modern

In large part, the term modern is used for buildings favored by architects who paved new ground in American architectural history particularly in the 60s and 70s. These avant-garde prototypes used expanses of glass, asymmetrical composition and was devoid of surface ornament. Simultaneously, in residential construction, there was a resurgence of interest in historical architecture, as details, such as porches with piers or columns recall a Neo-Classical detail.

Arthur H Rude

Arthur H. Rude (c.1962-2021) was born in Chicago and graduated from University of Illinois-Champaign. Rude served in the Navy during World War II and the Korean War. Following his service in the Navy, Rude arrived in Fort Lauderdale in the 1950s with his wife Catherine and worked as an architect designing both residential and commercial buildings. Starting in 1966, he served multiple terms as a state representative and was later elected as chairman of the Broward County Republican Executive Committee. Rude passed away in 2021.

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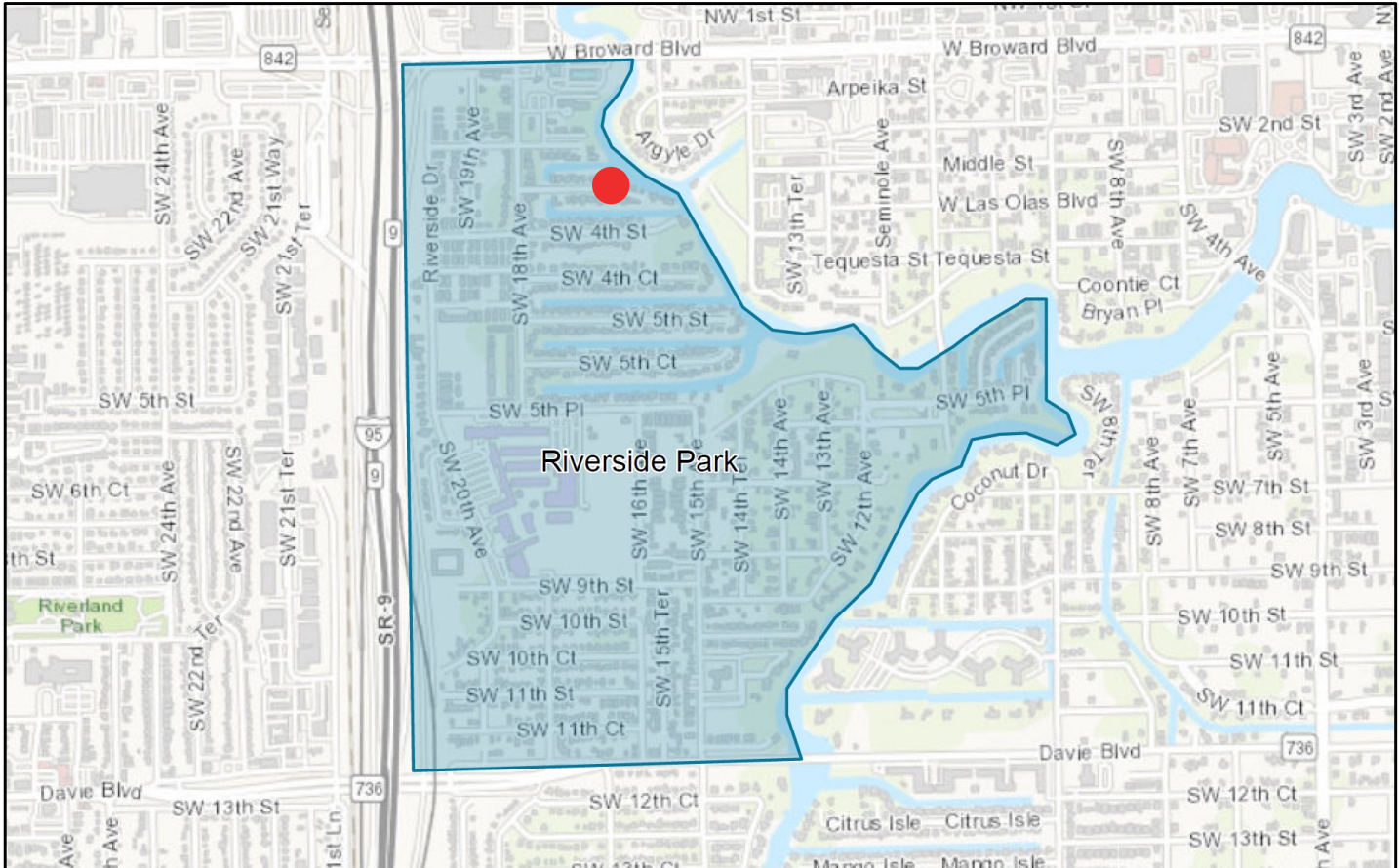
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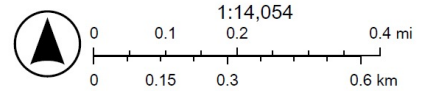
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Architectural Resource Survey Area Map: Riverside Park



Esri, HERE, Garmin, GeoTechnologies, Inc., USGS, MET/NASA, EPA, USDA



FMSF Number: BD09390

Folio: 504209290010

Address: 1100 SW 15 AVE

Year Built: 1969

Permit Year: 1969

Style: Contemporary

Architect: Maxwell Parish

Alterations: Replacement of windows in 1999

Exterior Plan: Irregular

Stories: 1

Exterior Material: Brick

Roof Type: Intersecting Gables

Roof Material: Asphalt Shingle

Windows: Single-hung

Narrative: 1100 SW 15th Avenue is a one-story Contemporary Style residential structure with an irregular plan. It has a brick exterior with an intersecting gable asphalt shingle roof. Character defining features include the low sloped roof with deep eaves, the brick detail at the front façade of the main sanctuary, and the stucco window surrounds that creates a break in the brick façade and an elongated appearance of the windows.

Significance (Explanation of Evaluation) This property appears eligible for listing on the National Register of Historic Places under Criterion C in the area of architecture as an intact example of its style. The building retains a high degree of integrity of location, design, setting, materials, workmanship, feeling, and association.

Contemporary

The contemporary style was inspired by the modern movement and Frank Lloyd Wright's Usonian house paradigm. The Contemporary style is defined by its widely overhanging eaves, roof beams, obscured or recessed entries, and windows located in gable ends or tucked under the eaves. The style has many variants in plan and roof forms. Window placement is generally dictated by intentional views or light access, rather than symmetry or traditional convention.

Historic Context

By 1925, the "Land Boom" peaked. With an increased population, there was a tremendous need for imported food and building materials, most of which had to be transported over the single-track FEC railroad. The effect on construction in Fort Lauderdale was catastrophic. By early 1926, northern banks became cautious about construction lending. A majority of speculative developers were wiped out immediately during this period of restrictive capital allocation.

Historian Bill McGoun shared the compounded downward trajectory of speculative development, "...others (developers), who might have been able to survive the economic downturn, could not weather the great hurricane that roared out of the Caribbean and smashed squarely into south Broward on September 17 and 18, 1926." The Great Hurricane coupled with bleak headlines in northern newspapers brought the Depression to South Florida three years before it hit the rest of the nation.

One unique feature of Riverside Park is the peninsula known as "Little Florida," located at the point where the north and south forks of the New River diverge, which imitates the form of the State of Florida. The property was purchased in 1936 by Grace Patton Barrows and her husband. It is a key landmark along the river.

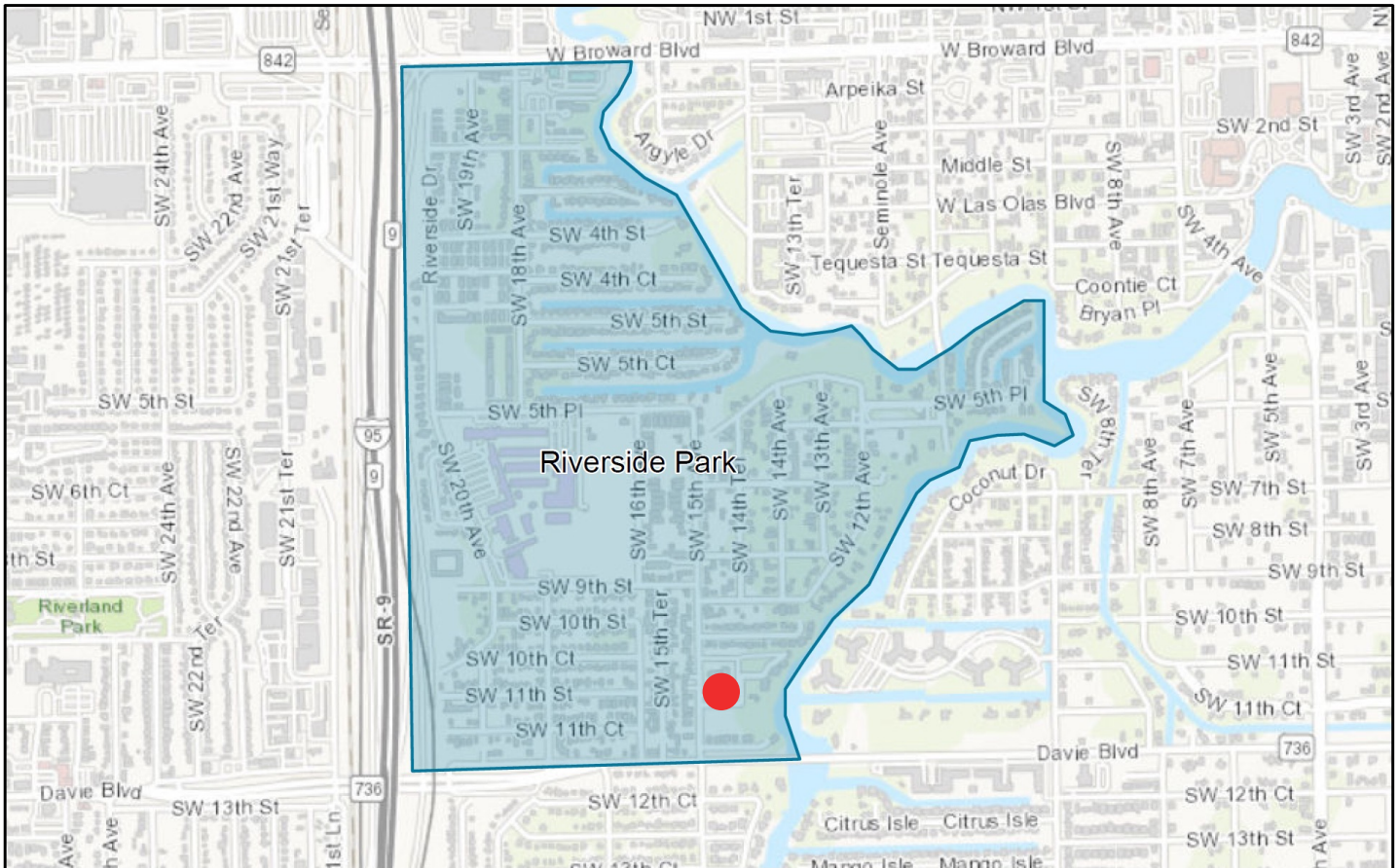
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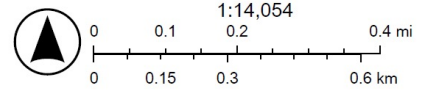
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Architectural Resource Survey Area Map: Riverside Park



Esri, HERE, Garmin, GeoTechnologies, Inc., USGS, MET/NASA, EPA, USDA



FMSF Number: BD09391

Folio: 504209300050

Address: 1025 SW 5 PL

Year Built: 1960

Permit Year: 1960

Style: Contemporary

Architect: Nils Victor Johnson

Alterations: Replacement of select doors in 2018

Exterior Plan: Irregular

Stories: 2

Exterior Material: Stucco

Roof Type: Flat

Roof Material: Built-up

Windows: Single-hung

Narrative: 1025 SW 5th Place is a two-story Contemporary Style residential structure with a rectangular plan. It has a stucco exterior with a flat built-up roof. Character defining features include irregular plans that juxtapose each elevation in multiple angles, the double roof line created at both the first and second levels, and the wide roof eaves.

Significance (Explanation of Evaluation) This property appears eligible for listing on the National Register of Historic Places under Criterion C in the area of architecture as an intact example of its style. The building retains a high degree of integrity of location, design, setting, materials, workmanship, feeling, and association.

Contemporary

The contemporary style was inspired by the modern movement and Frank Lloyd Wright's Usonian house paradigm. The Contemporary style is defined by its widely overhanging eaves, roof beams, obscured or recessed entries, and windows located in gable ends or tucked under the eaves. The style has many variants in plan and roof forms. Window placement is generally dictated by intentional views or light access, rather than symmetry or traditional convention.

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FMSF Number: BD09392

Folio: 504209510010

Address: 1800 SW 5 Place - Stranahan High School

Year Built: 1967

Permit Year: Unknown

Style: Mixed

Architect: Unknown

Alterations: None known

Exterior Plan: Mixed - Multiple Buildings

Stories: 1

Exterior Material: Stucco

Roof Type: Flat

Roof Material: Built-up

Windows: Multiple types

Narrative: 1800 SW 5th Place is Stranahan High School and contains multiple structures of various heights and styles. Due to limited time in conducting this reconnaissance level architectural resource survey, limited research was conducted for this property. However, it is recommended that this site be studied further for its potential as a historic landmark site.

Significance (Explanation of Evaluation) This property appears eligible for listing on the National Register of Historic Places under Criterion C in the area of architecture as an intact example of its style. The building retains a high degree of integrity of location, design, setting, materials, workmanship, feeling, and association.

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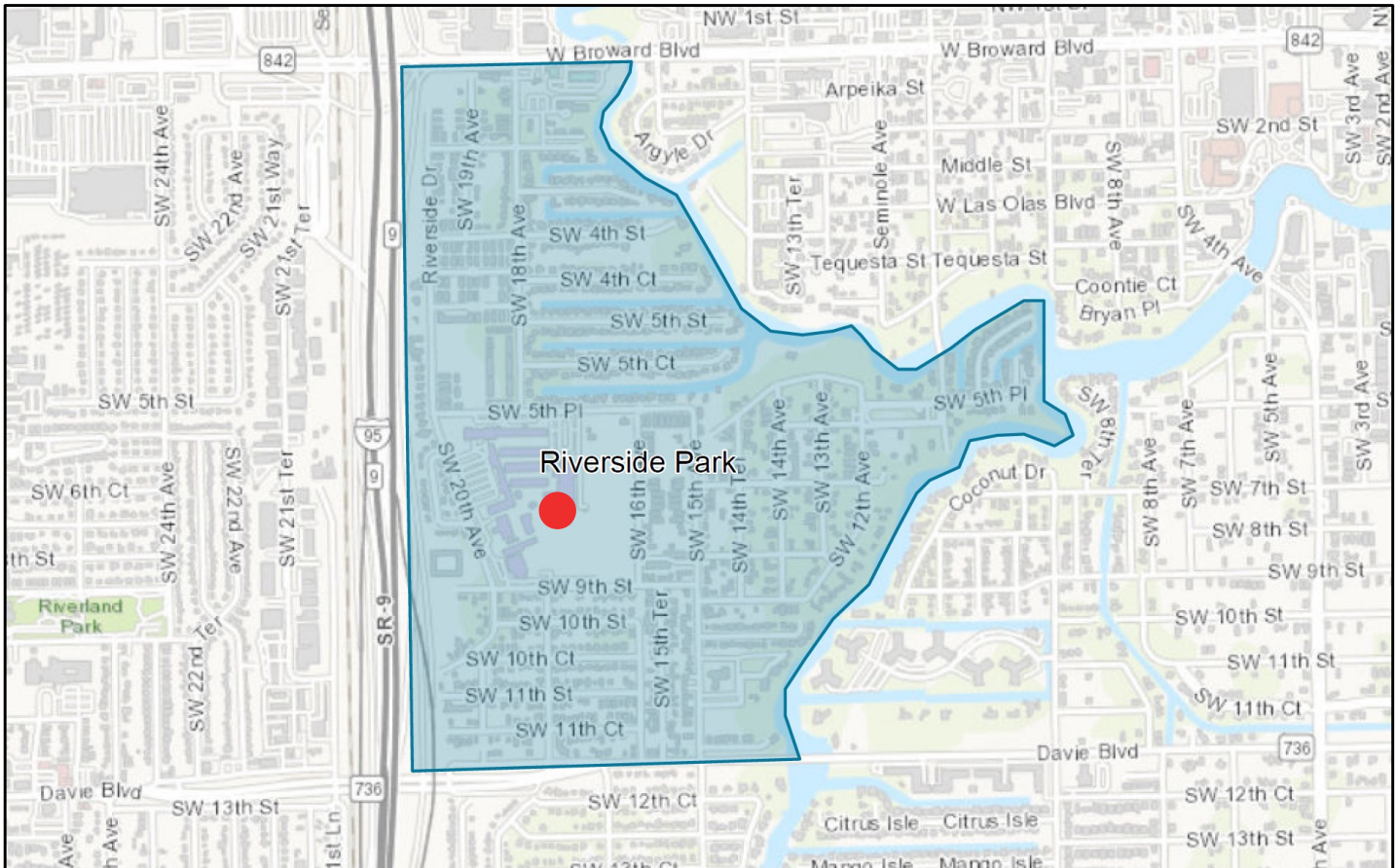
In the southwest section of Riverside Park, formerly referred to as Riverside No. 2, thirty-eight acres became available. Broward County had narrowed its list of proposed sites for the city's third high school including properties within Riverside Park located between Southwest 5th and 9th Avenues, two blocks east of the Seaboard railroad tracks. This site was ultimately selected and construction began on the first building which would be used temporarily for an elementary school. The school was built in stages over several years. In 1929, "Central High School" was renamed "Stranahan High School" after pioneers Frank and Ivy Stranahan. They dedicated their lives to improving the welfare of children throughout Broward County and donated the use of land known as Stranahan Field adjacent to the high school. Over 650 students were registered for the 1929-30 school term in 1929.

Bibliography

Historic Property Associates, Inc., "Historic Properties Survey." Fort Lauderdale, Florida. 1988.

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