



# DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

**MEETING DATE:** November 14, 2023

**PROPERTY OWNER /  
APPLICANT:** Cordova Road, LLC.

**AGENT:** Jaime Sturgis, Native Realty

**PROJECT NAME:** Gateway

**CASE NUMBER:** UDP-S23028

**REQUEST:** Site Plan Level III Review: Parking Reduction Request  
for 1,895 Square-Foot Outdoor Seating Area

**LOCATION:** 1930 E. Sunrise Blvd.

**ZONING:** Boulevard Business District (B-1)

**LAND USE:** Commercial

**CASE PLANNER:** Adam Schnell



Case Number: UDP-S23028

**CASE COMMENTS:**

**Prior to Planning and Zoning Board Meeting or Final DRC sign-off, please provide updated plans and written response to the following review comments:**

1. The provided survey shall be based on a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale. If any encumbrances are found in the property, provide a copy of the recorded documents accordingly (i.e. easements, dedications, agreements, vacations, etc.).
2. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If the adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
  - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works - Engineering Department. Submit water and wastewater capacity availability request form and documents/ plans through the city website.
3. The existing sidewalk along NE 9th Place shall continue through the existing asphalt drive. The Proposed sidewalk shall be constructed in conformance with the City's Standard Details.
4. The existing driveway along NE 9th Place in the City Right-of-Way no longer in use shall be removed. The driveway area is to be restored in compliance with City's Standard Details.
5. Existing curbing along NE 9th Place shall be continuous across the existing asphalt driveway and shall be constructed in conformance with the City's Standard Details. Curb cuts shall be installed to maintain the existing drainage flow.
6. Provide and label typical cross-sections for the development side of NE 9th Place at landscape swale area (i.e. between travel lane and sidewalk) as appropriate. Cross-sections should show the existing right of way.
7. Provide written permission from each adjacent property owner/HOA for the closure of the existing asphalt driveway.
8. The existing public sidewalks adjacent to the development (to remain) must be inspected by the Engineer of Record to ensure existing sidewalks meet ADA standards and are in good condition. A signed and sealed assessment must be provided indicating sidewalks were inspected and any sidewalk replacement requirements. Plans shall reflect the extent of sidewalk replacement accordingly.
9. Discuss how surface runoff from the development (between building and Right-of-Way boundaries) will be mitigated such that it won't be conveyed into the adjacent existing public storm drain infrastructure or waterways, and whether additional infrastructure will be required within City Right-of-Way.



For Engineering General Advisory DRC Information, please visit our website at  
<https://www.fortlauderdale.gov/home/showdocument?id=30249>

Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.



Case Number: UDP-S23028

**CASE COMMENTS:**

Please provide a response to the following:

1. Flood review is not required for this permit.

**General Comments**

The following comments are for informational purposes.



Case Number: UDP-S23028

**CASE COMMENTS:**

Please provide a response to the following.

1. For protection of those who would be utilizing the seating area from vehicles, please provide inground landscape materials with a pored concrete curbing at the north and south areas.
2. The Department is suggesting that thin trunked palms such as the Veitchia palms be provided. Providing palms will help in differentiating between the vehicle traffic area and seating area. Also, providing palms within the seating area will help in creating a sense of place and shade for the patrons. If the palms were a requirement of the code the planting area would need to be a minimum 4x4 feet planting area, the Department would support a planting pit of 3x3 feet with underplanting of shrub ground covers.
3. With the closing off of the drive isle for the proposed seating, please also close off the driveway within the right of way. Please remove paving and road rock from the right of way to provide additional landscape area. Within this newly formed landscape area within the right of way provide additional street trees. Please provide the same street tree (palms) theme as already present.
4. Additional comments may be forthcoming after the next review of new plans and written comment responses.

**GENERAL COMMENTS**

The following comments are for informational purposes.

Please consider the following prior to submittal for Building Permit:

1. Proposed landscaping work in the City's right of way requires engineering approval. This approval requires documents to be submitted for Engineering review. Note that Landscape will not approve permit review without these Engineering documents being submitted.



Case Number: UDP-S23028

**CASE COMMENTS:**

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided. Please provide Garbage, Recycling can placement on the plans.
2. Recycling reduces the amount of trash your business creates, and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
4. Solid Waste charges shall be collected in monthly lease with Sanitation account for property under one name (Commercial).
5. Service Days shall be: No restriction for Commercial collection. Service may not occur earlier than 7:00 am or later than 10:00 pm within 250 feet of residential.
6. Solid Waste Collection shall be on private property container shall not be placed, stored, or block the public street to perform service (large multifamily and commercial parcels).
7. Submit a Solid Waste Management Plan on your letterhead containing the name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
  - *This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to Gwoolweaver@fortlauderdale.gov . The letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and containers requirements to meet proposed capacity.*
  - *Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.*

**GENERAL COMMENTS**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

Please provide specific details of solid waste and recycling collection per building



Case Number: UDP-S23028

**CASE COMMENTS:**

1. The proposal is requesting to close of driveway access to the development from NE 9<sup>th</sup> Place and increase a restaurant use, City will request the applicant provide the city with an FDOT pre application access management letter for the proposed change in site circulation. This proposed circulation change and increase in trip generation may affect the access to and from the FDOT roadway Sunrise Blvd.
2. Include a table showing the proposed land uses, the floor area in square feet for each land use, the parking ratio, the number of parking spaces required by type, and the number of parking spaces proposed by type (standard, compact, handicapped, bicycle, loading, etc.). ULDR Sec. 47-20.2. - Parking and loading zone requirements.
3. The proposed site plan parking data table does not match the available parking sited in the parking study.
4. The parking study is using the surface parking lot owned by GATEWAY SHOPPING CENTER I CORP, please provide a parking agreement between the two sites and the city of Fort Lauderdale.
5. Provide details of all the users who have access rights to the parking lot owned by GATEWAY SHOPPING CENTER I CORP. Details should include the type of business use in each unit, area of each unit, is each unit active, which units are vacant.
6. With the closure of the driveway on NE 9<sup>th</sup> Place construct a new concrete sidewalk to align with the existing sidewalk in the public right of way.
7. Between the new concrete sidewalk and the travel lane cut the remaining asphalt and replace with a grass swale and curb the swale but provide curb cuts in the curb to allow water to flow into the new swale.
8. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges), alleys with alleys (15' measured from intersection point of extended property lines), alleys with streets (15' measured from intersection point of extended property lines), and streets with streets (25' measured from intersection point of extended property lines). The request for reduction of sight triangle dimensions is subject to review by the City Engineer on a case-by-case basis. Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35.
9. All internal circulation and queuing areas must be designed to accommodate the turning radii of the vehicles that will be using the site. Provide auto turn vehicular paths to depict how the ground floor site circulation will work.
10. Any proposed drainage well, manhole, pull box etc. installed in the sidewalk must be flat, ADA compliant and not impact the effective width of the sidewalk clear path.
11. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices and indicate on the site plan. This includes all access to/from the site entrance. Add the dimension, clearances, and slopes of the walkways.



12. Bicycle parking is strongly encouraged. Consult the APBP Bicycle Parking Guidelines, city of Fort Lauderdale Parking Standards and Broward County End-of-Trip Bicycle Facilities Guide. Look to provide the minimum long term and short-term bicycle parking based on requirements in the guide and include total counts on the site plan data sheet. Bicycle parking needs to be located on the site so that it is accessible to the public.
  
13. Additional comments may be provided upon further review.



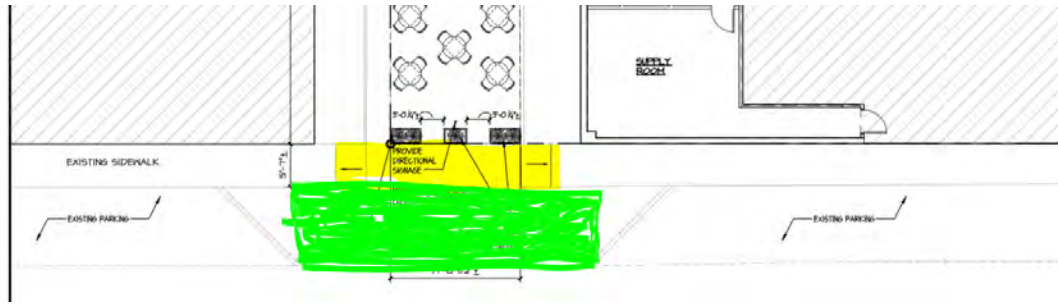


Case Number: UDP-S23028

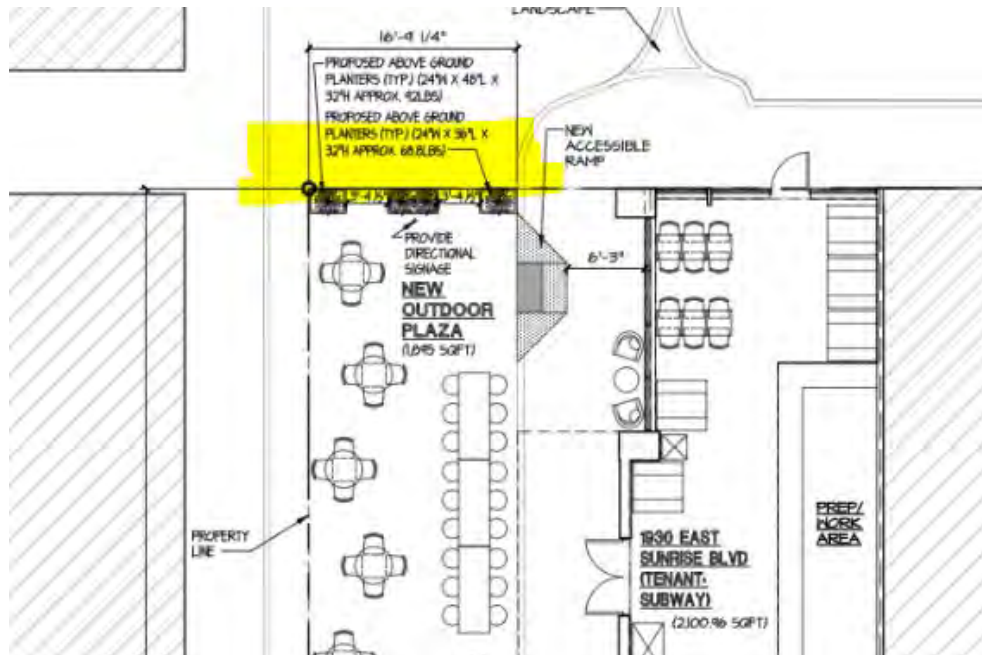
**CASE COMMENTS:**

Please provide a response to the following:

1. Pursuant to State Statute 166.033(1) the application must be deemed approved, approved with conditions, or denied within 180 days of completeness determination, on or before April 21, 2024, unless a mutually agreed upon time extension is established between the City and the applicant. Failure to meet the applicable timeframe or request an extension may result in the application being denied by the City and the applicant may be required to refile a new application and fees to proceed unless the applicant submits a waiver of these timeframes as provided in the completeness email from the City.
2. The site is designated Commercial on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives, and Policies.
3. The proposed project must be consistent with the latest recorded plat restrictions. Provide a Plat Determination Letter from Broward County Planning Council verifying whether the property needs to be platted or re-platted by following the Platting Determination Submittal Requirements or contact the Broward County Planning Council, at (954) 357-6695. If a plat note or non-vehicular access line (NVAL) amendment is needed, a separate application is required, which is reviewed administratively and can be found here: Administrative Review Application
4. Proposed improvements will affect the sites' common areas. Provide an authorization letter from Gateway Shopping Center I Corp.
5. Apply for a water and sewer capacity letter from the City of Fort Lauderdale Public Works Department. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services/engineering-permits/development-review-committee-service-demand-calculations-for-water-sewer-request-form>
6. To ensure the closure of the entryway does not violate any existing agreements or encumbrances, provide a title search of the property to the reviewing Engineer.
7. Indicate the project's compliance with the following ULDR sections by providing a point-by-point narrative response, on letterhead, with date and author indicated.
  - a. Section 47-25.2,- Adequacy Review
5. Provide the following changes to the site plan:
  - a. Provide a parking data table that includes all existing and proposed uses, as well as parking demand calculations. The parking data table needs to provide the onsite deficit, number of offsite parking spaces available for use, and the number of offsite parking spaces within the parking study area being used to satisfy the site's parking requirements.
  - b. Provide dimensions of the outdoor seating area on the site plan.
  - c. The closure of the entryway requires the continuation of the streetscape, to include a landscape swale, street trees, curb, and sidewalk, etc. Work with Engineering and Landscaping to satisfy the streetscape improvements. Reference the landscaped area in green and sidewalk in yellow, below.



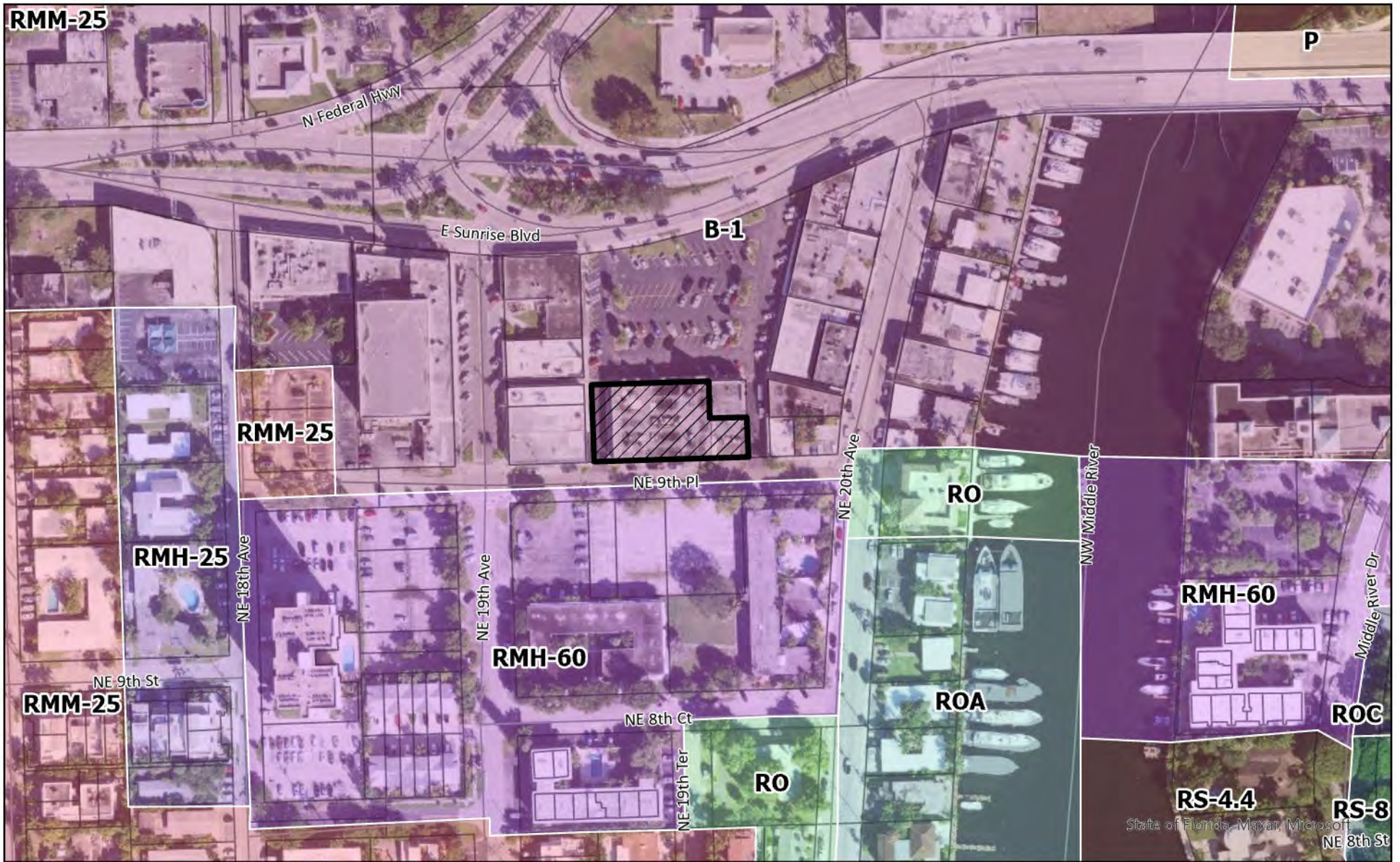
- d. To ensure pedestrian safety, extend the existing internal sidewalk from the northwest corner of the Subway shop across the drive isle to connect to the existing sidewalk in front of 1922 E. Sunrise Boulevard. Consider a sidewalk underdrain to allow water to pass under the new sidewalk or raise the outdoor seating areas to match the grade of the existing sidewalks.





**GENERAL COMMENT**

6. Please note any proposed signs will require a separate permit application.
7. If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.
8. An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Pre-PZ and/or Final DRC sign-off, please schedule an appointment with the project planner (call 954-828-4798) to review project revisions and/or to obtain a signature routing stamp. Please note applicant is responsible for obtaining signatures from all discipline members that had comments and may need to resolve comments through individual appointments if necessary.



UDP-S23028 - 1930 E SUNRISE BLVD.

