



BOARD OF ADJUSTMENT MEETING NOTICE

Date: December 28, 2023

A Public Hearing will be held before the Board of Adjustment on: **January 10th, 2024 at 6:00 P.M.**

This meeting will be held in-person at: Development Services Department (Lobby) 700 NW 19th Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA

| | |
|-----------------------------|--|
| CASE: | PLN-BOA-23070002 |
| OWNER: | OSTROVSKY, STEVE |
| AGENT: | N/A |
| ADDRESS: | 3000 RIVERLAND ROAD, FORT LAUDERDALE FL 33312 |
| LEGAL DESCRIPTION: | LOT 1, OF BLOCK 2, OF RIVERLAND MANORS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 27, PAGE 49, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (SEE SURVEY) |
| ZONING DISTRICT: | RS-3.52 – IRREGULAR RESIDENTIAL |
| COMMISSION DISTRICT: | 4 |
| REQUESTING: | <p><u>Sec. 47-39. A.1.b.(3). (h). - General provisions.</u></p> <ul style="list-style-type: none"> • Requesting a variance to allow the total aggregate floor area of all accessory buildings to 13.46 percent, whereas the code allows a maximum of 5 percent of the plot area, a total increase of 8.46 percent. <p><u>Sec. 47-39. A.1.b.(3) – General provisions.</u></p> <ul style="list-style-type: none"> • Requesting a variance to allow an accessory building to encroach into the required 25-foot front yard. The accessory building will be setback 5.2 feet from the front plot line. • Requesting a variance to allow an accessory building to encroach into the required 15-foot Street side yard. The accessory building will be setback 5.5 feet from the street side plot line.. <p><u>Sec. 47-2.2. Q.3.- Sight triangle.</u></p> <ul style="list-style-type: none"> • Requesting a variance to reduce the sight triangle requirements from Twenty-five (25) feet from the intersection point of the extended property lines at a street and a street to 15 feet. |

To watch and listen to the meeting, please visit: <https://www.fortlauderdale.gov/government/BOA> OR www.youtube.com/cityoffortlauderdale

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK
ZONING ADMINISTRATOR

Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.




PLN-BOA-23070002


LEGEND

-  Municipal Boundary
-  Subject Site

N



0 100 200 US Feet



CODE FOR PLN-BOA-23070002

Sec. 47-39.A.1.b.(3).(h) - General provisions.

(h) The aggregate floor area of all accessory buildings shall not exceed five (5) percent of the plot area.

Sec. 47-39.A.1.b.(3) - General provisions.

Yard encroachments. All required yards shall be open and unobstructed from ground to sky except as follows or as otherwise permitted in this article for zero lot line developments:

Sec. 47-2.2. Q.3 Sight triangle.

A triangular shaped area of land, as defined in Section 47-35, Definitions, and measured as follows: 1. Ten (10) feet from the intersection point of the edge of a driveway and curb, or in the event that there is no curb, the edge of the alley or street pavement; or 2. Fifteen (15) feet from the intersection point of the extended property lines at an alley and a street; or 3. Twenty-five (25) feet from the intersection point of the extended property lines at a street and a street. 4. The sight triangle requirements may be reduced from twenty-five (25) feet to no less than fifteen (15) feet, for the purpose of retaining existing, mature landscaping, when the following conditions are present: a. The property is located on a local street and intersects with another local street; b. The property is located in a single family zoning district (RS-4.4, RS-8, RD-15, RD's-15, RC-15 and RC's-15) or a Historic Designated District; c. The request for reduction of sight triangle dimensions is subject to review by the City Engineer on a case-by-case basis, shall comply with engineering standards and shall take into consideration neighborhood characteristics such as the location of schools, parks and other community facilities, pedestrian facilities such as adequate sidewalks, street characteristics such as pavement width, width of border (right-of-way line to curb), the curvature of the street, speed limits, and other similar elements.

Sight triangles located at the intersection of a local street or driveway with a right-of-way under County, State or Federal jurisdictions, may be subject to the sight visibility requirements of those jurisdictions.

Records

Showing 1-40 of 54

| <input type="checkbox"/> | Record, Permit, or Account # | Record Description | Application Name | Record Type | Balance | Planner Name | Area # | Area | Area Name | Type | Unit # (start) | Status |
|--------------------------|--|--|-----------------------------------|--|-------------------------|------------------------------|------------------------|----------------------|---------------------------|----------------------|--------------------------------|------------------------|
| <input type="checkbox"/> | BLD-RPAV-23120002 | ATF- PAVING AND REPAIR BE23070355 | ATF- PAVING AND REPAIR BE230... | R sid ntial Paving P rmit | 641.55 | | 3000 | | RIVERLAND | RD | | Awaiting C |
| <input type="checkbox"/> | BE23080029 | SEDIMENT LADEN WATER FLOWING DOWN THE STREET | SEDIMENT LADEN WATER FLOWING... | Building Cod Cas | | Linda Holloway e | 3000 | | Riv rland | RD | | Compli d |
| <input type="checkbox"/> | BE23070355 | PAVING BACKYARD AND EXPIRED PERMITS FOR POOL RENO... e | PAVING BACKYARD W/NO PERMIT ... | Building Cod Cas | | Pr ston Mark e | 3000 e | | RIVERLAND e | RD e | | Sp cial M: |
| <input type="checkbox"/> | PLN-BOA-23070002 | | CARPORT | Z- Board of Adjustm nt (BOA) | 0 | | 3000 | | RIVERLAND | RD | | Op n |
| <input type="checkbox"/> | BLD-ACC-23040017 e | ATF-NEW FREESTANDING ALUMINUM STRUCTURE BE23030183 | ATF-NEW FREESTANDING ALUMINU... e | Acc ssory Structur P rmit | 0 | | 3000 | | RIVERLAND | RD | | Void |
| <input type="checkbox"/> | BE23030183 | CARPORT STRUCTURE BUILT OUTSIDE OF ISSUED PERMITS... e | CARPORT STRUCTURE BUILT OUTS... | Building Cod Cas | | Linda Holloway e | 3000 | | RIVERLAND | RD | | Sp cial M: |
| <input type="checkbox"/> | ELE-RES-22100171 e | ATF:ELECT FOR POOL / NEW JACUZZI BP BLD-RPSF-220... | ATF:ELECT FOR POOL / NEW JA... | El ctrical R sid ntial P rmit e | 0 | | 3000 | | RIVERLAND | RD | | Expir d |
| <input type="checkbox"/> | PLB-MET-22070009 | METER RELOCATION AND NEW 1" DOMESTIC METER e | METER RELOCATION AND NEW 1" ... e | Plumbing M t r Install P rmit e | 0 | | 3000 | | RIVERLAND | RD | | Compl t |
| <input type="checkbox"/> | PLB-RES-22060232 e | ATF: PLUMBING FOR POOL BLD-RPSF-22060033 | ATF: PLUMBING FOR POOL BLD-R... | Plumbing R sid ntial P rmit | 0 | | 3000 | | RIVERLAND | RD | | Expir d |
| <input type="checkbox"/> | BLD-RPSF-22060033 e | ATF:POOL RENOV./NEW JACUZZI e | ATF:POOL RENOV./NEW JACUZZI | R sid ntial Pool-Spa-Fountain P rmit e | 0 e | | 3000 e | | RIVERLAND e | RD e | | Expir d e |
| <input type="checkbox"/> | BE22060093 | ATF:ADDING JACUZZI TO THE POOL WITHOUT PERMITS. ... e | ATF:ADDING JACUZZI TO THE PO... e | Building Cod Cas | | L onardo Martin z | 3000 | | RIVERLAND | RD | | Clos d |
| <input type="checkbox"/> | BE22060070 | ATF. ADDING JACUZZI TO THE POOL WITHOUT PERMITS. | ATF. ADDING JACUZZI TO THE P... | Building Cod Cas | | L onardo Martin z e | 3000 | | RIVERLAND | RD | | Clos d |
| <input type="checkbox"/> | CE22060246 e | TWO RECREATION VEHICLES ARE PARKED ON THIS PROPE... | TWO RECREATION VEHICLES ARE ... | Cod Cas | | ROBERTOME | 3000 | | RIVERLAND | RD | | Clos d |
| <input type="checkbox"/> | CE22050581 | NEIGHBOR COMPLAINT OF INTERMITTED SEWER GAS ODOR ... | SEWER GAS ODOR COMING FROM P... | Cod Cas e | | Marco Aguil ra e | 3000 | | RIVERLAND | RD | | Clos d |
| <input type="checkbox"/> | PLB-GAS-22010010 e | PLUMB GAS FOR BLD-RADD-21020008 | PLUMB GAS FOR BLD-RADD-21020008 e | Plumbing Gas P rmit e | 0 | | 3000 | | RIVERLAND | RD | | Compl t |
| <input type="checkbox"/> | BE21110035 | CONSTRUCTION NOISE BEFORE 8:00AM COMPLAINT e | CONSTRUCTION NOISE BEFORE 8:... | Building Cod Cas | | HECTORS e | 3000 | | RIVERLAND | RD | | Clos d |
| <input type="checkbox"/> | BE21090265 e | WORK W/O PERMIT : CONCRETE POURED UP TO THE SECON... e | | Building Cod Cas | | L onardo Martin z | 3000 e | | RIVERLAND e | RD | | Clos d |
| <input type="checkbox"/> | CE21070901e | CALLER STATES PEOPLE ARE LIVING IN THE CAMPERS (2... e | PEOPLE ARE LIVING IN THE CAM... e | Cod Cas e | | DARRINE e | 3000 | | RIVERLAND | RD | | Clos d |
| <input type="checkbox"/> | LND-TREE-21040008 | TREE REMOVAL e | TREE REMOVAL e | Landscap Tr R moval-R location P rmit | 0 e | | 3000 | | RIVERLAND | RD | | Void e |
| <input type="checkbox"/> | BLD-ROOF-21020135 | NEW ROOF THROUGHOUT ENTIRE HOME AND 2ND FLOOR. | NEW ROOF FOR BP BLD-RADD-210... | R -Roof P rmit | 0 | | 3000 | | RIVERLAND | RD | | Compl te |
| <input type="checkbox"/> | MEC-RES-21020033 | 2 NEW PACKED UNITS TO SUPPLY ENTIRE HOME, NEW DUC... | MECHANICAL FOR BP BLD-RADD-2... | M chanical R sid ntial P rmit e | 0 e | | 3000 | | RIVERLAND | RD | | Issu d |
| <input type="checkbox"/> | PLB-RES-21020112 | NEW PLUMBING FIXTURES FOR 2ND FLOOR, RENOVATED, A... | PLUMBING FOR BP BLD-RADD-210... | Plumbing R sid ntial P rmit e | 0 | | 3000 | | RIVERLAND | RD | | Compl t |
| <input type="checkbox"/> | ELE-RES-21020109 | NEW ELECTRICAL DEVICES FOR 2ND FLOOR. e | ELECTRICAL FOR BP BLD-RADD-2... | El ctrical R sid ntial P rmit e | 0 | | 3000 | | RIVERLAND | RD | | Issu d |
| <input type="checkbox"/> | BLD-RADD-21020008 e | ATF:2ND FLOOR ADDITION AND REMODELING e | ATF:2ND FLOOR ADDITION AND R... e | R sid ntial Addition P rmit e | 0 | | 3000 | | RIVERLAND | RD | | Issu d |
| <input type="checkbox"/> | CV21010156 | FBC(2017) 105.1 ~ R quir d. ~ R quir d. Any... | | Violation-BLD H aring | 0 e | | 3000 e | | RIVERLAND e | RD | | Clos d |
| <input type="checkbox"/> | BE20100017 | PERGOLAS BUILT WITHOUT PERMIT. | | Building Cod Cas | | Al xand r Albor s e | 3000 | | RIVERLAND | RD | | Clos d e |
| <input type="checkbox"/> | CE20100167 | POSSIBLE SIGHT TRIANGLE VIOLATION.... SR | | Cod Cas | | Manu l Garcia | 3000 | | RIVERLAND | RD | | Clos d |
| <input type="checkbox"/> | BLD-PR-20060046 e | | copi s e | Prop rty R cord e | 0 | | 3000 | | RIVERLAND | RD | | Compl t |
| <input type="checkbox"/> | CE20030168 | CARPORT WAS EXTENDED ENCROACHING THE PROPERTY LINE, e | | Cod Cas | | Jam s F tt r | 3000 | | RIVERLAND | RD | | Clos d |
| <input type="checkbox"/> | CE20020977 | ILLEGAL SIGN | | Cod Cas | | Manu l Garcia e | 3000 | | RIVERLAND | RD | | Clos d |
| <input type="checkbox"/> | ELE-RES-20010022 e | ELECTRICAL FOR FENCE AND GATES -- BED-FEN-19100083 | ELECT. FOR FENCE/GATES -- BE... e | El ctrical R sid ntial P rmit | 0 | | 3000 | | RIVERLAND | RD | | Compl t |
| <input type="checkbox"/> | CE-20010160 | PROPERTY IS UNDER CONSTRUCTION W/O PERMITS, RV PA... e | | Cod Cas | | Manu l Garcia | 3000 e | | RIVERLAND e | RD | | Clos d |
| <input type="checkbox"/> | CE-19120086 | INSTALLING A FENCE IN THE RIGHT A WAY OVER 6 FT TALL | | Cod Cas | | Jorg Martin z e | 3000 | | RIVERLAND | RD | | Clos d |
| <input type="checkbox"/> | CE-19111125 e | | | Cod Cas e | | Manu l Garcia e | 3000 | | RIVERLAND | RD | | Clos d |
| <input type="checkbox"/> | ENF-VIO-19110016 | 47-34.4.B.1.~ Ov ight parking Comm rcial V h... e | | Violation-CODE H aring e | 0 | | 3000 | | RIVERLAND | RD | | Clos d e |
| <input type="checkbox"/> | BLD-ACC-19100016 e | PERGOLA | PERGOLA e | Acc ssory Structur P rmit e | 223.47 e | | 3000 | | RIVERLAND | RD | | Expir d e |
| <input type="checkbox"/> | CE-19100758 | BUILD OVERSIZE STRUCTURES IN THE BACK OF THE PROP... e | | Cod Cas | | Jorg Martin z e | 3000 | | RIVERLAND | RD | | Clos d |
| <input type="checkbox"/> | BLD-RPAV-19100023 | RB SLAB | RV SLAB | R sid ntial Paving P rmit e | 0 | | 3000 | | RIVERLAND | RD | | Compl t |
| <input type="checkbox"/> | BLD-FEN-19100083 | PERIMETER WALL AND GATE | PERIMETER WALL AND GATES e | F nc P rmit | 0 | | 3000 | | RIVERLAND | RD | | Compl t e |
| <input type="checkbox"/> | ENF-CODE-19100300 e | WHEN DOING MY CASE 1910024 I CHECKED IN THE SYSTE... e | | Cod Cas | | Jam s F tt r e | 3000 e | | RIVERLAND e | RD e | | Clos d |

Records

Showing 41-54 of 54

| <input type="checkbox"/> | Record, Permit, or Account # | Record Description | Applicant Name | Record Type | Balance | Planner Name | Street # | Dir | Street Name | Type | Unit # (start) | Status |
|--------------------------|--|--|---------------------------------|-----------------------------|-------------------------|------------------------------|--------------------------|---------------------|-----------------------------|----------------------|--------------------------------|------------------------|
| <input type="checkbox"/> | ENF-CODE-19100224 | | | Cod Cas | | Jam s F tt r e | 3000 | | RIVERLAND | RD | | Clos d |
| <input type="checkbox"/> | VIO-CE19090134_2 | RV/CAMPER IN THE FRONT OF THE PROPERTY, POSSIBLY | OSTROVSKIY, STEVE | Violation-CODE H aring | 0 | | 3000 | | RIVERLAND | RD | | Clos d |
| <input type="checkbox"/> | VIO-CE19090134_1 | RV/CAMPER IN THE FRONT OF THE PROPERTY, POSSIBLY | OSTROVSKIY, STEVE | Violation-CODE H aring | 0 | | 3000 | | RIVERLAND e | RD | | Clos d |
| <input type="checkbox"/> | CE19090134 | RV/CAMPER IN THE FRONT OF THE PROPERTY, POSSIBLY,... | OSTROVSKIY, STEVE | Cod Cas | | | 3000 | | RIVERLAND | RD | | Clos d |
| <input type="checkbox"/> | PM-19080789 | REPLACE 1 GARAGE DOOR 3 DOORS AND 8 WINDOWS e | REPLACE 1 GARAGE DOOR 3 DOOR... | Window and Door P rmit | 0 | | 3000 | | RIVERLAND | RD | | Compl t |
| <input type="checkbox"/> | VIO-CE19070536_1 | | SINACORE,P D & CAROLE J | Violation-CODE H aring | 0 | | 3000 | | RIVERLAND | RD | | Clos d |
| <input type="checkbox"/> | CE19070536 | L/S - PROLOGIX - 0 OPEN CASES e | SINACORE,P D & CAROLE J | Cod Cas | | | 3000 | | RIVERLAND | RD | | Clos d |
| <input type="checkbox"/> | VIO-CE18100064_1 e | LAUDERDALE ISLES - BULK TRASH PILE WAS FOUND ON | SINACORE,P D & CAROLE J | Bulk Trash Cas e | | | 3000 | | RIVERLAND | RD | | Clos d |
| <input type="checkbox"/> | CE18100064 e | LAUDERDALE ISLES - BULK TRASH PILE WAS FOUND ON, ... e | SINACORE,P D & CAROLE J e | Bulk Trash Cas e | | | 3000 | | RIVERLAND | RD | | Clos d |
| <input type="checkbox"/> | PM-17072134 e | REPLACE 1 16 X GARAGE DOOR e | REPLACE 1 16 X GARAGE DOOR | Window and Door P rmit e | 0 e | | 3000 e | | RIVERLAND e | RD e | | Compl t |
| <input type="checkbox"/> | VIO-CE17040708_1 e | LAUDERDALE ISLES - BULK TRASH PILE WAS FOUND ON | SINACORE,P D & CAROLE J | Bulk Trash Cas e | | | 3000 | | RIVERLAND | RD | | Clos d |
| <input type="checkbox"/> | CE17040708 e | LAUDERDALE ISLES - BULK TRASH PILE WAS FOUND ON, ... e | SINACORE,P D & CAROLE J e | Bulk Trash Cas e | | | 3000 | | RIVERLAND | RD | | Clos d e |
| <input type="checkbox"/> | PM-13090290 | SEPTIC TO SEWER COVERSION e | SEPTIC TO SEWER COVERSION | Plumbing S w r Cap P rmit e | 0 | | 3000 | | RIVERLAND | RD | | Compl t |
| <input type="checkbox"/> | PM-10010524 | INSTALL BURGLAR ALARM | INSTALL BURGLAR ALARM | El ctrical Burglar Alarm | 0 e | | 3000 e | | RIVERLAND e | RD e | | Compl t e |



CITY OF FORT LAUDERDALE

PUBLIC NOTICE

SIGN 1 OUT OF 2

BOARD OF ADJUSTMENT MEETING

DATE: JANUARY 10, 2024

TIME: 6:00 P.M.

CASE: PLN-BOA-23070002

Sec. 47-39. A.1.b.(3). (h). - General provisions.

• Requesting a variance to allow the total aggregate floor area of all accessory buildings to 13.46 percent, whereas the code allows a maximum of 5 percent of the plot area, a total increase of 8.46 percent.

Sec. 47-39. A.1.b.(3) – General provisions.

• Requesting a variance to allow an accessory building to encroach into the required 25-foot front yard. The accessory building will be setback 5.2 feet from the front plot line.

• Requesting a variance to allow an accessory building to encroach into the required 15-foot Street side yard. The accessory building will be setback 5.5 feet from the street side plot line.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
700 N.W. 19TH AVENUE (LOBBY)
FORT LAUDERDALE, FL., 33311
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:
<https://www.fortlauderdale.gov/government/BOA>
www.youtube.com/cityoffortlauderdale



This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a





CITY OF FORT LAUDERDALE

PUBLIC NOTICE

SIGN 2 OUT OF 2

BOARD OF ADJUSTMENT MEETING

DATE: JANUARY 10, 2024

TIME: 6:00 P.M.

CASE: PLN-BOA-23070002

Sec. 47-2.2. Q.3.- Sight triangle.

• Requesting a variance to reduce the sight triangle requirements from Twenty-five (25) feet from the intersection point of the extended property lines at a street and a street to 15 feet.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
700 N.W. 19TH AVENUE (LOBBY)
FORT LAUDERDALE, FL., 33311
CONTACT: 954-828-6506

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In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a



SIGN NOTICE

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. PLN-BOA-2307002

APPLICANT: Steve Ostrovskiy

PROPERTY: 3000 riverland road

PUBLIC HEARING DATE: _____

BEFORE ME, the undersigned authority, personally appeared Steve Ostrovskiy, who upon being duly sworn and cautioned, under oath deposes and says:

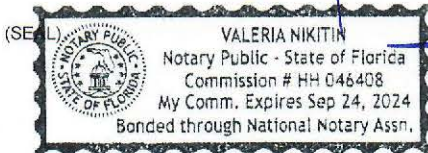
1. Affiant is the Applicant in the above cited City of Fort Lauderdale **Board or Commission** Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the **Board or Commission**.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least **fifteen (15) days** prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the **Board or Commission**. **Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.**
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division **five (5)** calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2.j of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit, \$10 (initial here)

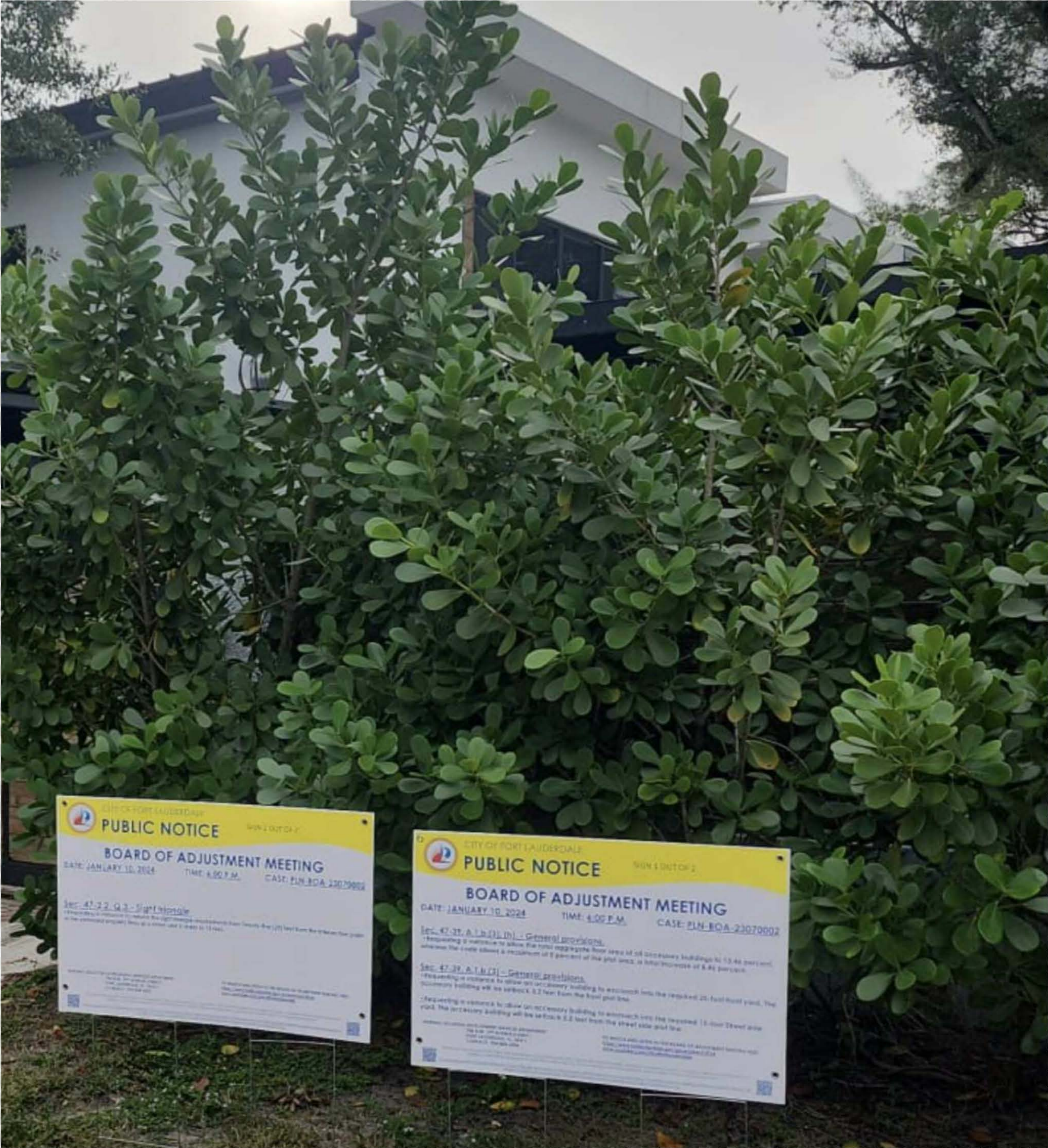
Steve Ostrovskiy

Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 12 day of December, 2023



NOTARY PUBLIC
MY COMMISSION EXPIRES: 9/24/24



CITY OF FORT LAUDERDALE
PUBLIC NOTICE SIGN 2 OUT OF 2

BOARD OF ADJUSTMENT MEETING
 DATE: JANUARY 10, 2024 TIME: 6:00 P.M. CASE: PLN-BOA-23070002

Sec. 47-22.03 - Sign Height
 Requesting a variance to reduce the sign height requirements from Section 47-22.03(b) from the minimum five feet to the maximum sign height of a maximum of 11 feet.

FOR MORE INFORMATION, VISIT OUR WEBSITE AT WWW.CITYOFFL.COM OR CALL US AT 352-271-2200. IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT THE PLANNING DEPARTMENT AT 352-271-2200.

CITY OF FORT LAUDERDALE
PUBLIC NOTICE SIGN 1 OUT OF 2

BOARD OF ADJUSTMENT MEETING
 DATE: JANUARY 10, 2024 TIME: 6:00 P.M. CASE: PLN-BOA-23070002

Sec. 47-27.01(b)(3) - General provisions
 Requesting a variance to allow the total impervious floor area of all accessory buildings to 13.44 percent, whereas the code allows a maximum of 8 percent of the plot area, is an increase of 5.44 percent.

Sec. 47-27.01(b)(3) - General provisions
 Requesting a variance to allow an accessory building to encroach into the required 20-foot front yard. The accessory building will be setback 0.2 feet from the front plot line.

Requesting a variance to allow an accessory building to encroach into the required 15-foot Street side yard. The accessory building will be setback 0.2 feet from the street side plot line.

FOR MORE INFORMATION, VISIT OUR WEBSITE AT WWW.CITYOFFL.COM OR CALL US AT 352-271-2200. IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT THE PLANNING DEPARTMENT AT 352-271-2200.

CITY OF FORT LAUDERDALE
PUBLIC NOTICE
BOARD OF ADJUSTMENT MEETING
 DATE: JANUARY 10, 2024 TIME: 6:00 P.M. CASE: PLK-80A-23070002
 SIGN 1 CUK 2 P 2

Sec. 47-39, A.1.b.(3). (b) - General provisions.
 • Requesting a variance to allow the total aggregate floor area of all accessory buildings to be 13.46 percent whereas the code allows a maximum of 8 percent of the plot area, a total increase of 5.46 percent.

Sec. 47-39, A.1.b.(3) - General provisions.
 • Requesting a variance to allow an accessory building to encroach into the required 25-foot front yard. The accessory building will be setback 5.2 feet from the front plot line.

Sec. 47-39, A.1.b.(3) - General provisions.
 • Requesting a variance to allow an accessory building to encroach into the required 13-foot front yard. The accessory building will be setback 5.5 feet from the street side plot line.

PLANNING DEPARTMENT
 800 N.W. 11th Avenue (3rd Fl.)
 Fort Lauderdale, FL 33311
 CONTACT: 754.438.4504

FOR MORE INFO, VISIT OUR WEBSITE AT www.fortlauderdale.gov OR CALL 754.438.4504

CITY OF FORT LAUDERDALE
PUBLIC NOTICE
BOARD OF ADJUSTMENT MEETING
 DATE: JANUARY 10, 2024 TIME: 6:00 P.M. CASE: PLK-80A-23070002
 SIGN 2 CUK 2 P 2

Sec. 47-39, A.1.b.(3). (b) - General provisions.
 • Requesting a variance to allow the total aggregate floor area of all accessory buildings to be 13.46 percent whereas the code allows a maximum of 8 percent of the plot area, a total increase of 5.46 percent.

Sec. 47-39, A.1.b.(3) - General provisions.
 • Requesting a variance to allow an accessory building to encroach into the required 25-foot front yard. The accessory building will be setback 5.2 feet from the front plot line.

Sec. 47-39, A.1.b.(3) - General provisions.
 • Requesting a variance to allow an accessory building to encroach into the required 13-foot front yard. The accessory building will be setback 5.5 feet from the street side plot line.

PLANNING DEPARTMENT
 800 N.W. 11th Avenue (3rd Fl.)
 Fort Lauderdale, FL 33311
 CONTACT: 754.438.4504

FOR MORE INFO, VISIT OUR WEBSITE AT www.fortlauderdale.gov OR CALL 754.438.4504





BOARD OF ADJUSTMENT (BOA) INFORMATION AND APPLICATION

- Cover : Deadlines, Fees and General Information
- Page 1 : Applicant Information Sheet
- Page 2 : Criteria for Variance Request
- Page 3 : Checklist for submittal and completeness
- Page 4 : Notice Requirements and Affidavit
- Page 5 : Technical Specifications

BOARD OF ADJUSTMENT MEETING REQUEST: Prior to the submittal of the Board of Adjustment application, applicants are required to schedule a meeting request with Zoning and Landscaping Division staff to obtain feedback regarding the proposed variance, special exception, or other applications. The meeting includes general guidance on the submittal and process for the application type. A meeting can be requested by emailing staff or submitting an email request to the [Board of Adjustment](#).

APPLICATION DEADLINE: Submittals must be received by 5:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if application, survey, plans and other documentation do not meet the submittal requirements and if changes are required. The applicable deadline dates can be found on the City’s website at the [Board of Adjustment](#) webpage.

ONLINE SUBMITTAL PROCESS: Submittals must be conducted through the City’s online citizen access portal and payment of fees [LauderBuild](#). LauderBuild requires the creation of an online account to submit a complete application. To access submittal requirements and standards please visit the [LauderBuild Plan Room](#). Staff will provide guidance once an application has been submitted to the City.

DETERMINATION OF COMPLETENESS: Submittals are reviewed for completeness to ensure the application submittal contains all the required information including plans, survey, proof of ownership, narratives, and other pertinent documentation. The City will notify the applicant within five (5) business days from submittal with a determination of completeness. The notification will be sent via email and will indicate application completeness or incompleteness with required changes.

PAYMENT OF FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit. Applicants will receive invoices electronically indicating the applicable fee(s). Note, there are fees at various stages of review depending on application type. Fees are paid online.

PUBLIC SIGN NOTICE: Board of Adjustment (BOA) application, and certain applications are subject to public sign notice. Affidavits must be completed and submitted to the City stated compliance that such has been completed. The affidavit form can be found in this package on page 4 and on the City’s website.

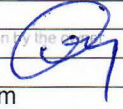
| Select the application type. | Fees |
|---|-----------|
| <input type="radio"/> Variance/Special Exception/Interpretation (Before): | \$2200.00 |
| <input type="radio"/> Variance/Special Exception/Interpretation (After): | \$2800.00 |
| <input type="radio"/> Variance/Special Exception/Interpretation (Before): Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) | \$650.00 |
| <input checked="" type="radio"/> Variance/Special Exception/Interpretation (After): Residential Accessory Structures & Existing Non-Conforming Structures (Homestead Only) | \$850.00 |
| <input type="radio"/> Request for Continuance | \$900.00 |
| <input type="radio"/> Request for Rehearing | \$300.00 |
| <input type="radio"/> Rehearing Request before the board | \$1150.00 |

Page 1: BOA - Applicant Information Sheet

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance(s) and/or special exception(s) requested. The application form must be filled out accurately and all applicable sections must be completed. Please print or type and answer all questions. Do Not leave any sections Blank. Indicate N/A if a question does not apply.

| | |
|----------------------------|-----------------|
| Case Number | PLN-BOA-2307002 |
| Date of complete submittal | |

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

| | |
|----------------------------|---|
| Property Owner's Name | Steve Ostrovskiy |
| Property Owner's Signature | <small>If a signed agent letter is provided, no signature is required on the application by the owner.</small>  |
| Address, City, State, Zip | 3000 riverland road |
| E-mail Address | inoutconstructioninc@gmail.com |
| Phone Number | 1st: 954-787-5258 2nd: 305-570-3262 |
| Proof of Ownership | <input type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record |

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

| | |
|------------------------------------|--------------------------|
| Applicant / Agent's Name | Steve Ostrovskiy |
| Applicant / Agent's Signature | |
| Address, City, State, Zip | |
| E-mail Address | |
| Phone Number | |
| Agent Authorization Form Submitted | <input type="checkbox"/> |

| | |
|--|--|
| Development / Project Name | CARPORT |
| Existing / New | Existing: <input checked="" type="checkbox"/> New: <input type="checkbox"/> |
| Project Address | Address: 3000 riverland road |
| Legal Description | RIVERLAND MANORS 27-49 B LOT 1 BLK 2 |
| Tax ID Folio Numbers <small>(For all parcels in development)</small> | 504220070200 |
| Variance/Special Exception Request <small>(Provide a brief description of your request)</small> | install a long carport |
| Applicable ULDR Sections <small>(Include all code sections)</small> | Sec. 47-39. A.1.b.(3). (h) , Sec. 47-39-A.1.b.(3) , Sec. 47-2.2. Q.3. |
| Current Land Use Designation | residential-single family |
| Current Zoning Designation | RS-3.52 |
| Current Use of Property | |
| Site Adjacent to Waterway | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |

| Setbacks (indicate direction N, S, E, W) | Required | Proposed |
|--|----------|----------|
| Front | 25' | 10' |
| Side | 15' | 3'8" |
| Side | | |
| Rear | | |

Page 2: Board of Adjustment (BOA) Criteria for Variance Request

Answer All questions on this page and attach narrative. If additional space is needed, attach additional page(s).

SPECIAL REQUEST: State the specific request according to the ULDR or other provisions of the Code.

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12. A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

The special conditions and circumstances affecting the property at 3000 Riverland Road are the numerous protected trees that surround the designated parking area. These trees, while valuable and protected, pose a significant threat to vehicles parked in the area due to falling branches, unsightly color stains, and other hazards. These conditions prevent the reasonable use of the property as a parking area for vehicles without risking damage to them.

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

The circumstances causing the special conditions are indeed peculiar to this property. The presence of protected trees in such close proximity to the designated parking area is unique to this property and is not a common condition found in other properties in the same zoning district. It constitutes a marked exception that differentiates this property from others in the area.

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

The literal application of the ULDR provisions would deprive the property owner of the substantial property right to protect their vehicles from tree-related damages, a right that is enjoyed by other property owners in the same zoning district who do not face the same tree-related challenges. This situation would result in an unfair and inequitable treatment of the property owner.

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

The unique hardship of protecting vehicles from tree-related damages is not self-created by the applicant or their predecessors. The property owner has been diligent in preserving the protected trees and is not responsible for the inherent risks posed by these trees. They have also demonstrated a commitment to following zoning regulations and are not disregarding or ignorant of the ULDR provisions.

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

The proposed variance, which involves the installation of a long carport in a carefully selected location, is the minimum variance required to make possible a reasonable use of the property while protecting vehicles from tree-related damages. The carport will be in harmony with the general purposes and intent of the ULDR by preserving the protected trees and maintaining safety for motorists. It will not be incompatible with adjoining properties or the surrounding neighborhood, as it is designed to blend seamlessly with the existing landscape. Furthermore, it will not be detrimental to the public welfare but rather enhance safety and vehicle protection.

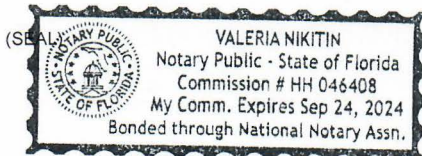
AFFIDAVIT: I, Steve Ostrovskiy the Owner/Agent of said property ATTEST that I am aware of the following:

- 1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
- 2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
- 3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
- 4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order or the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
- 5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

(Signature)

15 December

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this _____ day of _____, 2023



NOTARY PUBLIC MY COMMISSION EXPIRES: 9/24/24

Page 3: Checklist for submittal and completeness: The following information and checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide the information below will result in your application being deemed incomplete.

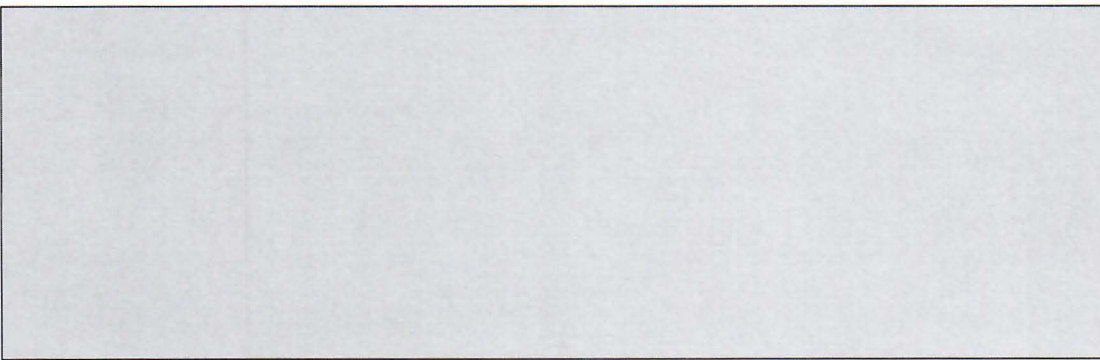
- Application submittals must be conducted through the City's Online Citizen Access Portal [LauderBuild](#).
Submit One (1) complete submittal by uploading all documents listed below through our City's online citizen access portal [LauderBuild](https://aca-prod.accela.com/FTL) (<https://aca-prod.accela.com/FTL>). Note: The survey and plans must be digitally signed and sealed when submitting through the [LauderBuild Portal](#) OR submit an Original Signed and Sealed Survey and Plans at 24" x 36". Click here for [Plans Room requirements](#).
- **Submit 14 copy sets** of each item listed below **AFTER** the complete application submittal has been Deemed Complete. Note: The survey and plans must be at half-size scale 11X17". One (1) complete original application submittal is required.

- Completed application** (all pages must be filled, completed, signed and notarized, where applicable).
- Mail notification documents** (mail notification instructions at bottom of page).
- Proof of ownership** (Broward County Property Records, warranty deed, and/or Sunbiz), including corporation documents if applicable.
- Agent Authorization Form.** Property owner(s) original notarized signature(s) is required (if applicable).
- Color photographs** of the entire property and all surrounding properties, dated and labeled and identified as to orientation.
- Narrative** describing specific request and outlining ULDR sections that are applicable. Narratives must be on letterhead, dated, and with author indicated.
- Cover sheet** on plan set to state project name and table of contents.
- Current survey(s)** of property, signed and sealed, showing existing conditions; survey must be As-Built with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of lands not included in the proposed project unless specifically requested by the City. *Survey should be less than 1 year.

- Site Plan** (a survey *may* be substituted if the requested variance is clearly indicated)
- Landscape Plan** (if applicable)
- Elevations** (if applicable)
- Additional Plan details as needed**

Note: All 14 copy sets must be clear and legible. Copy sets are due **AFTER** All deficiencies have been MET.

Note: Plans must be folded to 8 1/2" x 11". All non-plan documents should be 8 1/2" x 11".



MAIL NOTIFICATION: Pursuant to Section 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- **MAIL NOTICE:** Mail notice shall be given to owners of land within three hundred (300) feet of the subject site ten (10) days prior to the date set for the public hearing.
 - **TAX MAP:** Applicant shall provide a tax map from the Broward County Property Appraiser of all property within a three hundred (300) foot radius, with each property clearly shown and delineated. Each property within the notice area must be numbered (by Folio ID) on the map to cross-reference with property owners notice list.
 - **PROPERTY OWNERS NOTICE LIST:** Applicant shall provide a property owner notice list with the names, property control numbers (Folio ID) and complete addresses for all property owners within the required three hundred (300) foot radius. The list shall also include all homeowners' associations, condominium associations, municipalities and counties noticed, as indicated on the tax roll.
 - **ENVELOPES:** The applicant shall provide business size (#10) envelopes with first class postage attached (**stamps only, metered mail will not be accepted**). Envelopes must be addressed to all property owners within the required three hundred (300) foot radius, and mailing addresses must be typed or labeled; **no handwritten addresses will be accepted**. The return address shall be listed on all envelopes as follows:

City of Fort Lauderdale
Zoning & Landscaping Division -BOA
700 N.W. 19th Avenue
Fort Lauderdale, Florida 33311

- **DISTRIBUTION:** The City of Fort Lauderdale, Zoning & Landscaping Division will mail all notices prior to the public hearing meeting date, as outlined in Section 47-27.
- To order a Tax Map and Notice List, please contact Heather Hanson at hhanson@bcps.net or call 954-357-6855. You may also contact Kenny Gibbs at kgibbs@bcps.net or call 954-357-5503.

PROPERTY SUMMARY

| | | |
|---|--|--|
| Tax Year: 2023 | Property Use: 00 - Vacant residential | Deputy Appraiser: Residential Department |
| Property ID: 504220070200 | Millage Code: 0312 | Appraisers Number: 954-357-6831 |
| Property Owner(s): OST OVSKY, STEVE | Adj. Bldg. S.F.: 0 | Email: realprop@bcpa.net |
| Mailing Address: 3000 IVE LAND D FO T LAUDE DALE, FL 33312-4377 | Bldg Under Air S.F.: | Zoning: S-3.52 - I REGULA RESIDENTIAL |
| Physical Address: 3000 IVE LAND ROAD FO T LAUDE DALE, 33312-4377 | Effective Year: 0 | Abbr. Legal Des.: IVE LAND MANO S 27-49 B LOT 1 BLK 2 |
| | Year Built: | |
| | Units/Beds/Baths: 0 / 3 / 2 | |

PROPERTY ASSESSMENT

| Year | Land | Building / Improvement | Agricultural Saving | Just / Market Value | Assessed / SOH Value | Tax |
|------|-----------|------------------------|---------------------|---------------------|----------------------|------------|
| 2023 | \$178,070 | \$10 | 0 | \$178,080 | \$91,720 | |
| 2022 | \$89,040 | \$10 | 0 | \$89,050 | \$89,050 | \$1,108.64 |
| 2021 | \$89,040 | \$404,670 | 0 | \$493,710 | \$470,560 | \$8,531.29 |

EXEMPTIONS AND TAXING AUTHORITY INFORMATION

| | County | School Board | Municipal | Independent |
|--------------------|-----------|--------------|-----------|-------------|
| Just Value | \$178,080 | \$178,080 | \$178,080 | \$178,080 |
| Portability | 0 | 0 | 0 | 0 |
| Assessed / SOH 20 | \$91,720 | \$91,720 | \$91,720 | \$91,720 |
| Granny Flat | | | | |
| Homestead 100% | \$25,000 | \$25,000 | \$25,000 | \$25,000 |
| Add. Homestead | \$25,000 | 0 | \$25,000 | \$25,000 |
| Wid/Vet/Dis | 0 | 0 | 0 | 0 |
| Senior | 0 | 0 | 0 | 0 |
| Exemption Type | 0 | 0 | 0 | 0 |
| Affordable Housing | 0 | 0 | 0 | 0 |
| Taxable | \$41,720 | \$66,720 | \$41,720 | \$41,720 |

SALES HISTORY FOR THIS PARCEL

| Date | Type | Price | Book/Page or Cin |
|------------|---|-----------|------------------|
| 09/20/2022 | Quit Claim Deed Non-Sale Title Change | \$100 | 118415647 |
| 07/23/2019 | Personal representatives Deed Qualified Sale | \$530,000 | 115952036 |
| 07/01/1972 | Warranty Deed | \$54,000 | 5237 / 944 |
| 05/01/1964 | Warranty Deed | \$15,000 | |

LAND CALCULATIONS

| Unit Price | Units | Type |
|------------|-------------|-------------|
| \$10.00 | 17,807 SqFt | Square Foot |

RECENT SALES IN THIS SUBDIVISION

| Property ID | Date | Type | Qualified/ Disqualified | Price | CIN | Property Address |
|--------------|------------|---------------|-------------------------|-------------|-----------|--|
| 504220070150 | 04/04/2023 | Warranty Deed | Disqualified Sale | \$760,000 | 118777999 | 2591 SW 30 AVE FO T LAUDE DALE, FL 33312 |
| 504220070160 | 02/27/2023 | Warranty Deed | Qualified Sale | \$1,590,000 | 118730125 | 2587 SW 30 AVE FO T LAUDE DALE, FL 33312 |
| 504220070160 | 02/14/2022 | Warranty Deed | Qualified Sale | \$1,225,000 | 117949111 | 2587 SW 30 AVE FO T LAUDE DALE, FL 33312 |
| 504220070290 | 12/22/2021 | Warranty Deed | Qualified Sale | \$690,000 | 117837318 | 2437 SW 30 AVE FO T LAUDE DALE, FL 33312 |
| 504220070360 | 05/03/2021 | Warranty Deed | Qualified Sale | \$660,000 | 117262241 | 2519 SW 30 TE FO T LAUDE DALE, FL 33312 |

SPECIAL ASSESSMENTS

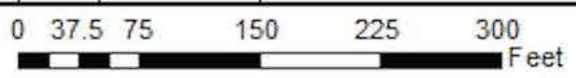
| Fire | Garb | Light | Drain | Impr | Safe | Storm | Clean | Misc |
|--------------------------------|------|-------|-------|------|------|-----------|-------|------|
| Ft Lauderdale Fire-rescue (03) | | | | | | (F3) | | |
| Vacant Lots (L) | | | | | | | | |
| 1 | | | | | | 17,807.00 | | |

SCHOOL

Stephen Foster Elementary: C
New River Middle: C
Stranahan High: C

ELECTED OFFICIALS

| Property Appraiser | County Comm. District | County Comm. Name | US House Rep. District | US House Rep. Name |
|-----------------------------|-------------------------|--------------------------|------------------------|--------------------------|
| Marty Kiar | 6 | Beam Furr | 25 | Debbie Wasserman Schultz |
| Florida House Rep. District | Florida House Rep. Name | Florida Senator District | Florida Senator Name | School Board Member |
| 99 | Daryl Campbell | 37 | Jason W. B. Pizzo | Sarah Leonardi |



| FOLIO_NUMB | NAME_LINE_ | NAME_LINE1 | ADDRESS_LI | CITY | STATEZIP |
|--------------|---------------------------------|-------------------------------|-----------------------------|------------------|----------|
| 504217010190 | PITCAIRN,TODD H | TODD H PITCAIRN REV TR ETAL | 2973 RIVERLAND RD | FORT LAUDERDALE | FL 33312 |
| 504217010220 | F & F INVESTMENT GROUP LLC | | 2800 NE 48 ST | LIGHTHOUSE POINT | FL 33064 |
| 504217010720 | BROWARD COUNTY | BOARD OF COUNTY COMMISSIONERS | 115 S ANDREWS AVE RM 501-RP | FORT LAUDERDALE | FL 33301 |
| 504217170150 | JONES,MATTHEW P | | 2373 SW 30 TER | FORT LAUDERDALE | FL 33312 |
| 504217170161 | BRANTLEY,CLAUDIA P M | | 2375 SW 30 TER | FORT LAUDERDALE | FL 33312 |
| 504217170180 | PUBLIC LAND | % CITY OF FORT LAUDERDALE | 100 N ANDREWS AVE | FORT LAUDERDALE | FL 33301 |
| 504217270290 | HOLMES,TYLER & AMANDA | | 3020 SW 23 ST | FORT LAUDERDALE | FL 33312 |
| 504217270300 | LEBOWITZ,JOSEPH & DANIELLE | | 3030 SW 23 ST | FORT LAUDERDALE | FL 33312 |
| 504217270310 | WATKINSON,MARY D | | 3040 SW 23 ST | FORT LAUDERDALE | FL 33312 |
| 504217270320 | ARRIETA,DAVID | | 3050 SW 23 ST | FORT LAUDERDALE | FL 33312 |
| 504217270330 | CROCKETT,JAMES | | 3051 RIVERLAND ROAD | FORT LAUDERDALE | FL 33312 |
| 504217270340 | JEAN-JOSEPH,REGINE | | 3041 RIVERLAND RD | FORT LAUDERDALE | FL 33312 |
| 504217270350 | LESLEY,HELEN | | 3031 RIVERLAND RD | FORT LAUDERDALE | FL 33312 |
| 504217270360 | ASPINALL,GARY & VIANKA | | 3021 RIVERLAND RD | FORT LAUDERDALE | FL 33312 |
| 504220070020 | D'ANNUNZIO GROVES,HEATHER | | 2972 RIVERLAND RD | FORT LAUDERDALE | FL 33312 |
| 504220070030 | ENGEL,MARK D & HEIDI L | MARK D & HEIDI L ENGEL REV TR | 2418 SW 30 AVE | FORT LAUDERDALE | FL 33312 |
| 504220070040 | ALAMARY,JACOB | DANIEL,DAVID | 2925 CORAL SHORES DR | FORT LAUDERDALE | FL 33306 |
| 504220070050 | HOLLEY,HEATH | | 2454 SW 30 AVE | FORT LAUDERDALE | FL 33312 |
| 504220070060 | GORNEY,RICHARD | | 2472 SW 30 AVE | FORT LAUDERDALE | FL 33312 |
| 504220070200 | OSTROVSKY,STEVE | | 3000 RIVERLAND RD | FORT LAUDERDALE | FL 33312 |
| 504220070210 | EVT LAND HOLDINGS LLC | | 240 N FIG TREE LN | FORT LAUDERDALE | FL 33317 |
| 504220070220 | WALDMAN,JOSEPH J & DONNA B | | 3030 RIVERLAND ROAD | FORT LAUDERDALE | FL 33312 |
| 504220070230 | DOS ANJOS,ANA | DOS ANJOS,OLGA | 3024 RIVERLAND RD | FORT LAUDERDALE | FL 33312 |
| 504220070240 | HANCOCK,STEPHEN | | 2436 SW 30 TER | FORT LAUDERDALE | FL 33312 |
| 504220070250 | ELBANNA,JAMIL NADER | | 17285 GRANDEE PL | SAN DIEGO | CA 92128 |
| 504220070260 | WELLS,JACK C JR & | SALOME,HELENA J | 2472 SW 30 TER | FORT LAUDERDALE | FL 33312 |
| 504220070270 | JAGUSZTYN,THADDEUS F & JUDY H | | 3005 SW 25 ST | FORT LAUDERDALE | FL 33312 |
| 504220070280 | RAAB,CHRISTOPHER | | 2453 SW 30 AVE | FORT LAUDERDALE | FL 33312 |
| 504220070290 | SCHWARTZ,MICHAEL | PALENCIA,NATALIA | 2437 SW 30 AVE | FORT LAUDERDALE | FL 33312 |
| 504220070580 | PUBLIC LAND | % CITY OF FORT LAUDERDALE | 100 N ANDREWS AVE | FORT LAUDERDALE | FL 33301 |
| 504220340010 | PEACOCK,WILLIAM G III | | 2409 SW 29 WAY | FORT LAUDERDALE | FL 33312 |
| 504220340020 | MARTY,DANIEL ROBERT H/E | HUERTAS,ANA MARIA | 2411 SW 29 WAY | FORT LAUDERDALE | FL 33312 |
| 504220340030 | CHABERT,ALEXANDRE | | 2421 SW 29 WAY | FORT LAUDERDALE | FL 33312 |
| 504220340040 | WHITE,JENNIFER & | WHITE,KEVIN | 2431 SW 29 WAY | FORT LAUDERDALE | FL 33312 |
| 504220340050 | RYAN,KATHERINE M | KATHERINE M RYAN REV TR | 2441 SW 29 WAY | FORT LAUDERDALE | FL 33312 |
| 504220340250 | RIVERLAND WOODS HNWNRS ASSN INC | | 2421 SW 29 WAY | FORT LAUDERDALE | FL 33312 |

3051

3041

3031

3021

5

land Rd

Riverland Rd

Riverland Rd

Riverla

3000 RIVERLAND ROAD

3030

3021

4

2437

3

Riverview Dr

SW 30th Ave

Rive

25

2972

2409

1

2418

2411

2

2436

2421



12/15/2023

PROPERTY 1

**2972 Riverland Rd
EAST OF 3000 RIVERLAND**



12/15/2023

PROPERTY 2

**2418 Riverview Dr
SOUTH EAST OF 3000 RIVERLAND**



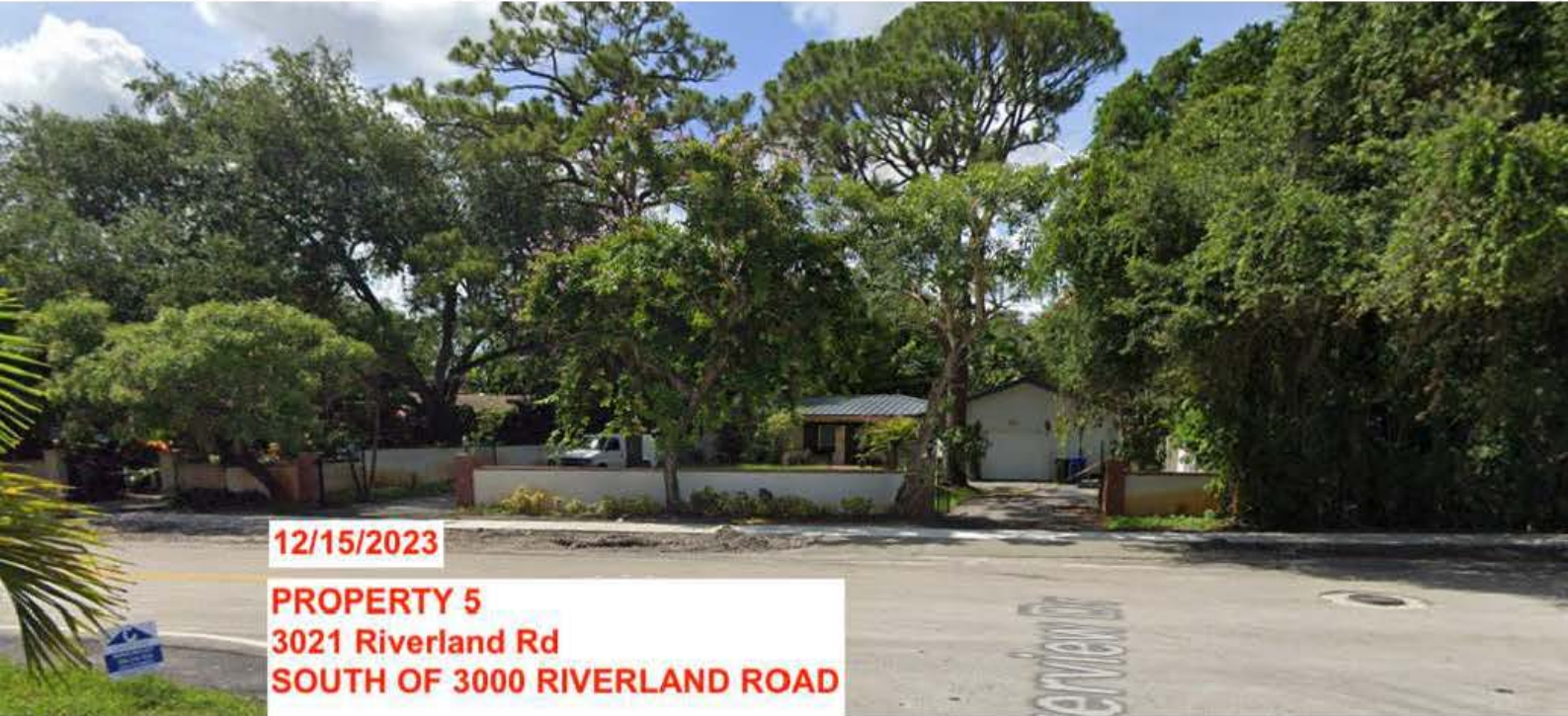
12/15/2023

PROPERTY 3
2437 Riverview Dr
SOUTH OF 3000 RIVERLAND ROAD



12/15/2023

**PROPERTY 4:
3021 Riverland Rd
NORTH OF 3000 RIVERLAND ROAD**



12/15/2023

PROPERTY 5
3021 Riverland Rd
SOUTH OF 3000 RIVERLAND ROAD

Steve Ostrovskiy
3000 Riverland Road
Fort lauderdale,FL,33312
adams.llc.us@gmail.com
(954)999-9777
12/15/2023

NARRATIVE LETTER: CARPORT AT 3000 RIVERLAND ROAD

Subject: Proposal for Carport Installation to Protect Vehicles from Tree Damage

Code sections:

Sec. 47-39. A.1.b.(3). (h). ,
Sec. 47-39-A.1.b.(3) , Sec. 47-2.2. Q.3.

Dear Board of adjustment,

I hope this letter finds you well. As the owner of 3000 Riverland Road, I am reaching out to discuss a pressing matter concerning the protection of vehicles on our property in light of the surrounding trees. I have a firm commitment to preserving the trees on our premises and, as such, I have no intention of removing any of them due to their protected status.

However, the vehicles parked in our designated parking area have been increasingly susceptible to damages caused by falling branches, unsightly color stains, and other related hazards. The situation has been further exacerbated by the prevailing storms activity in our region, which amplifies the risks and potential damages faced by our parked vehicles.

To address this issue effectively, I propose the installation of a long carport in the specific area as indicated in the attached survey. This area has consistently been dedicated to parking spaces, and by implementing a well-designed carport structure, we can ensure maximum protection for our vehicles while preserving the intended purpose of the space.

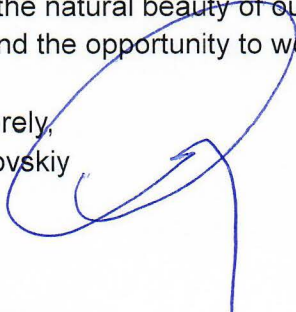
Importantly, I want to emphasize that the proposed carport location has been meticulously selected to have no adverse impact on drivers' sight distance. It has been strategically positioned at a considerable distance from the main road to maintain unobstructed visibility and prioritize safety for all motorists.

I kindly request your consideration and support for this proposal. By installing a long carport, we will effectively shield our vehicles from tree-related damages while respecting and maintaining the cherished trees that adorn our property.

I am open to engaging in constructive dialogue to address any concerns or suggestions you may have, with the ultimate goal of refining and finalizing this proposition.

Thank you for your attention to this matter. Your support in safeguarding our vehicles and preserving the natural beauty of our property would be greatly appreciated. I eagerly await your response and the opportunity to work together for the benefit of all stakeholders.

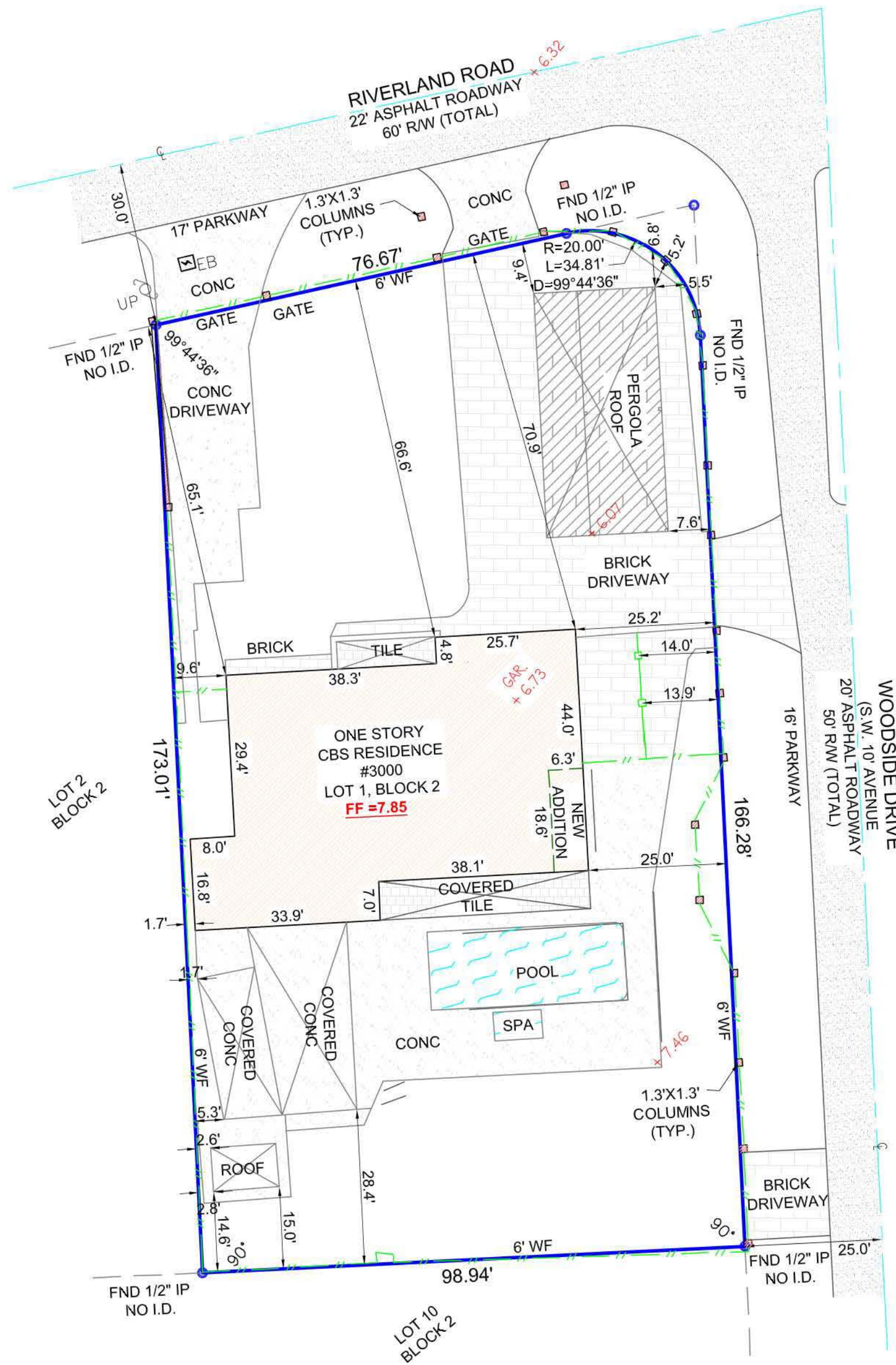
Yours sincerely,
Steve Ostrovskiy



GENERAL LEGEND:

- A/C = AIR CONDITIONER
- AF = ALUMINUM FENCE
- BCR = BROWARD COUNTY RECORDS
- BM = BENCHMARK
- CB = CATCH BASIN
- C.M.E. = CANAL MAINTENANCE EASEMENT
- C/L = CENTERLINE
- CLF = CHAIN LINK FENCE
- CBS = CONCRETE BLOCK STRUCTURE
- CHATT = CHATTAHOOCHEE
- CONC = CONCRETE
- D = DELTA (CENTRAL ANGLE)
- D.E. = DRAINAGE EASEMENT
- E = EAST
- ELE = ELEVATION
- X 0.00' = ELEVATION
- EOP = EDGE OF PAVEMENT
- EOW = EDGE OF WATER
- FF = FINISHED FLOOR
- FH = FIRE HYDRANT
- FN = FOUND NAIL
- FIP = FOUND 1/2" IRON PIPE
- FIR = FOUND 3/8" IRON ROD
- FND = FOUND NAIL & DISC
- INV = INVERT
- L = ARC LENGTH
- LP = LIGHT POLE
- LME = LAKE MAINTENANCE EASEMENT
- N = NORTH
- N&D = NAIL & DISC
- MF = METAL FENCE
- MH = MAN HOLE
- OH = OVERHEAD CABLES
- OR = OFFICIAL RECORD BOOK
- O/S = O/S
- PB = PLAT BOOK
- PBCR = PALM BEACH COUNTY RECORDS
- P.C. = POINT OF CURVATURE
- PG = PAGE
- PL = PLANTER
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- PP = POOL PUMP
- PVCF = POLYVINYL CHLORIDE FENCE
- R = RADIUS
- R/W = RIGHT OF WAY
- S = SOUTH
- S/W = SIDEWALK
- SIR = SET 3/8" IRON ROD #6677
- SND = SET NAIL & DISC
- TYP = TYPICAL
- U.E. = UTILITY EASEMENT
- W = WEST
- WF = WOOD FENCE
- WM = WATER METER
- WV = WATER VALVE

- OVERHEAD CABLES (OH)
- POLYVINYL CHLORIDE FENCE (PVCF)
- CHAIN LINK FENCE (CLF)
- WOOD FENCE (WF)
- METAL FENCE (MF)
- * DEGREE SYMBOL
- WATER METER LIGHT POLE
- AT&T BOX UTILITY POLE



LEGAL DESCRIPTION:

LOT 1, BLOCK 2 OF "RIVERLAND MANORS" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 27, PAGE 49 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CERTIFICATIONS:

STEVE OSTROVSKIY

SURVEYORS NOTES:

- (1.) ANGLES IF SHOWN ARE REFERENCED TO THE RECORD PLAT AND ARE AS MEASURED.
- (2.) LEGAL DESCRIPTION PROVIDED BY CLIENT UNLESS OTHERWISE NOTED.
- (3.) NO UNDERGROUND IMPROVEMENTS LOCATED EXCEPT AS SHOWN.
- (4.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT THEREFOR THE ONLY SURVEY MATTERS SHOWN ARE PER THE RECORD PLAT. THERE MAY BE ADDITIONAL MATTERS OF RECORD, NOT SHOWN WHICH CAN BE FOUND IN THE PUBLIC RECORDS OF THE CORRESPONDING COUNTY OF RECORD.
- (5.) THERE MAY BE EXISTING RECORDED EASEMENTS CONTAINED IN THE PUBLIC RECORDS NOT DEPICTED HEREON THAT ONLY A THOROUGH TITLE SEARCH WOULD UNCOVER.
- (6.) SURVEY PURPOSE FOR ADDITION
- (7.) ELEVATIONS (IF SHOWN) ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) UNLESS OTHERWISE NOTES. BENCHMARK REFERENCE: BROWARD COUNTY BENCHMARK #: SW643, FLORIDA PERMANENT REFERENCE STATION (FPRS), ELEVATION = 4.991' (NAVD 1988)

Ernest W Duncan Digitally signed by Ernest W Duncan
Date: 2023.10.30 15:36:50 -04'00'

BOUNDARY SURVEY
PROPERTY ADDRESS:
3000 RIVERLAND ROAD,
FT. LAUDERDALE, FL. 33312

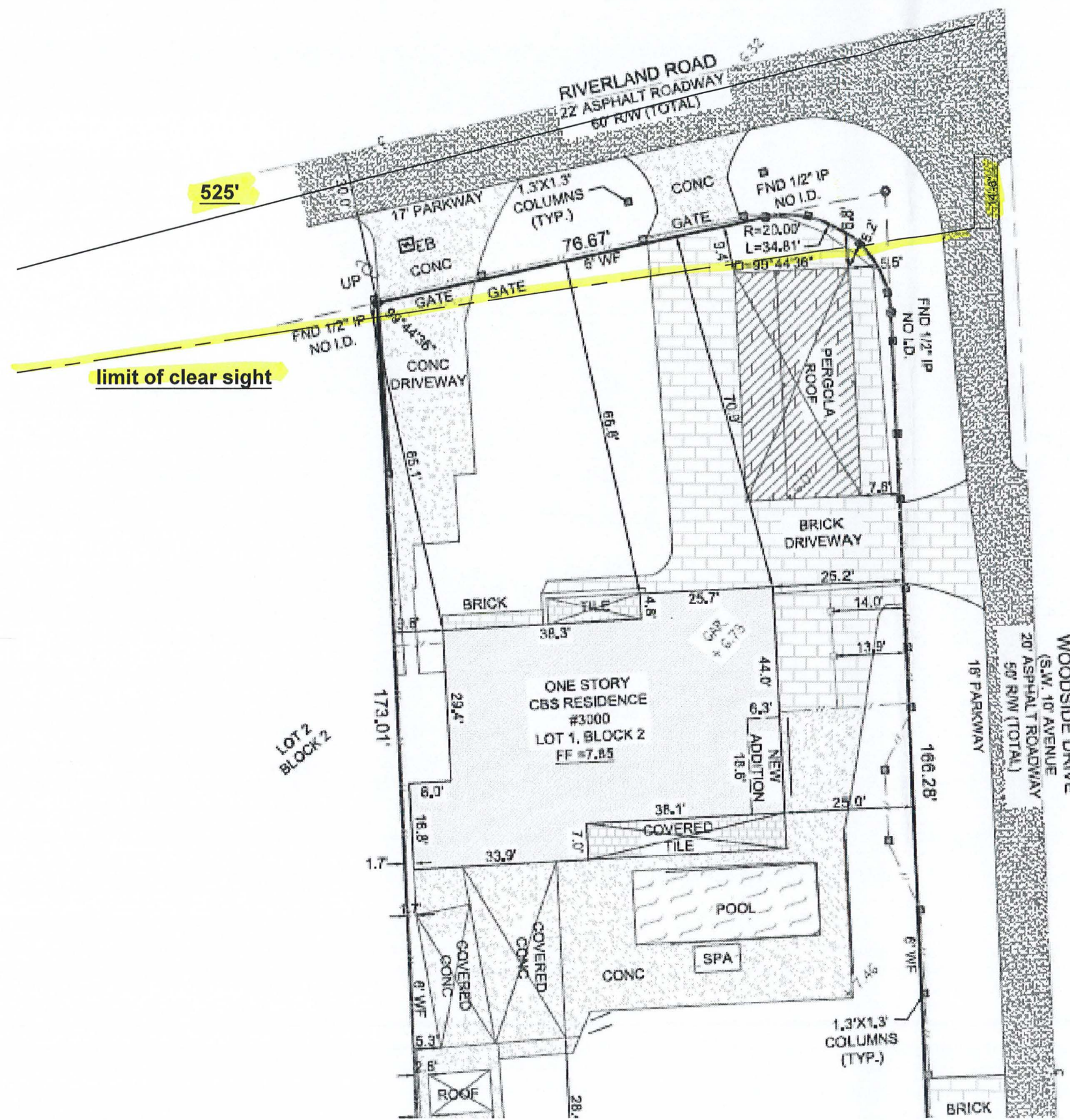
FLOOD ZONE DATA:
ZONE: X N/A
COMMUNITY #: 125105
PANEL & SUFFIX: 0558 H
DATE OF FIRM: 8/18/14

DATE OF SURVEY:
FIELD LOCATION OF IMPROVEMENTS 8/20/2019
FINAL SURVEY 7/22/2023

SCALE: 1" = 20'
CADD: LJ
CHECKED BY: EWD
INVOICE #: 23- 59203
SHEET # 1 OF 1

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.
Ernest W Duncan
ERNEST W. DUNCAN PSM., STATE OF FLORIDA
PROFESSIONAL SURVEYOR AND MAPPER LS 5182
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

ALL COUNTY SURVEYORS
PROFESSIONAL SURVEYORS AND MAPPERS
LICENSE NO. 6677
(954) 777-4747
5400 SOUTH UNIVERSITY DRIVE
DAVIE, FLORIDA 33328 SUITE 216



| Design Speed | d | d _L | d _r |
|--------------|-----|----------------|----------------|
| 30 | 355 | 195 | 135 |
| 35 | 415 | 225 | 155 |
| 40 | 475 | 260 | 180 |
| 45 | 530 | 290 | 200 |
| 50 | 590 | 325 | 220 |
| 55 | 650 | 355 | 245 |
| 60 | 710 | 390 | 265 |
| 65 | 765 | 420 | 290 |

Passenger Vehicle

| Design Speed | d | d _L | d _r |
|--------------|-----|----------------|----------------|
| 30 | 450 | 250 | 170 |
| 35 | 525 | 290 | 200 |
| 40 | 600 | 330 | 225 |
| 45 | 675 | 370 | 255 |
| 50 | 750 | 410 | 285 |
| 55 | 825 | 450 | 310 |
| 60 | 900 | 490 | 340 |
| 65 | 975 | 530 | 370 |

SU Vehicle

| Design Speed | d | d _L | d _r |
|--------------|------|----------------|----------------|
| 30 | 540 | 295 | 205 |
| 35 | 630 | 345 | 240 |
| 40 | 720 | 395 | 270 |
| 45 | 810 | 445 | 305 |
| 50 | 900 | 495 | 340 |
| 55 | 990 | 540 | 375 |
| 60 | 1080 | 590 | 405 |
| 65 | 1170 | 640 | 440 |

Combination Vehicle



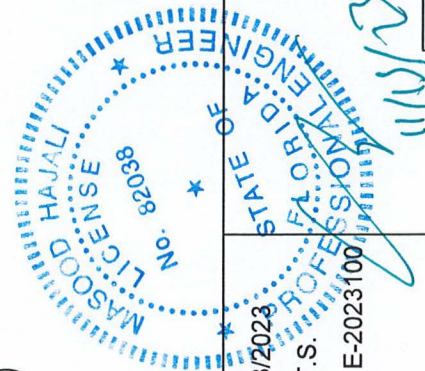
DATE: 04/18/2023
 SCALE: N.T.S.
 PROJECT: E-2023100
 DSN: MH
 DRG: EV

LEGALIZATION CARPORT FOR:
 STEVE OSTROVSKY
 3000 RIVERLAND RD
 FORT LAUDERDALE, FL 33312

DESIGN IS BASED ON FBC 2020, 7TH EDITION

CALC ENGINEERING
 2000 NW 89 PL UNIT 102
 DORAL FL 33172
 Phone: (305) 898-9995
 ENGINEERING BUSINESS
 CA CERTIFICATION: 32566





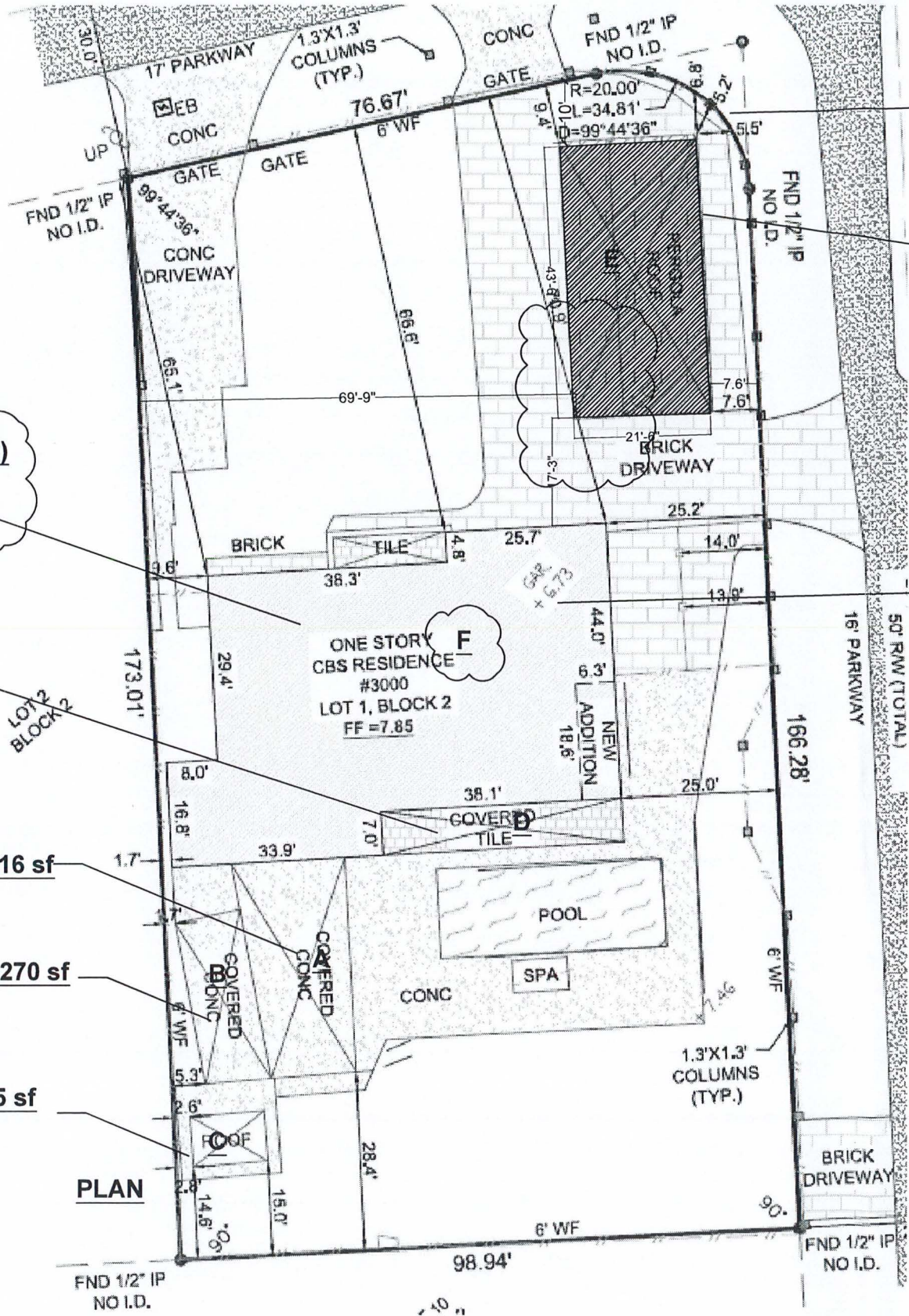
DATE: 04/18/2023
 SCALE: N.T.S.
 PROJECT: E-20231001
 DSN: MH
 DRG: EV

LEGALIZATION CARPORT FOR:
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 FORT LAUDERDALE, FL 33312

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 DORAL FL 33172
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 ENGINEERING BUSINESS
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**STRUCTURE (F)
 MAIN HOUSE
 area 2827 sf**

D: area 266 sf

A: area 516 sf

B: area 270 sf

C: area 85 sf

PLAN

**15'x15' TRIANGLE
 ADDED**

**STRUCTURE (E)
 SCOPE OF WORK
 LEGALIZATION
 CARPORT
 43.5'X21.5'
 A= 1261 SF**

**HEIGHT OF THE MAIN
 HOUSE: 28 feet**

**TABLE
 STRUCTURE/ SIZE**

| | |
|---|---------|
| A: | 516 SF |
| B: | 270 SF |
| C: | 85 SF |
| D: | 266 SF |
| E: | 1261 SF |
| F: | 2827 SF |
| LOT SIZE: 17807 SF | |
| TOTAL: 5225 SF <40%X 17807 =7123 SF | |
| 5% OF THE LOT =5%X17807=890.35 SF | |

FOUNDATION NOTES:

- 1) ALL REINFORCING STEEL TO BE GRADE 60 WITH YIELD STRENGTH 40 KSI
- 2) THE EXISTING SOIL MEETS OR EXCEEDS THE MINIMUM REQUIRED LOAD BEARING CAPACITY OF 1500 PSF.
- 3) SOIL IS MAIN COMPOSITION IS SANDY AND LIMEROCK
- 4) CONCRETE FOR FOOTING TO BE 3000 PSI MINIMUM.
- 5) FILL PLACED WITHIN 5'-0" OF THE STRUCTURE PERIMETER CONSIST OF CLEAN GRADED SAND IN MAX 12".
- 6) SPLICES SHALL BE 40 BAR DIAMETERS ALL AROUND THE CORNERS AND CHANGES IN DIRECTION.
- 7) CORNER BARS SHALL BE 40 BAR DIAMETERS IN EACH WAY.
- 8) MAXIMUM WATER-CEMENT RATIO BY WEIGHT TO BE 0.4.

UPLIFT CALCULATION

TRIBUTARY EACH COLUMN AREA = 1261 SQ FEET
 WIND UPLIFT FORCE = 31525 LB
 WEIGHT OF FOOTING = 150X6X4.0X4.0X4.0= 57600 LB
 TOTAL WEIGHT = 57600 LB > 1.67X 31525 = 52646 LB; OK

DESIGN CALCULATION:

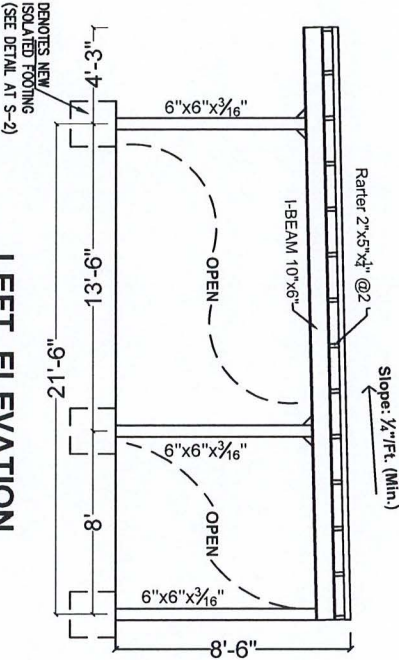
BASIC WIND SPEED (RISK CATEGORY II) 175 MPH
 DESIGN BASED ON CATEGORY II
 EXPOSURE CATEGORY: C
 3-SEC PEAK GUST IN MPH
 DESIGNED BASED ON 6063-T6 ALUMINUM
 ROOF PRESSURE (SOLID) : 30.0 PSF

NOTE:

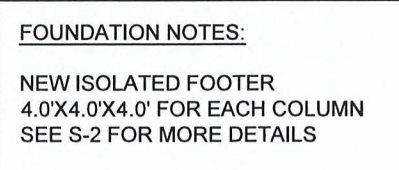
CONTRACTOR CAN USE BIGGER SECTIONS FOR BEAMS AND COLUMNS

GENERAL NOTES:

- WIND PRESSURES HAVE BEEN DETERMINED BASED ON ASCE 7-16 WIND SPEED OF 175 MPH, EXPOSURE C.
- THIS STRUCTURE HAS BEEN DESIGNED AND MUST BE FABRICATED IN ACCORDANCE WITH THE STRUCTURAL PROVISIONS OF FBC 2020. DESIGN CRITERIA OR SPANS BIGGER THAN STATED IN THE PLANS MAY REQUIRE ADDITIONAL CALCULATION AND CHANGE IN THE PLAN.
- CALC ENGINEERING SHALL BE NOTIFIED AND GIVEN AN OPPORTUNITY TO REEVALUATE THE WORK AND DESIGN UPON DISCOVERY OF ANY INACCURATE INFO PRIOR TO MODIFICATION OF EXISTING FIELD CONDITIONS AND FABRICATION AND INSTALLATION OF MATERIALS.
- NO EXTRA LOAD IS PERMITTED TO APPLY ON THE STRUCTURE AT THE TIME OF INSTALLATION.
- CONTRACTOR SHALL CAREFULLY CONSIDER POSSIBLE IMPOSING LOADS ON ROOF INCLUDING BUT NOT LIMITED TO ANY CONCENTRATED LOADS WHICH MAY JUSTIFY GREATER DESIGN CRITERIA.
- ALL FASTENERS TO BE #10 OR GREATER ASTM F593 COLD WORKED 304 STAINLESS STEEL UNLESS NOTED OTHERWISE.
- ALL ANCHORS FOR ALUMINUM SHALL BE SPACED WITHIN 2 TIMES DIAMETER END DISTANCE AND 2 TIMES DIAMETER MIN SPACING TO ADJUST ANCHORS.
- CONTRACTOR OR OWNER MUST VERIFY SIZE OF EXISTING CONCRETE SLAB.
- ANY EXISTING SIZE OF SLAB OR FOOTER HAS TO BE CONFIRMED BY CONTRACTOR OR OWNER



LEFT ELEVATION

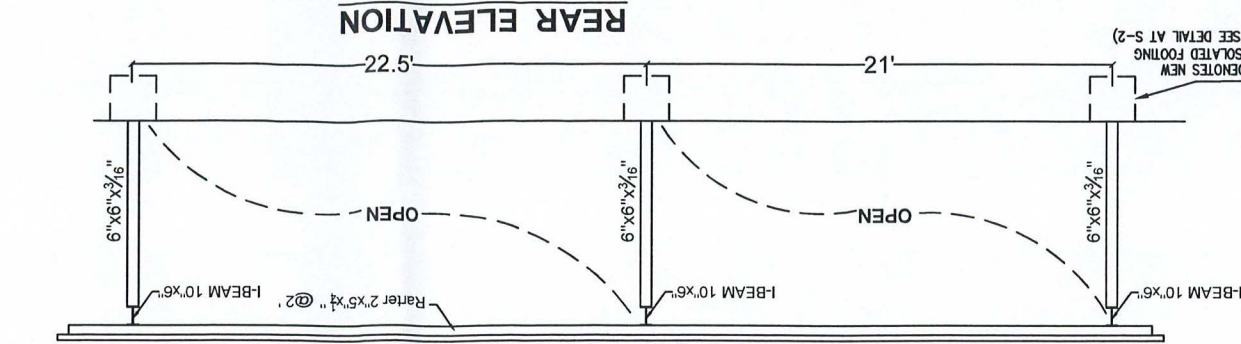


FOUNDATION NOTES:

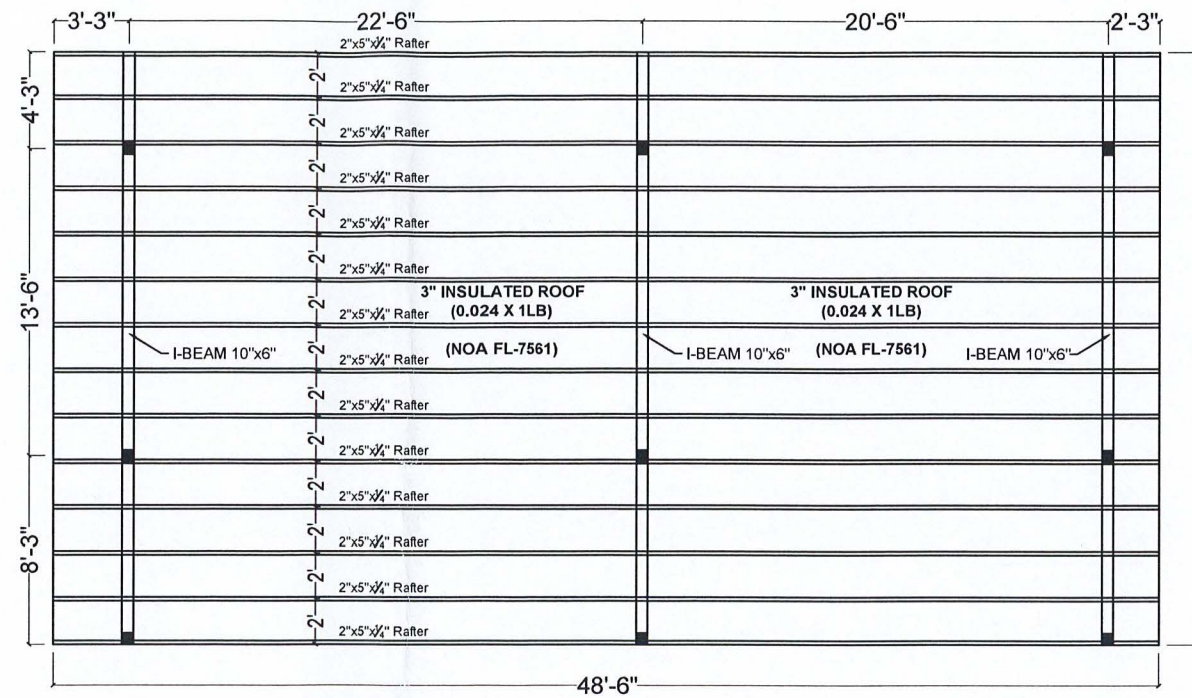
NEW ISOLATED FOOTER
 4.0'X4.0'X4.0' FOR EACH COLUMN
 SEE S-2 FOR MORE DETAILS

GENERAL NOTES:

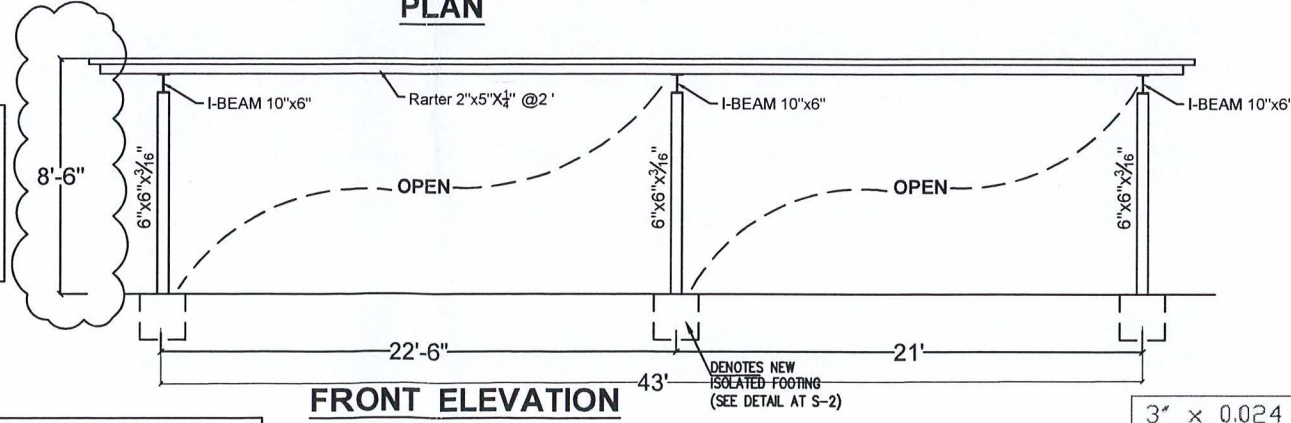
- ALUMINUM SHALL BE 6063-T6 ALLOY ASTM A653 WITH MIN YIELD STRENGTH OF 45 KSI.
- ALL EXISTING SLABS AND FOOTING CONCRETE MUST BE WITHOUT ANY CRACK OTHERWISE NEED TO BE INSPECTED BY CALC ENGINEERING.
- ALL CONCRETE ANCHORS SHALL BE INSTALLED TO NON-CRACKED AND INTACT CONCRETE SURFACE.
- ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURES RECOMMENDATIONS.



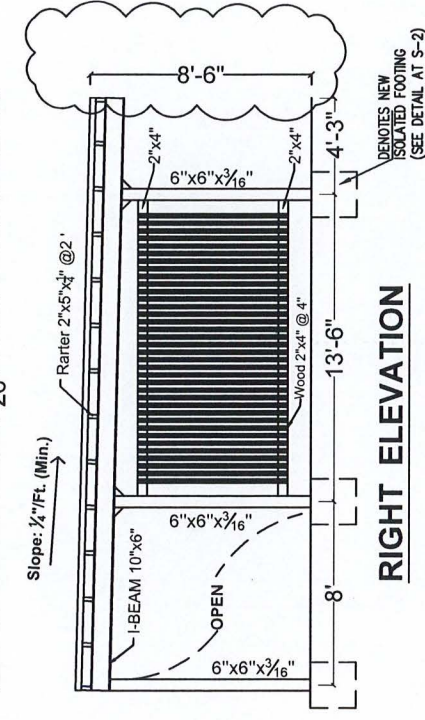
REAR ELEVATION



PLAN



FRONT ELEVATION



RIGHT ELEVATION

3' x 0.024 x 1 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)

| NET ALLOWABLE LOAD (PSF) ¹ | MAX. ALLOWABLE SPAN (FT) | | | |
|---------------------------------------|--------------------------|-------|-------|-------|
| | L/80 | L/120 | L/180 | L/240 |
| 10 | 16.17 | 15.76 | 15.03 | 14.10 |
| 20 | 13.44 | 13.44 | 12.22 | 10.35 |
| 30 | 10.78 | 10.78 | 9.41 | 6.60 |
| 40 | 9.22 | 9.22 | 6.60 | 2.85 |
| 50 | 8.17 | 8.17 | 3.79 | - |
| 60 | 7.40 | 6.39 | 0.98 | - |
| 70 | 6.81 | 4.51 | - | - |
| 80 | 6.33 | 2.64 | - | - |



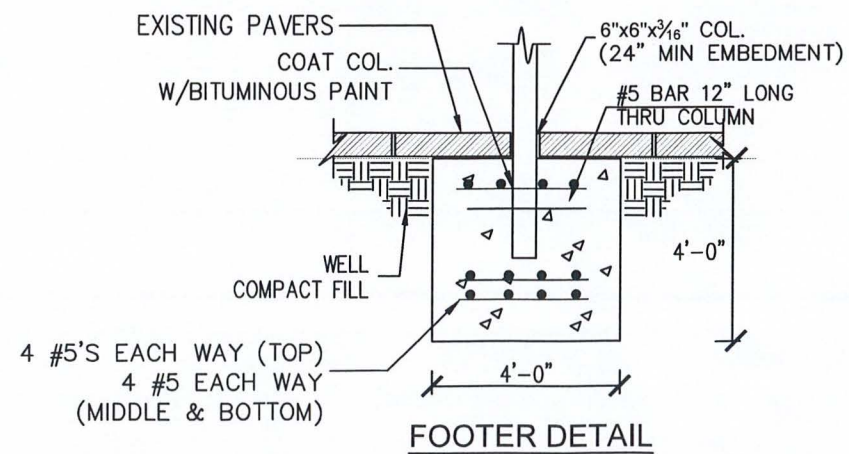
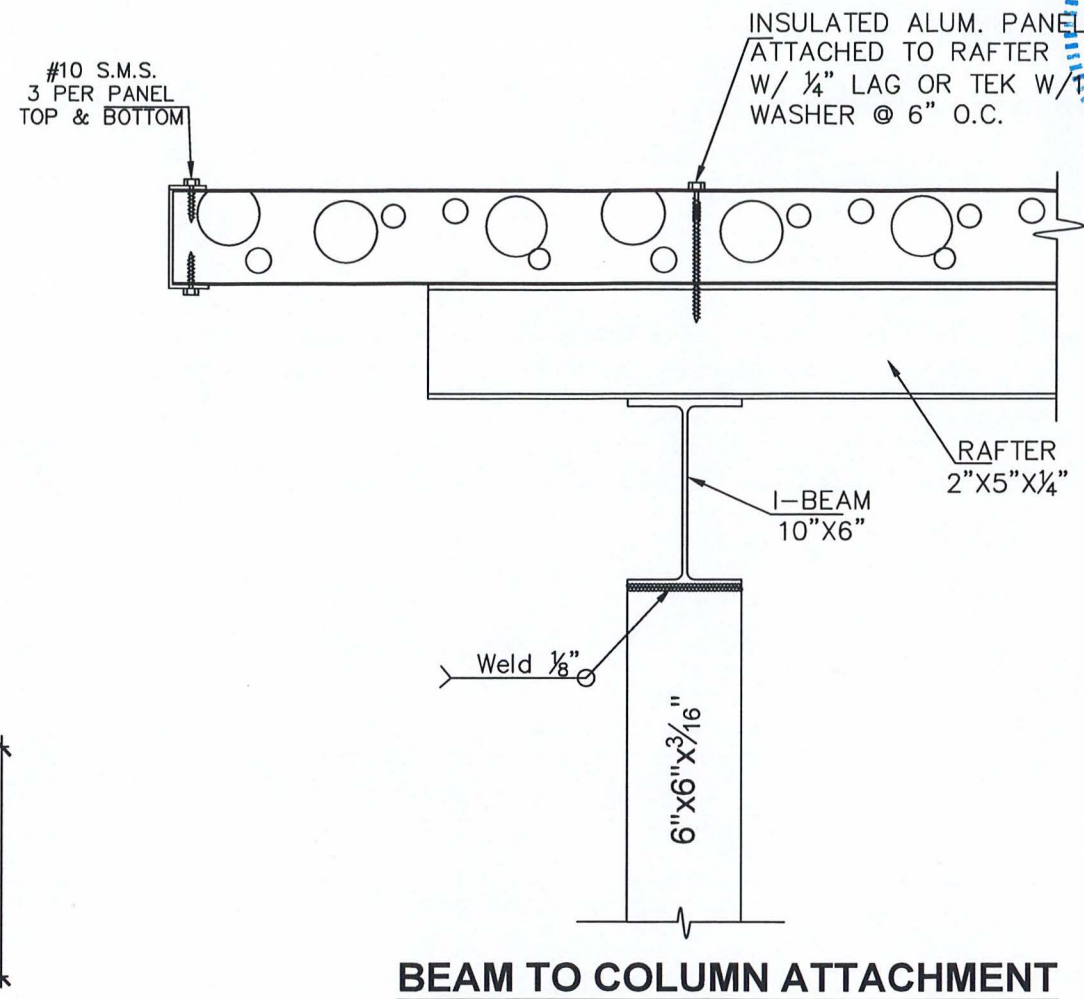
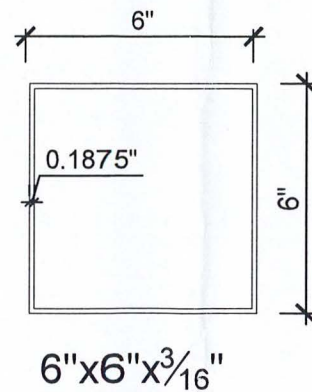
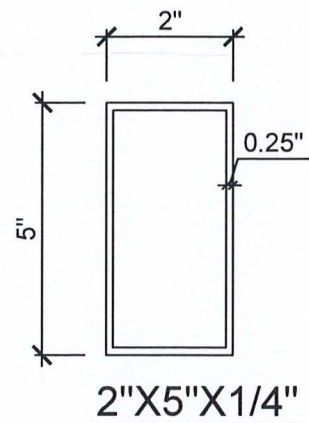
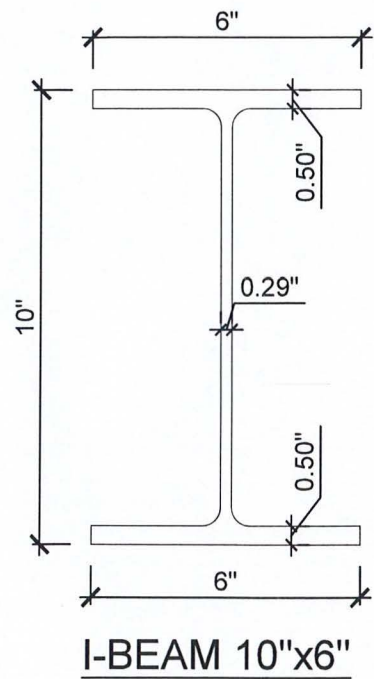
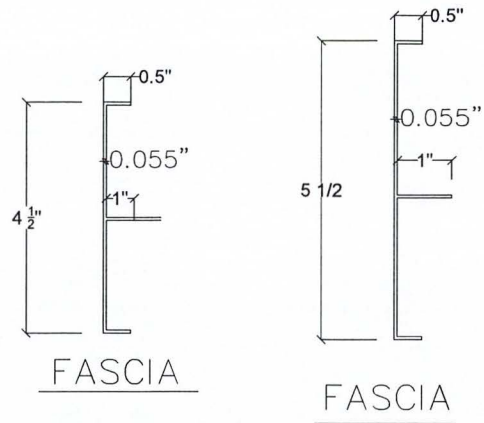
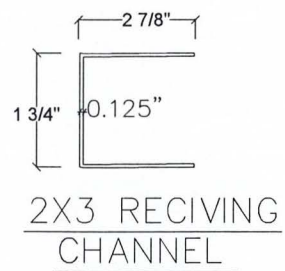
DATE: 04/18/2023
 SCALE: N.T.S.
 PROJECT: E-2023-100
 DSN: MH
 DRG: EV

LEGALIZATION CARPORT FOR:
 STEVE OSTROVSKY
 3000 RIVERLAND RD
 FORT LAUDERDALE, FL 33312

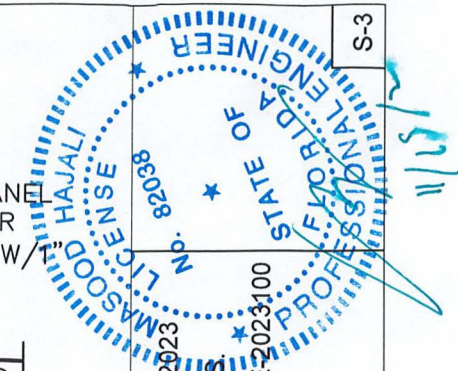
DESIGN IS BASED ON FBC 2020, 7TH EDITION



CALC ENGINEERING
 2000 NW 89 PL UNIT 102
 DORAL FL 33172
 Phone: (305) 898-9995
 ENGINEERING BUSINESS
 CA CERTIFICATION: 325666



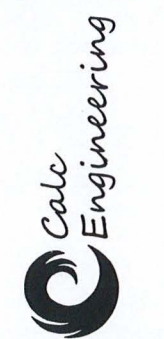
- Roof is designed for 30 psf live load L/180
- All concrete (existing & new) shall have a min. compressive strength of 3,000 psi
- All concrete anchors supporting columns shall be installed at least 3" from the edge of concrete and have min. 2 1/2" embedment w/ min ultimate ten. strength of 60ksi
- Contractor must insulate aluminum members from dissimilar metals to prevent electrolysis
- All aluminum structural component shall be of 6063-T6 alloy and be certified to comply with all applicable specification
- Fastener must have min 1/2" head or be provided with 1/2" dia. washers min
- Bolts and all other fasteners shall be aluminum, non-magnetic stainless, & hot-dip/electro-galvanized steel/ double cadmium plated steel with coating for corrosion resistance



DATE: 04/18/2023
 SCALE: N.T.S.
 PROJECT: E-2023100
 DSN: MH
 DRG: EV

LEGALIZATION CARPORT FOR:
 STEVE OSTROVSKY
 3000 RIVERLAND RD
 FORT LAUDERDALE, FL 33312

DESIGN IS BASED ON FBC 2020, 7TH EDITION



CALC ENGINEERING
 2000 NW 89 PL UNIT 102
 DORAL FL 33172
 Phone: (305) 898-9995
 ENGINEERING BUSINESS
 CA CERTIFICATION: 32566



BOARD OF ADJUSTMENT (BOA) APPLICATION
WAIVER OF SECTION 166.033, FLORIDA STATUTES

CASE: PLN-BOA- 23070002
REQUEST: Carport setbacks
OWNER: Steve Ostrovskiy
AGENT: N/A
PROPERTY ADDRESS: 3000 Riverland Road.
ABBREVIATED LEGAL DESCRIPTION: _____
ZONING DISTRICT: RS-3.52
COMMISSION DISTRICT: _____

- For the above-mentioned case number, the applicant acknowledges and agrees to waive the time limits in Section 166.033(1), Florida Statutes, as amended.
- For the above-mentioned case number, the applicant acknowledges and agrees to waive the limitation of three requests for additional information by the City of Fort Lauderdale, in accordance with Section 166.033(2), Florida Statutes, as amended.

Steve Ostrovskiy
Printed Name of Owner or Agent

Corporate Title (if applicable)

[Signature]
Signature of Owner or Agent

11/16/23
Date