



BOARD OF ADJUSTMENT MEETING NOTICE

Date: December 27, 2023

A Public Hearing will be held before the Board of Adjustment on: **January 10th, 2024 at 6:00 P.M.**

This meeting will be held in-person at: Development Services Department (Lobby) 700 NW 19th Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA

CASE: PLN-BOA-23110004
OWNER: LIPKOWITZ, BRADLEY M & SONJA H

AGENT: DWAYNE SHAW
ADDRESS: 501 NE 10 AVE, FORT LAUDERDALE, FL 33301
LEGAL DESCRIPTION: THE SOUTH 10 FEET OF LOT 24 AND ALL OF LOT 25, BLOCK 1, HOLMBERG & MCKEE'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 112 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA. (SEE SURVEY)

ZONING DISTRICT: RS-8 - RESIDENTIAL SINGLE FAMILY/LOW MEDIUM DENSITY DISTRICT.
COMMISSION DISTRICT: 2
REQUESTING: Sec. 47-23.15. - Location of buildings and structures in a sight triangle.

- Requesting a variance to allow a fence to be installed in a sight triangle , whereas the code states that no building or structure shall be permitted within a sight triangle.

Sec. 47-19.5. B. TABLE 1. SETBACK. – Fences, wall, and hedges.

- Requesting a variance to allow a new fence to be installed at a 1-foot setback from a street property line whereas the code requires a minimum average setback of 3 feet from a property line. A total variance request of 2 feet from the property line.

To watch and listen to the meeting, please visit: <https://www.fortlauderdale.gov/government/BOA> OR www.youtube.com/cityoffortlauderdale

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK
ZONING ADMINISTRATOR

Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.




PLN-BOA-23110004


LEGEND

-  Municipal Boundary
-  Subject Site

N



0 100 200 US Feet



CASE PLN-BOA-23110004

Sec. 47-23.15. - Location of buildings and structures in a sight triangle.

No building or structure shall be permitted within a sight triangle as provided in Section 25 and Section 47 of the Code of Ordinances. (Ord. No. C-04-3, § 8, 2-3-04)

Sec. 47-19.5. B. TABLE 1. SETBACK. – Fences, wall, and hedges.

B. Dimensional Requirements. The setback for a fence, wall or hedge shall depend on the height and percentage of transparency as shown in Table 1.

TABLE 1

EXPAND					
FENCES, WALLS AND HEDGES (Note D)	HEIGHT MAX. Measured from Grade According to Section 47- 2.2.G	PERCENT TRANSPARENT (Note B)	SETBACK (Note A & G)		
	STREET			SIDE	REAR
Residential Zoning Districts					
1a. FENCE/WALL	Up to 2'-6"	N/A	0'-0"	0'-0"	0'-0"
1b. FENCE/WALL	2'-6"—4'-4"	75—100% transparency	0'-0"	0'-0"	0'-0"
1c. FENCE/WALL	2'-6"—4'-4"	Below 75% transparency	Min. Average 3'-0" (Note C, E, & F)	0'- 0"	0'- 0"
1d. FENCE/WALL	4'-4"—6'-6"	N/A	Min. Average 3'-0" (Note C, E, & F)	0'- 0"	0'- 0"
2. CHAIN LINK FENCE	Up to 6'-6"	N/A	Min. Average 3'-0" (Note C, E, & F)	0'- 0"	0'- 0"
Residential/Non-Residential Zoning Districts					

FENCES, WALLS AND HEDGES (Note D)	HEIGHT MAX. Measured from Grade According to Section 47-2.2.G	PERCENT TRANSPARENT (Note B)	SETBACK (Note A & G)		
			STREET	SIDE	REAR
3. FENCE/WALL	Up to 10'-0"	N/A	Min. Average 3'-0" (Note C, E, & F)	0'-0"	0'-0"
4. CHAIN LINK FENCE	Up to 10'-0"	N/A	Min. Average 3'-0" (Note C, E, & F)	0'-0"	0'-0"
5. HEDGES	Up to 10'-0"	N/A	0'-0"	0'-0"	0'-0"

Note A: Setbacks shall be measured from property lines, except when property abuts a waterway, the setback for the waterway shall be measured in accordance with [Section 47-2](#) of the ULDR.

Note B: Transparency (openness) is calculated based on the fence or wall being viewed at ninety (90) degrees to the street property line. Percent is determined as follows: Total square feet of openings in fence being divided by the total fence area utilizing the top of the fence in all of its positions for varying heights.

Note C: The linear distance of any one (1) segment of the indicated accessory structure along a given property line abutting a street which is parallel to the property line and closer than three (3) feet zero (0) inches from the property line cannot exceed thirty (30) percent of the length of the property line.

Note D: Handrails or safeguards when required by federal or state codes shall be exempt from this section.

Note E: Landscaping is required between the property line and accessory structure. See subsection C. below for specific landscape requirements.

Note F: To determine the average setback distance for fences, walls, and planters, multiply the total length of the fence, wall or planter, as viewed at ninety (90) degrees to the property line, by a factor of three (3), where three (3) represents the required minimum average setback. The resulting product must be equal to or greater than the total which results when adding the sum of each fence, wall, or planter segment multiplied by its setback from the property line. Walls, fences or planters constructed at an angle to the property line shall use the distance to the center of the structure to determine the actual setback of the segment.

Note G: Exceptions to setbacks

Record

Showing 1-22 of 22

<input type="checkbox"/>	Record_Permit_or_Account #	Record Description	Applicant on Name	Record Type	Balance	Planner Name	Street #	Dir	Street Name	Type	Unit # (start)	Status
<input type="checkbox"/>	PLN-BOA-23110004		Lipkowitz Variance R qu st F... e	Z- Board of Adjustm nt (BOA)	0		501	NE	10	AVE		Open
<input type="checkbox"/>	BLD-FEN-WT-23100005	Install PVC F nce	obby Walk-Thru- F nce	Walk-Thru - F nce	03		501	NE	10	AVE		In Progress
<input type="checkbox"/>	BLD-FEN-WT-23090021	Install PVC F nce	Onlin Walk-Thru- F nce	lk-Thru - F nce			501	NE	10	AVE		Void
<input type="checkbox"/>	BLD-RALT-21110007	REMODEL GUEST BATHROOMe	REMODEL GUEST BATHROOM	R sid ntial/Alt ration P rmit e	0		501	NE	10	AVE		Completed
<input type="checkbox"/>	ELE-RES-21110013	ELECTRICAL FOR BLD-RALT-21110007 e	REMODEL GUEST BATHROOM	El ctrical R sid ntial P rmit e	0 e		501	NE	10	AVE		Completed
<input type="checkbox"/>	MEC-RES-21110002	MECHANICAL FOR BLD-RALT-21110007 e	REMODEL GUEST BATHROOM	M chanical R sid ntial P rmit	0		501	NE	10	AVE		Completed
<input type="checkbox"/>	PLB-FIX-21110004	PLUMBING FOR BLD-RALT-21110007	REMODEL GUEST BATHROOM	Plumbing Fixtur R plac m nt P rmit e	0		501	NE	10	AVE		Completed
<input type="checkbox"/>	PM-19071432	REOOOF TILE AND FLAT 4100SF NOC	REOOOF TILE AND FLAT 4100SF ... e	R -Roof P rmit	0		501	NE	10	AVE		Completed
<input type="checkbox"/>	PM-19071472	TBD PERMIT FOR ROOF MITIGATION RETROFIT. e	TBD PERMIT FOR ROOF MITIGATI... e	R sid ntial/Alt ration P rmit e	161 e		501	NE	10	AVE		In Progress
<input type="checkbox"/>	CE17061436	L/S ONE STEP LIEN SEARCH - 0 - OPEN CASES FOUND e	EDELSTEIN,ANDREW H & LISA M e	Cod Cas			501 e	NE e	10 e	AVE e		Closed
<input type="checkbox"/>	VIO-CE17061436_1		EDELSTEIN,ANDREW H & LISA M	Violation-CODE H aring	0		501	NE	10	AVE		Closed
<input type="checkbox"/>	PM-06110852	INSTALL NAT GAS PIPING TO RANGE	INSTALL NAT GAS PIPING TO RANGE	Plumbing Gas P rmit	0		501	NE	10	AVE		Completed
<input type="checkbox"/>	PM-06100935	REMODEL KITCHEN CABINETS	REMODEL KITCHEN CABINETS	R sid ntial/Alt ration P rmit	0		501	NE	10	AVE		Completed
<input type="checkbox"/>	PM-06100937	EXHAUST FAN FOR KITCHEN	EXHAUST FAN FOR KITCHEN	M chanical R sid ntial P rmit	0		501	NE	10	AVE		Completed
<input type="checkbox"/>	PM-06100942	REPLACE FIXTURES FOR KITCHEN CABINET REMODEL e	REPLACE FIXTURES FOR KITCHEN... e	Plumbing Fixtur R plac m nt P rmit e	0		501	NE	10	AVE		Completed
<input type="checkbox"/>	PM-06100947	ELECTRICAL FOR KITCHEN CABINET REMODEL	ELECTRICAL FOR KITCHEN CABIN...	El ctrical R sid ntial P rmit	0		501	NE	10	AVE		Completed
<input type="checkbox"/>	PM-06060662	install impact windows 22, doors 3	install impact windows 22, d...	Window and Door P rmit	0 e		501 e	NE e	10 e	AVE		Completed
<input type="checkbox"/>	PM-06052161	Run Gas to 2 W/H, 1 Rang	un Gas to 2 W/H, 1 Rang	lumbing Gas P rmit	0		501	NE	10	AVE		Completed
<input type="checkbox"/>	PM-04052509	REPL ONE 4TON SPLIT AC SYSTEM	REPL ONE 4TON SPLIT AC SYSTEM	M chanical HVAC Chang out P rmit	0		501	NE	10	AVE		Completed
<input type="checkbox"/>	PM-03101966	RENOVATE EXIST SWIMMING POOL ~B-RECHECK 11/26/03 E-G e	RENOVATE EXIST SWIMMING POOL	R sid ntial Pool-Spa-Fountain P rmit e	0		501	NE	10	AVE		Completed
<input type="checkbox"/>	PM-03101968	PLUMBING FOR EXIST POOL	PLUMBING FOR EXIST POOL	Plumbing R sid ntial P rmit	0		501	NE	10	AVE		Completed
<input type="checkbox"/>	PM-03101970	INSTALL ELECTRIC CONNECTIONS FOR POOL EQUIP EXIST	INSTALL ELECTRIC CONNECTIONS... e	El ctrical R sid ntial P rmit	0 e		501 e	NE e	10 e	AVE e		Completed



CITY OF FORT LAUDERDALE

PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: JANUARY 10, 2024

TIME: 6:00 P.M.

CASE: PLN-BOA-23110004

Sec. 47-23.15. - Location of buildings and structures in a sight triangle.

• Requesting a variance to allow a fence to be installed in a sight triangle , whereas the code states that no building or structure shall be permitted within a sight triangle.

Sec. 47-19.5. B. TABLE 1. SETBACK. – Fences, wall, and hedges.

• Requesting a variance to allow a new fence to be installed at a 1-foot setback from a street property line whereas the code requires a minimum average setback of 3 feet from a property line. A total variance request of 2 feet from the property line.

**MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
700 N.W. 19TH AVENUE (LOBBY)
FORT LAUDERDALE, FL., 33311
CONTACT: 954-828-6506**

**TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:
<https://www.fortlauderdale.gov/government/BOA>
www.youtube.com/cityoffortlauderdale**



This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a



SIGN NOTICE

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. PLN-BOA-23110004

APPLICANT: BRAD LIPKOWITZ, SONIA LIPKOWITZ, Dwayne Shaw

PROPERTY: 501 NE 10th AVE

PUBLIC HEARING DATE: 1/10/2024

BEFORE ME, the undersigned authority, personally appeared Dwayne Shaw who upon being duly sworn and cautioned, under oath deposes and says:

1. Affiant is the Applicant in the above cited City of Fort Lauderdale Board or Commission Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the Board or Commission.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least fifteen (15) days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the Board or Commission. Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division five (5) calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2.j of the City of Fort Lauderdale ULDL, I will forfeit my sign deposit. [Signature] (Initial here)

[Signature]
Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 28 day of Dec, 2023


(SEAL)



LUKE RINKUS
Commission # HH 057058
Expires October 26, 2024
Bonded Thru Budget Notary Services

[Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES:



 CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: **JANUARY 10, 2024** TIME: **6:00 P.M.** CASE: **PLN-BOA-23110004**

Sec. 47-23.15 - Location of buildings and structures in a sight triangle.

- Requesting a variance to allow the corner sight triangle that is required at the intersection of a street and an alley to be eliminated, whereas the code requires a minimum 15-foot sight triangle, measured at the extended property lines, at the intersection of a street and an alley. A total reduction request of the entire 15-foot corner sight triangle.

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MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
 700 N.W. 11th AVENUE (LC887)
 FORT LAUDERDALE, FL, 33311
 CONTACT: 354-828-4504

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www.youtube.com/c/cfoflauderdale

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CITY OF FORT LAUDERDALE

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CITY OF FORT LAUDERDALE

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CITY OF CAPE CORAL
PUBLIC NOTICE
BOARD OF ADJUSTMENT MEETING
 DATE: JANUARY 10, 2024 TIME: 6:00 P.M. CASE: HJL18024-23110004
 SEC. 42.24.13 - Location of Building and Structures in the City of Cape Coral
 SEC. 42.13.5 & 42.13.6 - FENCES, WALLS, AND BARRIERS
 The Board of Adjustment will meet on the date and time listed above to consider the following applications for a variance or other relief from the provisions of the City Code:
 Case No. HJL18024-23110004 - Request for a variance to allow the installation of a deck on the rear property line.
 The Board of Adjustment will meet at the City Administration Center, 1000 Cape Coral Parkway East, Cape Coral, FL 33904.
 The Board of Adjustment will meet at 6:00 P.M. on January 10, 2024.
 The Board of Adjustment will meet at the City Administration Center, 1000 Cape Coral Parkway East, Cape Coral, FL 33904.
 For more information, please contact the City Administrator at 239-546-1000 or visit the City website at www.cityofcapecoral.com.



CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING
 CASE #14-80A-2311.0004

DATE: JANUARY 10, 2024 TIME: 8:00 P.M.

Sec. 47-23.15 - Locations of buildings and structures in a sight triangle.
 *Requirements that apply to sight triangles to be included in a sight triangle - wherever the corner exists for a building or structure.
 Sec. 47-19.5, TABLE 1.1, SEBACK - FENCES, walls and hedges.

BY ORDER OF THE BOARD OF ADJUSTMENT, JANET'S DEPARTMENT
 JENNIFER L. HARRIS, CLERK
 200 N. UNIVERSITY AVENUE, SUITE 200
 FORT LAUDERDALE, FL 33301
 TEL: 954.373.3333 FAX: 954.373.3334
 WWW.FORTLAUDERDALEFL.GOV





 CITY OF FORT LAUDERDALE
PUBLIC NOTICE

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DATE: **JANUARY 10, 2024** TIME: **6:00 P.M.** CASE: **PLN-BOA-23110004**

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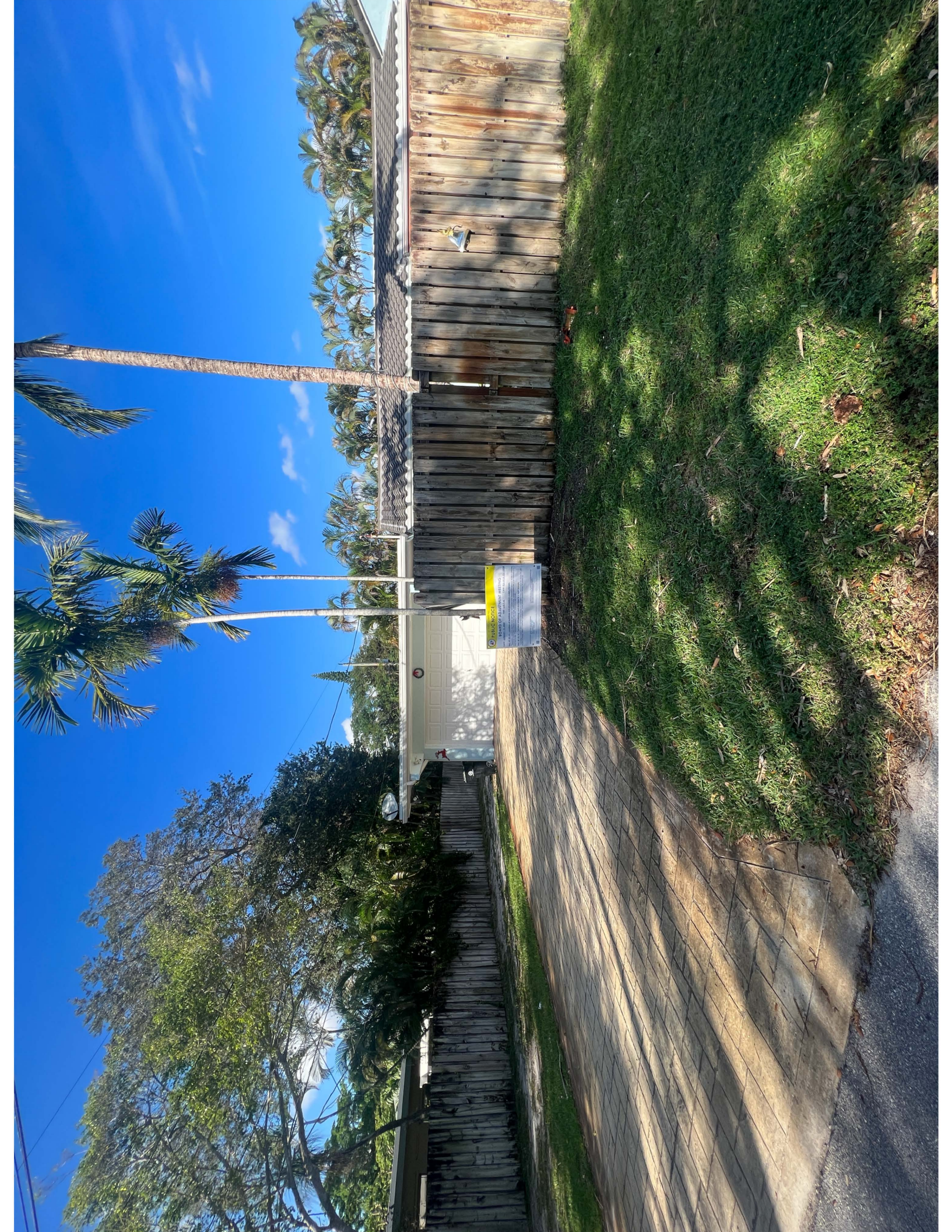
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BOARD OF ADJUSTMENT (BOA) APPLICATION FORM

REV: 10/26/2023 APPLICATION FORM: BOA



GENERAL INFORMATION

BOARD OF ADJUSTMENT REVIEW PROCESS AND APPLICATION SUBMITTAL

BOARD OF ADJUSTMENT MEETING REQUEST Prior to the submittal of the Board of Adjustment application, applicants are required to schedule a meeting request with Zoning and Landscaping Division staff to obtain feedback regarding the proposed variance, special exception, or other applications. The meeting includes general guidance on the submittal and process for the application type. To request a meeting with staff, [email request to the Board of Adjustment](#).

APPLICATION DEADLINE Submittals must be received by 5:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if application, survey, plans and other documentation do not meet the submittal requirements and if changes are required. The applicable [Meeting Dates and Deadlines](#) can be found on the City's website at the Board of Adjustment webpage. Staff will provide guidance once an application has been submitted to the City.

ONLINE SUBMITTAL PROCESS Submittals must be conducted through the [City's online citizen access portal and payment of fees LauderBuild](#). LauderBuild requires the creation of an online account to submit a complete application. To access submittal requirements and standards please visit the [LauderBuild Plan Room](#). Staff will provide guidance once an application has been submitted to the City.

DETERMINATION OF COMPLETENESS: Submittals are reviewed for completeness to ensure the application submittal contains all the required information including plans, survey, proof of ownership, narratives, and other pertinent documentation. The City will notify the applicant within five (5) business days from submittal with a determination of completeness. The notification will be sent via email and will indicate application completeness or incompleteness with required changes. [BOA Flow Chart](#).

PAYMENT OF FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit. Applicants will receive invoices electronically indicating the applicable fee(s). Note, there are fees at various stages of review depending on application type. Fees are paid online.

PUBLIC SIGN NOTICE: Board of Adjustment (BOA) application, and certain applications are subject to public sign notice. Affidavits must be completed and submitted to the city stated compliance that such has been completed. The affidavit form can be found in this package on page 4 and on the City's website.

EXAMPLE VARIANCE SUBMITTAL

Click to access the Board of Adjustment (BOA) page to view previous [Board of Adjustment \(BOA\) agendas, case backup, minutes and results](#).

QUESTIONS: Questions regarding the Board of Adjustment process or LauderBuild, contact us by phone or email at: boardofadjustment@fortlauderdale.gov
Phone: 954-828-6520, Option 5

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The Board of Adjustment application form must be filled out accurately and all applicable sections must be completed. Complete the sections indicated for application, type N/A for those section items not applicable. Select the application type below and complete entire application form.

Application Type	(Select the application type from the list below and complete pages 1-4 of the application)	FEES
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation (Before)	\$2,332
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation (After)	\$2,968
<input checked="" type="radio"/>	Requesting Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (Before)	\$689
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (After)	\$901
<input type="radio"/>	Request for Continuance	\$954
<input type="radio"/>	Request for Rehearing	\$318
<input type="radio"/>	Rehearing Request before the board	\$1,219



Page 1: BOA - Applicant Information Sheet

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance(s) and/or special exception(s) requested. The application form must be filled out accurately and all applicable sections must be completed. Please print or type and answer all questions. Do Not leave any sections Blank. Indicate N/A if a question does not apply.

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	Brad & Sonja Lipkowitz
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	501 NE 10th Ave
E-mail Address	sonja.lipkowitz@hotmail.com
Phone Number	
Proof of Ownership	<input checked="" type="checkbox"/> Warranty Deed_or <input checked="" type="checkbox"/> Tax Record

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent's Name	Dwayne Shaw
Applicant / Agent's Signature	
Address, City, State, Zip	6321 NW 74th Ave
E-mail Address	Dwayne@ReshapingDesigns.com
Phone Number	954-895-8025
Agent Authorization Form Submitted	<input type="checkbox"/>

Permit/code case related to variance(s)	
Existing / New	Existing: <input type="checkbox"/> New: <input type="checkbox"/>
Project Address	Address: 501 NE 10th Ave
Legal Description	HOLMBERG & MC KEES SUB 1-112 D LOT 24 S 10,25 BLK 1
Tax ID Folio Numbers <i>(For all parcels in development)</i>	504202010210
Variance/Special Exception Request <i>(Provide a brief description of your request)</i>	To replace fence where originally permitted fence was placed, less than 3 ft from property line. To modify sight triangle from 2 back to back triangles to only one triangle for 15'
Applicable ULDR Sections <i>(Include all code sections)</i>	47-23.15 & 47-19.5.B

Current Land Use Designation	Residential
Current Zoning Designation	Residential
Current Use of Property	Residential
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Setbacks (Indicate direction N, S, E, W)	Required	Proposed
Front		
Side	10' triangle +15' triangle	15' triangle only
Side	fence 3' from property line	6" inside property line
Rear		

Page 2: Board of Adjustment (BOA) Criteria for Variance Request

Answer **All** questions on this page and attach narrative. If additional space is needed, attach additional page(s).

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12, A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

Permit pulled in 1994 for fence previously. Would like to place fence in same position but that would be less than code. Would

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

Driveway is on the side of the house and not in front. Also fence was previously approved for location

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

The owners rights to safety and privacy are compromised by existing code.

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

The hardships are not self created but rather are a result of the current code.

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

Still wish to maintain a safe sight triangle and everyone benefits with a beautiful new fence for neighborhood appeal.

AFFIDAVIT: I, Dwayne Shaw the Owner/Agent of said property ATTEST that I am aware of the following:

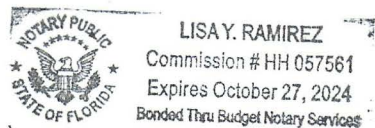
1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order or the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

Dwayne Shaw
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 15 day of December, 2023

(SEAL)

Lisa Y. Ramirez
NOTARY PUBLIC
MY COMMISSION EXPIRES:





Site Address	501 NE 10 AVENUE, FORT LAUDERDALE FL 33301-1221	ID #	5042 02 01 0210
Property Owner	LIPKOWITZ, BRADLEY M & SONJA H	Millage	0312
Mailing Address	501 NE 10 AVE FORT LAUDERDALE FL 33301	Use	01-01
Abbr Legal Description	HOLMBERG & MC KEES SUB 1-112 D LOT 24 S 10,25 BLK 1		

The just values displayed below were set in compliance with [Sec. 193.011](#), Fla. Stat., and include a reduction for costs of sale and other adjustments required by [Sec. 193.011\(8\)](#).

* 2024 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2024	\$202,500	\$818,650	\$1,021,150	\$673,790	
2023	\$202,500	\$818,650	\$1,021,150	\$673,790	\$12,525.49
2022	\$202,500	\$593,090	\$795,590	\$654,170	\$11,924.91

2024 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$1,021,150	\$1,021,150	\$1,021,150	\$1,021,150
Portability	0	0	0	0
Assessed/SOH 18	\$673,790	\$673,790	\$673,790	\$673,790
Homestead 100%	\$25,000	\$25,000	\$25,000	\$25,000
Add. Homestead	\$25,000	0	\$25,000	\$25,000
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$623,790	\$648,790	\$623,790	\$623,790

Sales History			
Date	Type	Price	Book/Page or CIN
7/13/2017	WD-Q	\$715,000	114538976
4/9/1996	WD	\$281,600	24730 / 991
9/1/1994	WD	\$268,000	22662 / 530
11/1/1993	PRD	\$138,000	

Land Calculations		
Price	Factor	Type
\$25.00	8,100	SF
Adj. Bldg. S.F. (Card, Sketch)		1975
Units/Beds/Baths		1/3/3
Eff./Act. Year Built: 1972/1958		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F1		
R								
1						1		



BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM

Rev: 0 | Revision Date: 6/02/2023 | Print Date: 0/00/0000
I.D. Number: BOAAAF

AGENT AUTHORIZATION FORM

I Bradley & Sonja Lipkowitz ("Owner") as the current title owner of the real
property located at 501 NE 10th Ave, Fort Lauderdale ("Property"), do hereby authorize
[Print First and Last Name of the title Owner] [Print Property Address]

Dwayne Shaw, Martin Fox, & Sh ("Authorized Agent") to act as my agent regarding the submittal
[Print First and Last Name of Agent]

of a variance/special exception application to the City of Fort Lauderdale and appear at any and all
scheduled hearings before the Board of Adjustment for the City of Fort Lauderdale, on the date, time and
location specified on the Hearing Notice.

I authorize my agent to communicate with the City of Fort Lauderdale regarding my pending variance/special
exception application and, by signing this authorization form, I hereby authorize the City of Fort Lauderdale to
accept and rely on any and all communications from my Authorized Agent, whether written or oral, regarding
all issues related to my pending variance/special exception application. I understand and agree that, as the
Property Owner, I remain responsible for all terms and conditions outlined in the variance/special exception
application, all required hearing appearances related to my variance/special exception application, and any
request by the City of Fort Lauderdale and/or the Board of Adjustment to submit additional document(s) and
or record(s) in support of my pending variance/special exception application.

Notwithstanding the City's receipt of my completed and executed Agent Authorization Form, I understand and
agree, the City will mail or deliver all notices relating to my pending variance/special exception application to
my property address, as listed on my variance/special exception application. I further understand and agree,
the City of Fort Lauderdale and the Board of Adjustment assume no liability for my failure or my Authorized
Agent's failure to comply with any terms or conditions outlined in my variance/special exception application,
and/or my failure or my Authorized Agent's failure to appear on my behalf at any duly noticed hearings before
the Board of Adjustment.

I further agree to INDEMNIFY AND HOLD HARMLESS and hereby RELEASE, WAIVE, DISCHARGE, HOLD HARMLESS
AND FOREVER COVENANT NOT TO SUE the City of Fort Lauderdale, its elected officials, employees, servants,
representatives, associates, officers, agents, guests, invitees, volunteers, partners, successors and assigns from
any and all liability, claims, demands, action, judgments, costs, expenses, court costs, attorney fees and causes
of action whatsoever arising out of or related to any loss or damage to property, and/or injury to any person,
including death, WHETHER CAUSED BY, ALLEGEDLY CAUSED BY, OR CONTRIBUTED IN WHOLE OR IN PART by the
action, failure to act, negligence, breach of contract or other misconduct by my me, my Authorized Agent, my
employees, servants, representatives, associates, officers, agents, volunteers, partners, successors and assigns,



BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM

Rev: 0 | Revision Date: 6/02/2023 | Print Date: 0/00/0000
I.D. Number: BOAAAF

relating in any way to the City of Fort Lauderdale's reliance of the authority granted to my Authorized Agent pursuant to this Form.

BY SIGNING THIS RELEASE AND HOLD HARMLESS AGREEMENT, I ATTEST, AFFIRM, AND REPRESENT THAT I AM THE TITLE OWNER FOR THE PROPERTY AND THAT ALL OF THE FOLLOWING STATEMENTS ARE TRUE AND CORRECT: I am at least eighteen (18) years of age and of sound and competent state of mind at the time executed this Agent Authorization Form; I executed this Agent Authorization Form as an expression of my own free act and deed; There are no oral representations or statements, apart from this Agent Authorization Form and intend to be bound by its terms; and I was not induced by the City, its employees and/or agents, or anyone, to execute this Agent Authorization Form. ***Please provide proof of ownership. If the property is owned by an Corporation/ Company, please submit proof from Sunbiz.**

WITNESSES:

Leslie Gonzalez
Witness Signature

Leslie Gonzalez
Print Name and Date

William Malyker
Witness Signature

William Malyker
Print Name and Date

[Signature]
[Owner's Signature]

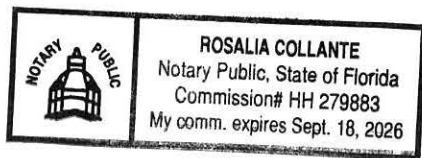
Bradley Lipkowitz + Sonya Lipkowitz
[Print Owner's Name]

10/23/2023
[Date]

STATE OF FL
COUNTY OF MIAMI-DADC

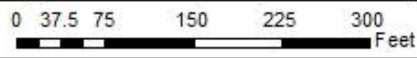
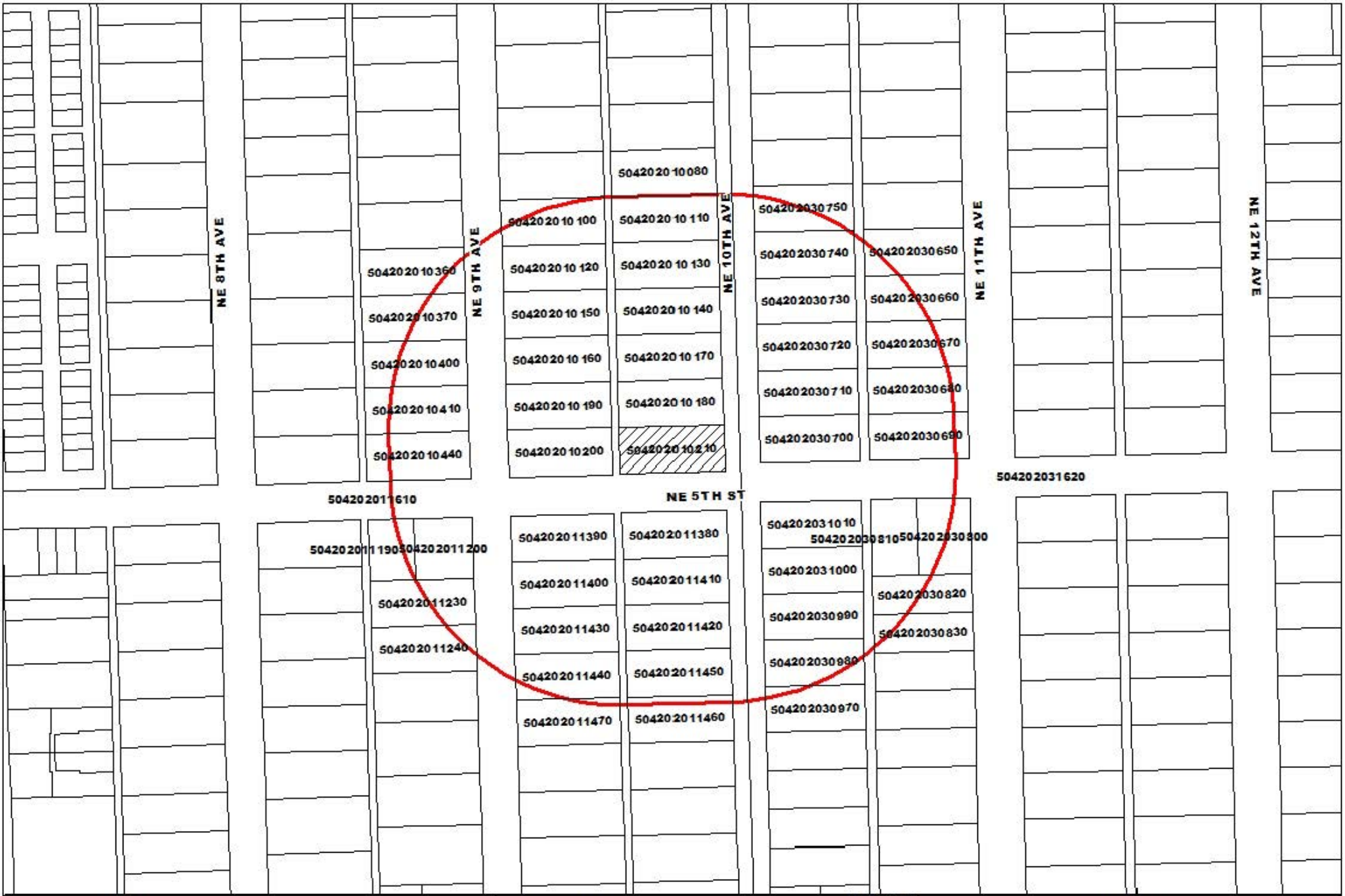
The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 16 day of October, 2023, by Bradley Lipkowitz, an individual.

[SEAL]



[Signature]
(Signature of Notary Public- State of Florida)

Sept 18, 2026
(Print, Type, or Stamp Commissioned Name of Notary Public)



MARTY KIAR
BROWARD COUNTY PROPERTY APPRAISER



510 NE 10 AVE
DATE OF PRINT: 12/15/2023

FOLIO_NUMB	NAME_LINE_	NAME_LINE1	ADDRESS_LI	CITY	ST/ZIP	ADDRESS_1	LEGAL_LINE
504202010080	MANOAH,MOSHE	RAYNOR,CATHERINE	5225 TOPEKA DR	TARZANA	CA 91356	TARZANA CA91356	HOLMBERG & MC KEES SUB 1-112 D
504202010100	SELMAN,RUSSELL B		522 NE 9 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202010110	SENSMEIER,JAY SCOTT		527 NE 10 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202010120	WEHNER,MICHAEL	FULLMER-WEHNER,KARA R	520 NE 9 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202010130	STERN,JOSEPH R	JOSEPH R STERN REV TR	521 NE 10 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202010140	THURSTON,EARLINE		517 NE 10 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202010150	516 NE 9TH AVENUE LLC		2734 E OAKLAND PARK BLVD #201	FORT LAUDERDALE	FL 33306	FORT LAUDERDALE FL33306	HOLMBERG & MC KEES SUB 1-112 D
504202010160	DALBO,JASON E		508 NE 9 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202010170	511 NE 10TH AVE LLC		104 FULTON ST	NEW YORK	NY 10038	NEW YORK NY10038	HOLMBERG & MC KEES SUB 1-112 D
504202010180	SCHNEIDER TR	SCHNEIDER,JEFFREY L TRSTEE	2800 ISLAND BLVD UNIT 2603	AVENTURA	FL 33160	AVENTURA FL33160	HOLMBERG & MC KEES SUB 1-112 D
504202010190	WELLONS,RANDALL SCOTT	YAMPOLSKY,HARVEY ALLEN ETA	506 NE 9 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202010200	BUDWIG,MARK	SCALZO,NICHOLAS M	500 NE 9 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202010210	LIPKOWITZ,BRADLEY M & SONJA H		501 NE 10 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202010360	MAURICE,PAUL ANDREW & MICHELLE A		517 NE 9 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202010370	LENT,NORMAN F III & SUSAN H		513 NE 9 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202010400	LINCOLN,RICHARD LONGFELLOW		509 NE 9 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202010410	DALY,JENNIFER C & PETER E		507 NE 9 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202010440	BABB,JACK R		406 E 27 ST	SIoux FALLS	SD 57105	SIoux FALLS SD57105	HOLMBERG & MC KEES SUB 1-112 D
504202011190	LAHEY,DEANNA J &	SAVAGLIO,ANTHONY	816 NE 5 ST	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202011200	LIGMAN,KIMBERLY		820 NE 5 ST	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202011230	SARRAGA,ANDRES G	NEGRON,AMARIE M	441 NE 9 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202011240	WYMAN,MAUREEN A	MAUREEN A WYMAN TR	435 NE 9 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202011380	CASTELLANO,DAVID	BONILLA,DIANA	445 NE 10 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202011390	VIGNATI,MARIA		444 NE 9 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202011400	CRANDELL,ANA L H/E	CRANDELL,BENJAMIN M	436 NE 9 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202011410	URHO,NIKO	LOUKOVAARA,ILKKA	437 NE 10 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202011420	MOSES,FRANK		433 NE 10 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202011430	KIENZLE,ROBERT F		1630 NE 7 CT	FORT LAUDERDALE	FL 33304	FORT LAUDERDALE FL33304	HOLMBERG & MC KEES SUB 1-112 D
504202011440	SALMELA,LAWRENCE M		428 NE 9 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202011450	MORRISON,SCOTT & LAURA V		429 NE 10 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202011460	GOMEZ,KARIN		11655 STRAND WAY	HOLLYWOOD	FL 33026	HOLLYWOOD FL33026	HOLMBERG & MC KEES SUB 1-112 D
504202011470	SORENSEN,DONNA I		424 NE 9 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MC KEES SUB 1-112 D
504202011610	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HOLMBERG & MCKEES SUB 1-112 D
504202030650	BATES,CHRISTOPHER & GITTE		521 NE 11 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HALLS ADD 1-134 D
504202030660	GUEDES,EDWARD GEORGE	EDWARD GEORGE GUEDES LIV T	517 NE 11 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HALLS ADD 1-134 D
504202030670	EHLE,KATHERINE E H/E	EHLE,DENNIS EDWARD	511 NE 11 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HALLS ADD 1-134 D
504202030680	DIAZ,DieGO M	MICHELON-DIAZ,RENEE	2011 N OCEAN BLVD #1105	FORT LAUDERDALE	FL 33305	FORT LAUDERDALE FL33305	HALLS ADD 1-134 D
504202030690	BUTLER,THOMAS H/E	BUTLER,WILLIAM	1017 NE 5 ST	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HALLS ADD 1-134 D
504202030700	FIVE HUNDRED NORTHEAST LLC		2154 COUNTRY MANOR DR	MOUNT PLEASANT	SC 29466	MOUNT PLEASANT SC29466	HALLS ADD 1-134 D
504202030710	TIERNEY,DIANE C		508 NE 10 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HALLS ADD 1-134 D
504202030720	GREENBAUM,STEVEN & DEBORAH		512 NE 10TH AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HALLS ADD 1-134 D
504202030730	BALKCOM,CHARLES J &	ZELLER,ROBERT R	516 NE 10 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HALLS ADD 1-134 D
504202030740	BISHOPRIC,GEORGE		520 NE 10 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HALLS ADD 1-134 D
504202030750	PFEIFFER,DANIEL	MCGOWAN,FRANCESCA V	526 NE 10 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HALLS ADD 1-134 D
504202030800	ELECTUS INVESTMENT GROUP LLC		526 NE 17 WAY	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HALLS ADD 1-134 D
504202030810	OCYANO 987 LLC		1014 NE 5 ST	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HALLS ADD 1-134 D
504202030820	STURM,MERRY LEE	O'CONNOR,DANIEL F ETAL	437 NE 11 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HALLS ADD 1-134 D
504202030830	SUAREZ,CARLOS	SUAREZ,LORI A	433 NE 11 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HALLS ADD 1-134 D
504202030970	LUCAS,MATTHEW S	SIMS,KEVIN C	424 NE 10 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HALLS ADD 1-134 D
504202030980	MCCLAIN,EDITH		430 NE 10 TH AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HALLS ADD 1-134 D
504202030990	813 NE 17 TERRACE LLC		3309 ISLEWOOD AVE	WESTON	FL 33332	WESTON FL33332	HALLS ADD 1-134 D
504202031000	ROGGE,MATTHEW	GOODIS,VANESSA	440 NE 10 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HALLS ADD 1-134 D
504202031010	BLISS,WINSTON O		444 NE 10 AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HALLS ADD 1-134 D
504202031620	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE FL33301	HALLS ADD 1-134 D



LIPKOWITZ VARIANCE REQUEST FENCE



December 24, 2023
Westview



Car in alley
December 23, 2023



Driveway & Alley
December 23, 2023



Driveway & Streetview
December 23, 2023



Alley
December 23, 2023



Streetview from alley
December 23, 2023



Alley/Street/Driveway
December 23, 2023



Pool deck and fence
December 23, 2023

A photograph of a backyard pool deck. In the foreground, a curved swimming pool with blue water is visible. To the right of the pool, a stone waterfall feature with dark pebbles flows into the water. The pool deck is paved with light-colored tiles and features several dark metal patio chairs. A wooden fence surrounds the deck, and a large palm tree trunk is visible on the right side. In the background, there are other houses and trees under a blue sky with clouds. A white text box is overlaid on the image.

Pool Deck
December 23, 2023





**South Elevation
December 23, 2023**





**Driveway
December 23, 2023**



Driveway
December 23, 2023



December 23, 2023



Across the street
Fence & siteview
December 23,2023



House and street Angle View
December 23, 2023





Streetview of Fence
December 23, 2023



Westview
December 23, 2023



Bradley & Sonja Lipkowitz
510 NE 10th Ave
Fort Lauderdale, FL 33301
Sonja.lipkowitz@hotmail.com
c. (954) 243 8085

October 15, 2023

City of Fort Lauderdale Zoning Board and Board of Adjustment
100 N. Andrews Avenue
Fort Lauderdale, FL 33301

Subject: Request for Variance - Zoning Law ULDR 47-2.2.Q.2 and ULDR 47-19.5

Dear Members of the City of Fort Lauderdale Zoning Board and Board of Adjustment,

We are writing as concerned homeowners residing at 501 NE 10th Avenue in the Victoria Park subdivision of Fort Lauderdale, and we are seeking your consideration and approval for a variance to zoning **ULDR 47-2.2.Q.2** pertaining to the 15-foot sight triangle at the intersection of a street and the alley, **ULDR 47-19.5** relating to the 3-foot setback requirement. Specifically, we are requesting permission to install a portion of our fence within the 15-foot sight triangle and to maintain the existing 1-foot setback for the fence, respectively.

We believe that granting these variances is justified for the following reasons and benefits associated with having our driveway fenced within our yard:

VARIANCE REQUEST NARRATIVE FOR 510 NE 10TH AVE, FORT LAUDERDALE

1. **Safety Enhancement.** A fenced driveway contributes to increased safety by minimizing the risk of accidents and ensuring controlled access to the property. As homeowners, we wish to ensure our safety and minimize areas in which our safety to ourselves and family could be compromised, such as an alley way that allows freedom of passage with minimal lighting provided by the city.

We had several attempted and successful car break-ins into cars parked on our driveway and throughout the neighborhood. The cameras and lights we have installed don't seem to deter anyone from trying to gain access to our vehicles. There have also been multiple home break-ins recently in the neighborhood and having the driveway fenced in will further reduce open and vulnerable portions of our property, while keeping with the aesthetic of the community.

2. **Privacy:** The fence provides an essential privacy barrier for our family and property, enhancing our overall sense of privacy and security. It allows us to fully enjoy our property to a greater extent by enclosing an area along an alley way.

3. **Property Value Appreciation:** A fenced yard is known to empirically enhance property values by improving the aesthetics and desirability of the home, attracting potential buyers and investors. Unlike most driveways that are in the front of the property, our driveway is located on the side of the property.
4. **Visual Appeal:** A well-designed and properly aligned fence contributes positively to the neighborhood's visual appeal, enhancing the overall aesthetics of the community. The visual appeal benefits not only the homeowners but the community at large.
5. **Noise Reduction:** The fence acts as a sound barrier, reducing noise pollution from the surrounding streets and enhancing the tranquility of our property.
6. **Pet Safety and Security:** A fenced-in yard provides a safe and secure space for our pets to roam freely and enjoy outdoor activities, while keeping pet waste away from public spaces.
7. **Child Safety:** With a fenced yard, our children can play safely within the confines of our property without exposure to potential hazards from the street or alley.
8. **Aesthetically Complementary:** Aligning the fence with the neighboring property's fence on the opposite side of the alley maintains a sense of uniformity and harmony in the neighborhood, enhancing the overall aesthetics.
9. **Minimal Public Interference:** The proposed fence placement causes little to no interference with the public's safety and welfare, as it remains within the sight triangle and maintains a reasonable setback. The updating of foliage also improves sight and removes plant interaction with overhead powerlines.
10. **Unreasonable Harm Mitigation:** Adhering to the 25-foot sight triangle requirement causes unreasonable harm, loss of privacy, and infringes unreasonably on our property rights and right to enjoyment of our property.

The set back of the fence toward the property will damage the existing travertine pool deck and will significantly narrow the width of the patio. The triangle requirement would cut off half of the driveway, turning a two car garage with a two car driveway into a one car driveway and leave half of the garage unusable for a second vehicle, which would need to be parked on the street instead.

In light of the above reasons and the minimal impact on public safety and welfare, we kindly request that the Zoning Board and Board of Adjustment grant the variance to ULDR 47-2.2.Q.2 and ULDR 47-19.5 as outlined in this letter. We firmly believe that these variances will align with the best interests of the community while allowing us to responsibly exercise our property rights and enhance our quality of life.

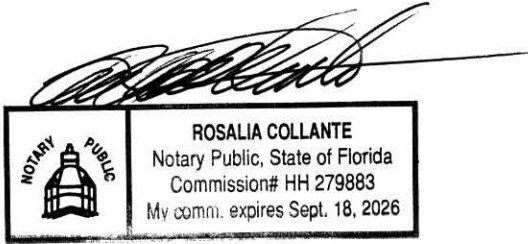
The Florida's Property Owners Bill of Rights (Statue 70.002) allows for the (1) the right to acquire, possess, and protect property (2) the right to use and enjoyment-rights that are also afforded and protected under the Constitution. While we understand that the government has the right to reasonably regulate the uses where it benefits or is best for the public welfare, we pray that our right to safety and rights to enjoy our property be considered for a variance in which we feel our rights are unreasonably harmed under the aforementioned codes.

Furthermore, we are more than willing to discuss this request in person or provide any additional information required. Thank you for considering our appeal and understanding the importance of these variances to our family and property.

Sincerely,



Bradley & Sonja Lipkowitz



SPECIFICATIONS FOR PVC FENCE AND GATE WITH HORIZONTAL PICKET

COPIES ARE NOT VALID FOR PERMIT

THESE PLANS CERTIFY THE STRUCTURAL ADEQUACY OF THE PROPOSED SYSTEM IN ACCORDANCE WITH THE STRUCTURAL REQUIREMENTS OF THE BUILDING CODE ONLY.

SCOPE OF WORK

PROVIDE STRUCTURAL DESIGN FOR A PVC FENCE AND GATE

GENERAL NOTES

1. SHOULD ANY SPECIFIC CONDITION DIFFER FROM THAT SPECIFIED HEREIN, OR STANDARD FIELD CONDITIONS, ADDITIONAL SPECIFIC ENGINEERING MAY BE REQUIRED AS DETERMINED BY THE BUILDING INSPECTOR AND PERMITTING CONTRACTOR.
2. USE MANUFACTURER'S CERTIFIED DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION NOT SHOWN IN THESE PLANS.
3. DIMENSIONS ARE SHOWN TO ILLUSTRATE DESIGN FORCES AND OTHER DESIGN CRITERIA. THEY MAY VARY SLIGHTLY, BUT SHALL REMAIN IN CONFORMANCE WITH THE LIMITATIONS OF THIS PLAN. THE CONTRACTOR SHOULD VERIFY ALL FIELD DIMENSIONS PRIOR TO INSTALLATION, AND VERIFY THAT PROPOSED DIMENSIONS AND FIELD CONDITIONS AGREE WITH THIS PROPOSED PLAN. THESE DRAWINGS ARE NOT INTENDED TO BE USED AS FABRICATION OR SHOP DRAWINGS.
4. ALL STRUCTURAL MEMBERS AS SHOWN HAVE BEEN DESIGNED TO CARRY IN PLACE DESIGN LOADS ONLY, THE CONTRACTORS SHALL BE RESPONSIBLE FOR THE SUPPORT OF ANY ADDITIONAL LOADS AND FORCES IMPOSED DURING MANUFACTURING, TRUCKING, ERECTING, AND HANDLING.
5. CONSTRUCTION METHODS PROCEDURES, AND SEQUENCES ARE THE CONTRACTOR'S RESPONSIBILITY AND THE CONTRACTOR IS TO TAKE ALL THE NECESSARY MEANS TO MAINTAIN AND PROTECT THE STRUCTURAL INTEGRITY OF ALL CONSTRUCTION AT ALL STAGES.
6. ALL THE CONTRACTOR'S PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE ENGINEER, BY LETTER, PRIOR TO ANY PERMANENT WORK AND PRIOR TO THE AWARD OF THE CONTRACT.
7. SOIL: THE SURROUNDING SOIL SHOULD HAVE 2500 PSF MIN. PER FBC 1806.2 SANDY GRAVEL CLASS OR BETTER ONLY, SHALL BE WELL COMPACTED BY MECHANICAL MEANS TO OPTIMAL DENSITY AND SHALL BE FREE OF ORGANIC MATERIAL.
8. PVC MATERIAL: ALL PVC EXTRUSIONS SHALL BE MADE PER MANUFACTURE SPECIFICATIONS WITH PVC RESIN ASTM 1784 UNLESS NOTED OTHERWISE. SPECIFIC GRAVITY 1.46. TENSILE STRENGTH 6,100 PSI UNDER ASTM D-638 AND FLEXURAL STRENGTH 11,500 PSI UNDER ASTM D-790.
9. STEEL MATERIAL: ALL STEEL REINFORCEMENT SHOULD BE 16Ga OR THICKER AND GALVANIZED.
10. ALL CONCRETE AND EPOXY TO REACH A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 7 DAYS. CONCRETE FOOTERS SHALL CONTAIN MINIMUM 0.1% FIBERMESH CONTENT PER CUBIC YARD. ALL EPOXY AND GROUT SHALL MEET OR EXCEED COMPRESSIVE STRENGTH OF THE CONCRETE AND SHALL BE IRON-FREE, NON-SHRINK AND NON-REACTIVE.
11. ENGINEER SEAL AFFIXED HERETO VALIDATES STRUCTURAL DESIGN AS SHOWN ONLY. USE OF THIS SPECIFICATION BY CONTRACTOR, et. al. INDEMNIFIES & SAVES HARMLESS THIS ENGINEER FOR ALL COSTS & DAMAGES INCLUDING LEGAL FEES & APPELLATE FEES RESULTING FROM MATERIAL FABRICATION, SYSTEM ERECTION, & CONSTRUCTION PRACTICES BEYOND THAT WHICH IS CALLED FOR BY LOCAL, STATE, & FEDERAL CODES & FROM DEVIATIONS OF THIS PLAN. EXCEPT AS EXPRESSLY PROVIDED IN HEREIN, NO ADDITIONAL CERTIFICATIONS OR AFFIRMATIONS ARE INTENDED.
12. THIS DOCUMENT CONTAINS INFORMATION RELEVANT TO THE NECESSARY STRUCTURAL REQUIREMENTS OF THE SYSTEM INSTALLATION. COMPONENTS AND FASTENERS NOT REFERENCED WHICH ARE PART OF THE INTERNAL FABRICATION OF THE SPECIFIED SYSTEMS SHALL BE PER MANUFACTURER PUBLISHED SPECIFICATIONS.
13. ALL AMERICAN ENGINEERING & CONSULTING SHALL NOT BE HELD RESPONSIBLE OR LIABLE IN ANY WAY FOR ERRONEOUS OR INACCURATE DATA OR MEASUREMENTS. ALL AMERICAN ENGINEERING & CONSULTING SHALL BE NOTIFIED AND GIVEN AN OPPORTUNITY TO RE-EVALUATE OUR WORK UPON DISCOVERY OF ANY INACCURATE INFORMATION UPON DISCOVERY OF ANY NON-MATCHING FIELD CONDITIONS AND FABRICATION AND INSTALLATION OF MATERIALS.
14. OMISSIONS/CONFLICTS: IN CASE OF OMISSIONS AND CONFLICTS BETWEEN PLANS, SPECIFICATIONS AND SITE CONDITIONS THE ENGINEER SHALL BE NOTIFIED BEFORE PROCEEDING WITH WORK.
15. THE CONTRACTOR IS RESPONSIBLE TO INSULATE DISSIMILAR METALS TO PREVENT ELECTROLYSIS.
16. ALL AMERICAN ENGINEERING & CONSULTING HAS NOT VISITED THE JOB-SITE. DIMENSIONS SHOWN HEREIN ARE IN CONTRACTOR SUPPLIED DATA.
17. PROPOSED CHANGES OR SUBSTITUTIONS TO STRUCTURAL DETAILS OR PLANS SHALL BE SUBMITTED TO THIS ENGINEER FOR REVIEW AND APPROVAL.
18. THE REVIEW OF CHANGES AND SUBSTITUTIONS, RE-ANALYSIS AND/OR REDRAFTING TO INCORPORATE CHANGES OR SUBSTITUTIONS INTO CONTRACT DOCUMENTS ARE ADDITIONAL SERVICES.
19. CONSTRUCTION COST REVISIONS ARE BETWEEN THE CONTRACTOR AND OWNER AND ARE NOT REVIEWED BY ALL AMERICAN ENGINEERING & CONSULTING.

DESIGN LOAD:

FENCE
 WIND LOAD AS PER ASCE 7-16
 KD=0.85
 WIND VELOCITY AS PER ASCE 7-16 & FBC 2020 SECTION 1616.2.1
 Vult = 115MPH (Vasd=90MPH) (3 SEC GUST), EXPOSURE 'C'.

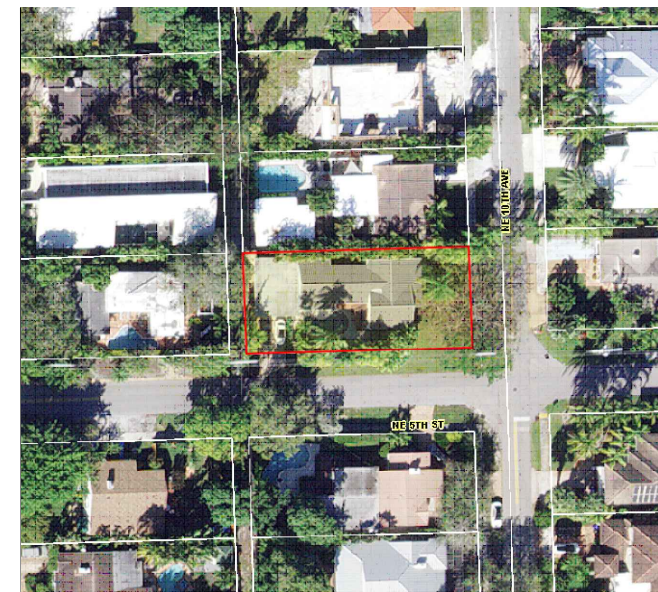
CALCULATIONS:

In accordance with FBC 2020 and ASCE 7-16:

<u>Wind load Calculation:</u>		<u>General Data:</u>	
v(mph):	90	L(ft):	6.25
Exposure:	C	H(ft):	6
Gust Factor	0.85	PVC PARTS	
Cf:	1.52	Specific Gravity, ±0.02	1.46 D-792
Kd:	0.85	Tensile Strength (psi)	6,100 D-638
h (ft):	6	Tensile Modulus (psi)	360,000 D-638
qz(psf):	17.2	Flexural Strength (psi)	11,500 D-790
		Flexural Modulus (psi)	430,000 D-790
		Heat Deflection Temp	161 D-648
		@264 psi, °F	

Post Design:

5"x5" H-POST PVC	
Mmax.(lb-in)	22,291.2
Sx(cu in)	6.77
fb(psi)	Mmax/Sx
fb(psi)	3,293
fb(psi)<Fb	OK



PROJECT: SPECIFICATIONS PVC FENCE AND GATE WITH HORIZONTAL PICKET
 LOCATION: 501 NE 10th AVE, FORT LAUDERDALE, FL 33301
 MANUFACTURE/DISTRIBUTOR: ALL SEASON FENCING/ELITE PVC, LLC
 CONTRACTOR: JD&L FENCE CORP.



ALL AMERICAN
 ENGINEERING &
 CONSULTING, LLC.
 11248 SW 132 CT WEST
 MIAMI, FLORIDA 33186
 (786) 448-0384

NO.	BY	DATE	REVISIONS

SHEET TITLE:
GENERAL NOTES

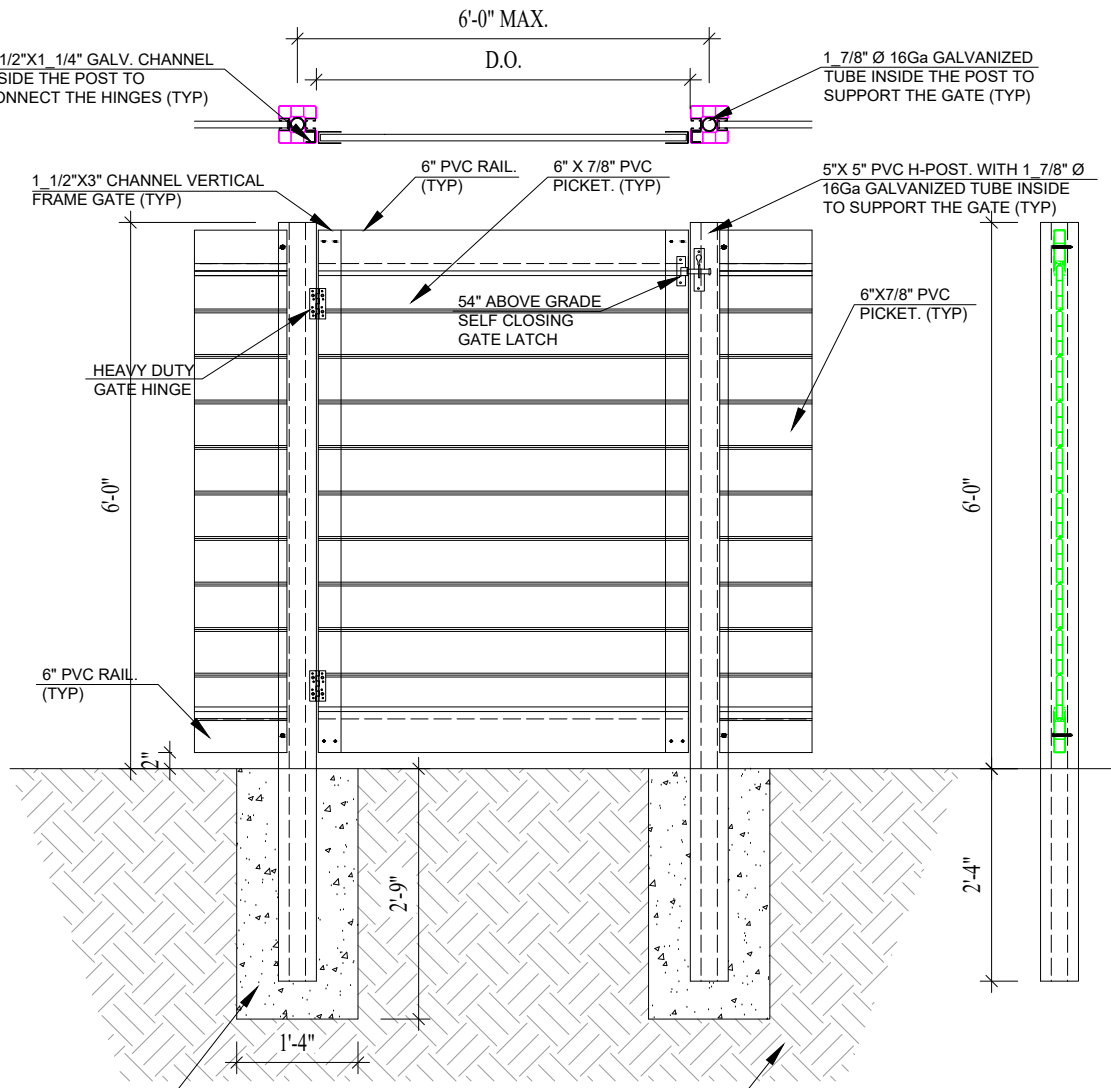
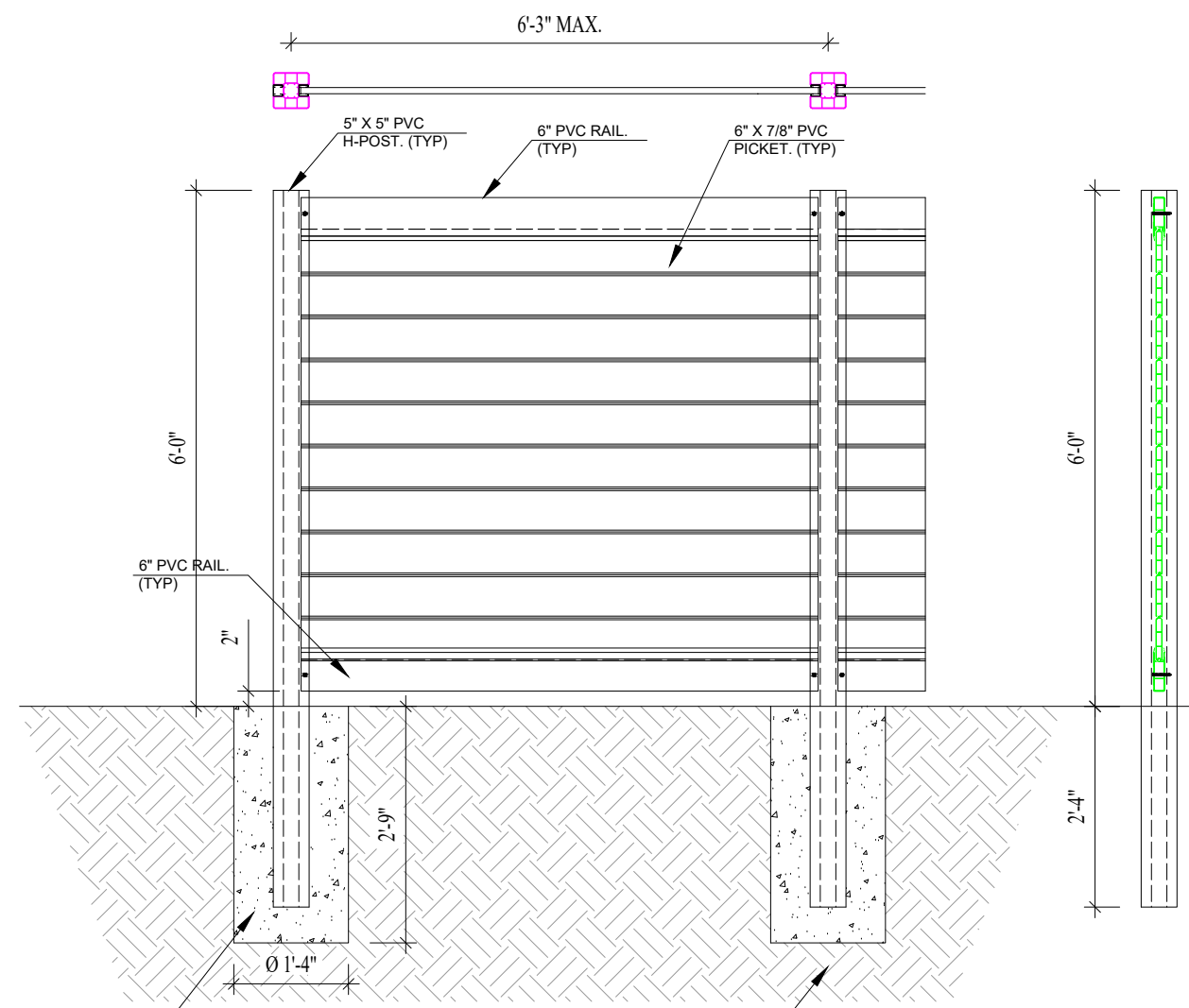
SCALE: N.T.S.

DRAWN BY: C.L.	DATE: 08-06-23
CHK'D. BY:	DATE:

PROJECT NO. _____

SHEET NO. 1 OF 4

SPECIFICATIONS FOR PVC FENCE AND GATE WITH HORIZONTAL PICKET



16"X 33" DEEP CONCRETE FOOTING (3000PSI MIN). TYP

(* APPLICABLE EXCLUSIVE FOR SANDY GRAVEL AND/OR GRAVEL (GW AND GP) OR SEDIMENTARY AND FOLIATED ROCK SOILS.

(* IF THE SOIL IS: SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL (SW, SP, SM, SC, GM AND GC). FOOTING SHOULD BE Ø 1'-4" X 3'-6" DEEP

WELL COMPACTED SOIL

1 PVC FENCE
N.T.S. ELEVATION VIEW

16"X 33" DEEP CONCRETE FOOTING (3000PSI MIN). TYP

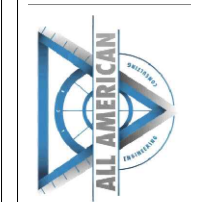
(* APPLICABLE EXCLUSIVE FOR SANDY GRAVEL AND/OR GRAVEL (GW AND GP) OR SEDIMENTARY AND FOLIATED ROCK SOILS.

(* IF THE SOIL IS: SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL (SW, SP, SM, SC, GM AND GC). FOOTING SHOULD BE Ø 1'-4" X 3'-6" DEEP

WELL COMPACTED SOIL

2 SINGLE GATE
N.T.S. ELEVATION VIEW

PROJECT: SPECIFICATIONS PVC FENCE AND GATE WITH HORIZONTAL PICKET
 LOCATION: 501 NE 10th AVE, FORT LAUDERDALE, FL 33301
 MANUFACTURE/DISTRIBUTOR: ALL SEASON FENCING/ELITE PVC, LLC
 CONTRACTOR: JD&L FENCE CORP.

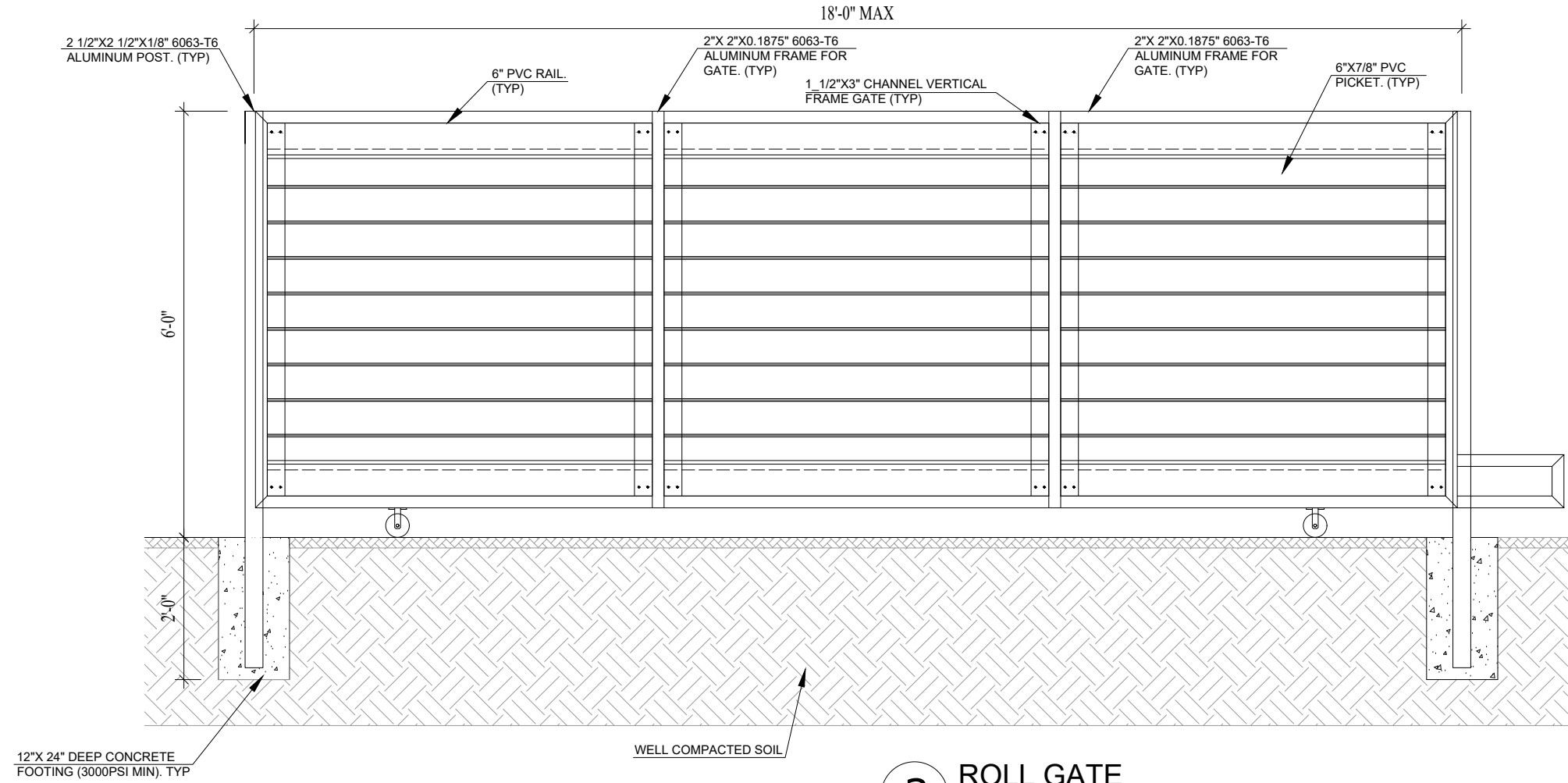


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 11248 SW 132 CT WEST
 MIAMI, FLORIDA 33186
 (786) 448-0384

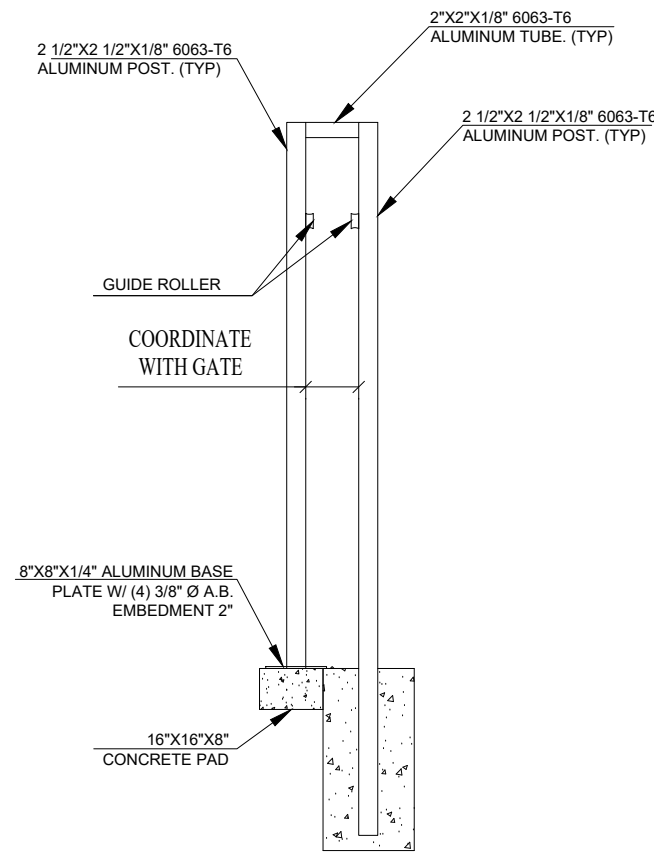
NO.	BY	DATE	REVISIONS

SHEET TITLE: ELEVATION FENCE & SINGLE GATE
 SCALE: N.T.S.
 DRAWN BY: C.L. DATE: 08-06-23
 CHK'D. BY: DATE:
 PROJECT NO:
 SHEET NO. 2 OF 4

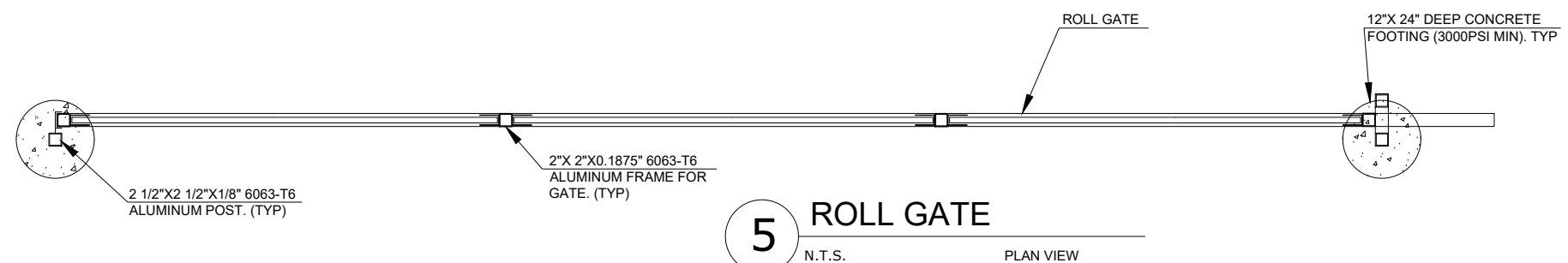
SPECIFICATIONS FOR PVC FENCE AND GATE WITH HORIZONTAL PICKET



3 ROLL GATE
N.T.S. ELEVATION VIEW



4 ROLL GATE GUIDE
N.T.S. SECTION VIEW



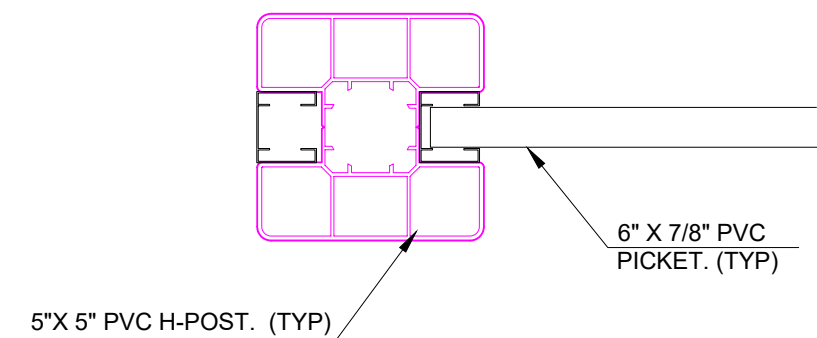
5 ROLL GATE
N.T.S. PLAN VIEW

PROJECT: SPECIFICATIONS PVC FENCE AND GATE WITH HORIZONTAL PICKET
 LOCATION: 501 NE 10th AVE, FORT LAUDERDALE, FL 33301
 MANUFACTURE/DISTRIBUTOR: ALL SEASON FENCING/ELITE PVC, LLC
 CONTRACTOR: JD&L FENCE CORP.

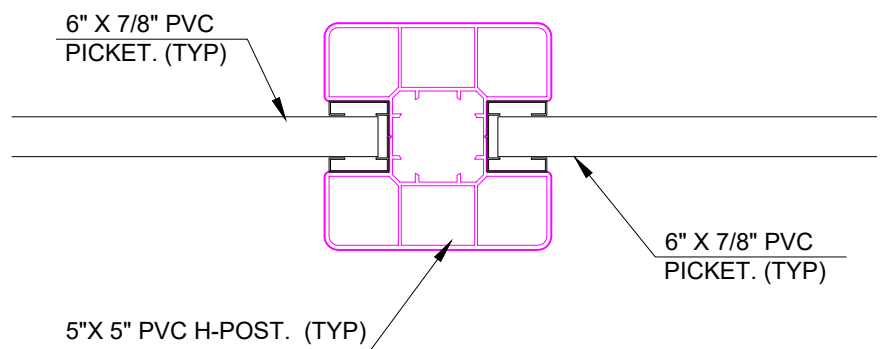
ALL AMERICAN
 ENGINEERING &
 CONSULTING, LLC.
 11248 SW 132 CT WEST
 MIAMI, FLORIDA 33186
 (786) 448-0384

NO.	BY	DATE	REVISIONS
SHEET TITLE: ELEVATION ROLLER GATE			
SCALE: N.T.S.			
DRAWN BY: C.L.	DATE: 08-06-23		PROJECT NO. SHEET NO. 3 OF 4
CHK'D. BY:	DATE:		

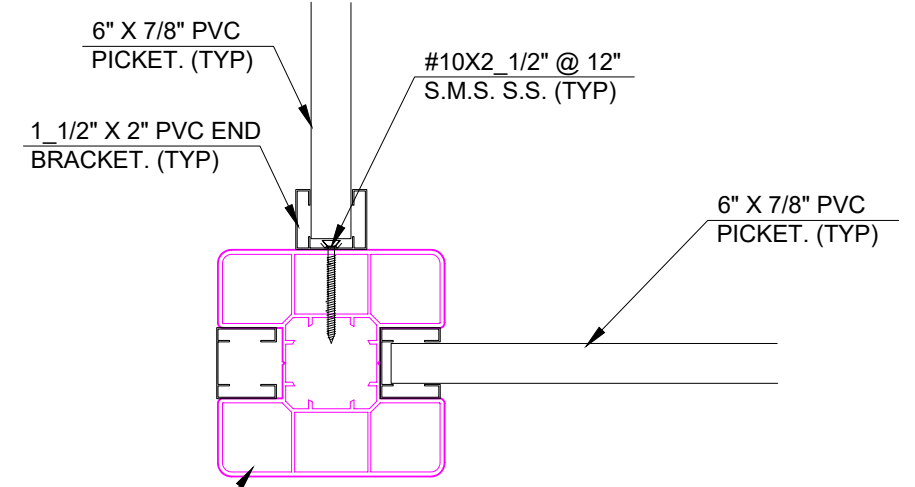
SPECIFICATIONS FOR PVC FENCE AND GATE WITH HORIZONTAL PICKET



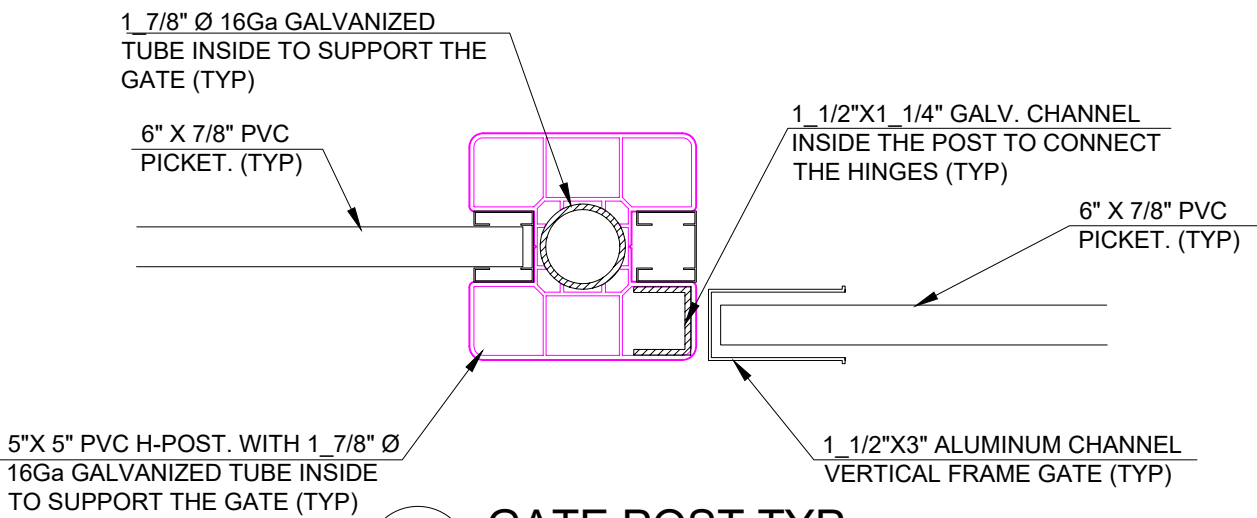
6 END POST TYP
N.T.S. DETAIL



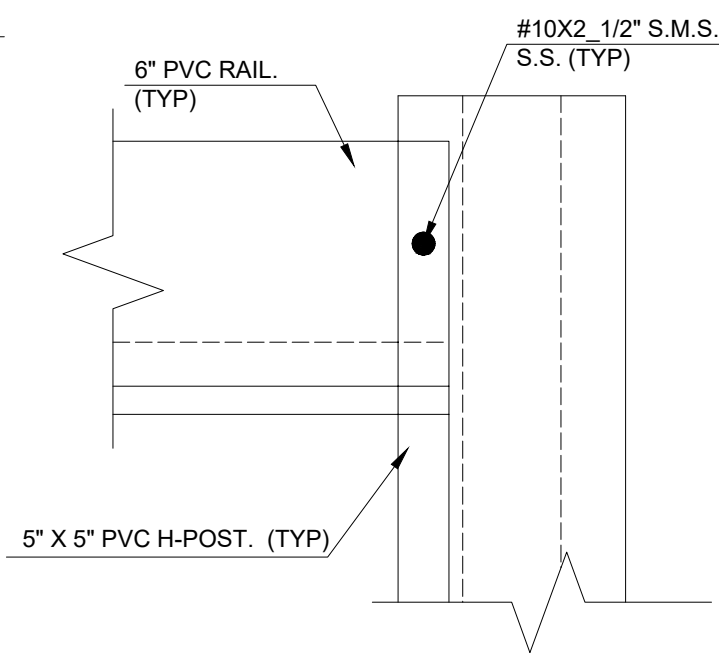
7 INTERIOR POST TYP
N.T.S. DETAIL



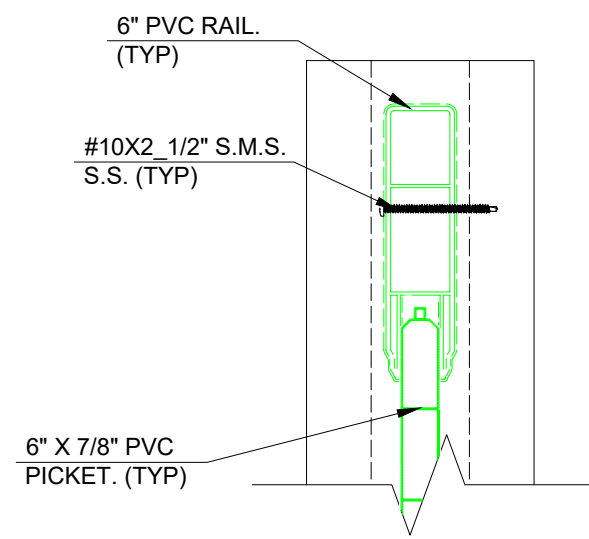
8 CORNER POST TYP
N.T.S. DETAIL



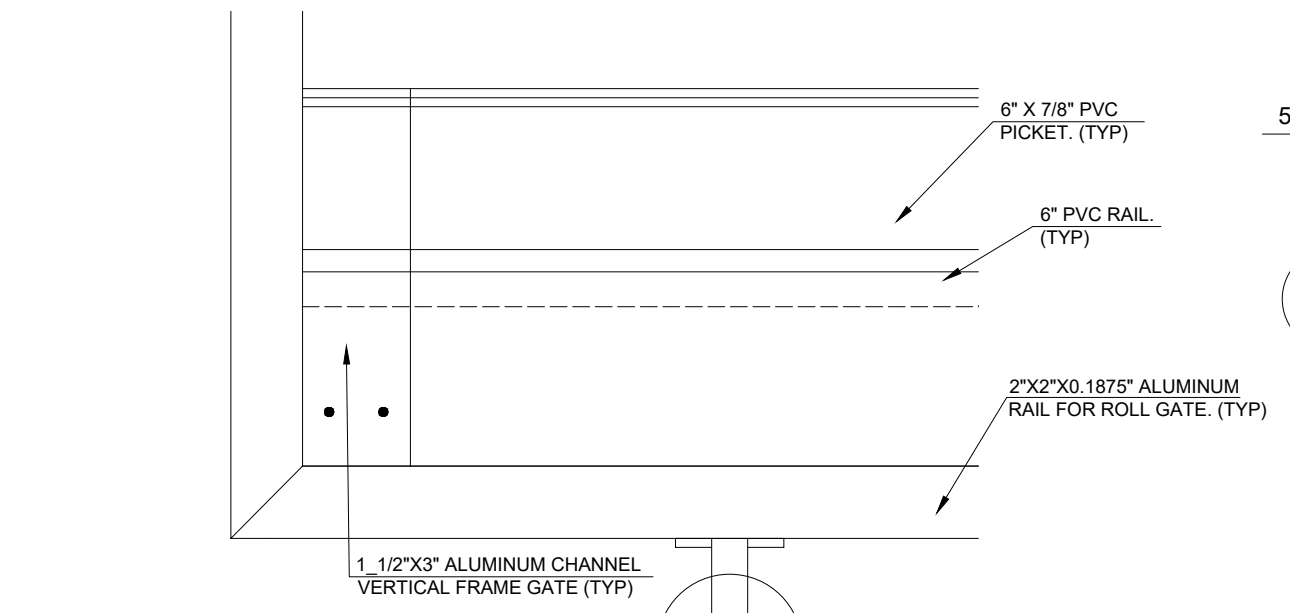
9 GATE POST TYP
N.T.S. DETAIL



10 CONNECTION RAIL-POST TYP
N.T.S. DETAIL



11 CONNECTION RAIL-PICKETS TYP
N.T.S. DETAIL

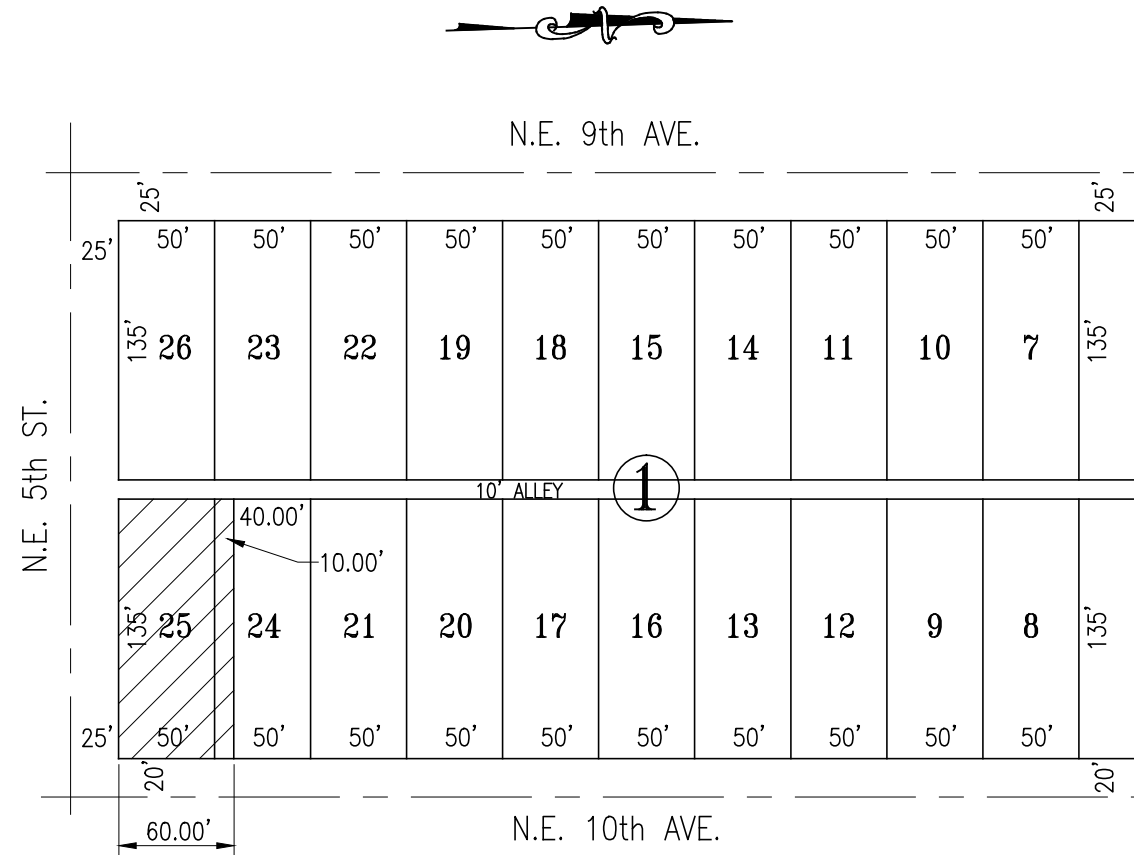


12 GATE DETAIL
N.T.S. DETAIL

PROJECT: SPECIFICATIONS PVC FENCE AND GATE WITH HORIZONTAL PICKET
 LOCATION: 501 NE 10th AVE, FORT LAUDERDALE, FL 33301
 MANUFACTURE/DISTRIBUTOR: ALL SEASON FENCING/ELITE PVC, LLC
 CONTRACTOR: JD&L FENCE CORP.

ALL AMERICAN
 ENGINEERING & CONSULTING, LLC.
 11248 SW 132 CT WEST
 MIAMI, FLORIDA 33186
 (786) 448-0384

NO.	DATE	BY	REVISIONS
SHEET TITLE: DETAILS			
SCALE: N.T.S.			
DRAWN BY: C.L.	DATE: 08-06-23		
CHK'D. BY:	DATE:		
PROJECT NO.:			
SHEET NO. 4 OF 4			



LEGAL DESCRIPTION:

THE SOUTH 10 FEET OF LOT 24 AND ALL OF LOT 25, BLOCK 1, HOLMBERG & MCKEE'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 112 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

GENERAL NOTES

- 1) OWNERSHIP IS SUBJECT TO OPINION OF TITLE.
- 2) EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THIS PROPERTY
- 3) (2.22) DENOTES THOSE ELEVATIONS REFERRED TO N/A DATUM.
- 4) LOCATION AND IDENTIFICATION OF UTILITIES ON AND/OR ADJACENT TO THE PROPERTY WERE NOT SECURED AS SUCH INFORMATION WAS NOT REQUESTED.
- 5) THIS PROPERTY IS WITHIN THE LIMITS OF THE FLOOD ZONE X.
- 6) NO UNDERGROUND LOCATIONS WERE DONE BY THIS COMPANY.

CERTIFIED TO: BRADLEY MASON LIPKOWITZ AND SONJA HOFFMANN LIPKOWITZ

DATE: NOVEMBER 29, 2023

APPLICABLE ZONING, UNDERGROUND, ZONING AND BUILDING SET BACKS, MUST BE CHECKED BY OWNER, ARCHITECT OR BUILDER BEFORE DESIGN OR CONSTRUCTION BEGINS ON THIS PROPERTY.

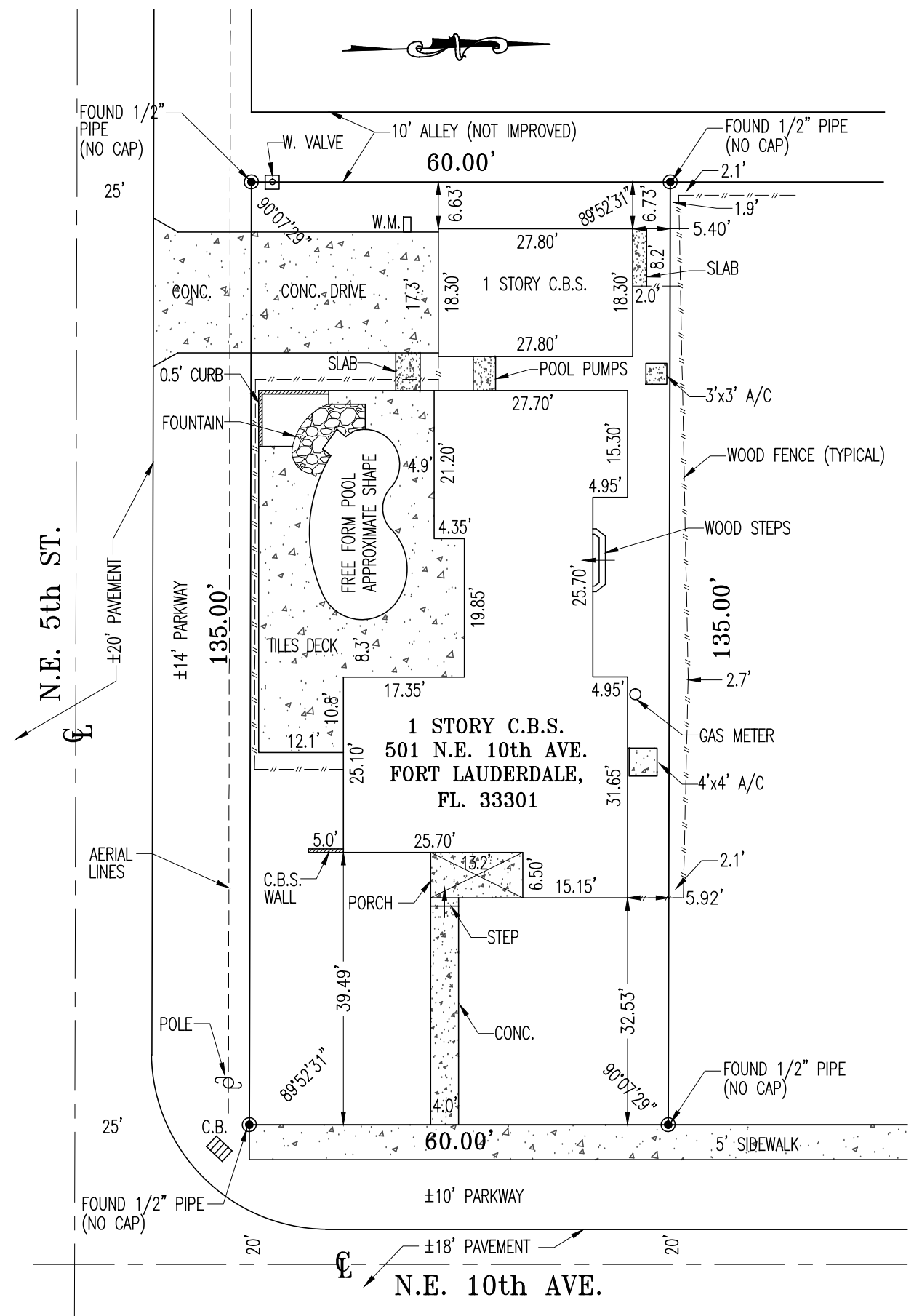


SURVEYING, INC.
L.B. No. 3333
6187 NW 167th STREET, H-5
MIAMI, FLORIDA, 33015
PHONE: (305) 512-4940

THIS IS A BOUNDARY SURVEY

LAZARO D. ALONSO
PROFESSIONAL LAND SURVEYOR
CERTIFICATE No. 3590
STATE OF FLORIDA

NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL



A...ARC DISTANCE A/C...AIR CONDITIONING CBS...CONCRETE BLOCK STRUCTURE O.U.L...OVERHEAD UTILITY LINE CL...CLEAR C/L...CENTER LINE RAD...RADIAL ENC...ENCROACHMENT
 R/W...RIGHT OF WAY FIP...FOUND IRON PIPE O.H...OVER HEAD W.M...WATER METER C.H...CHORD DISTANCE P/L...PROPERTY LINE CONC...CONCRETE F.H...FIRE HYDRANT UP...UTILITY POLE
 R...RADIUS U.E...UTILITY EASEMENT Δ...CENTRAL ANGLE PL...PLANTER T...TANGENT C.B...CATCH BASIN MH...MANHOLE

5
4
3
2
1



Proudly Serving
the Florida Real
Estate Community
for Over 20 Years
WWW.MELANDSERVICES.COM

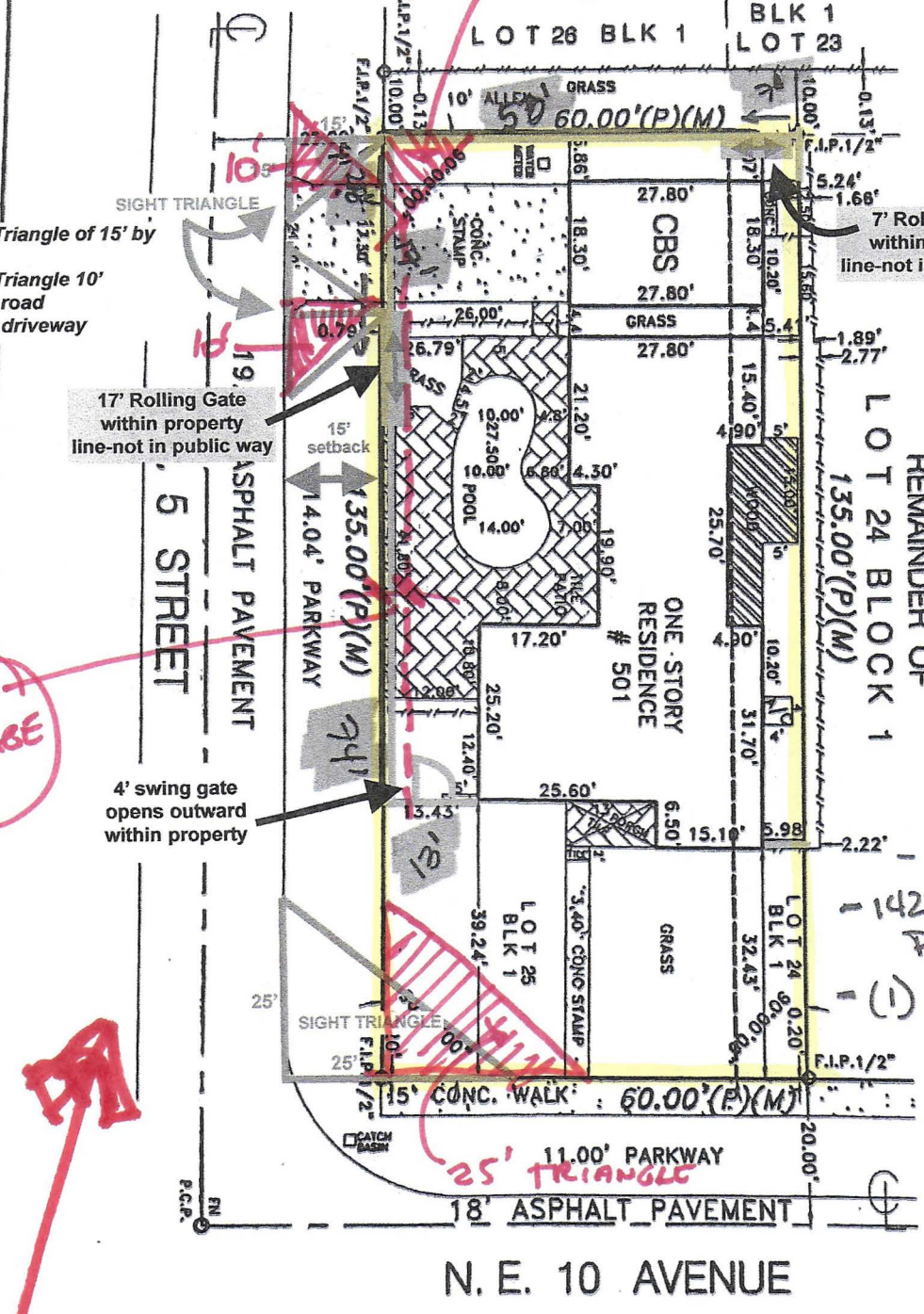
Scope of Work
Replace Existing Wood
Privacy fence with PVC
Privacy fence

Fence shall comply with FBC
rules regarding residential pool barriers

FBC 454.2.17.1.8 Access gates, when provided, shall be self-closing and shall comply with the requirements of Sections 454.2.17.1.1 through 454.2.17.1.7 and shall be equipped with a self-latching locking device located on the pool side of the gate. Where the device release is located no less than 54 inches (1372 mm) from the bottom of the gate, the device release mechanism may be located on either side of the gate and so placed that it cannot be reached by a young child over the top or through any opening or gap from the outside. Gates that provide access to the swimming pool must open outward away from the pool. The gates and barrier shall have no opening greater than 1/2 inch (12.7 mm) within 18 inches (457 mm) of the release mechanism.

3' INCREASE

FOR REFERENCE



REMAINDER OF
LOT 24 BLOCK 1
135.00'(P)(M)

- New PVC Fence 6' H.
- 142.8 LF white Horizontal Privacy PVC Fence
- (1) 17' W x 6' H Rolling Gate
- (1) 7' W x 6' H Rolling Gate
- (1) 4' W x 6' H Gate

Accepted By: _____

Property Address:
501 N.E. 10 Avenue
Fort Lauderdale, FLORIDA 33301

Notes: FENCE ENCROACHES OVER NORTH LOT LINE.

SURVEYOR'S CERTIFICATION: I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A PROPERTY BEING SURVEYED UNDER MY DIRECTION. THIS COMPLIES WITH THE MINIMUM TECHNICAL REQUIREMENTS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS AS ENACTED BY CHAPTER 61-17-002 FLORIDA ADMINISTRATIVE CODE PURSUANT TO THE SURVEYING STATUTES.

SIGNED: EFRAIN LOPEZ, STATE OF FLORIDA
FOR THE FIRM: M.E. Land Surveying, Inc.
P.S.M. No. 6792

M.E. Land Surveying, Inc.
10666 SW 190th Street
Suite 3110
Miami, FL 33157
Phone: (305) 740-3319
Fax: (305) 669-3190
LB#: 7989

ME LAND logo

NOT VALID WITHOUT AND AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL AND/OR THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL SEAL OF A LICENSED SURVEYOR AND MAPPER