

BOARD OF ADJUSTMENT MEETING NOTICE

October 23, 2023

A Public Hearing will be held before the Board of Adjustment on: **November 8, 2023 at 6:00 P.M.**

This meeting will be held in-person at: Development Services Department (Lobby) 700 NW 19th Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA

CASE:	PLN-BOA-23080004
OWNER:	2500 RIVERLAND LLC
AGENT:	NICOLLE DELGADO
ADDRESS:	2500 RIVERLAND RD, FORT LAUDERDALE, FL 33312
LEGAL DESCRIPTION:	LOT 7, PALM GROVE ACRES, ACORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 30, PAGE 38, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA (SEE SURVEY)
ZONING DISTRICT:	RS-3.52 - IRREGULAR RESIDENTIAL
COMMISSION DISTRICT:	4
REQUESTING:	<u>Sec. 47-39. A.1.b.(3). (e). - Yard encroachments.</u>

Requesting a variance to allow an accessory building on a plot containing a single-family dwelling to build a second story, whereas the code limits the building to a single story.

Sec. 47-39. A.6.D. - Height.

Requesting a variance to allow a new single-family residence t 47-5.31o have a maximum height of 29 feet, whereas the code allows a maximum height of 20 feet (2 Stories) as measured from the finish floor at the exterior elevation. A total variance request of 9 feet.

To watch and listen to the meeting, please visit: <https://www.fortlauderdale.gov/government/BOA> OR www.youtube.com/cityoffortlauderdale

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK
ZONING ADMINISTRATOR

Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.




PLN-BOA-23080004


LEGEND

-  Municipal Boundary
-  Subject Site

N



0 100 200 US Feet





CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: NOVEMBER 8, 2023

TIME: 6:00 P.M.

CASE: PLN-BOA-23080004

Sec. 47-39. A.1.b.(3). (e). - Yard encroachments.

• Requesting a variance to allow an accessory building on a plot containing a single-family dwelling to build a second story, whereas the code limits the building to a single story.

Sec. 47-39. A.6.D. - Height.

• Requesting a variance to allow a new single-family residence to have a maximum height of 29 feet, whereas the code allows a maximum height of 20 feet (2 Stories) as measured from the finish floor at the exterior elevation. A total variance request of 9 feet.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
700 N.W. 19TH AVENUE (LOBBY)
FORT LAUDERDALE, FL., 33311
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:
<https://www.fortlauderdale.gov/government/BOA>
www.youtube.com/cityoffortlauderdale



This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a





CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: NOVEMBER 8, 2023

TIME: 6:00 P.M.

CASE: PLN-BOA-23080004

Sec. 47-39, A.1.b.(3). (e) - Yard encroachments.

*Requesting a variance to allow an accessory building on a plot containing a single-family dwelling to build a second story, whereas the code limits the building to a single story.

Sec. 47-39, A.6.D. - Height

*Requesting a variance to allow a new single-family residence to have a maximum height of 29 feet, whereas the code allows a maximum height of 20 feet (2 Stories) as measured from the first floor at the exterior elevation. A total variance request of 9 feet.

REGULATION: DEVELOPMENT SERVICES DEPARTMENT
700 N.W. 10th AVENUE (10th ST)
FORT LAUDERDALE, FL 33311
CONTACT: 954-828-4508

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT
<http://www.fortlauderdale.gov/Government/BOA>
www.youtube.com/cityoffortlauderdale





PUBLIC NOTICE
BOARD OF ADJUSTMENT MEETING
 DATE: NOVEMBER 8, 2023 TIME: 6:00 P.M. CASE: PLN.BOA.23080004

Sec. 47.39, A 1.b (3), (c) - Yard encroachments:
 "Permitting a variance to allow an accessory building on a plot containing a single-family dwelling to build a second story, whereas the code limits the building to a single story."

Sec. 47.39, A & D - Height:
 "Permitting a variance to allow a new single-family residence to have a maximum height of 24 feet, whereas the code allows a maximum height of 20 feet (2 stories) as measured from the finish floor of the exterior elevation. A total variance request of 4 feet."

FOR MORE INFORMATION, CONTACT THE PLANNING DEPARTMENT AT 305.955.2200 OR VISIT US AT WWW.PLANINGDEPT.COM

250



PUBLIC NOTICE
BOARD OF ADJUSTMENT MEETING
CASE FILE NO. 20080004

THE BOARD OF ADJUSTMENT MEETING WILL BE HELD ON TUESDAY, APRIL 15, 2008, AT 7:00 PM, AT THE BOARD OF ADJUSTMENT MEETING ROOM, 1000 N. W. 10TH AVENUE, MIAMI, FLORIDA 33136.

AGENDA: 1. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2007. 2. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2008. 3. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2009. 4. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2010. 5. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2011. 6. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2012. 7. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2013. 8. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2014. 9. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2015. 10. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2016. 11. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2017. 12. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2018. 13. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2019. 14. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2020. 15. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2021. 16. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2022. 17. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2023. 18. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2024. 19. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2025. 20. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2026. 21. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2027. 22. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2028. 23. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2029. 24. APPROVAL OF THE BOARD OF ADJUSTMENT MEETING REPORT FOR THE YEAR 2030.



PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: NOVEMBER 8, 2023 TIME: 8:00 P.M. CASE: EFN.80A.23080004

Item 47.28, A.L.B.121 (4) - TRUS, RECONSTRUCTION.
Requesting to be allowed to allow an accessory building on a lot containing a single-family dwelling to have a second story, whereas the code limits the building to a single story.

Item 47.32, A.A.D. - HEIGHT.
Requesting a variance to allow a new single-family residence to have a maximum height of 28 feet whereas the code limits a maximum height of 20 feet (2 stories) as measured from the first floor of the ground elevation. A four-car garage attached to 8 feet.



CITY OF FORT LAUDERDALE

PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: NOVEMBER 8, 2023

TIME: 6:00 P.M.

CASE: PLN-BOA-23080004

Sec. 47-39, A.1.b.(3) (e) - Yard encroachments.

• Requesting a variance to allow an accessory building on a plot containing a single-family dwelling to build a second story, whereas the code limits the building to a single story.

Sec. 47-39, A.6.D. - Height.

• Requesting a variance to allow a new single-family residence to have a maximum height of 29 feet, whereas the code allows a maximum height of 20 feet (2 Stories) as measured from the finish floor at the exterior elevation. A total variance request of 9 feet.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
1701 N.W. 17TH AVENUE (CORNER)
FORT LAUDERDALE, FL 33311
CONTACT: 754.878.4000

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT
URL: www.fortlauderdale.gov/government/BOA
www.resolve.com/track/planboadirect

BOA CASE # PLN-B0A-23080004

Sec. 47-39.A.1.b.(3)(e) - General provisions.

Accessory buildings may not exceed one (1) story on any plot containing a one-family detached dwelling.

Sec. 47-39. A.6.D.- Height.

***Height.* No building or structure, or part thereof, shall be erected or altered to exceed the maximum height of two (2) stories: scenery lofts, towers, cupolas, steeples and domes, not exceeding in gross area, at a maximum horizontal section, thirty (30) percent of the roof area, and flag poles, airplane beacons, broadcasting towers, antenna, chimneys, stacks, tanks and roof structures used for ornamental or mechanical purposes, may exceed the permissible height limit in any district by not more than twenty-five (25) percent. Parapet walls may extend not more than five (5) feet above the allowable height of a building. (Inserted from Broward County Code 39-103 entitled "Exclusions from height limits").**

Record

Menu Refine Search New GIS Create a Set View Log Reports Help My Filters --Select-- Module Planning

Showing 1-22 of 22

<input type="checkbox"/>	Record, Permit, or Account #	Record Description	Application Name	Record Type	Balance	Planner Name	Street #	Dir	Street Name	Type	Unit # (start)	Status
<input type="checkbox"/>	PLN-BOA-23080004		2500 RIVERLAND	Z- Board of Adjustment (BOA)	0		2500		RIVERLAND	RD		Open
<input type="checkbox"/>	BLD-RALT-22110102	RENOVATION OF 2 STORY RESIDENCE	2500 Riverland	Residential Alteration Permit	0		2500		RIVERLAND	RD		Void
<input type="checkbox"/>	CE222100618	GARBAGE PILE IN RESIDENTIAL DRIVEWAY OF 2500 RIV...		Code Case	0	Marco Aguilera	2500		RIVERLAND	RD		Closed
<input type="checkbox"/>	SE21100273			Bulk Trash Case	0	Wanda Acquavella	2500		RIVERLAND	RD		Complied
<input type="checkbox"/>	PM-19011826	TILE REROOF 4300 SQ FT ~ ~ASBESTOS:0000040646 ~ ~NOC	TILE REROOF 4300 SQ FT	Re-Roof Permit	0		2500		RIVERLAND	RD		Complete
<input type="checkbox"/>	PM-18082503	ATF: REPAIR SITE WALL 30 LF ~V: CE18031558	ATF: REPAIR SITE WALL 30 LF	Fence Permit	0		2500		RIVERLAND	RD		Complete
<input type="checkbox"/>	PM-18041858	ATF REPAIR PERIMETER WALL ~	ATF REPAIR PERIMETER WALL	Fence Permit	67.59		2500		RIVERLAND	RD		Void
<input type="checkbox"/>	CE18031564	EAST SECTION OF THE FENCE IS IN DISARRAY. CMU, BL...	MARINO,ANGELO & ESSLY	Code Case	0		2500		RIVERLAND	RD		Closed
<input type="checkbox"/>	VIO-CE18031564_1	EAST SECTION OF THE FENCE IS IN DISARRAY. CMU	MARINO,ANGELO & ESSLY	Violation-CODE Hearing	0		2500		RIVERLAND	RD		Complied
<input type="checkbox"/>	CE18031558	1)INSTALLANCING A STUCCO LATHING FENCE WALL, WITH...	MARINO,ANGELO & ESSLY	Building Code Case	0		2500		RIVERLAND	RD		Closed
<input type="checkbox"/>	VIO-CE18031558_1	1)INSTALLANCING A STUCCO LATHING FENCE WALL	MARINO,ANGELO & ESSLY	Violation-BLD Hearing	0		2500		RIVERLAND	RD		Complied
<input type="checkbox"/>	CE18010477	THERE IS A WALL IN DISREPAIR AT THIS PROPERTY, WI...	MARINO,ANGELO & ESSLY	Building Code Case	0		2500		RIVERLAND	RD		Closed
<input type="checkbox"/>	VIO-CE18010477_1	THERE IS A WALL IN DISREPAIR AT THIS PROPERTY	MARINO,ANGELO & ESSLY	Violation-BLD Hearing	0		2500		RIVERLAND	RD		Closed
<input type="checkbox"/>	PM-17110680	KITCHEN REMODEL ~NOC ~ ~2/9/18 REV2 B-P-FLOOD ~B...	KITCHEN REMODEL	Residential Alteration Permit	0		2500		RIVERLAND	RD		Complete
<input type="checkbox"/>	PM-17110681	PLUMBING BP 17110680	PLUMBING BP 17110680	Plumbing Fixture Replacement Permit	0		2500		RIVERLAND	RD		Complete
<input type="checkbox"/>	PM-17110683	ELEC BP 17110680	ELEC BP 17110680	Electrical Residential Permit	0		2500		RIVERLAND	RD		Complete
<input type="checkbox"/>	PM-13081266	SEPTIC TO SEWER	SEPTIC TO SEWER	Plumbing Sewer Cap Permit	0		2500		RIVERLAND	RD		Complete
<input type="checkbox"/>	PM-13011135	WIRE AND 6 DOCK LIGHTS	WIRE AND 6 DOCK LIGHTS	Electrical Residential Permit	0		2500		RIVERLAND	RD		Complete
<input type="checkbox"/>	PM-12110428	REPAIR FRAME & RESURFACE	REPAIR FRAME & RESURFACE	Boatlift-Dock-Seawall-Pile Permit	0		2500		RIVERLAND	RD		Complete
<input type="checkbox"/>	PM-12101117	REPLACE 11 PILES AND 375 SF WOOD DECK	REPLACE 11 PILES AND 375 SF ...	Accessory Structure Permit	0		2500		RIVERLAND	RD		Complete
<input type="checkbox"/>	PM-12070211	REPLACE 11 WOOD PILES AND 375 SF WOOD DOCK ~WORK ...	REPLACE 11 WOOD PILES AND 37...	Boatlift-Dock-Seawall-Pile Permit	0		2500		RIVERLAND	RD		Void
<input type="checkbox"/>	AB-0048801		MARINO ESSLY / ANGELO	Resident/Business Alarm Registration	150		2500		RIVERLAND	RD		Active

Page 1: BOA - Applicant Information Sheet

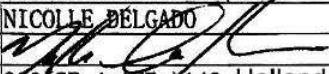
INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance(s) and/or special exception(s) requested. The application form must be filled out accurately and all applicable sections must be completed. Please print or type and answer all questions. Do Not leave any sections Blank. Indicate N/A if a question does not apply.

Case Number	PLN-BOA-23080004
Date of complete submittal	

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	2500 RIVERLAND, LLC - AVI SCHWALB
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	433 LOCUST STREET, DENVER, CO 80220
E-mail Address	AVISCHWALB@AOL.COM
Phone Number	720-218-0354
Proof of Ownership	<input checked="" type="checkbox"/> Warranty Deed or <input type="checkbox"/> Tax Record

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required.

Applicant / Agent's Name	NICOLLE BELGADO
Applicant / Agent's Signature	
Address, City, State, Zip	900 SE 4 AVE #142, Hallandale Beach, FL 33009
E-mail Address	solarimpactsolutions@gmail.com
Phone Number	305-772-4539
Agent Authorization Form Submitted	<input checked="" type="checkbox"/>

Development / Project Name	2500 RIVERLAND
Existing / New	Existing: <input type="checkbox"/> New: <input checked="" type="checkbox"/>
Project Address	Address: 2500 RIVERLAND RD, FORT LAUDERDALE, FL 33312
Legal Description	PALM GROVE ACRES 30-38 B LOT 7
Tax ID Folio Numbers <i>(For all parcels in development)</i>	504220080080
Variance/Special Exception Request <i>(Provide a brief description of your request)</i>	TO INCREASE PROPERTY ALLOWED HEIGHT FROM 20 FEET TO 29 FEET TO ALLOW A 2ND STORY ON THE ACCESSORY UNIT
Applicable ULDR Sections <i>(Include all code sections)</i>	Sec 47-39.A.6.D & Sec 47-39.A.1.b.(3)(e)

Current Land Use Designation	
Current Zoning Designation	
Current Use of Property	SINGLE FAMILY RESIDENTIAL
Site Adjacent to Waterway	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

	Required		Proposed
	Front	Side	
Front			
Side			
Side			
Rear			

Page 2: Board of Adjustment (BOA) Criteria for Variance Request

Answer All questions on this page and attach narrative. If additional space is needed, attach additional page(s).

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12, A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

SEE NARRATIVE

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

SEE NARRATIVE

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

SEE NARRATIVE

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

SEE NARRATIVE

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

See Narrative.

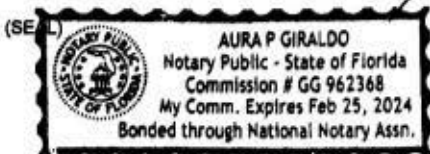
AFFIDAVIT: I, NICOLLE DELGADO the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order or the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

[Handwritten Signature]

(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 17 day of OCTOBER, 2013



[Handwritten Signature]

NOTARY PUBLIC
MY COMMISSION EXPIRES: Feb 25, 2024



DEVELOPMENT SERVICES DEPARTMENT – ZONING & LANDSCAPING DIVISION
BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM

Rev: 0 | Revision Date: 6/02/2023 | Print Date: 0/00/0000
I.D. Number: BOAAAF

AGENT AUTHORIZATION FORM

I, Avi Schwalb ("Owner") as the current title owner of the real property located at 2500 Riverland Rd Fort Lauderdale FL, do hereby authorize

Nicolas Delgado ("Authorized Agent") to act as my agent regarding the submittal of a variance/special exception application to the City of Fort Lauderdale and appear at any and all scheduled hearings before the Board of Adjustment for the City of Fort Lauderdale, on the date, time and location specified on the Hearing Notice.

I authorize my agent to communicate with the City of Fort Lauderdale regarding my pending variance/special exception application and, by signing this authorization form, I hereby authorize the City of Fort Lauderdale to accept and rely on any and all communications from my Authorized Agent, whether written or oral, regarding all issues related to my pending variance/special exception application. I understand and agree that, as the Property Owner, I remain responsible for all terms and conditions outlined in the variance/special exception application, all required hearing appearances related to my variance/special exception application, and any request by the City of Fort Lauderdale and/or the Board of Adjustment to submit additional document(s) and or record(s) in support of my pending variance/special exception application.

Notwithstanding the City's receipt of my completed and executed Agent Authorization Form, I understand and agree, the City will mail or deliver all notices relating to my pending variance/special exception application to my property address, as listed on my variance/special exception application. I further understand and agree, the City of Fort Lauderdale and the Board of Adjustment assume no liability for my failure or my Authorized Agent's failure to comply with any terms or conditions outlined in my variance/special exception application, and/or my failure or my Authorized Agent's failure to appear on my behalf at any duly noticed hearings before the Board of Adjustment.

I further agree to INDEMNIFY AND HOLD HARMLESS and hereby RELEASE, WAIVE, DISCHARGE, HOLD HARMLESS AND FOREVER COVENANT NOT TO SUE the City of Fort Lauderdale, its elected officials, employees, servants, representatives, associates, officers, agents, guests, invitees, volunteers, partners, successors and assigns from any and all liability, claims, demands, action, judgments, costs, expenses, court costs, attorney fees and causes of action whatsoever arising out of or related to any loss or damage to property, and/or injury to any person, including death, WHETHER CAUSED BY, ALLEGEDLY CAUSED BY, OR CONTRIBUTED IN WHOLE OR IN PART by the action, failure to act, negligence, breach of contract or other misconduct by my me, my Authorized Agent, my employees, servants, representatives, associates, officers, agents, volunteers, partners, successors and assigns,



DEVELOPMENT SERVICES DEPARTMENT – ZONING & LANDSCAPING DIVISION
BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM

Rev: 0 | Revision Date: 6/02/2023 | Print Date: 0/00/0000
 I.D. Number: BOAAAF

relating in any way to the City of Fort Lauderdale's reliance of the authority granted to my Authorized Agent pursuant to this Form.

BY SIGNING THIS RELEASE AND HOLD HARMLESS AGREEMENT, I ATTEST, AFFIRM, AND REPRESENT THAT I AM THE TITLE OWNER FOR THE PROPERTY AND THAT ALL OF THE FOLLOWING STATEMENTS ARE TRUE AND CORRECT: I am at least eighteen (18) years of age and of sound and competent state of mind at the time executed this Agent Authorization Form; I executed this Agent Authorization Form as an expression of my own free act and deed; There are no oral representations or statements, apart from this Agent Authorization Form and intend to be bound by its terms; and I was not induced by the City, its employees and/or agents, or anyone, to execute this Agent Authorization Form. ***Please provide proof of ownership. If the property is owned by an Corporation Company, please submit proof from Sunbiz.**

WITNESSES:

Nancy Dominguez
 Witness Signature

Nancy Dominguez
 Print Name:

[Signature]
 Witness Signature

Vanessa Esparza
 Print Name:

[Signature]
 [Owner's signature]

Ami Schwalb
 [Print Owner's name]

STATE OF Co
 COUNTY OF Arapahoe

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 8 day of August, 2023, by Ami Schwalb, an individual.

[SEAL]

[Signature]
 (Signature of Notary Public- State of Florida)

**SARA ZAMANI
 NOTARY PUBLIC
 STATE OF COLORADO
 NOTARY ID 20211060120
 MY COMMISSION EXPIRES 12/30/2025**
 (Print Type of Notary Public)
 Name of Notary Public)



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
2500 RIVERLAND, LLC

Filing Information

Document Number	L22000076724
FEI/EIN Number	NONE
Date Filed	02/23/2022
State	FL
Status	ACTIVE

Principal Address

433 LOCUST ST
DENVER, CO 80220

Mailing Address

433 LOCUST ST
DENVER, CO 80220

Registered Agent Name & Address

FELDMAN, ESQ, PAUL
2750 NE 185TH ST STE 203
AVENTURA, FL 33180

Authorized Person(s) Detail

Name & Address

Title MGR

SCHWALB, AVI
433 LOCUST ST
DENVER, CO 80220

Annual Reports

No Annual Reports Filed

Document Images

[02/23/2022 -- Florida Limited Liability](#)

[View image in PDF format](#)

Prepared by and return to:
Paul Feldman
Esquire
Paul Feldman, P.A.
2750 NE 185th Street # 203
Aventura, FL 33180
305-931-0433
File Number: 22-166
Will Call No.:



Parcel Identification No. **504220-08-0080**

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this **29th** day of **March, 2022** between **Angelo Marino and Essly Marino, husband and wife** whose post office address is **11095 Shady Lake Run, Fort Myers, FL 33913** of the County of **Lee**, State of **Florida**, grantor*, and **2500 Riverland, LLC, a Florida limited liability company** whose post office address is **433 Locust Street, Denver, CO 80220** of the County of **Denver**, State of **Colorado**, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of **TEN AND NO/100 DOLLARS (\$10.00)** and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Broward County, Florida**, to-wit:

Lot 7, PALM GROVE ACRES, according to the map or plat thereof, as recorded in Plat Book 30, Page(s) 38, of the Public Records of Broward County, Florida.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Leah Brown
Witness Name: Leah Brown

[Signature]
Witness Name: Crissy E Rodriguez

Leah Brown
Witness Name: Leah Brown

[Signature]
Witness Name: Crissy E Rodriguez

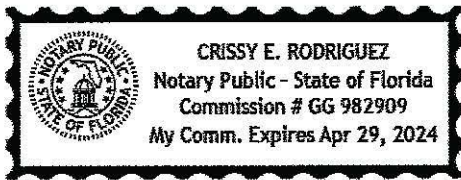
Angelo Marino (Seal)
Angelo Marino

Essly Marino (Seal)
Essly Marino

State of Florida
County of Miami-Dade

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 29th day of March, 2022 by Angelo Marino and Essly Marino, who are personally known or have produced a driver's license as identification. (FL DL)

[Notary Seal]

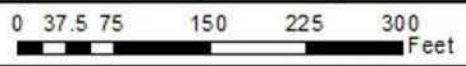


[Signature]
Notary Public

Printed Name: Crissy E Rodriguez

My Commission Expires: 4/29/2024

Completed via Remote Online Notarization using 2 way Audio/Video technology.



MARTY KIAR
BROWARD COUNTY PROPERTY APPRAISER



2500 RIVERLAND RD
DATE OF PRINT: 09/20/2023

NARRATIVE

CITY OF FORT LAUDERDALE, UNIFIED LAND DEVELOPMENT REGULATION BOARD OF ADJUSTMEN APPLICATION

RE: 2500 RIVERLAND RD
BOA APPLICATION # PLN-BOA-23080004

To Whom it may concern,

This application is to request a variance approval in behalf of my client 2500 Riverland, LLC c/o Avi Schwalb with property address 2500 Riverland Road, Fort Lauderdale, FL 33312. The property is Currently Zoned as RS-352 with Variance Code **Sec 47-39.A.6.D. and Sec 47-39.A.1.b.(3) (e)**. The purpose of this application is to request to be allowed to have the height increase from **20 Feet to 29 Feet** and the other code we are asking for is to allow us to have a second story on our accessory.

We have unique and special design that the architect has created to give the neighborhood a beautiful look and help increase the value of the area. We are aware that the code will be changing in February regarding the height to higher feet, we are just asking for this sooner.

Since we are also needing this height to install an elevator that will assist AVI with going upstairs. The other code we are asking for is to allow us to have a second story on our accessory unit, this will be where his caretaker or housekeeper will be residing.

We ask for this to be reviewed for my client.

Thank you!



NICOLLE DELGADO















TYPE OF SURVEY:

- BOUNDARY
- CONSTRUCTION
- CONDOMINIUM
- ALTA/NSPS
- TOPOGRAPHIC
- SPECIAL PURPOSE

PURPOSE OF SURVEY (SEE GENERAL NOTES BELOW):

PROPERTY IMPROVEMENTS



SCALE: 1"=30'

BEARING REFERENCE:

NONE. RECORD INFORMATION RELIANT UPON ANGULAR DATA ONLY.
ALL ANGULAR DATA SHOWN HEREON REFERENCED THERETO.

CURVE TABLE			
	LENGTH	RADIUS	DELTA
C1 (P)	252.75'	889.44'	16°16'54"
C1 (M)	252.66'	889.44'	16°16'33"
C2 (P)	78.77'	218.39'	20°40'00"
C2 (M)	78.61'	218.39'	20°37'26"
C3	22.24'	52.00'	24°30'00"
C4 (P)	120.54'	49.88'	138°27'23"
C4 (M)	122.33'	49.88'	140°31'07"

PROPERTY ADDRESS:
2500 RIVERLAND ROAD,
FORT LAUDERDALE FL. 33312

LEGAL DESCRIPTION:
LOT 7, PALM GROVE ACRES, ACCORDING
TO THE MAP OR PLAT THEREOF, AS RECORDED IN
PLAT BOOK 30, PAGE 38, OF THE
PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA



AERIAL PHOTOGRAPH
(MAY NOT SHOW LATEST IMPROVEMENTS)
(NOT-TO-SCALE)

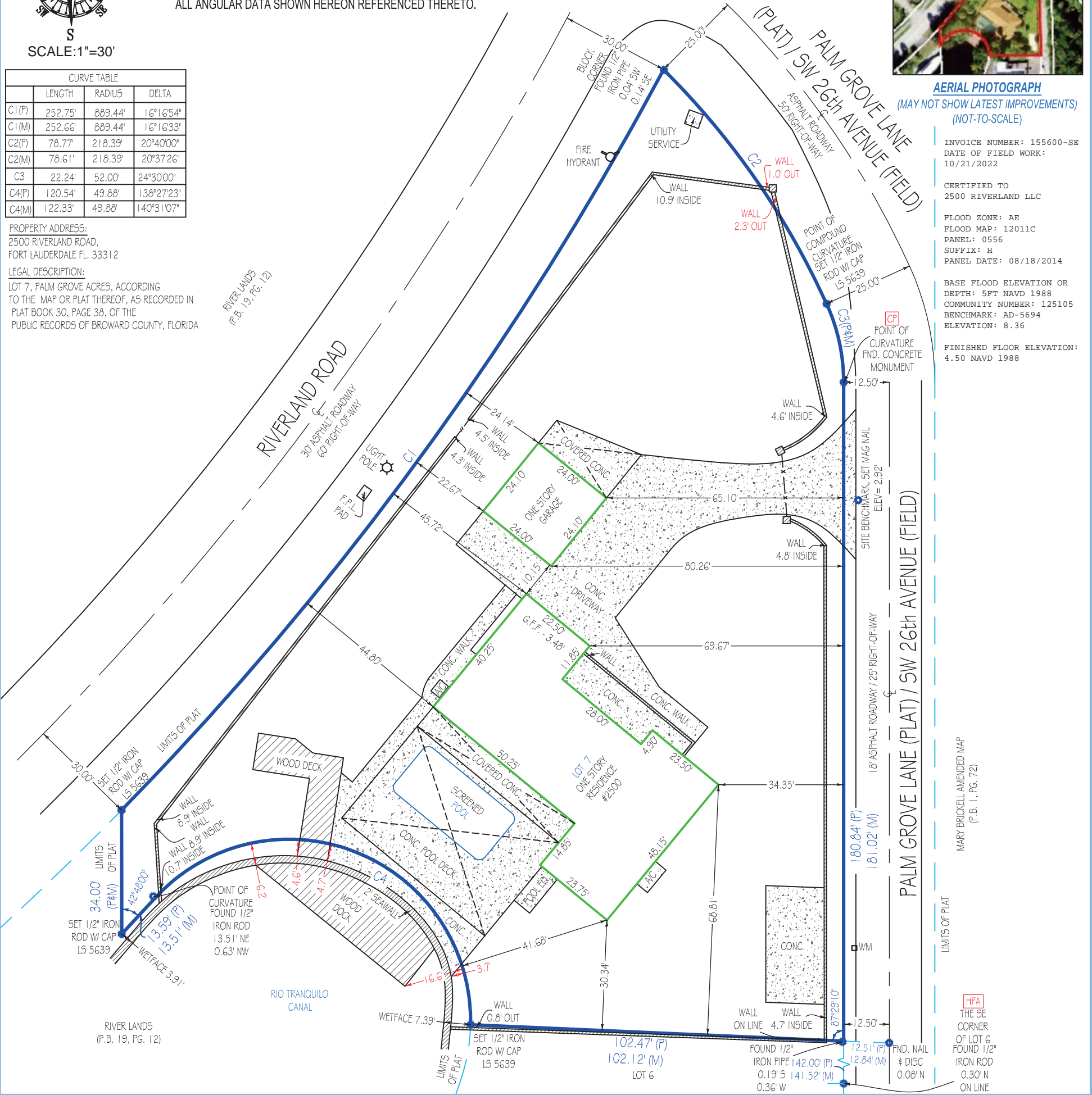
INVOICE NUMBER: 155600-SE
DATE OF FIELD WORK:
10/21/2022

CERTIFIED TO
2500 RIVERLAND LLC

FLOOD ZONE: AE
FLOOD MAP: 12011C
PANEL: 0556
SUFFIX: H
PANEL DATE: 08/18/2014

BASE FLOOD ELEVATION OR
DEPTH: 5FT NAVD 1988
COMMUNITY NUMBER: 125105
BENCHMARK: AD-5694
ELEVATION: 8.36

FINISHED FLOOR ELEVATION:
4.50 NAVD 1988



"CP" = CONTROLLING POINT (POINT OF ROTATION) "HFA" = HELD FOR ALIGNMENT - ALL OTHER MONUMENTATION AND IMPROVEMENTS RELATIVE THERETO

Platted Easements & Notable Conditions (unplatted easements also listed if provided): IF APPLICABLE, RECIPIENTS OF THIS SURVEY SHOULD REVIEW THE POSITION OF ANY FENCE LINES SHOWN AND THEIR RELATIONSHIP TO THE BOUNDARY LINE.

- WOOD DOCK, CONC. SURFACE AND WOOD DECK CROSS BOUNDARY LINE ON SOUTHERLY SIDE OF LOT AS SHOWN.

- WALL CROSSES BOUNDARY LINE ON NORTHEASTERLY SIDE OF LOT AS SHOWN.

This survey has been issued by the following Landtec Surveying office:
700 West Hillsboro Boulevard, Suite 4-100
Deerfield Beach, FL 33441
Office: (561) 367-3587
Fax: (561) 465-3145
www.Landtecsurveying.com

ABBREVIATION LEGEND (SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING):			
A ORAL = ARC LENGTH	EL OR ELEV = ELEVATION	PRC = POINT OF REVERSE CURVE	M = MEASURED
CO = CLEANOUT	P = PLAT	PT = POINT OF TANGENCY	OHC = OVERHEAD CABLE
CA = CENTRAL ANGLE	PC = POINT OF CURVE	EM = ELECTRIC METER	QTR = QUARTER
CATV = CABLE TV RISER	POC = POINT OF COMPOUND CURVE	F.F.E. = FINISHED FLOOR ELEV.	R = RADIUS
CF = CALCULATED FROM FIELD	PH = POOL HEATER	FN = FOUND NAIL	RNG = RANGE
CH = CHORD DISTANCE	PI = POINT OF INTERSECTION	FND = FOUND	SEC = SECTION
CONC. = CONCRETE	POB = POINT OF BEGINNING RECORD	G.F.F. = GARAGE FINISHED FLOOR	TR = TELEPHONE RISER
CR = CALCULATED FROM RECORD	POC = POINT OF COMMENCEMENT	L = LEGAL DESCRIPTION	TWP = TOWNSHIP
DE = DRAINAGE EASEMENT	PP = POOL PUMP		UE = UTILITY EASEMENT
			UP = UTILITY POLE
			WM = WATER METER
			WV = WATER VALVE

SYMBOLS (SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING - NOT TO SCALE):	
	= UTILITY POLE
	= LIGHT POLE
	= CATCH BASIN
	= FIRE HYDRANT
	= MANHOLE
	= WATER VALVE
	= WATER METER
	= WELL
	= CENTER LINE
	= PARTY WALL
	= AIR CONDITIONER
	= SEPTIC LID
	= ELEV. SHOT
	= HANDICAP PARKING SPACE
	= SEC. QTR. CORNER
	= SECTION CORNER

LINETYPES:	
	BOUNDARY
	BUILDING
	EASEMENT
	CHAIN LINK FENCE
	WOOD FENCE
	PLASTIC FENCE
	OVERHEAD CABLE

GENERAL NOTES:
1. THIS SURVEY IS BASED UPON RECORD INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
2. AS INDICATED ABOVE, UNDER "PURPOSE OF SURVEY", IF THIS SURVEY HAS BEEN PREPARED FOR A PURCHASE OR REFINANCE, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES, AND IS NOT INTENDED FOR USE IN DESIGN OR CONSTRUCTION PURPOSES. LANDTEC SURVEYING ASSUMES NO RESPONSIBILITIES FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE.
3. ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING FROM THE REMOVAL OF, OR CHANGES MADE TO, ANY FENCES UNLESS WE HAVE PROVIDED A SURVEY SPECIFICALLY LOCATING SAID FENCES FOR SUCH PURPOSES. DETERMINATION OF FENCE POSITIONS SHOULD BE BASED SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES.
4. GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS.
5. UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN.
6. ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988) AS SHOWN ABOVE.
7. ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
8. ANY CORNERS SHOWN AS "SET" HAVE EITHER BEEN SET ON THE DATE OF FIELD WORK, OR WILL BE SET WITHIN 5 BUSINESS DAYS OF SAID DATE AND ARE IDENTIFIED WITH A CAP MARKED LS (LICENSED SURVEYOR) #5639.

Job No: 155600-SE Date of Field Work : 10/21/2022 Drawn by: N.M.

I HEREBY CERTIFY THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS OUTLINED IN CHAPTER 5J-17.051 & 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT THE ELECTRONIC SIGNATURE AND SEAL HEREON MEETS PROCEDURES AS SET FORTH IN CHAPTER 5J-17.062, PURSUANT TO SECTION 472.025, FLORIDA STATUTES.

SIGNATURE
DATE: 10-27-2022
ANDREW SNYDER - PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 5639 (NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OR THE ELECTRONIC SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER SHOWN ABOVE)

Elevations, if shown:

Benchmark: AD-5694

Benchmark Elev.: 36.69'

Benchmark Datum: N.A.V.D.88

Elevations on Drawing are in:
N.G.V.D.29 N.A.V.D.88

Revisions:	

PRINTING INSTRUCTIONS:
WHEN PRINTING THIS PDF IN ADOBE, SELECT "ACTUAL SIZE" TO ENSURE CORRECT SCALING.
DO NOT USE "FIT".

LICENSED BUSINESS No. 8007

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION					FOR INSURANCE COMPANY USE	
A1. Building Owner's Name 2500 RIVERLAND LLC					Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2500 RIVERLAND ROAD					Company NAIC Number:	
City FORT LAUDERDALE			State Florida		ZIP Code 33312	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) PARCEL:5042 20 08 0080;LOT7,PLATBOOK30,PAGE38						
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential-ACCESSORY</u>						
A5. Latitude/Longitude: Lat. <u>26.0942419</u> Long. <u>-80.1763249</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983						
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.						
A7. Building Diagram Number <u>1A</u>						
A8. For a building with a crawlspace or enclosure(s):						
a) Square footage of crawlspace or enclosure(s) <u>N/A</u> sq ft						
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u>						
c) Total net area of flood openings in A8.b <u>N/A</u> sq in						
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						
A9. For a building with an attached garage:						
a) Square footage of attached garage <u>N/A</u> sq ft						
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>N/A</u>						
c) Total net area of flood openings in A9.b <u>N/A</u> sq in						
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION						
B1. NFIP Community Name & Community Number CITY OF FORT LAUDERDALE & 125105				B2. County Name BROWARD		B3. State Florida
B4. Map/Panel Number 12011C/0556	B5. Suffix H	B6. FIRM Index Date 08-18-2014	B7. FIRM Panel Effective/ Revised Date 08-18-2014	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 5	
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____						
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____						
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA						

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2500 RIVERLAND ROAD			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33312	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO.
 Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: BCBM:AD5694; Elev:8.36' Vertical Datum: NAVD 1988

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.



Check the measurement used.

- | | | | |
|---|-----|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) _____ | 4.5 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor _____ | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) _____ | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) _____ | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) _____ | 4.2 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) _____ | 2.8 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) _____ | 2.8 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support _____ | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name Andrew Snyder, P.S.M.	License Number LS5639		
Title Surveyor & Mapper			
Company Name Landtec Surveying, Inc.			
Address 700 W. Hillsboro Boulevard #4-100			
City Deerfield Beach	State Florida		ZIP Code 33441
Signature 	Date 10-27-2022		Telephone (561) 367-3587

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
 Section C2 E - A/C unit is located on the (SIDE) of the building.
 Crown of road elevation:3.48'
 Elevation of detached garage:3.48'
 Latitude and Longitude derived from Google Earth.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2500 RIVERLAND ROAD			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33312	Company NAIC Number

**SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED)
FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name <i>Av. Schwartz</i>			
Address <i>433 Grand St.</i>	City <i>DENVET</i>	State <i>CO</i>	ZIP Code <i>80220</i>
Signature <i>Av. Schwartz</i>	Date	Telephone <i>720-218-0354</i>	
Comments			

Check here if attachments.

ELEVATION CERTIFICATE

OMB No. 1660-0008
 Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2500 RIVERLAND ROAD			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33312	Company NAIC Number

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
-------------------	------------------------	---

- G7. This permit has been issued for: New Construction Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters Datum _____
- G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters Datum _____
- G10. Community's design flood elevation: _____ feet meters Datum _____

Local Official's Name	Title
Community Name	Telephone
Signature	Date

Comments (including type of equipment and location, per C2(e), if applicable)

Check here if attachments.

BUILDING PHOTOGRAPHS

OMB No. 1660-0008
Expiration Date: November 30, 2022

ELEVATION CERTIFICATE

See Instructions for Item A6.

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2500 RIVERLAND ROAD			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33312	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption FRONT 10-21-2022

Clear Photo One

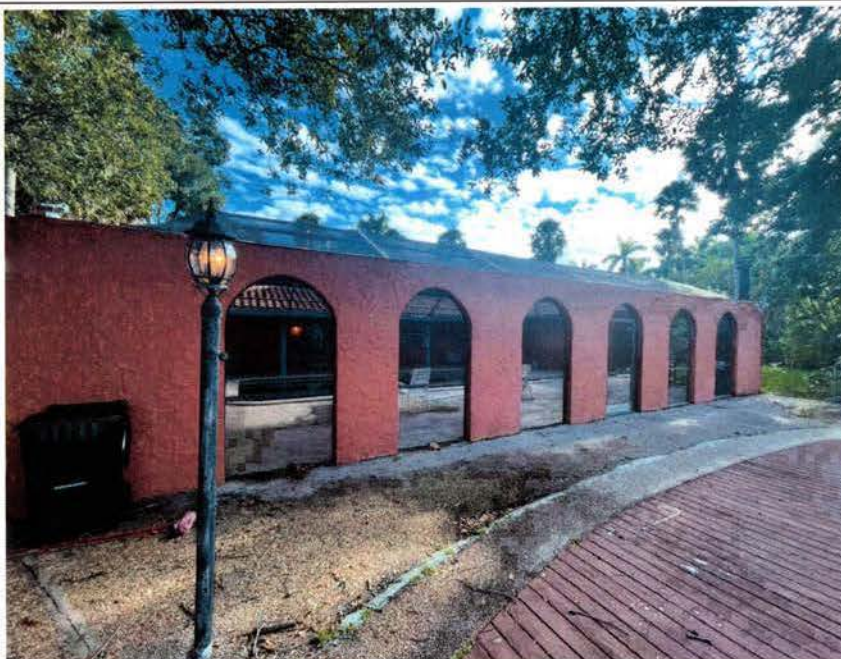


Photo Two

Photo Two Caption REAR 10-21-2022

Clear Photo Two

BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008
Expiration Date: November 30, 2022

ELEVATION CERTIFICATE

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2500 RIVERLAND ROAD			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33312	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.



Photo Three

Photo Three Caption AC 10-21-2022

Clear Photo Three

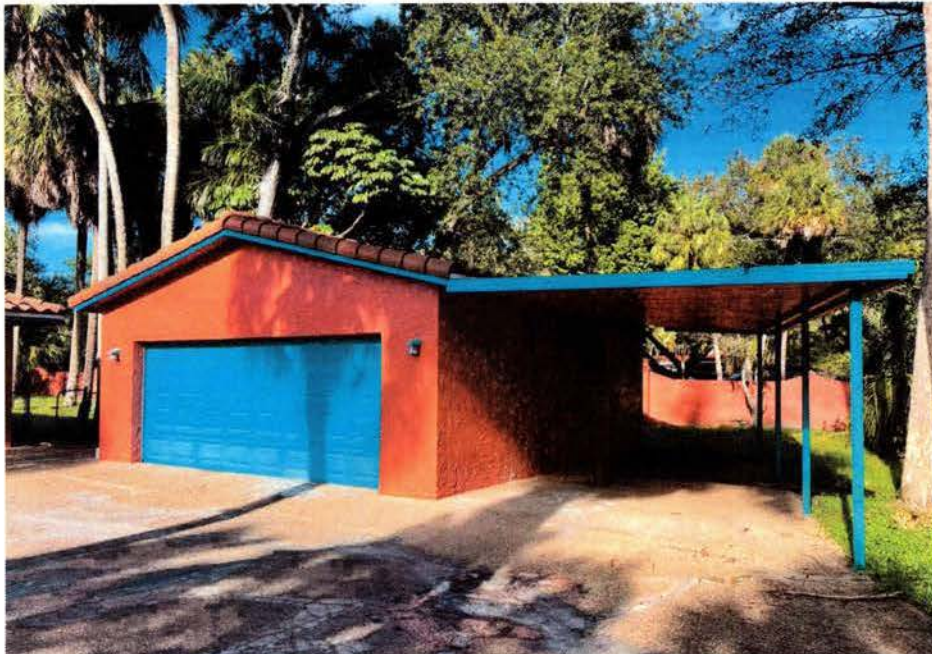


Photo Four

Photo Four Caption DETACHED GARAGE 10-21-2022

Clear Photo Four

11/30/22, 1:10 PM

We've received your payment

From: AmericanExpress@welcome.americanexpress.com,

To: avischwalb@aol.com,

Subject: We've received your payment

Date: Wed, Nov 30, 2022 1:06 pm

Thanks for your payment received on
Nov 30, 2022



AVI SCHWALB
Account Ending: 65009



Thank you for your payment

We received your payment.

You're all set. You can view your updated balances online.

Don't see the deduction in your bank account? The withdrawal date will vary depending on your bank. Please check with your bank if you have any questions.

Payment amount:

\$10,000.00

Processed on:

Nov 30, 2022

Helpful Links



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[View your account online](#)

[Privacy statement](#)

[Contact us](#)

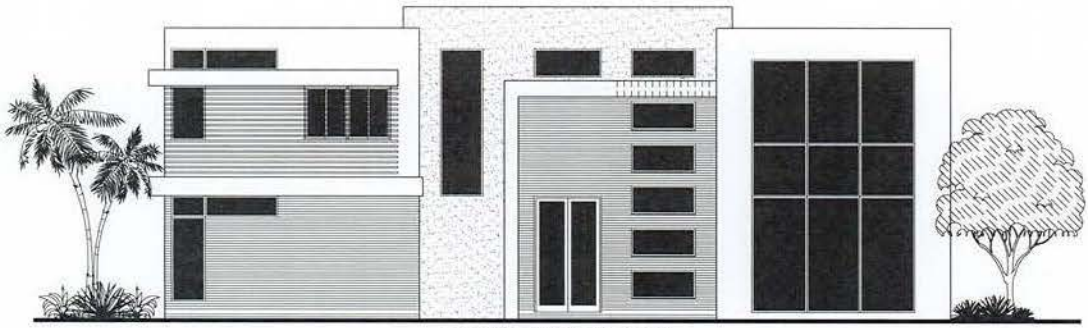
[Update your email address](#)

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Your account information is included above to help you recognize this as a customer care e-mail from American Express. To learn more about e-mail security or report a suspicious e-mail, please visit us at americanexpress.com/phishing. We kindly ask you not to reply to this e-mail but instead contact us via [Customer Care](#).

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SPB0CNF003



FRONT ELEVATION
SCALE: 3/16" = 1'-0"

INDEX OF DRAWINGS

- A1 SITE PLAN
- A2 EXISTING/DEMOLITION PLAN
- A3 FIRST FLOOR ARCHITECTURAL PLAN
- A4 SECOND FLR. ARCHITECTURAL PLAN
- A5 FIRST FLOOR SLAB PLAN
- A6 SECOND FLOOR FRAMIN PLAN
- A7 ROOF FRAMING PLAN
- A8 FRONT & REAR ELEVATIONS
- A9 SIDE & ALL GARAGE ELEVATIONS
- A10 WALL SECTIONS, & DETAILS
- E1 FIRST FLOOR ELECTRIC PLAN
- E2 FIRST FLOOR ELECTRICAL PLAN
- M1 FIRST FLR. MECHANICAL PLAN
- M2 SECOND FLR. MECHANICAL PLAN
- P1 1ST FLR. PLUMBING FLOOR PLAN
- P2 2ND FLR. PLUMBING FLOOR PLAN
- P3 PLUMBING SANITARY RISER

SHOP DRAWING NOTE:

GENERAL PRECAST SHOP DRAWINGS SHALL BE PROVIDED DURING CONSTRUCTION.
TRUSS ENGINEERING & TRUSS LAYOUT SHOP DRAWINGS SHALL BE PROVIDED DURING CONSTRUCTION.
GLASS RAILING SHOP DRAWINGS SHALL BE PROVIDED DURING CONSTRUCTION.

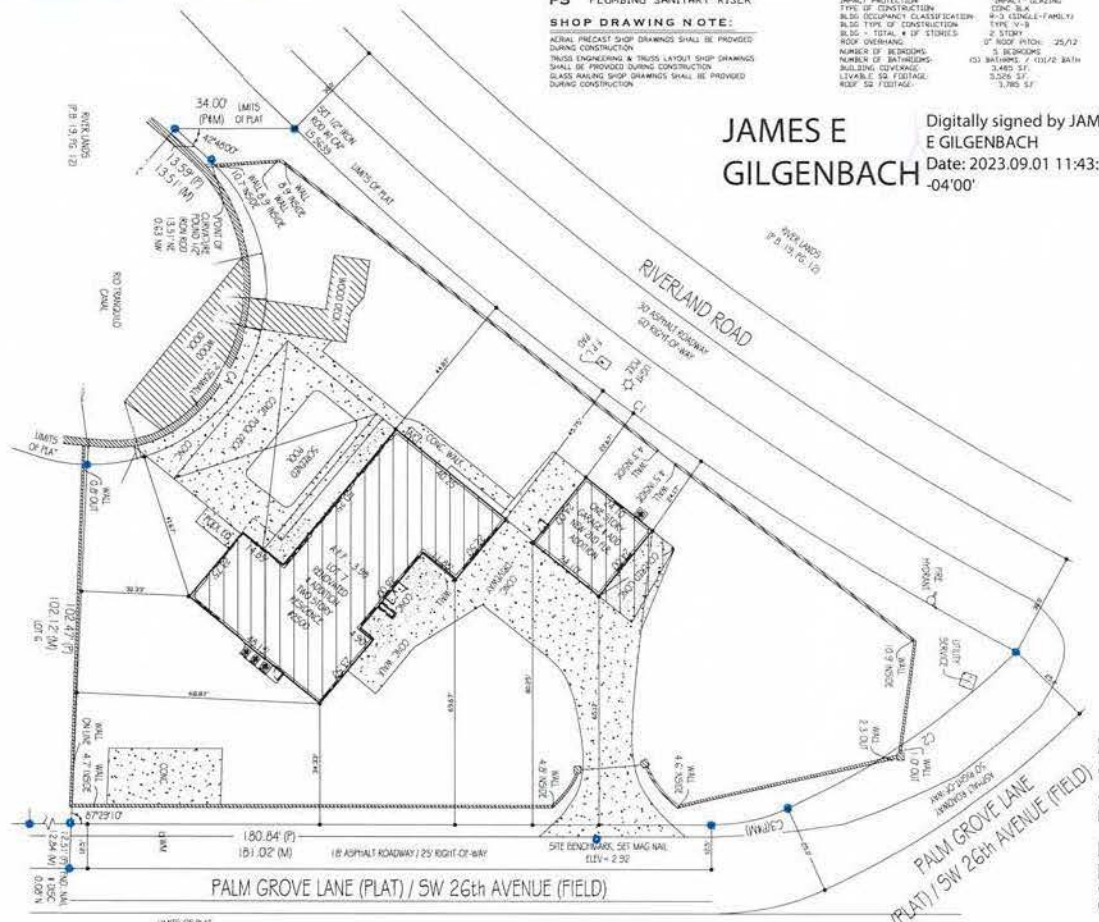
**NEW SINGLE FAMILY HOUSE
SCOPE OF WORK:**

SCOPE OF WORK IS TO RENOVATE EXISTING TWO STORY RES. & BUILD AN ENTIRELY NEW 2 STORY RENOVATED RESIDENCE AT EXISTING HOUSE AND GARAGE.

BUILDING CODE INFORMATION:

ARCHITECT: JAMES E. GILGENBACH (FL 047457)
 ASCE 7-16
 BUILDING CODE: FL BDC CODE BOOK (17th Edition)
 ELECTRICAL CODE: N.E.C. (2017)
 DESIGN WIND SPEED: 140 MPH (150 MPH NOMINAL)
 DESIGN WIND VELOCITY PRESSURE: 41.1 PSF
 IMPORTANCE FACTOR: 1.0
 BUILDING OCCUPANCY CATEGORY: R-2
 MEAN ROOF HEIGHT FROM GRADE: 29.5 FT
 BUILDING WIND EXPOSURE CLASS: "B"
 INTERNAL PRESSURE COEFFICIENT: +/- 0.18
 TYPE OF CONSTRUCTION: CMU
 BLDG. OCCUPANT CLASSIFICATION: 4-3 (SINGLE-FAMILY)
 BLDG. TYPE OF CONSTRUCTION: TYPE 3-B
 BLDG. - TOTAL # OF STORIES: 2 STORY
 ROOF OVERHANG: 0' ROOF PITCH: 25/12
 NUMBER OF BEDROOMS: 5 BEDROOMS
 NUMBER OF BATHROOMS: 3 BATHS
 BUILDING COVERAGE: 3,482 SF
 LIVABLE SQ. FOOTAGE: 5,526 SF
 ROOF SQ. FOOTAGE: 3,996 SF

JAMES E GILGENBACH
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 Date: 2023.09.01 11:43:37 -04'00'



CURVE TABLE			
LENGTH	RADIUS	DELTA	
C1(P)	253.75'	869.44'	107°16'54"
C1(M)	252.64'	869.44'	107°16'33"
C2(P)	76.77'	216.39'	20°40'00"
C2(M)	76.61'	216.39'	20°37'50"
C3	22.24'	52.00'	24°30'00"
C4(P)	120.54'	49.60'	130°27'23"
C4(M)	122.33'	49.60'	140°31'07"

PROPERTY ADDRESS:
 2500 RIVERLAND ROAD
 FORT LAUDERDALE, FL 33312
 LEGAL DESCRIPTION:
 LOT 7, PALM GROVE ACRES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 30, PAGE 38, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA
 FLOOD CERTIFICATION:
 ZONE: X-1
 (ELEV. = 5.940000)
 MAP PANEL # 12099C5561
 DTD. DATE: 6/18/2014



JAMES E. GILGENBACH & PLANNING ARCHITECTURE
 8000 ONE FORT PLACE
 FORT ST. LUDE, FLORIDA 34985
 (954) 292-1057



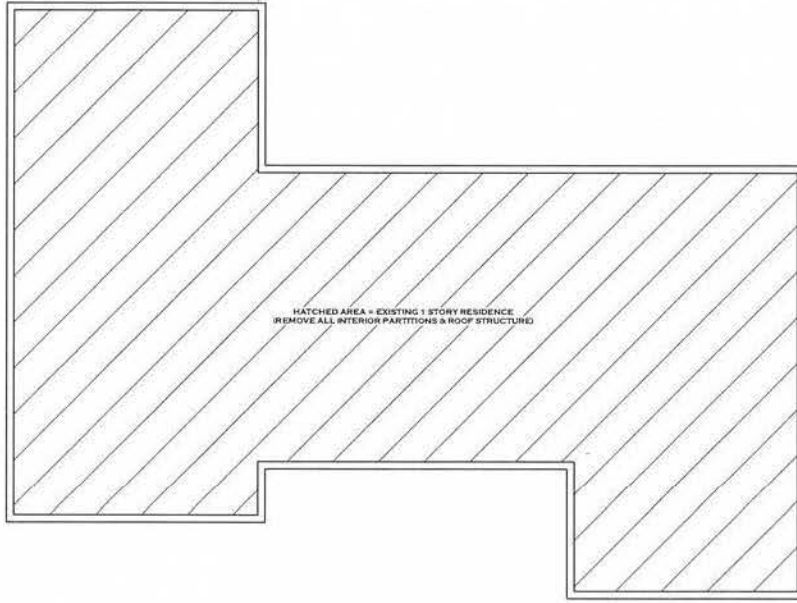
REVISIONS:

1. REVISED TO REFLECT CHANGES TO THE EXISTING STRUCTURE AND TO ADD NEW STRUCTURE. ALL DIMENSIONS AND NOTES SHALL BE CHECKED AND CORRECTED AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND NOTES. ANY CHANGES TO THE PLAN SHALL BE NOTED BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT.

2500 RIVERLAND ROAD
 2500 RIVERLAND ROAD
 FORT LAUDERDALE, BROWARD COUNTY, FLORIDA 33312

SITE PLAN
 SCALE: 1/8" = 1'-0"
 DATE: 04 NOV '22
 PROJECT NO: 22-481
 SHEET: A1
 of 10

2024 - 2024



EXISTING / DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

DEMOLITION NOTES:

- 1. REMOVE ALL EXISTING 1 STORY RESIDENCE AND ROOF STRUCTURE.
- 2. REMOVE ALL EXISTING INTERIOR PARTITIONS AND ROOF STRUCTURE.
- 3. REMOVE ALL EXISTING GARAGE AND ROOF STRUCTURE.
- 4. REMOVE ALL EXISTING DRIVEWAY AND ROOF STRUCTURE.
- 5. REMOVE ALL EXISTING SIDEWALK AND ROOF STRUCTURE.
- 6. REMOVE ALL EXISTING PORCH AND ROOF STRUCTURE.
- 7. REMOVE ALL EXISTING PATIO AND ROOF STRUCTURE.
- 8. REMOVE ALL EXISTING DECK AND ROOF STRUCTURE.
- 9. REMOVE ALL EXISTING STAIRS AND ROOF STRUCTURE.
- 10. REMOVE ALL EXISTING FENCES AND ROOF STRUCTURE.
- 11. REMOVE ALL EXISTING LIGHT FIXTURES AND ROOF STRUCTURE.
- 12. REMOVE ALL EXISTING ELECTRICAL AND ROOF STRUCTURE.
- 13. REMOVE ALL EXISTING PLUMBING AND ROOF STRUCTURE.
- 14. REMOVE ALL EXISTING MECHANICAL AND ROOF STRUCTURE.
- 15. REMOVE ALL EXISTING PAINT AND ROOF STRUCTURE.
- 16. REMOVE ALL EXISTING ASPHALT AND ROOF STRUCTURE.
- 17. REMOVE ALL EXISTING CONCRETE AND ROOF STRUCTURE.
- 18. REMOVE ALL EXISTING BRICK AND ROOF STRUCTURE.
- 19. REMOVE ALL EXISTING STONE AND ROOF STRUCTURE.
- 20. REMOVE ALL EXISTING METAL AND ROOF STRUCTURE.

**NEW SINGLE FAMILY HOUSE
SCOPE OF WORK:**

SCOPE OF WORK IS TO RENOVATE EXISTING TWO STORY RES. & ADD AN EXISTING ONE STORY RENOVATED RESIDENCE AT EXISTING HOUSE AND GARAGE.



**JAMES
E
GILGENBACH
NBACH**

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JAMES E
GILGENBACH
Date:
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JAMES E. GILGENBACH ARCHITECTURE & PLANNING
8000 ONE FIFT PLACE
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(352) 292-0879

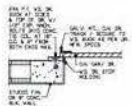


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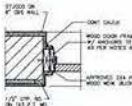
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2500 RIVERLAND ROAD
FORT LAUDERDALE, FLORIDA 33312

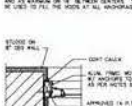
04 NOV '22
AS11
A2



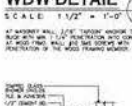
GAR. DR. DTL.
SCALE: 3/4" = 1'-0"



DOOR DTL.
SCALE: 1/2" = 1'-0"



WDW DTL.
SCALE: 1/2" = 1'-0"



SHOWER CURB DTL.
SCALE: 1/2" = 1'-0"



KITCHEN CAB. CROSS-SECTION.
SCALE: 1/2" = 1'-0"

MASONRY WALL BEAM SCHEDULE:

- M-1 FW 4 12" CMU (24" H) WITH 2" ST. REIN. @ 16" O.C.
- M-2 FW 4 12" CMU (24" H) WITH 2" ST. REIN. @ 16" O.C.
- M-3 FW 4 12" CMU (24" H) WITH 2" ST. REIN. @ 16" O.C.
- M-4 FW 4 12" CMU (24" H) WITH 2" ST. REIN. @ 16" O.C.
- M-5 FW 4 12" CMU (24" H) WITH 2" ST. REIN. @ 16" O.C.
- M-6 FW 4 12" CMU (24" H) WITH 2" ST. REIN. @ 16" O.C.
- M-7 FW 4 12" CMU (24" H) WITH 2" ST. REIN. @ 16" O.C.
- M-8 FW 4 12" CMU (24" H) WITH 2" ST. REIN. @ 16" O.C.
- M-9 FW 4 12" CMU (24" H) WITH 2" ST. REIN. @ 16" O.C.
- M-10 FW 4 12" CMU (24" H) WITH 2" ST. REIN. @ 16" O.C.
- M-11 FW 4 12" CMU (24" H) WITH 2" ST. REIN. @ 16" O.C.
- M-12 FW 4 12" CMU (24" H) WITH 2" ST. REIN. @ 16" O.C.
- M-13 FW 4 12" CMU (24" H) WITH 2" ST. REIN. @ 16" O.C.
- M-14 FW 4 12" CMU (24" H) WITH 2" ST. REIN. @ 16" O.C.

DOORS:

- 1) 8000 SW. CASING DR.
- 2) 122010 FRONT ENTRY (SWING R)
- 3) 16200 SLUG GLS. DR. (SWING L)
- 4) 12000 SLUG GLS. DR. (SWING R)
- 5) 8000 SW. CASING DR.
- 6) 3800 WFL DR.
- 7) 3800 FINISH DR.
- 8) 121 3800 NO. DR.
- 9) 121 3800 NO. DR.
- 10) 3000 NO. DR.
- 11) 3000 NO. DR.
- 12) 3400 NO. DR.
- 13) 3000 NO. DR.
- 14) 6000 B-PASS DR.
- 15) ELEVATOR DR.

WINDOWS:

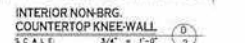
- 1) 4040 FWD. GLS. NEW (SL. SW.)
- 2) 130010 FWD. GLS. NEW (SL. SW.)
- 3) 130010 FWD. GLS. NEW (SL. SW.)
- 4) 4040 FWD. GLS. NEW (SL. SW.)
- 5) 130010 FWD. GLS. NEW (SL. SW.)
- 6) 130010 FWD. GLS. NEW (SL. SW.)
- 7) 4040 FWD. GLS. NEW (SL. SW.)
- 8) 4040 FWD. GLS. NEW (SL. SW.)
- 9) 8000 TRSM. NEW (SL. SW.)
- 10) 8000 TRSM. NEW (SL. SW.)
- 11) 8000 TRSM. NEW (SL. SW.)
- 12) 3020 TRSM. NEW (SL. SW.)
- 13) 3020 TRSM. NEW (SL. SW.)
- 14) 3020 TRSM. NEW (SL. SW.)
- 15) 3020 TRSM. NEW (SL. SW.)
- 16) 3020 TRSM. NEW (SL. SW.)
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- 48) 3020 TRSM. NEW (SL. SW.)
- 49) 3020 TRSM. NEW (SL. SW.)
- 50) 3020 TRSM. NEW (SL. SW.)

WINDOW GLAZING NOTE:

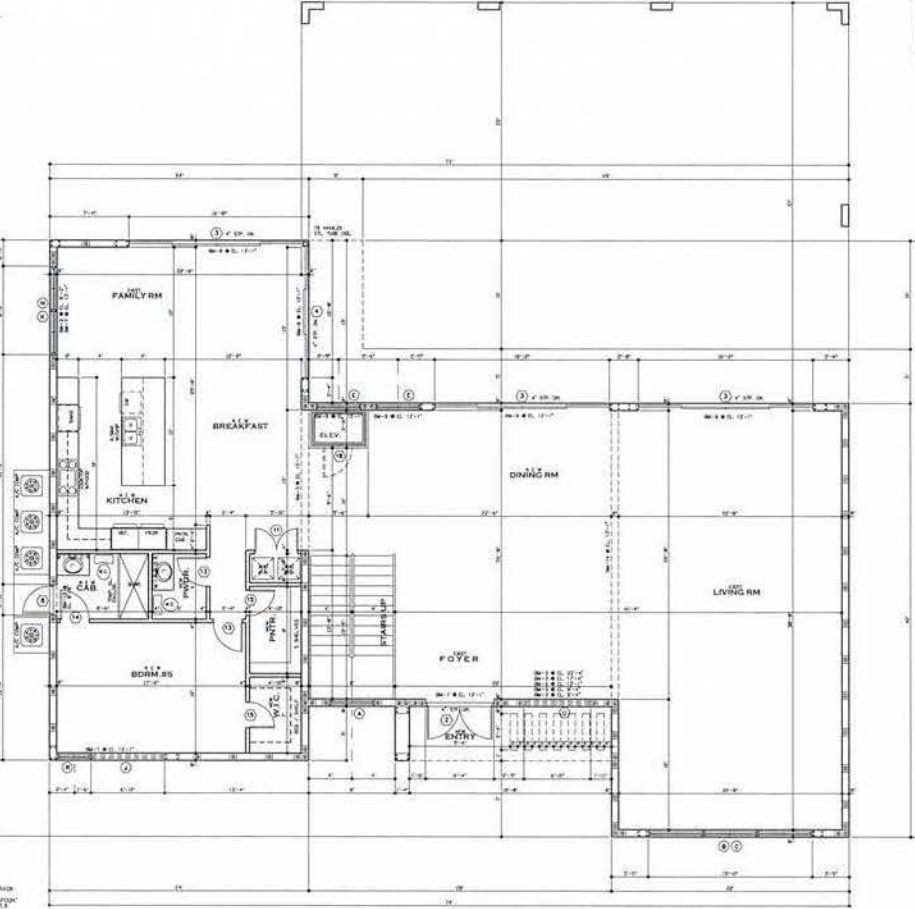
CONTRACTOR RESPONSIBLE TO VERIFY WINDOW SIZES OF NEW AND EXISTING WINDOW UNITS.
ALL WINDOW SIZES SHOWN TO BE MIN. FINISH SIZES.
ALL WINDOW SIZES TO BE FINISH SIZES.

WINDOW PRODUCT INFO:

VIEWS & SIZES SHOWN FOR WINDOW SIZES TO BE FINISH SIZES.



INTERIOR NON-BRG. COUNTERTOP KNEE-WALL.
SCALE: 3/4" = 1'-0"



FIRST FLOOR LEVEL ARCHITECTURAL FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREA CALCS:

EXIST FIRST FLOOR	2,610 S.F.
NEW 2ND FLOOR ADDN.	5,770 S.F.
TOTAL FLOOR	8,380 S.F.
GARAGE	578 S.F.
ENTRY PORCH	93 S.F.
TOTAL	8,951 S.F.

JAMES E. GILGENBACH ARCHITECTURE & PLANNING
8000 ONE FORT PLACE
FORT LAUDERDALE, FLORIDA 33405
(954) 252-0879

JAMES E. GILGENBACH
Digitally signed by JAMES E. GILGENBACH
Date: 2023.09.01 11:56:21 -0400

2500 RIVERLAND ROAD
FORT LAUDERDALE, FLORIDA 33312

04 NOV '22
SHEET 03
A3



**JAMES E
GILGENBACH**

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GILGENBACH
Date: 2023.09.01 12:08:51 -04'00'

**JAMES E. GILGENBACH
ARCHITECTURE & PLANNING**
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PORT ST LUCE
FLORIDA 34986

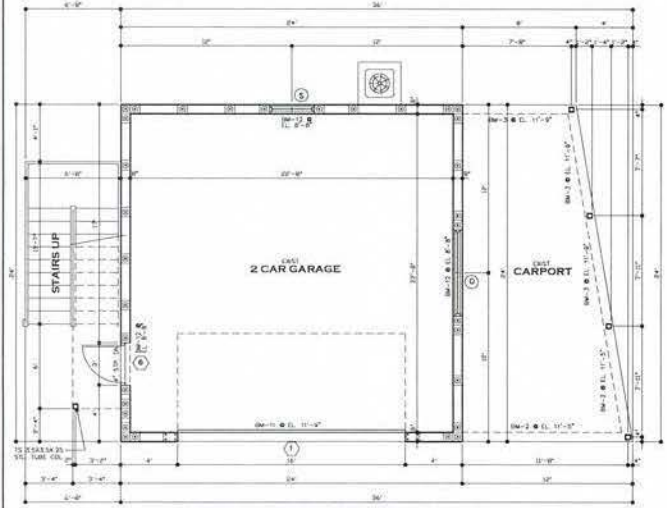


REVISIONS:

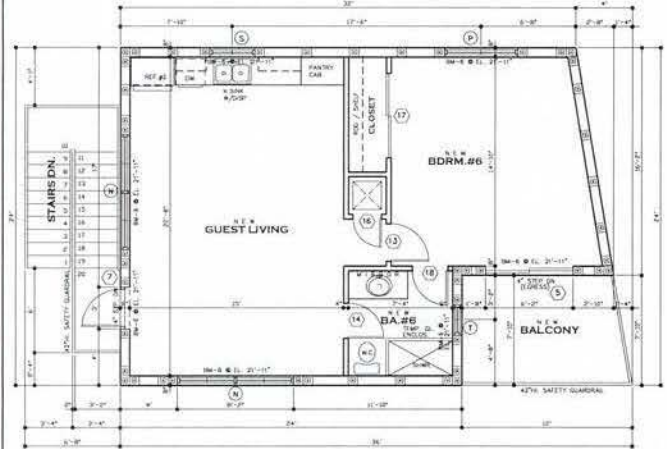
1. REVISED PER COMMENTS FROM CLIENT TO ADD STAIRS TO LOFT AND TO ADD STAIRS TO GARAGE. ALL DIMENSIONS TO BE CHECKED TO MATCH ALL REVISED DIMENSIONS. ALL DIMENSIONS TO BE CHECKED TO MATCH ALL REVISED DIMENSIONS. ALL DIMENSIONS TO BE CHECKED TO MATCH ALL REVISED DIMENSIONS.

RENOVATION TO EXISTING RESIDENCE OF
2500 RIVERLAND ROAD
2500 RIVERLAND ROAD
FORT LAUDERDALE, FLORIDA 33312

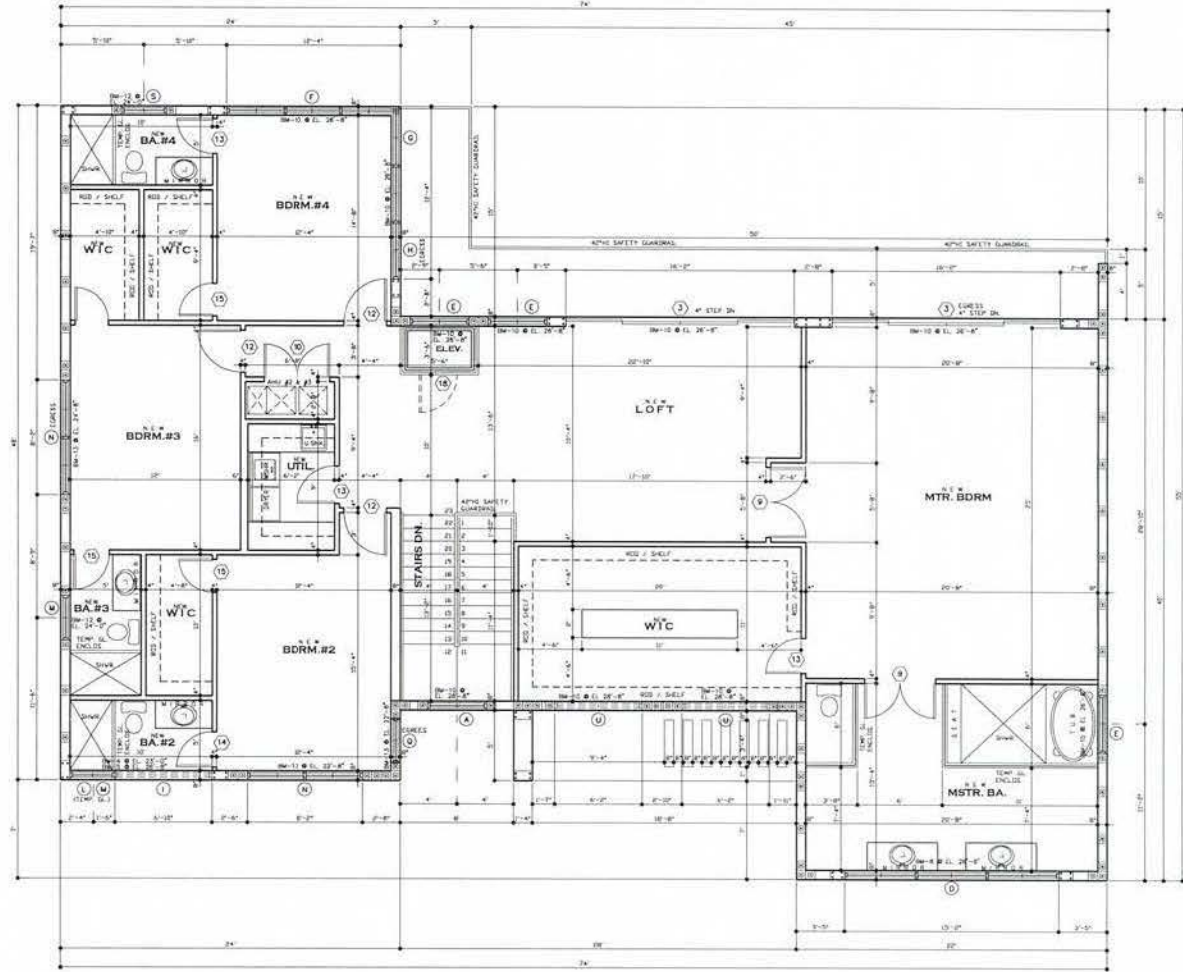
DATE: 04 NOV '23
PROJECT NO: 22 - A111
SHEET: 10
A4



**EXISTING / DEMOLITION &
1ST FLR ARCHITECTURAL PLAN**
SCALE: 1/4" = 1'-0"



**SECOND FLOOR LEVEL
ARCHITECTURAL FLOOR PLAN**
SCALE: 1/4" = 1'-0"



**SECOND FLOOR LEVEL
ARCHITECTURAL FLOOR PLAN**
SCALE: 1/4" = 1'-0"

ERIKK - SCHWALB

GENERAL CONSTRUCTION NOTES:

1. ALL WORK BY ALL TRADES TO BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE LOCAL & GOVERNMENTAL CODES, SPECIFICATIONS, STANDARDS AND RESTRICTIONS.
2. ALL TRADES TO COORDINATE THEIR WORK WITH ALL OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE JOB PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY ARCHITECT OF ALL DISCREPANCIES IMMEDIATELY. ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. ALL DIMENSIONS ARE FINISH, TO THE FACE OF STUDY CONC. SLAB OR EDGE OF MASONRY UNLESS OTHERWISE NOTED OTHERWISE. COORDINATE WITH WINDOW SIZES TO BE VERIFIED WITH THE MANUFACTURER.
5. IF IT IS NOT CLEAR FROM THESE PLANS TO SHOW EXACTLY HOW DETAILS OF CONSTRUCTION, THE CONTRACTOR IS EXPECTED TO FURNISH & INSTALL ALL ITEMS FOR COMPLETE FULLY OPERATIVE SYSTEMS IN FIELD CLASS INFORMATION MANNER.
6. INSTALL EXTERIOR MASONRY WALL WITH MIN. #10 REIN. EXTERIOR W/ FRAMED WALLS WITH #11 REIN. AND INTERIOR GRADES WITH MIN. #10 CONCRETE REIN.
7. CONTACT ALL UTILITIES TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES.
8. MIN. 20% COMPACTED FILL TO BE SET WITH CONCRETE COURSE FOR REIN. SLAB. SLAB BEAMS & COLS. 1 1/2" TO COLS. 3/4" FORMED CONC. BELOW GRADE. 1" UNFORMED CONC.
9. REINFORCING STEEL TO BE GRADE 60.
10. DETAILS OF CONCRETE REIN. SHALL BE IN ACCORDANCE WITH "THE MANUAL OF PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION".
11. ALL CONCRETE TO HAVE COMBINED CONCRETE FILL WITH THE SAME SIZE AND NUMBER OF BARS AS VERTICAL REIN. REIN. IS TO BE LAPPED TO BAR DIA. MIN. 6 SPACES.
12. REMOVE CLEANOUT OPENINGS AT THE BOTTOM OF CASTED COLS OF CONCRETE SLAB TO COLUMNS.
13. ALL WORK IN CONTACT WITH CONC. MASONRY OR STL. SHALL BE PROTECTED WITH STRUCTURAL LAMBER TO BE A MIN. 2" THICK OR MIN. 1" (200 PS) GROUNDING.
14. MIN. ELECTRICAL WIRE SHALL BE #14 AWG. INCLUDING THE CONDUIT. ALL CONDUITS SHALL BE "TOPPING" WITH TYPICAL INSULATION.
15. ALL FACED WALLS AND FOUNDATIONS TO BE DRAINAGE. ALL WALLS TO BE DRAINAGE. USE 1/2" DIA. CONDUIT OR BARS AT 10" OC. OTHER ACCEPTABLE AS PER OWNER REQUEST.
16. PROVIDE 100" RECEPTACLES IN BATHROOMS, AT KITCHEN COUNTERTOPS, IN GARAGE AND OUTSIDE LOCATIONS.
17. SANITARY FLOOR FINISH TO HAVE MIN. 1/4" PER FT. FIT IN AT ALL HORIZ. RUNS. PROVIDE CLEANOUTS AT THE BASE OF WASTE STACKS.
18. ALL UNDERGROUND WATER PIPING SHALL BE COPPER TYPE "K". ALL OTHER WATER PIPING SHALL BE GALVANIZED STEEL.
19. PROVIDE AIR CHARGERS AND SHUT OFF VALVES FOR ALL WATER SUPPLY PIPING AT FINISH. PROVIDE VACUUM BREAKER AND SHUT OFF VALVE ON ALL WASH BASINS. 20 A/C AIR HANDLING UNITS TO HAVE CONDENSATE SAFE WASTE WITH DRAIN.

THE COLUMN / SLAB NOTES:

(S) TYPICAL REIN. COLUMN (1) #8 REIN. BAR VERT. & GROUTED SOLE IN CELL OF CONC. SLAB WALL. W/ CONCRETE.

(S) SPECIAL 8" X 12" (14") POURED CONC. REIN. COLUMN. REIN. BAR VERT. #8. 12" DIA. MAX.

(A) SPECIAL POURED CORNER CONC. REIN. COLUMN. #8 REIN. BAR VERT. #8. 12" DIA. MAX.

3/4" DIA. X 8" WATERSTOP RECES ALL AROUND HOUSE PERIMETER UNDER CONC. SLAB WALLS.

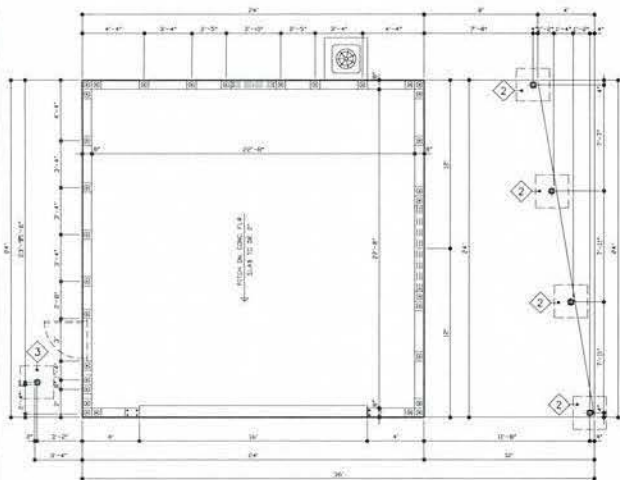
1/2" X 12" WATERSTOP RECES IN FLOOR SLAB UNDER ALL EXTERIOR GARAGE DOORS.

FOUNDATION SCHEDULE

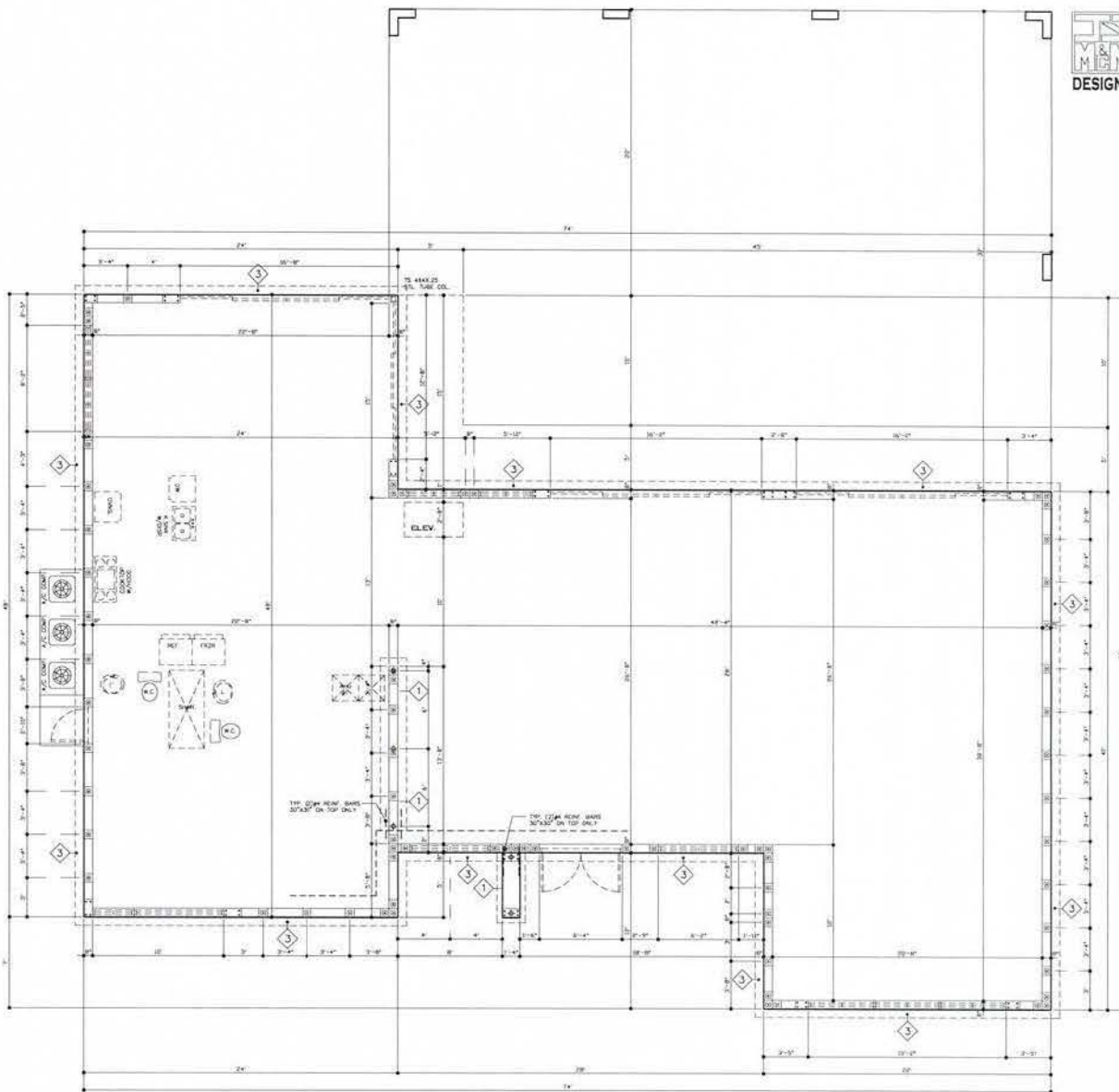
- 1 24" DIA. X 18" CONCRETE GRADE BEAM (1) #22 STEELBARS & 12" DIA.
 - 2 12" X 30" X 12" CONCRETE PAD FOOTING W/ (1) #8 REIN. BARS EACH WAY.
 - 3 24" DIA. X 8" CONCRETE MOUNDING (1) #8 REIN. BAR TOP, MIDDLE AND BOTTOM W/ (1) CONCRETE & 12" DIA. X 12" REIN. BARS. PERIMETER OF EXISTING FOUNDATION.
- (1) TOTAL TYPICAL 3RD. HELICAL PILES

FINISH FLOOR NOTE:

NEW ADDITION FLOOR TO BE FLOOR AND MATCH EXISTING FINISH FLOOR ELEVATION OF EXISTING HOUSE.



FOUNDATION SLAB PLAN
SCALE: 1/4" = 1'-0"



FOUNDATION SLAB PLAN
SCALE: 1/4" = 1'-0"

JAMES E GILGENBACH

Digitally signed by JAMES E GILGENBACH
Date: 2023.09.01 12:14:31 -04'00'



JAMES E. GILGENBACH & PLANNING
ARCHITECTURE
9009 ONE PUTT PLACE
FORT ST. LUDE
FLORIDA 34096
(954) 292 - 0679



REVISIONS:

1. REVISED TO ADD THE FOLLOWING NOTES TO THE PLAN: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.

RENOVATION TO EXISTING RESIDENCE OF
2500 RIVERLAND ROAD
FORT LAUDERDALE, FLORIDA 33312

DATE: 04 NOV '22
PROJECT NO.: 22 - A111
SHEET: 11
OF 10 **A5**

JAMES E GILGENBACH

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JAMES E GILGENBACH
Date: 2023.09.01 12:12:38
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FLORIDA 34986
(854) 292-0676

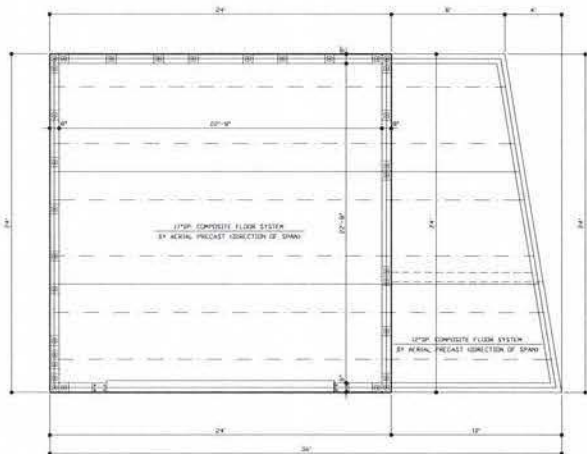


REVISIONS:

1. DRAWING SET TO BE
USED WITHIN DESIGN
LIMITS. NO OTHER
CONSTRUCTION SHALL
BE PERMITTED WITHOUT
THE WRITTEN CONSENT
OF THE ARCHITECT.
2. THE ARCHITECT SHALL
BE RESPONSIBLE FOR
THE ACCURACY OF ALL
DIMENSIONS AND
NOTATIONS ON THIS
DRAWING. THE USER
OF THIS DRAWING SHALL
VERIFY ALL DIMENSIONS
AND NOTATIONS.

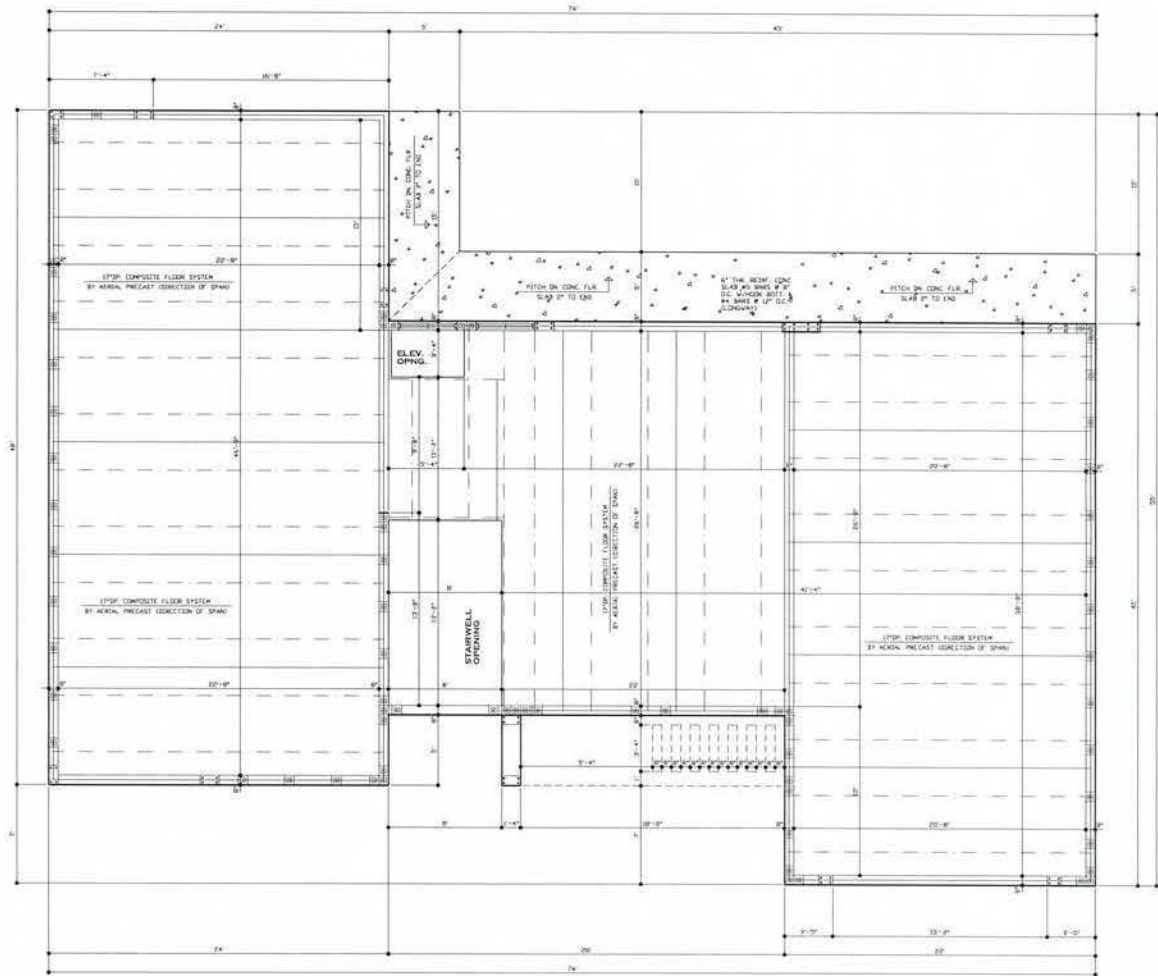
RENOVATION TO EXISTING RESIDENCE OF
2500 RIVERLAND ROAD
2500 RIVERLAND ROAD
FORT LAUDERDALE, FLORIDA 33312
BROWARD COUNTY

DATE: 04 NOV '22
PROJECT NO: 22 - A111
SHEET: 11
of 10 **A6**



(SEE STRUCTURAL DRAWINGS BY AERIAL SYSTEMS)
FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



(SEE STRUCTURAL DRAWINGS BY AERIAL SYSTEMS)
FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

2023.09.01 12:17:17 -04'00'

JAMES E
GILGENBACH

Digitally signed by JAMES E
GILGENBACH
Date: 2023.09.01 12:17:17 -04'00'



JAMES E. GILGENBACH
ARCHITECTURE & PLANNING
1000 ONE FORT PLACE
FORT ST. LOUIS
FLORIDA 34608
TEL: 813.251.0875
WWW.JEGILGENBACH.COM

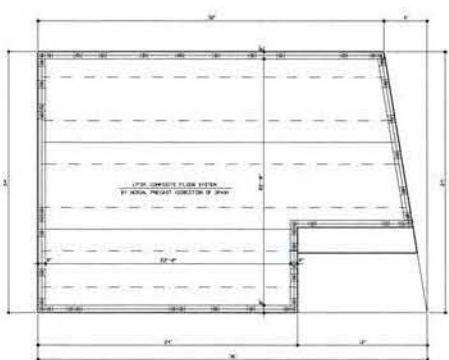


REVISIONS

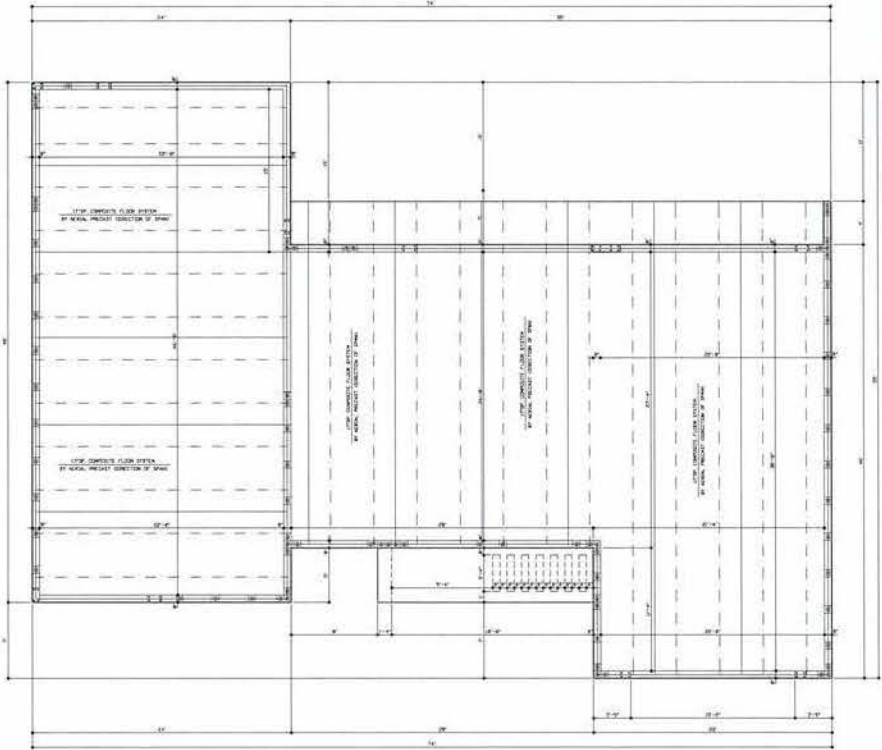
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RENOVATION TO EXISTING RESIDENCE OF
2500 RIVERLAND ROAD
FORT LAUDERDALE, FLORIDA 33312

04 80V 22
22 DEC 20
SHEET
A111
A7



(SEE STRUCTURAL DRAWINGS BY AERIAL SYSTEMS)
ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

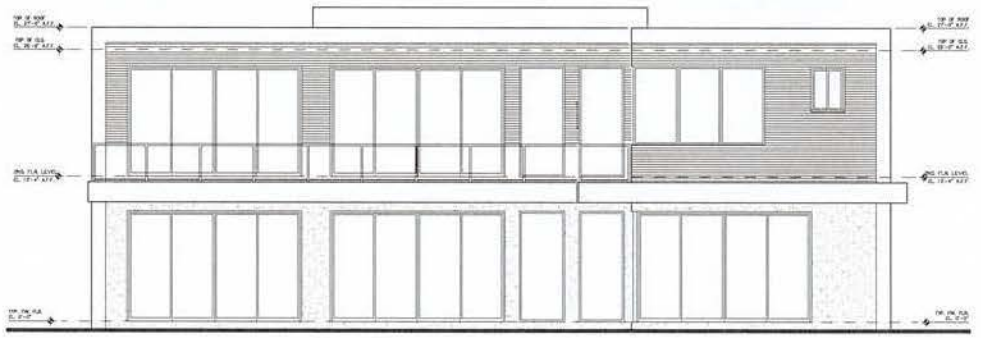


(SEE STRUCTURAL DRAWINGS BY AERIAL SYSTEMS)
ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

ZONE - EDWALB



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

JAMES E GILGENBACH
Digitally signed by
JAMES E GILGENBACH
Date: 2023.09.01
12:20:14 -04'00'

DESIGNS

JAMES E. GILGENBACH ARCHITECTURE & PLANNING
FORT ST. LUKE, FLORIDA 34884
1008 ONE PITT PLACE
TALLAHASSEE, FLORIDA 32302

REVISIONS

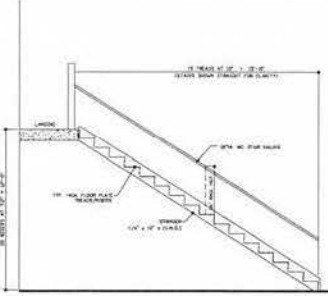
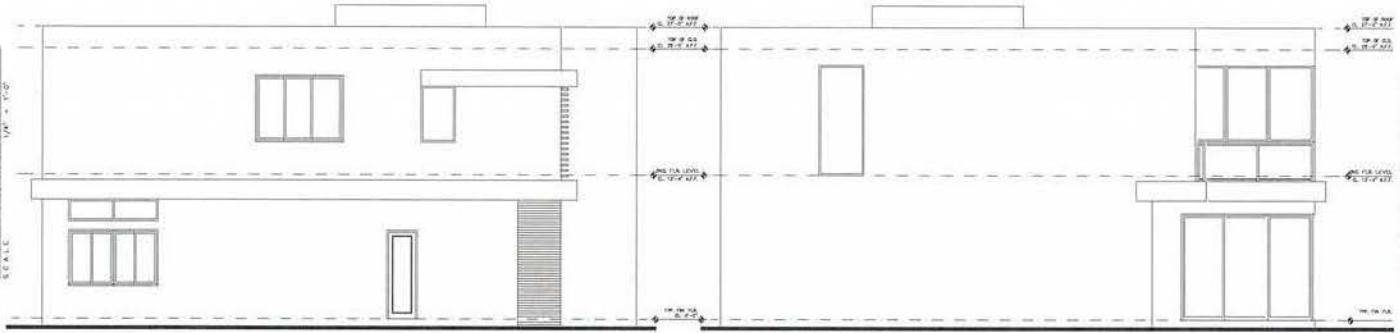
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RENOVATION TO EXISTING RESIDENCE OF
2500 RIVERLAND ROAD
FORT LAUDERDALE, FLORIDA 33312

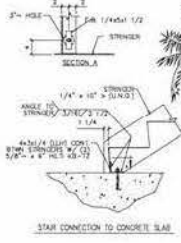
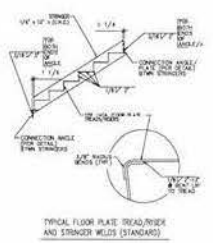
04 NOV 22
PROJECT NO. A111
SHEET
18 OF 20
A8

LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"

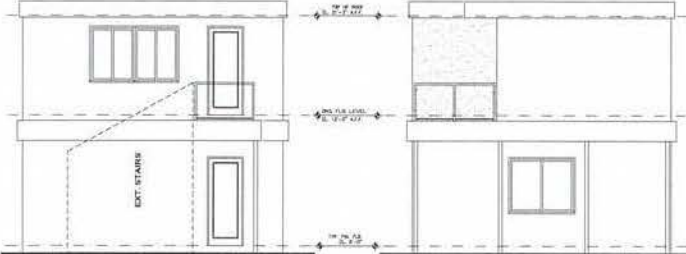
RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"



STAIR SECTION
SCALE 1/2" = 1'-0"

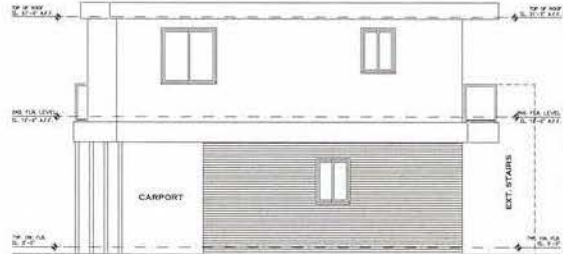


FRONT ELEVATION
SCALE 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"

RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"

**JAMES
E
GILGENBACH**

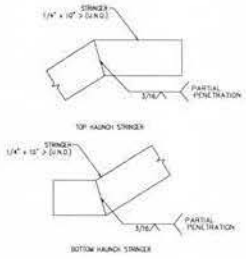
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by JAMES E
GILGENBACH
Date:
2023.09.01
12:56:40 -04'00'



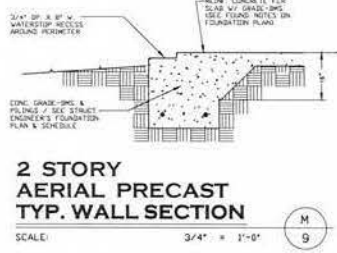
REVISIONS
NO. 1
DATE
DESCRIPTION

2500 RIVERLAND ROAD
FORT LAUDERDALE, FLORIDA 33322

04 NOV 22
SHEET
A9
DESIGNS

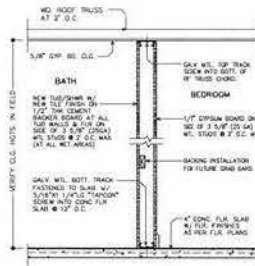


STAR STRINGER HAUNCHED WELDMENT (STANDARD)



SCALE: 3/4" = 1'-0"

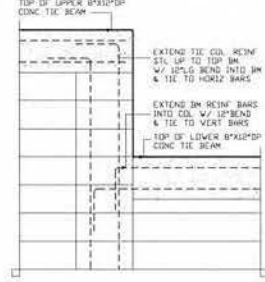
M
9



BACKER BOARD AT BATHROOMS
NON-BEARING TYP. INTERIOR WALL

SCALE: 1/2" = 1'-0"

G
9



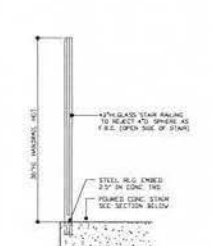
SCALE: 3/4" = 1'-0"



SCALE: 3/4" = 1'-0"

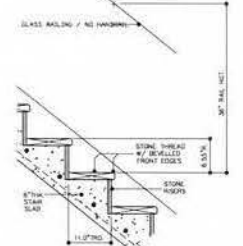
WALL SECTION MATERIAL NOTES:

- 1 COMPACTED TYPICAL TIGHT CLEAN FILL
- 2 CONC. FOOTING/FOUNDATION - (SEE ENGINEERING DRINGS)
- 3 REIN. CONC. FLOOR SLAB - (SEE ENGINEERING DRINGS)
- 4 1/2" DIA. VERTICAL VOR. PIPES
- 5 SLABS ELEVATOR PIT



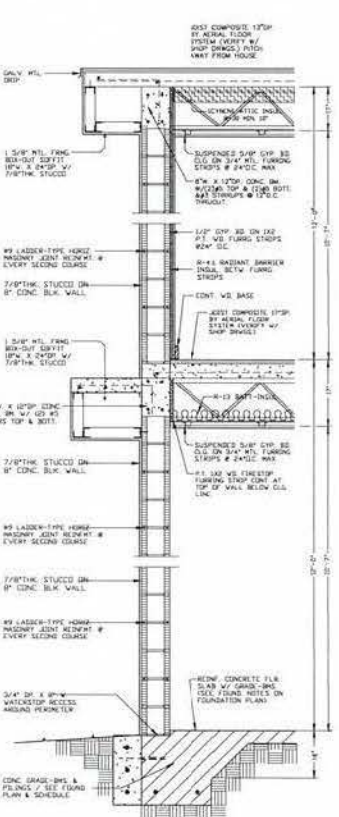
SCALE: 1" = 1'-0"

K
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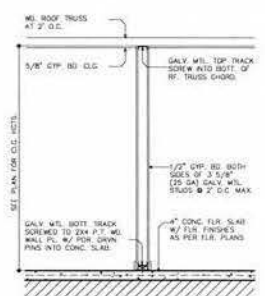
SCALE: 1" = 1'-0"

J
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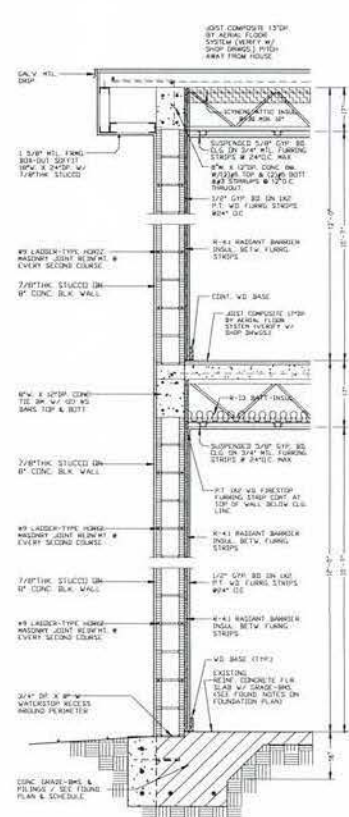


SCALE: 3/4" = 1'-0"

H
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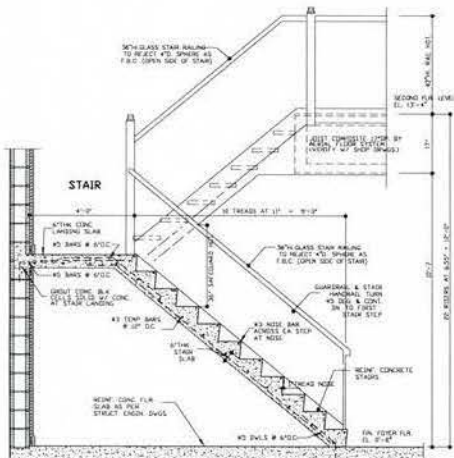


SCALE: 1/2" = 1'-0"



SCALE: 3/4" = 1'-0"

E
9



SCALE: 1/2" = 1'-0"

L
9

JAMES E GILGENBACH

Digitally signed by JAMES E GILGENBACH
Date: 2023.09.01 12:58:43 -04'00'



JAMES E. GILGENBACH & PLANNING
POMPANO BEACH, FLORIDA 33073
SITE: 4500 N. POWERLINE ROAD
(954) 292-0879



REVISIONS:

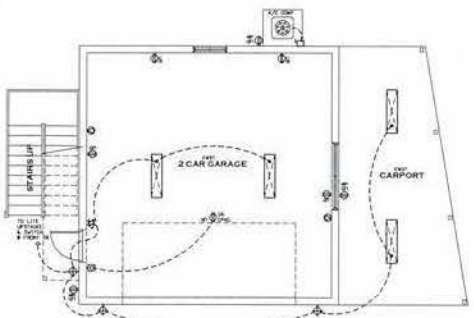
1. REVISED TO REFLECT CHANGES TO FOUNDATION AND WALL SECTION MATERIALS AS PER ENGINEERING DRINGS.

RENOVATION TO EXISTING RESIDENCE OF 3248 NE 169TH STREET DADE COUNTY, FLORIDA

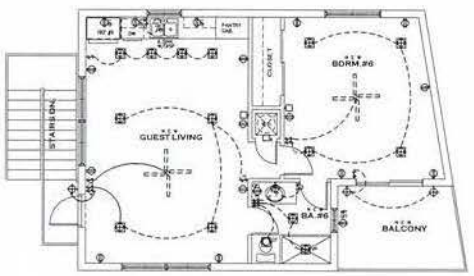
3248 NE 169TH STREET
MAMI.

DATE: 04 NOV '22
PROJECT NO: 23-0111
SHEET 10A10
of 10A10

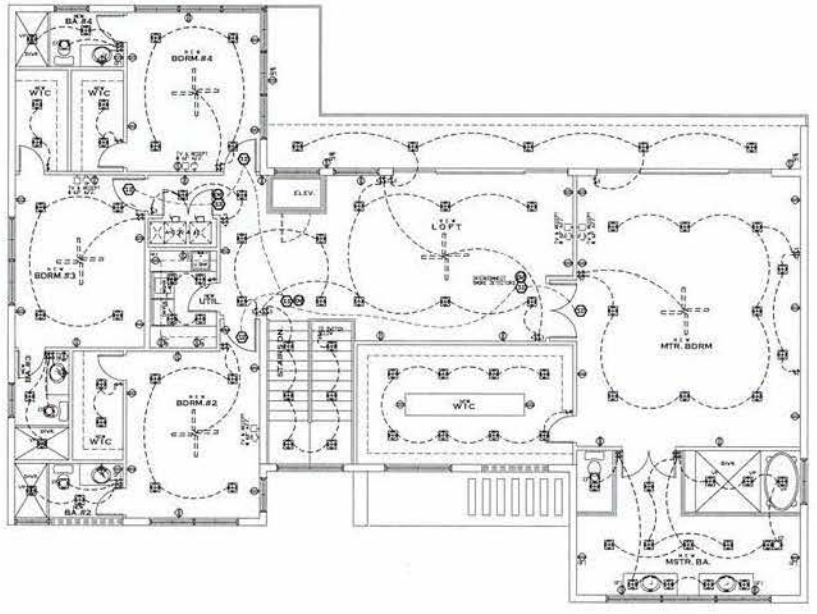
2023.09.01 12:26:55



FIRST FLOOR LEVEL
ELECTRICAL FLOOR PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR LEVEL
ELECTRICAL FLOOR PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR LEVEL
ELECTRICAL FLOOR PLAN
SCALE: 1/4" = 1'-0"

JAMES E
GILGENBACH

Digitally signed by JAMES E
GILGENBACH
Date: 2023.09.01 12:26:55
-04'00'



JAMES E. GILGENBACH
ARCHITECTURE & PLANNING
8000 ONE RIVER PLACE
FORT LAUDERDALE, FLORIDA 33312
(954) 292-4979



PROFESSIONAL ENGINEER
JAMES E. GILGENBACH
STATE OF FLORIDA
LICENSE NO. 12533

RESOLUTION TO EXISTING RESIDENCE OF
2500 RIVERLAND ROAD
FORT LAUDERDALE, FLORIDA 33312

2500 RIVERLAND ROAD
FORT LAUDERDALE, FLORIDA 33312

DATE: 09/01/23
SCALE: AS SHOWN
SHEET NO. 1111
1 OF 1
JEG



JAMES E. GILGENBACH & PLANNING
 9000 ONE PUTT PLACE
 FLORIDA 34986
 (951) 292 - 0879



REVISIONS:

NO.	DATE	DESCRIPTION
1	04 NOV 22	ISSUED FOR PERMITS
2	04 NOV 22	ISSUED FOR PERMITS
3	04 NOV 22	ISSUED FOR PERMITS
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8	04 NOV 22	ISSUED FOR PERMITS
9	04 NOV 22	ISSUED FOR PERMITS
10	04 NOV 22	ISSUED FOR PERMITS

RENOVATION TO EXISTING RESIDENCE OF
2500 RIVERLAND ROAD
 FORT LAUDERDALE, FLORIDA 33312

DATE: 04 NOV 22
 PROJECT NO.: 22 - A111
 SHEET: 02 M1

JAMES E GILGENBACH
 Digitally signed by JAMES E GILGENBACH
 Date: 2023.09.01 12:41:51 -04'00'

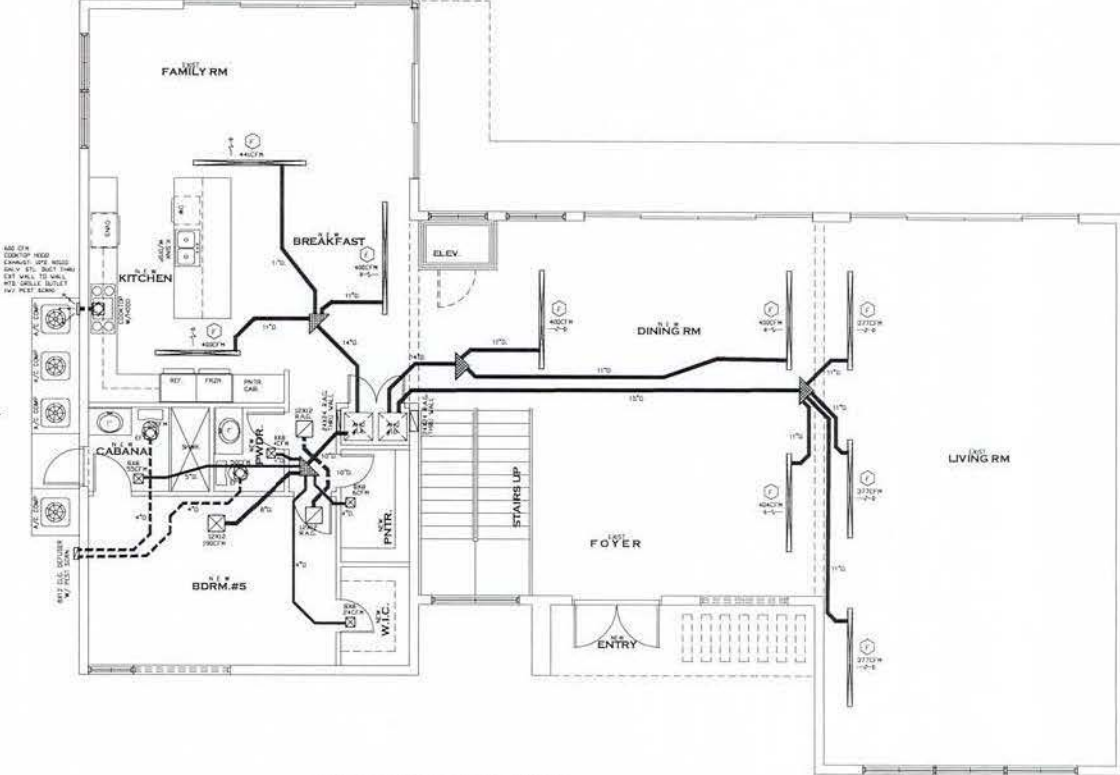
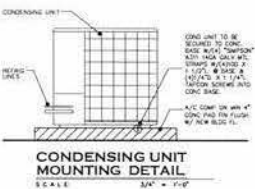
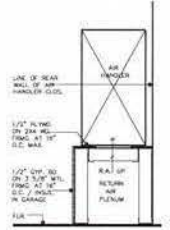
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AHU:	RH113621STANJA	AHU:	RH113621STANJA	AHU:	RH113621STANJA	AHU:	RH113621STANJA	AHU:	RH112421STANJA
SEER:	13.0 EER, 16.0 SEER	SEER:	13.0 EER, 16.0 SEER	SEER:	13.0 EER, 16.0 SEER	SEER:	13.0 EER, 16.0 SEER	SEER:	13.0 EER, 16.0 SEER
COOLING:	33,400 BTUH	COOLING:	59,000 BTUH	COOLING:	33,400 BTUH	COOLING:	33,400 BTUH	COOLING:	23,400 BTUH
DESENSIBLE:	23,200 BTUH	DESENSIBLE:	35,400 BTUH	DESENSIBLE:	23,200 BTUH	DESENSIBLE:	23,200 BTUH	DESENSIBLE:	15,200 BTUH
LATENT:	10,200 BTUH	LATENT:	19,100 BTUH	LATENT:	10,200 BTUH	LATENT:	10,200 BTUH	LATENT:	8,200 BTUH
HEAT:	7.5 KW	HEAT:	10.0 KW	HEAT:	7.5 KW	HEAT:	10.0 KW	HEAT:	5.8 KW
DUCT:	R-6 FIBERGLASS	DUCT:	R-6 FIBERGLASS	DUCT:	R-6 FIBERGLASS	DUCT:	R-6 FIBERGLASS	DUCT:	R-6 FIBERGLASS
LIQUID:	3/8"	LIQUID:	3/8"	LIQUID:	3/8"	LIQUID:	3/8"	LIQUID:	5/16"
SUCTION:	7/8"	SUCTION:	1 1/8"	SUCTION:	7/8"	SUCTION:	1 1/8"	SUCTION:	3/4"
* WIND RESISTANCE CALC FOR A/C COMP. (-144.44)		* WIND RESISTANCE CALC FOR A/C COMP. (-144.44)		* WIND RESISTANCE CALC FOR A/C COMP. (-144.44)		* WIND RESISTANCE CALC FOR A/C COMP. (-144.44)		* WIND RESISTANCE CALC FOR A/C COMP. (-144.44)	

A/C GRILLES		
(ALL GRILLES TO BE 15"X15" / WHITE)		
1	M-38	2.50X1 3.17 40 02W/01 033 PD NC 18
2	M-38	2.50X1 4.17 40 02W/01 033 PD NC 18
3	M-38	2.50X1 4.17 30 02W/01 033 PD NC 18
4	M-38	2.50X1 4.17 80 02W/01 033 PD NC 18
5	M-38	3.50X1 3.17 80 02W/01 033 PD NC 21
6	M-40	2.50X1 4.17 80 02W/01 033 PD NC 21

NOTES:
 1. HVAC MECHANICAL PLUMBING & ELECTRICAL SYSTEMS SHALL BE REVIEWED BY THE LOCAL HEALTH DEPARTMENT. THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND THE LOCAL BUILDING DEPARTMENT.

MECHANICAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH FLORIDA BUILDING CODE.
2. CONDENSING LINES SHALL BE MIN. 1/2" THICK PVC (SCHEDULE 40) FROM AIR HANDLING UNIT TO EXTERIOR OF STRUCTURE. ANY WALL PENETRATIONS SHALL BE SEALED. LINE SHALL TERMINATE 12" ABOVE GRADE W/ TURN DOWN ELBOW & BUNG. SORELY CONDENSING LINE SHALL BE SUPPORTED & SECURED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG. 3. ALL CONDENSING LINES SHALL BE SUPPORTED & SECURED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG. 4. ALL CONDENSING LINES SHALL BE SUPPORTED & SECURED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG. 5. ALL CONDENSING LINES SHALL BE SUPPORTED & SECURED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG. 6. ALL CONDENSING LINES SHALL BE SUPPORTED & SECURED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG. 7. ALL CONDENSING LINES SHALL BE SUPPORTED & SECURED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG. 8. ALL CONDENSING LINES SHALL BE SUPPORTED & SECURED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG. 9. ALL CONDENSING LINES SHALL BE SUPPORTED & SECURED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG. 10. ALL CONDENSING LINES SHALL BE SUPPORTED & SECURED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG. 11. ALL CONDENSING LINES SHALL BE SUPPORTED & SECURED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG. 12. ALL CONDENSING LINES SHALL BE SUPPORTED & SECURED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG. 13. ALL CONDENSING LINES SHALL BE SUPPORTED & SECURED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG. 14. ALL CONDENSING LINES SHALL BE SUPPORTED & SECURED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG. 15. ALL CONDENSING LINES SHALL BE SUPPORTED & SECURED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG. 16. ALL CONDENSING LINES SHALL BE SUPPORTED & SECURED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG. 17. ALL CONDENSING LINES SHALL BE SUPPORTED & SECURED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG. 18. ALL CONDENSING LINES SHALL BE SUPPORTED & SECURED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG. 19. ALL CONDENSING LINES SHALL BE SUPPORTED & SECURED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG. 20. ALL CONDENSING LINES SHALL BE SUPPORTED & SECURED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG. 21. ALL CONDENSING LINES SHALL BE SUPPORTED & SECURED BY THE EQUIPMENT AND/OR MANUFACTURER. PER A/C MFG.



FIRST FLOOR LEVEL MECHANICAL FLOOR PLAN
 SCALE: 1/4" = 1'-0"

2023-09-01 - SCHWAB



JAMES E. GILGENBACH & PLANNING
 9009 ONE PUTT PLACE
 FORT ST. LUCE
 FLORIDA 34986
 (954) 292 - 0679



REVISIONS:

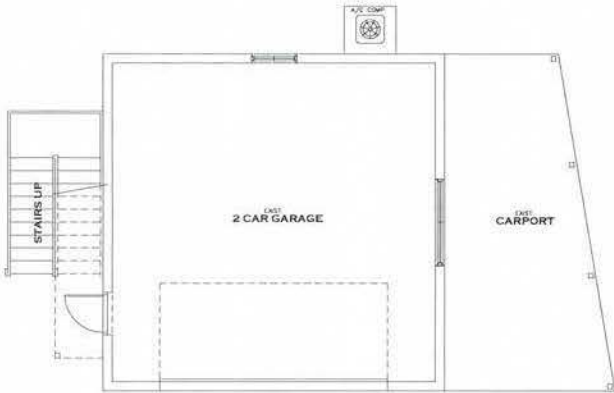
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RENOVATION TO EXISTING RESIDENCE OF
2500 RIVERLAND ROAD
 2500 RIVERLAND ROAD
 FORT LAUDERDALE, FLORIDA 33312

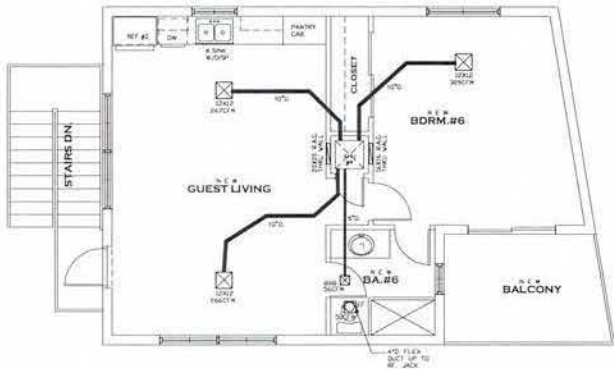
DATE: 04 NOV '22
 PROJECT NO.: 22 - A111
 SHEET: 2 OF 2
M2

JAMES E GILGENBACH

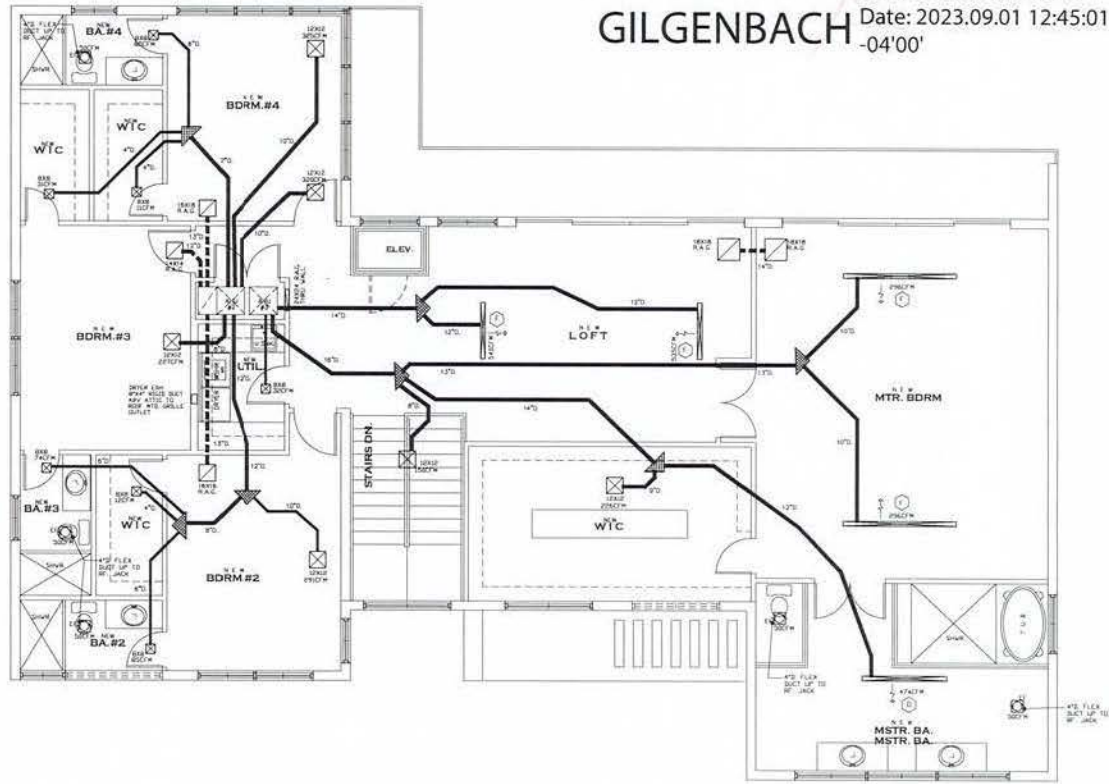
Digitally signed by
 JAMES E GILGENBACH
 Date: 2023.09.01 12:45:01
 -04'00'



FIRST FLOOR LEVEL MECHANICAL FLOOR PLAN
 SCALE: 1/4" = 1'-0"



SECOND FLOOR LEVEL MECHANICAL FLOOR PLAN
 SCALE: 1/4" = 1'-0"



SECOND FLOOR LEVEL MECHANICAL FLOOR PLAN
 SCALE: 1/4" = 1'-0"

ZENBA - SCHWALB



JAMES E. GILGENBACH
 ARCHITECTURE & PLANNING
 9009 ONE PUTT PLACE
 FORT LAUDERDALE, FLORIDA 34986
 (954) 292 - 0679



REVISED:
 DATE: 11/27/2023
 BY: J.E.G.
 CHECKED: J.E.G.
 PROJECT NO. 22-1111
 SHEET NO. P1

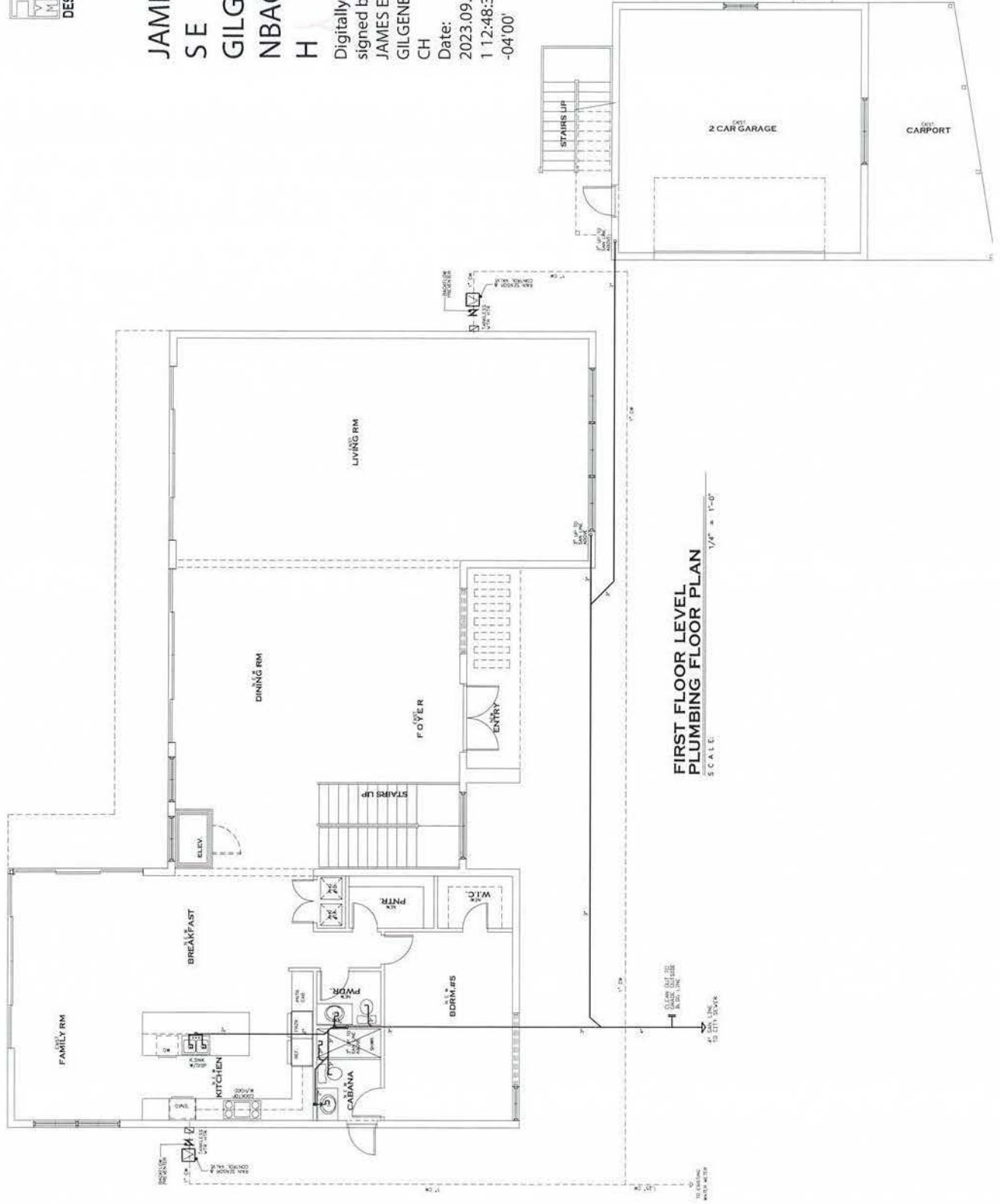
RENOVATION TO EXISTING RESIDENCE OF
2500 RIVERLAND ROAD
 FORT LAUDERDALE, FLORIDA 33312

DATE: 04 NOV 2023
 PROJECT NO: 22-1111
 SHEET NO: P1

**JAME
 SE
 GILGE
 NBAC
 H**

Digitally
 signed by
**JAMES E
 GILGENBA
 CH**

Date: 2023.09.0
 1 12:48:34
 -04'00'



**FIRST FLOOR LEVEL
 PLUMBING FLOOR PLAN**
 SCALE: 1/4" = 1'-0"



JAMES E. GILGENBACH
ARCHITECTURE & PLANNING
9009 ONE PUTT PLACE
FORT ST LUCE
FLORIDA 34986
(854) 292 - 0679



REVISIONS

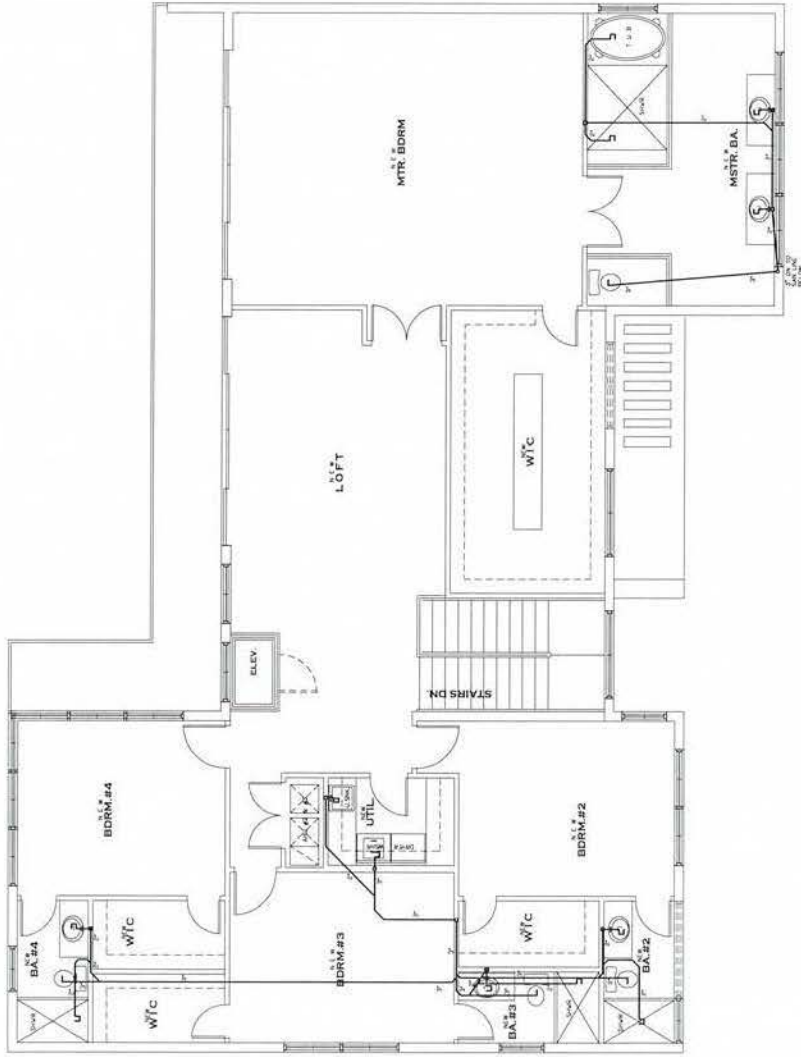
DATE: 2023.09.01
12:51:19
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RENOVATION TO EXISTING RESIDENCE OF
2500 RIVERLAND ROAD
BROWARD COUNTY,
FORT LAUDERDALE,
FLORIDA 33312

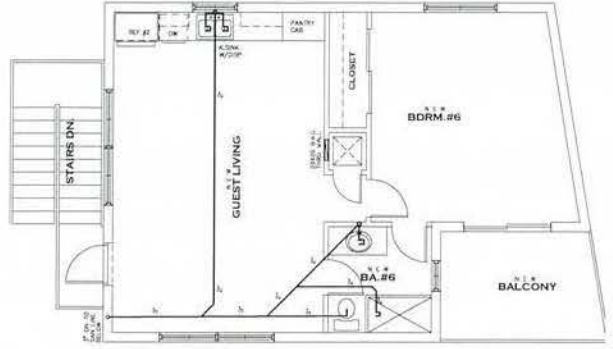
DATE: NOV 22
PROJECT NO: 22 - A111
SHEET NO: P2

JAME
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Digitally
signed by
JAMES E
GILGENBA
CH



**SECOND FLOOR LEVEL
PLUMBING FLOOR PLAN**
SCALE: 1/4" = 1'-0"





JAMES E GILGENBACH & ARCHITECTURE
9004 ONE PUTT PLACE
PORT ST LUCIE
FLORIDA 34986
(904) 292 - 0678



REVISIONS

NO. DATE

BY: [REDACTED]
DATE: [REDACTED]
REVISIONS:

RENOVATION TO EXISTING RESIDENCE OF
2500 RIVERLAND ROAD
FORT LAUDERDALE, BROWARD COUNTY, FLORIDA 33312

DATE: NOV 22 2023
PROJECT NO: 22 - A111
SHEET NO: 12
OF 13

JAM
ESE
GILG
ENB
ACH

Digitally signed by JAMES E GILGENBACH
Date: 2023.09.01 12:54:20 -04'00'

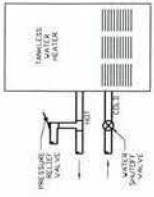
PLUMBING NOTE:

ALL DRAININGS & VENTS TO HAVE FLEETS OR RAINCAPS. TILES OR STAIR RAINCAPS MUST BE INSTALLED TO PREVENT WATER FROM ENTERING THE ROOM. ALL FLOOR WELLS SHALL BE COVERED WITH A 12" DIA. METAL RAINCAPS. ALL WELLS SHALL BE COVERED WITH A 12" DIA. METAL RAINCAPS. ALL WELLS SHALL BE COVERED WITH A 12" DIA. METAL RAINCAPS.

ALL PIPING (TUBING) TO COMPLY WITH THE FOLLOWING TABLES:

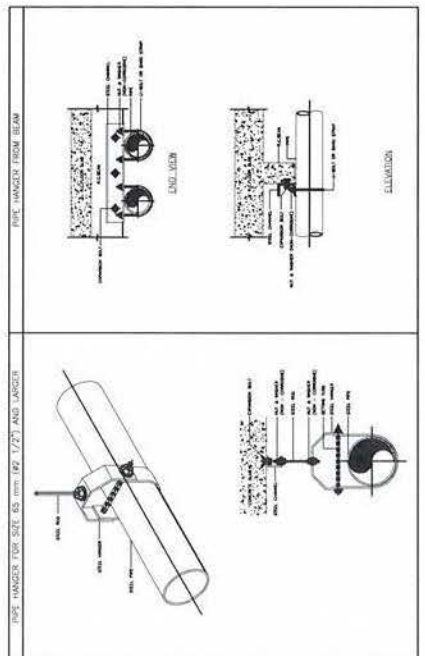
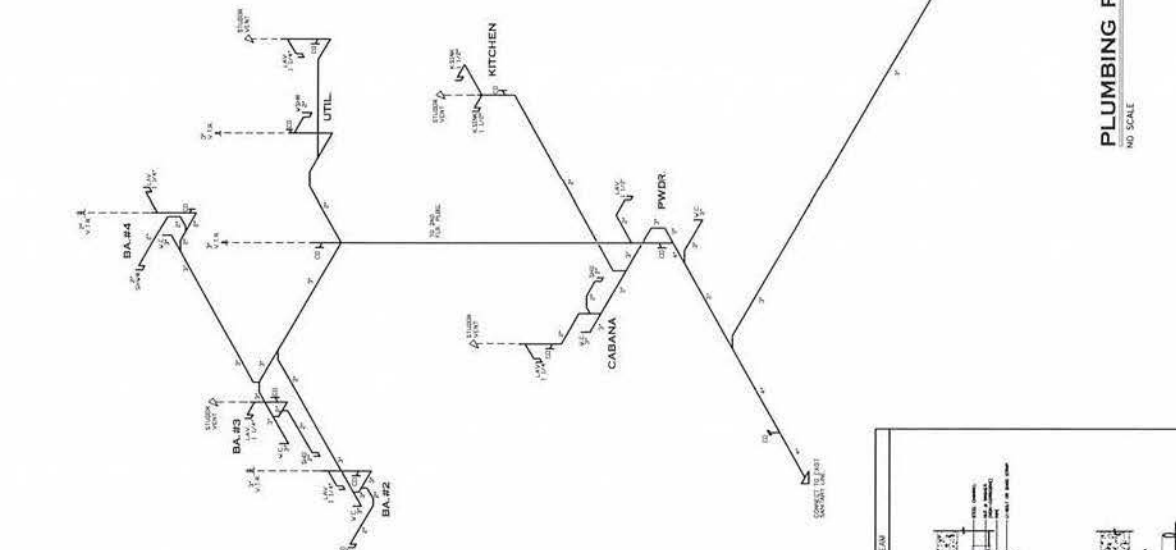
PIPE SIZE (INCH)	MIN. SLOPE (IN/FT)
1/2" - 1 1/2"	1/8"
2" - 24"	1/4"

PIPE SIZE (INCH)	MIN. SLOPE (IN/FT)
1/2" - 1 1/2"	1/8"
2" - 24"	1/4"



TANKLESS WATER HEATER PIPING DIAGRAM
NO SCALE

NOTE: WATER HEATER MUST BE INSTALLED TO CONFORM WITH CURRENT NATIONAL ELECTRICAL CODE AND WITH ALL APPLICABLE LOCAL AND STATE REGULATIONS. ALL WORK SHALL BE IN ACCORDANCE WITH THE APPLICABLE PLUMBING CODE.



PLUMBING RISER

NO SCALE