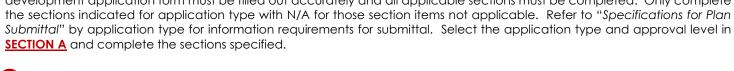
Application Form: All Applications | Rev. 01/24/2023

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The development application form must be filled out accurately and all applicable sections must be completed. Only complete



APPLICATION TYPE AND APPROVAL LEVEL

LEVEL I ADMINISTRATIVE REVIEW **COMMITTEE (ADMIN)**

New nonresidential less

than 5,000 square feet Change of use (same impact or less than existing Plat note/Nonvehicular access line amendment Administrative site plan Amendment to site plan* Property and right-of-way applications (MOTs, construction staging) Parking Agreements (separate from site plans)

COMPLETE SECTIONS B, C, D, G

LEVEL II

DEVELOPMENT REVIEW COMMITTEE (DRC)

New Nonresidential 5,000 square feet or greater Residential 5 units or more Nonresidential use within 100 feet of residential property Redevelopment proposals Change in use (if great impact than existing use) Development in Regional Activity Centers (RAC)* Development in Uptown Project Area* Regional Activity Center Signage Design Review Team (DRT) Affordable Housing (≥10%)

COMPLETE SECTIONS B. C. D. E. F

LEVEL III

PLANNING AND ZONING BOARD (PZB)

Conditional Use

on type from the list b

Parking Reduction Flex Allocation Cluster / Zero Lot Line Modification of Yards* Waterway Use Mixed Use Development Community Residences* Social Service Residential Facility (SSRF) Medical Cannabis Dispensing Facility* Community Business District for uses greater than 10,000 square feet

COMPLETE SECTIONS B. C. D. E. F

LEVEL IV CITY COMMISSION (CC)

Land Use Amendment Rezoning Plat Public Purpose Use Central Beach Development of Significant Impact* Vacation of Right-of-Way

City Commission Review (review not required by PZB) Vacation of Easement*

COMPLETE SECTIONS B, C, D, E, F

EXTENSION

Request to extend approval date for a previously approved application

COMPLETE SECTIONS B, C, H

DEFERRAL

Request to defer after an application is scheduled for public hearing

COMPLETE SECTIONS B, C, H

APPEAL/DE NOVO

Appeal decision by approving body De Novo hearing items

COMPLETE SECTIONS B, C, H

PROPERTY AND ROW ITEM

Road closures Construction staging plan Revocable licenses

COMPLETE SECTIONS B, C, E

APPLICANT INFORMATION	If applicant is the business operator, complete the agent colum	n and provide property owner authorization.
Applicant/Property Owner	Authorized Agent	
Address	Address	
City, State, Zip	City, State, Zip	
Phone	Phone	
Email	Email	
Proof of Ownership	Authorization Letter	
Applicant Signature:	Agent Signature:	Courtney Callahan Crush

PARCEL INFORMATION	LAND USE INFORMATION
Address/General Location	Existing Use
Folio Number(s)	Land Use
Legal Description (Brief)	Zoning Proposed Applications requesting land use amendments and rezonings.
City Commission District Civic Association	Proposed Land Use Proposed Zoning

PROJECT INFORMATION Provide project information. Circle yes or no where noted. If item is not applicable, indicate N/A.							e N/A.			
Project Name										
Project Description (Describe in detail)										
Estimated Project Cost	\$		(Estir	nated total proje	ct cost including	g land costs for a	all new deve	lopment ap	plications only)	
Affordable Housing Number of Units	3	30%	50%	60%	80%	100)%	120%	140%	

Development Application Form Page 1

^{*}Application is subject to specific review and approval process. Levels III and IV are reviewed by Development Review Committee unless otherwise noted.

DEVELOPMENT APPLICATION FORM

Waterway Use						
Flex Units Request						
Commercial Flex						
Acreage						
Residential Uses						
Single Family						
Townhouses						
Multifamily						
Cluster/Zero Lot Line						
Other						
Total (dwelling units)						
Unit Mix (dwelling units)	Studio or Efficiency	В]- edroom	2 - Bedroom	3 + Bedroom	

Traffic Study Required	
Parking Reduction	
Public Participation	
Non-Residential Uses	
Commercial	
Restaurant	
Office	
Industrial	
Other	
Total (square feet)	

PROJECT DIMENSIO	NAL STANDARDS Indicate all required and prop	osed standards for the project. Circle yes or no	where indicated.
	Required Per ULDR	Proposed	
Lot Size (Square feet/acres)	-	-	
Lot Density (Units/acres)			
Lot Width			
Building Height (Feet)			
Structure Length			
Floor Area Ratio (F.A.R)			
Lot Coverage			
Open Space			
Landscape Area			
Parking Spaces			
SETBACKS (Indicate direction N,S,E,W)	Required Per ULDR	Proposed	
Front []			
Side []			
Comer / Side []			
Rear []			
For projects in Dov	vntown, Northwest, South Andrews, and Uptown Master Plans t	o be completed in conjunction with the applica	able items above.
Tower Stepback	Required Per ULDR	Proposed	Deviation
Front / Primary Street []			
Sides / Secondary Street []			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate (square feet)			
Residential Unit Size (minimum)			

AMENDED PROJECT INFOR	MATION Provide approved and	proposed amendments for project. Circle yes o	r no where indicate
Project Name			
Proposed Amendment Description (Describe in detail)			
	Original Approval	Proposed Amendment	Amended
Residential Uses (dwelling units)			
Non-Residential Uses (square feet)			
Lot Size (Square feet/acres)			
Lot Density (Units/acres)			
Lot Width			
Building Height (Feet)			
Structure Length			
Floor Area Ratio (F.A.R)			
Lot Coverage			
Open Space			
Landscape Area			
Parking Spaces			
Tower Stepback			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate (square feet)			
Residential Unit Size (minimum)			
Does this amendment require a revision to Does this amendment require a revised wa	the traffic statement or traffic study completed	for the project?	

EXTENSION, DEFERRAL, APP	EAL INFORMATION Provide information f	or specific request. Circle approving body and yes or no.
Project Name		
Request Description		
EXTENSION REQUEST	DEFERRAL REQUEST	APPEAL REQUEST / DE NOVO HEARING
Approving Body	Approving Body	Approving Body
Original Approval Date	Scheduled Meeting Date	30 Days from Meeting (Provide Date)
Expiration Date (Permit Submittal Deadline)	Requested Deferral Date	60 Days from Meeting (Provide Date)
Expiration Date (Permit Issuance Deadline)	Previous Deferrals Granted	Appeal Request

Development Application Form Page 2

DEVELOPMENT APPLICATION FORM

URBAN DESIGN AND PLANNING DIVISION

Requested Extension (No more than 24 months)	Justification Letter Provided	Indicate Approving Body Appealing	
Code Enforcement (Applicant Obtain by Code Compliance Division)		De Novo Hearing Due to City Commission Call-Up	

CHECKLIST FOR SUBMITTAL AND COMPLETENESS: The following checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide this information will result in your application being deemed incomplete.

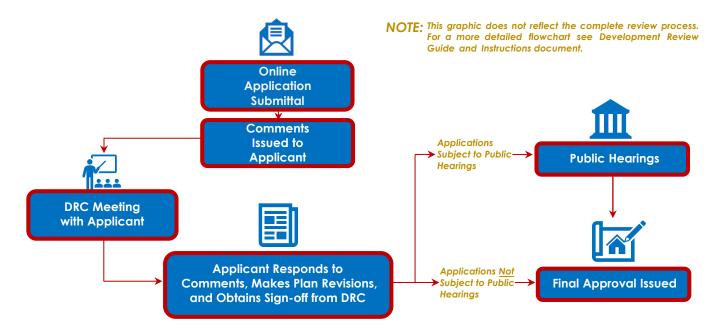
Preliminary Development Meeting completed on the following date:	PROVIDE DATE

- **Development Application Form** completed with the applicable information including signatures.
- Proof of Ownership warranty deed or tax record including corporation documents and SunBiz verification name.
- Address Verification Form applicant contact David Goodrum at 954-828-5976 or DGoodrum@fortlauderdale.gov
- Project and Unified Land Development Code Narratives project narrative and the applicable ULDR sections and criteria as described in the specifications for submittal by application type.
- Electronic Files, File Naming, and Documents consistent with the applicable specifications for application type, consistent with the online submittal requirements including file naming convention, plan sets uploaded as single pdf.
- Traffic Study or Statement submittal of a traffic study or traffic statement.
- Stormwater Calculations signed and sealed by a Florida registered professional engineer consistent with calculations as described in the specifications for plan submittal for site plan applications.
- Water and Wastewater Capacity Request copy of email to Public Works requesting the capacity letter.

OVERVIEW FOR ONLINE SUBMITTAL REQUIREMENTS: Submittals must be conducted through the City's online citizen access portal LauderBuild. No hardcopy application submittals are accepted. Below only highlights the important submittal requirements that applicants must follow to submit online and be deemed complete. View all the requirements at LauderBuild Plan Room.

- Uploading Entire Submittal upload all documents at time the application is submitted to prevent delays in processing.
- File Naming Convention file names must adhere to the City's File Naming Convention.
- Reduce File Size plan sets and other large files must be merged or flattened to reduce file size.
- Plan Sets plan sets like site plans, plats, etc. must be submitted as a single pdf file. Staff will instruct when otherwise.
- **Document Categories** choose the correct document category when uploading.

DRC PROCESS OVERVIEW: The entire development review process flowchart can be found in the <u>Development Application</u> Guide and Instructions document. Below is a quick reference flowchart with key steps in the process to guide applicants.



CONTACT INFORMATION: Questions regarding the development process or LauderBuild, see contact information below.

GENERAL URBAN DESIGN AND PLANNING QUESTIONS
Planning Counter
954-828-6520, Option 5
planning@fortlauderdale.gov

LAUDERBUILD ASSISTANCE AND QUESTIONS
DSD Customer Service
954-828-6520, Option 1
lauderbuild@fortlauderdale.gov

Page 3

900 INTRACOASTAL

900 INTRACOASTAL DRIVE FORT LAUDERDALE, FLORIDA 33304





DEVELOPER

900 INTRACOASTAL LLC

398 NE 5TH STREET, 13TH FLOOR MIAMI, FL 33132 TELEPHONE: 305.917.1070

ARCHITECT

FSMY ARCHITECTS + PLANNERS

COVER SHEET

SITE PLAN

SHADOW STUDY
LEVEL 01 FLOOR PLAN

LEVEL ROOF PLAN
EXTERIOR ELEVATION
EXTERIOR ELEVATION

EXTERIOR ELEVATION
EXTERIOR ELEVATION

BUILDING SECTION BUILDING SECTION BUILDING SECTION STREET SECTION ROOF SECTION - DETAIL PERSPECTIVES & RENDERINGS EXISTING SITE PHOTOS EXISTING SITE PHOTOS L.01 PHOTOMETRIC PLANS L.02 PHOTOMETRIC PLANS L.03 PHOTOMETRIC PLANS L.04 PHOTOMETRIC PLANS

TREE DISPOSITION PLAN
TREE DISPOSITION LISTS

LANDSCAPE CROSS SECTION

LANDSCAPE SPECIFICATIONS

EROSION CONTROL NOTES
EROSION CONTROL PLAN
EROSION CONTROL DETAILS

PAVING AND GRADING PLAN
PAVING AND GRADING BLOW UPS
PAVING AND GRADING BLOW UPS
PAVING AND GRADING DETAILS

PAVING AND GRADING DETAILS

WATER AND SEWER PLANS
WATER AND SEWER NOTES
WATER AND SEWER DETAILS
WATER AND SEWER DETAILS
WATER AND SEWER DETAILS
WATER AND SEWER DETAILS
FIRE TRUCK CIRCULATION PLAN

TRASH TRUCK CIRCULATION PLAN

PASSENGER CIRCULATION PLAN

SU-30 CIRCULATION PLAN

GEOMETRY, SIGNAGE AND STRIPING PLAN
GEOMETRY, SIGNAGE AND STRIPING DETAILS

DEMOLITION NOTES
DEMOLITION PLAN

DRAINAGE PLANS
DRAINAGE DETAILS
DRAINAGE DETAILS
DRAINAGE DETAILS
DRAINAGE DETAILS
CROSS SECTIONS

HARDSPACE PLAN

LANDSCAPE PLAN
PLANTING IMAGERY
PLANTING IMAGERY
LANDSCAPE DETAILS

COVER SHEET
GENERAL NOTES

TREE DISPOSITION NOTES AND DETAILS

AR-000.1

Landscape

ALTA/NSPS LND TITLE SURVEY - SHEET 1 OF 1

FUTURE LAND USE & ZONING MAPS

LANDSCAPE AREA DIAGRAM

LEVEL 02 FLOOR PLAN - PARKING
LEVEL 03 FLOOR PLAN - PARKING
LEVEL 04 FLOOR PLAN - PARKING
LEVEL 05 FLOOR PLAN - AMENITIES
LEVEL 06 FLOOR PLAN - UNIT LEVEL

LEVEL 07 -16 FLOOR PLAN - TYP. UNIT LEVEL

EXTERIOR ELEVATION ENLARGEMENT - WEST SIDE

888 S. ANDREWS AVENUE, SUITE 300 FORT LAUDERDALE, FLORIDA 33316 TELEPHONE: 954.764.6575

LANDSCAPE ARCHITECTURE, CIVIL AND TRAFFIC ENGINEER

KIMLEY-HORN & ASSOCIATES INC.

8201 PETERS ROAD, SUITE 2200 PLANTATION, FLORIDA 33324 TELEPHONE: 954.535.5100

MEP ENGINEER

MG ENGINEERING

300 SOUTH PARK ROAD, SUITE 140 HOLLYWOOD, FLORIDA 33021 TELEPHONE: 786.372.6784

LAND USE ATTORNEY

CRUSH LAW, P.A.

888 E LAS OLAS BLVD. FORT LAUDERDALE, FLORIDA 33301 TELEPHONE: 954.522.2010

STRUCTURAL ENGINEER YOUSSEF HACHEM CONSULTING

99 NW 27 AVENUE MIAMI, FLORIDA 33125 TELEPHONE: 305.969.9423 A R C H I T E C T S + P L A N N E

888 SOUTH ANDREWS AVE. SUITE 300
FORT LAUDERDALE, FLORIDA 33316
PH:(954)764-6575 FAX:(954)764-8622

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CA # AAC000447

DESIGNED DRAWN CHECKED
Designer Author Checker

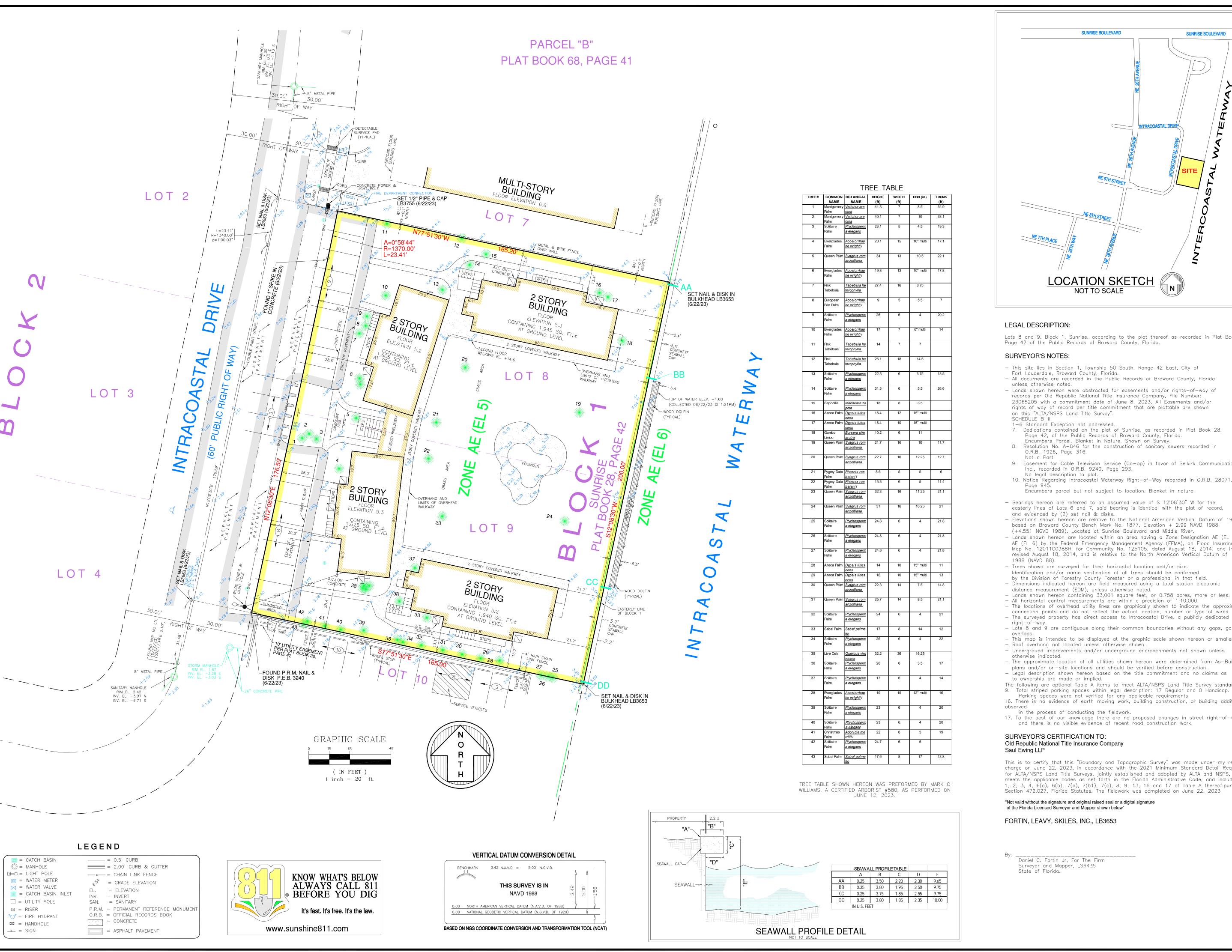
R E V I S I O N S

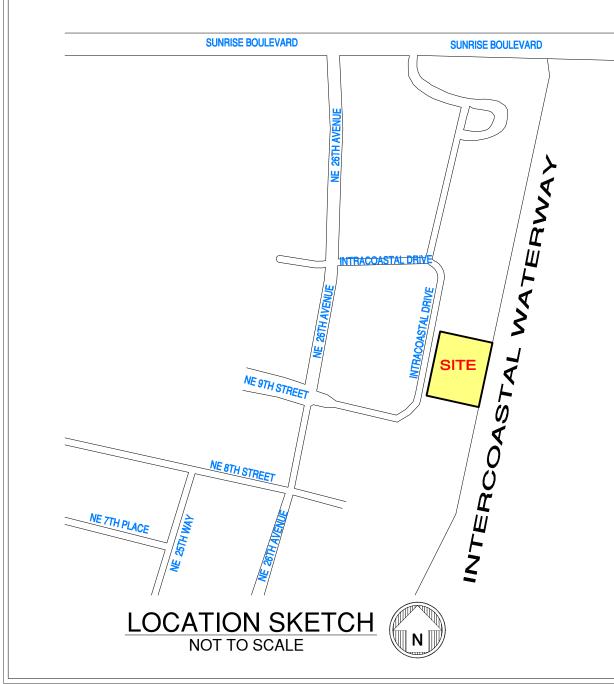
DATE: COMM:
Issue Date 23009

900 Intracoastal

900 Intracoastal Drive Fort Lauderdale, FL 33304

COVER SHEET





LEGAL DESCRIPTION:

Lots 8 and 9, Block 1, Sunrise, according to the plat thereof as recorded in Plat Book 28 at Page 42 of the Public Records of Broward County, Florida.

SURVEYOR'S NOTES:

- This site lies in Section 1, Township 50 South, Range 42 East, City of
- Fort Lauderdale, Broward County, Florida. - All documents are recorded in the Public Records of Broward County, Florida
- unless otherwise noted. - Lands shown hereon were abstracted for easements and/or rights-of-way of records per Old Republic National Title Insurance Company, File Number:
- 23065205 with a commitment date of June 8, 2023, All Easements and/or rights of way of record per title commitment that are plottable are shown on this "ALTA/NSPS Land Title Survey". SCHEDULE B-II
- 1-6 Standard Exception not addressed. 7. Dedications contained on the plat of Sunrise, as recorded in Plat Book 28, Page 42, of the Public Records of Broward County, Florida.
- Encumbers Parcel. Blanket in Nature. Shown on Survey. 8. Resolution No. A-846 for the construction of sanitary sewers recorded in O.R.B. 1926, Page 316.
- 9. Easement for Cable Television Service (Co-op) in favor of Selkirk Communications, Inc., recorded in O.R.B. 9240, Page 293.
- 10. Notice Regarding Intracoastal Waterway Right-of-Way recorded in O.R.B. 28071,
- Encumbers parcel but not subject to location. Blanket in nature.
- Bearings hereon are referred to an assumed value of S 12°08'30" W for the easterly lines of Lots 6 and 7, said bearing is identical with the plat of record, and evidenced by (2) set nail & disks. - Elevations shown hereon are relative to the National American Vertical Datum of 1988,
- based on Broward County Bench Mark No. 1877, Elevation + 2.99 NAVD 1988 (+4.551 NGVD 1989). Located at Sunrise Boulevard and Middle River.
- Lands shown hereon are located within an area having a Zone Designation AE (EL 5) & AE (EL 6) by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 12011C0388H, for Community No. 125105, dated August 18, 2014, and index map revised August 18, 2014, and is relative to the North American Vertical Datum of 1988 (NAVD 88).
- Trees shown are surveyed for their horizontal location and/or size.
- Identification and/or name verification of all trees should be confirmed by the Division of Forestry County Forester or a professional in that field.
- Dimensions indicated hereon are field measured using a total station electronic distance measurement (EDM), unless otherwise noted.
- All horizontal control measurements are within a precision of 1:10,000. - The locations of overhead utility lines are graphically shown to indicate the approximate
- connection points and do not reflect the actual location, number or type of wires. - The surveyed property has direct access to Intracoastal Drive, a publicly dedicated riaht-of-wav.
- Lots 8 and 9 are contiguous along their common boundaries without any gaps, gores or
- This map is intended to be displayed at the graphic scale shown hereon or smaller.
 Roof overhang not located unless otherwise shown. — Underground improvements and/or underground encroachments not shown unless
- otherwise indicated. - The approximate location of all utilities shown hereon were determined from As-Built plans and/or on—site locations and should be verified before construction.
- Legal description shown hereon based on the title commitment and no claims as to ownership are made or implied.
- The following are optional Table A items to meet ALTA/NSPS Land Title Survey standards: 9. Total striped parking spaces within legal description: 17 Regular and 0 Handicap.
- Parking spaces were not verified for any applicable requirements. 16. There is no evidence of earth moving work, building construction, or building additions in the process of conducting the fieldwork.
- 17. To the best of our knowledge there are no proposed changes in street right—of—way lines and there is no visible evidence of recent road construction work.

SURVEYOR'S CERTIFICATION TO: Old Republic National Title Insurance Company

This is to certify that this "Boundary and Topographic Survey" was made under my responsible charge on June 22, 2023, in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and meets the applicable codes as set forth in the Florida Administrative Code, and includes Items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b1), 7(c), 8, 9, 13, 16 and 17 of Table A thereof.pursuant to Section 472.027, Florida Statutes. The fieldwork was completed on June 22, 2023

"Not valid without the signature and original raised seal or a digital signature of the Florida Licensed Surveyor and Mapper shown below"

FORTIN, LEAVY, SKILES, INC., LB3653

Daniel C. Fortin Jr, For The Firm Surveyor and Mapper, LS6435 State of Florida.

the Property of Fortin, Leavy, Skiles, Inc and is an Instrument of Service not to be Reproduced in Whole

or in Part without the Express WRITTEN

Permission of Same.

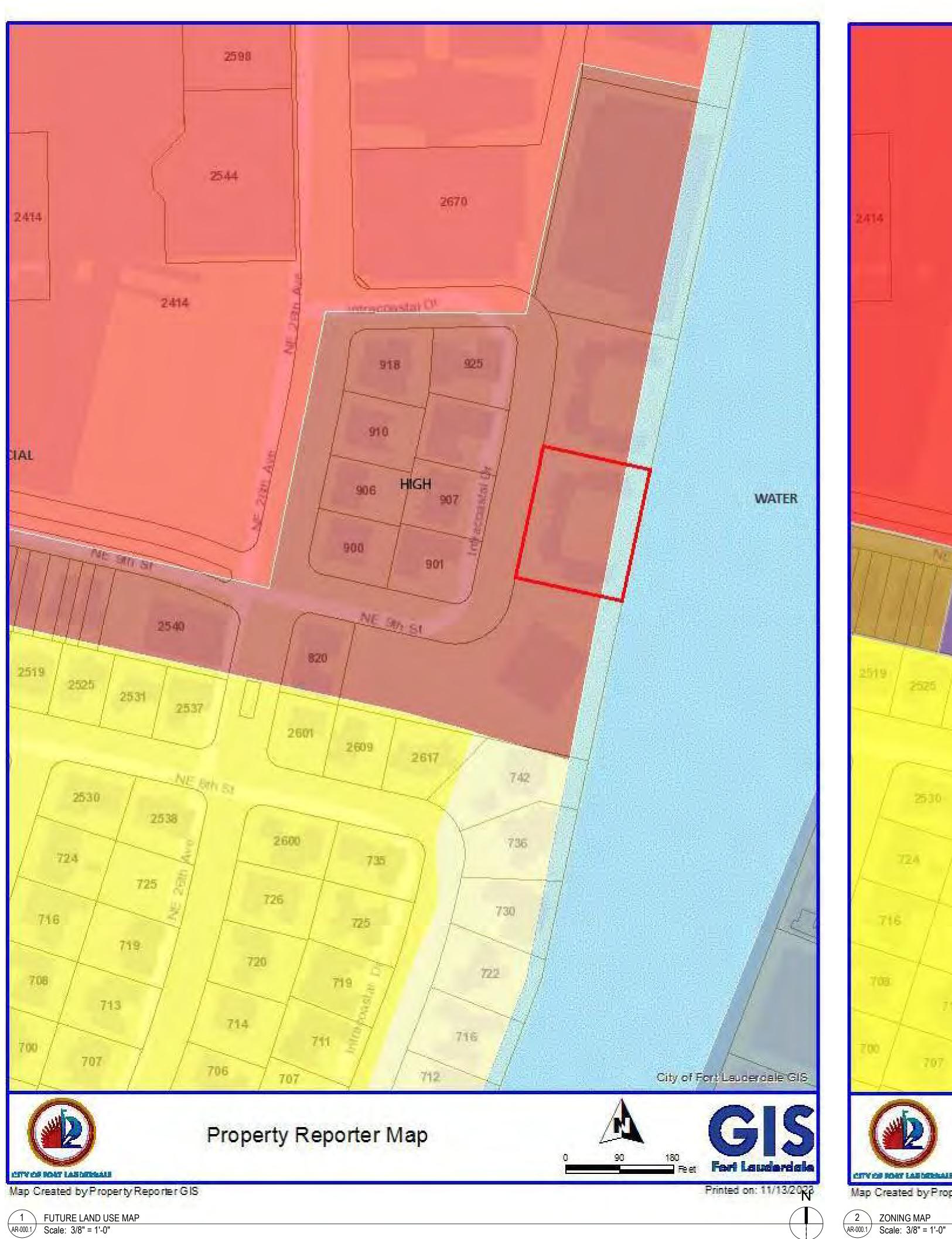
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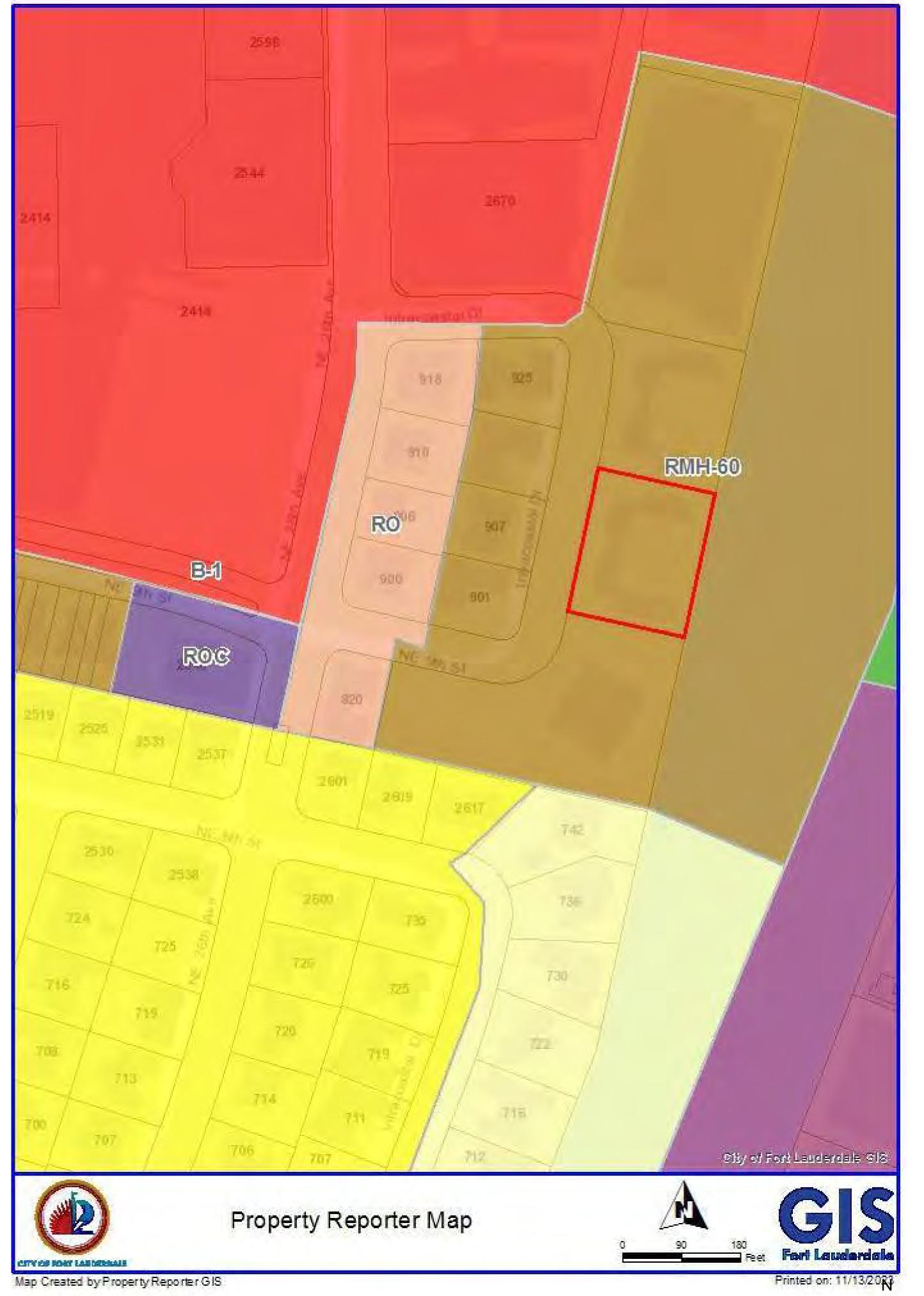
Original Date 6/22/23 Scale 1" = 20' Drawn By DANJR CAD No. 980519 Plotted 8/3/23 3:16p Ref. Dwg. 2098-096 Field Book 495/69 JWL

230436

1 of 1

Dwg. No.





ARCHITECTS + PLANNERS

888 SOUTH ANDREWS AVE. SUITE 300
FORT LAUDERDALE, FLORIDA 33316
PH:(954)764-6575 FAX:(954)764-8622

ORT LAUDERDALE, FLORIDA 33316
H:(954)764-6575 FAX:(954)764-8622

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CA # AAC000447

Designed DRAWN CHECKED
Designer Author Checker

R E V I S I O N S

DATE: COMM:
Issue Date 23009

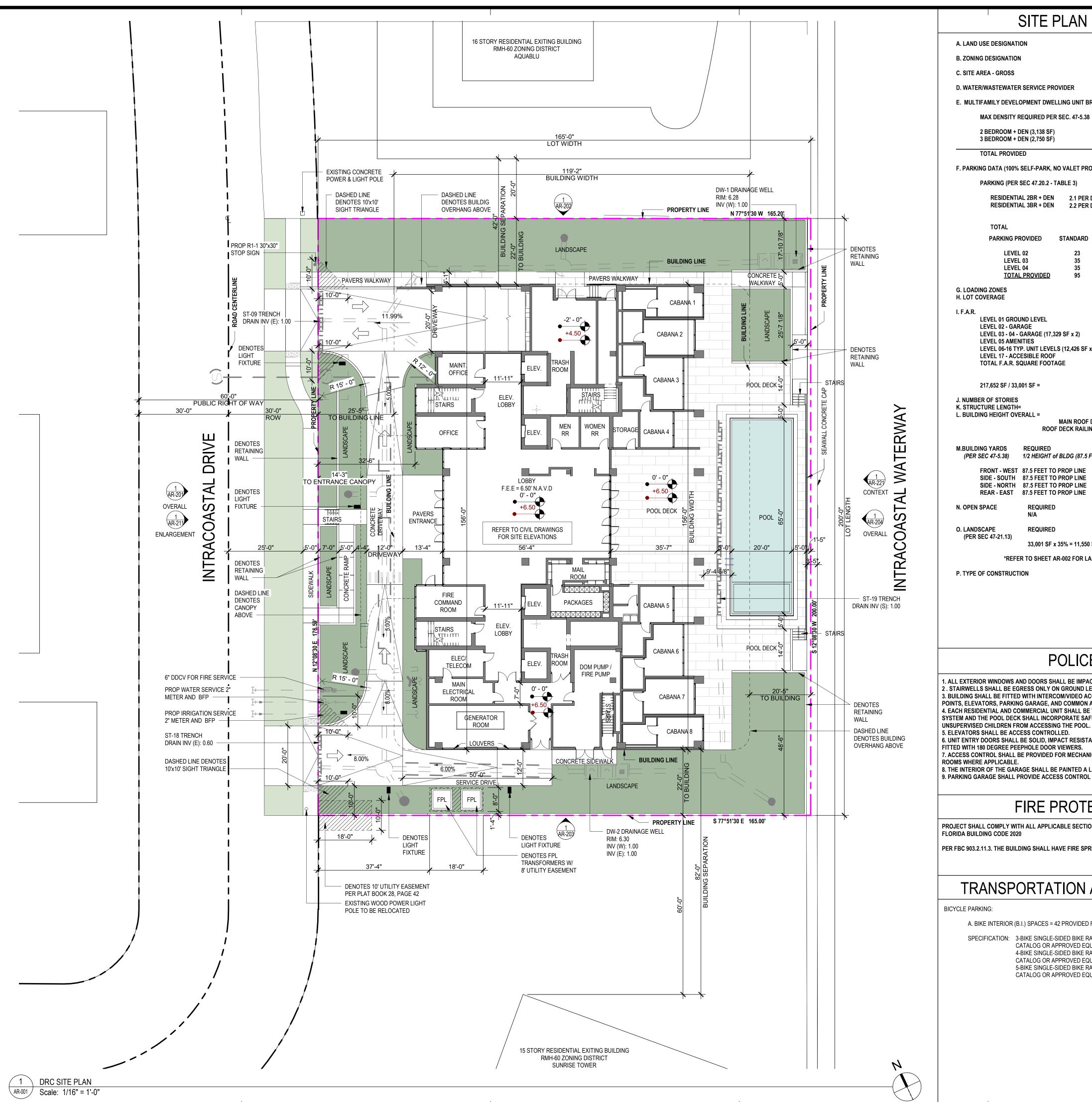
900 Intracoastal

900 Intracoastal Drive Fort Lauderdale, FL 33304

FUTURE LAND USE & ZONING MAPS

DRC SET

AR-000.1



SITE PLAN DATA

RESIDENTIAL HIGH 33,001 SF (0.758 ACRES)

CITY OF FORT LAUDERDALE D. WATER/WASTEWATER SERVICE PROVIDER E. MULTIFAMILY DEVELOPMENT DWELLING UNIT BREAKDOWN AND TYPE:

45 UNITS MAX DENSITY REQUIRED PER SEC. 47-5.38 2 BEDROOM + DEN (3,138 SF) 22 UNITS 22 UNITS 3 BEDROOM + DEN (2,750 SF) 44 UNITS

F. PARKING DATA (100% SELF-PARK, NO VALET PROPOSED)

PARKING (PER SEC 47.20.2 - TABLE 3)

RESIDENTIAL 2BR + DEN 2.1 PER DWELLING UNIT x 22 UNITS = 46.2 SPACES RESIDENTIAL 3BR + DEN 2.2 PER DWELLING UNIT x 22 UNITS = 48.4 SPACES 94.6 SPACES 95 PARKING SPACES ADA/FHA TOTAL PARKING PROVIDED STANDARD COMPACT LEVEL 02

LEVEL 03 LEVEL 04 TOTAL PROVIDED NOT REQUIRED 19,647 SF - 60%

LEVEL 01 GROUND LEVEL 16,381 SF LEVEL 02 - GARAGE 34,658 SF LEVEL 03 - 04 - GARAGE (17,329 SF x 2) 12,922 SF LEVEL 05 AMENITIES **LEVEL 06-16 TYP. UNIT LEVELS (12,426 SF x 11)** 136,686 SF 5,842 SF LEVEL 17 - ACCESIBLE ROOF TOTAL F.A.R. SQUARE FOOTAGE 217,652 SF

217,652 SF / 33,001 SF = 16 STORIES L. BUILDING HEIGHT OVERALL =

MAIN ROOF DECK 175' ABOVE FINISH GROUND FLOOR ROOF DECK RAILING 178' 6" ABOVE FINISH GROUND FLOOR M.BUILDING YARDS REQUIRED MINIMUM REQUIRED PROVIDED

(PER SEC 47-5.38) 1/2 HEIGHT of BLDG (87.5 FT) FRONT - WEST 87.5 FEET TO PROP LINE 25 FEET 25 FEET SIDE - SOUTH 87.5 FEET TO PROP LINE 10 FEET 22 FEET 22 FEET SIDE - NORTH 87.5 FEET TO PROP LINE 10 FEET REAR - EAST 87.5 FEET TO PROP LINE 20 FEET 20 FEET

PROVIDED 11,495 SF PROVIDED (PER SEC 47-21.13) 33,001 SF x 35% = 11,550 SF 12,668 SF

*REFER TO SHEET AR-002 FOR LANDSCAPE DIAGRAM TYPE 1-A, SPRINKLERED (# OF STORIES AND AREA "UNLIMITED"

TABLES 504.3a AND 504.4)

POLICE

. ALL EXTERIOR WINDOWS AND DOORS SHALL BE IMPACT RATED. 2. STAIRWELLS SHALL BE EGRESS ONLY ON GROUND LEVEL. 3. BUILDING SHALL BE FITTED WITH INTERCOM/VIDEO ACCESS CONTROL SYSTEMS AT ENTRY/EXIT POINTS, ELEVATORS, PARKING GARAGE, AND COMMON AREAS. 4. EACH RESIDENTIAL AND COMMERCIAL UNIT SHALL BE WIRED FOR A MONITORED SECURITY SYSTEM AND THE POOL DECK SHALL INCORPORATE SAFETY FEATURES TO PREVENT

6. UNIT ENTRY DOORS SHALL BE SOLID, IMPACT RESISTANT WITH DEADBOLT AND SHALL EACH BE FITTED WITH 180 DEGREE PEEPHOLE DOOR VIEWERS. 7. ACCESS CONTROL SHALL BE PROVIDED FOR MECHANICAL, ELECTRICAL, AND MAINTENANCE ROOMS WHERE APPLICABLE.

8. THE INTERIOR OF THE GARAGE SHALL BE PAINTED A LIGHT COLOR. 9. PARKING GARAGE SHALL PROVIDE ACCESS CONTROL FOR RESIDENTS.

FIRE PROTECTION

PROJECT SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF NFPA SEVENTH EDITION AND THE FLORIDA BUILDING CODE 2020

PER FBC 903.2.11.3. THE BUILDING SHALL HAVE FIRE SPRINKLERS.

TRANSPORTATION AND MOBILITY

A. BIKE INTERIOR (B.I.) SPACES = 42 PROVIDED FOR 44 UNITS

SPECIFICATION: 3-BIKE SINGLE-SIDED BIKE RACK FROM THE PARK ABD FACILITIES CATALOG OR APPROVED EQUAL (2 Units) 4-BIKE SINGLE-SIDED BIKE RACK FROM THE PARK ABD FACILITIES

> CATALOG OR APPROVED EQUAL (4 Units) 5-BIKE SINGLE-SIDED BIKE RACK FROM THE PARK ABD FACILITIES CATALOG OR APPROVED EQUAL (4 Units)

LEGAL DESCRIPTION

LOTS 8 AND 9, BLOCK 1, SUNRISE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 28 AT PAGE 42 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SURVEYOR'S NOTES:

THIS SITE LIES IN SECTION 1, TOWNSHIP 50 SOUTH, RANGE 42 EAST, CITY OF

FORT LAUDERDALE, BROWARD COUNTY, FLORIDA. ALL DOCUMENTS ARE RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA UNLESS OTHERWISE NOTED. LANDS SHOWN HEREON WERE ABSTRACTED FOR EASEMENTS AND/OR RIGHTS-OF-WAY OF

RECORDS PER OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, FILE NUMBER: 23065205 WITH A COMMITMENT DATE OF JUNE 8, 2023, ALL EASEMENTS AND/OR RIGHTS OF WAY OF RECORD PER TITLE COMMITMENT THAT ARE PLOTTABLE ARE SHOWN ON THIS "ALTA/NSPS LAND TITLE SURVEY".

SCHEDULE B-II

1-6 STANDARD EXCEPTION NOT ADDRESSED. 7. DEDICATIONS CONTAINED ON THE PLAT OF SUNRISE, AS RECORDED IN PLAT BOOK 28, PAGE 42, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

8. RESOLUTION NO. A-846 FOR THE CONSTRUCTION OF SANITARY SEWERS RECORDED IN O.R.B. 1926, PAGE 316. NOT A PART.

9. EASEMENT FOR CABLE TELEVISION SERVICE (CO-OP) IN FAVOR OF SELKIRK COMMUNICATIONS, INC., RECORDED IN O.R.B. 9240, PAGE 293.

ENCUMBERS PARCEL. BLANKET IN NATURE. SHOWN ON SURVEY.

NO LEGAL DESCRIPTION TO PLOT. 10. NOTICE REGARDING INTRACOASTAL WATERWAY RIGHT-OF-WAY RECORDED IN O.R.B.

PAGE 945. ENCUMBERS PARCEL BUT NOT SUBJECT TO LOCATION. BLANKET IN NATURE.

BEARINGS HEREON ARE REFERRED TO AN ASSUMED VALUE OF S 12°08'30" W FOR THE EASTERLY LINES OF LOTS 6 AND 7, SAID BEARING IS IDENTICAL WITH THE PLAT OF RECORD. AND EVIDENCED BY (2) SET NAIL & DISKS. - ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NATIONAL AMERICAN VERTICAL DATUM OF

BASED ON BROWARD COUNTY BENCH MARK NO. 1877, ELEVATION + 2.99 NAVD 1988 (+4.551 NGVD 1989). LOCATED AT SUNRISE BOULEVARD AND MIDDLE RIVER. LANDS SHOWN HEREON ARE LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION AE (EL 5) & AE (EL 6) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE

MAP NO. 12011C0388H, FOR COMMUNITY NO. 125105, DATED AUGUST 18, 2014, AND INDEX MAP REVISED AUGUST 18, 2014, AND IS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

TREES SHOWN ARE SURVEYED FOR THEIR HORIZONTAL LOCATION AND/OR SIZE. IDENTIFICATION AND/OR NAME VERIFICATION OF ALL TREES SHOULD BE CONFIRMED BY THE DIVISION OF FORESTRY COUNTY FORESTER OR A PROFESSIONAL IN THAT FIELD. DIMENSIONS INDICATED HEREON ARE FIELD MEASURED USING A TOTAL STATION ELECTRONIC DISTANCE MEASUREMENT (EDM), UNLESS OTHERWISE NOTED.

LANDS SHOWN HEREON CONTAINING 33,001 SQUARE FEET, OR 0.758 ACRES, MORE OR LESS. ALL HORIZONTAL CONTROL MEASUREMENTS ARE WITHIN A PRECISION OF 1:10,000. THE LOCATIONS OF OVERHEAD UTILITY LINES ARE GRAPHICALLY SHOWN TO INDICATE THE

CONNECTION POINTS AND DO NOT REFLECT THE ACTUAL LOCATION, NUMBER OR TYPE OF WIRES. THE SURVEYED PROPERTY HAS DIRECT ACCESS TO INTRACOASTAL DRIVE, A PUBLICLY DEDICATED RIGHT-OF-WAY. LOTS 8 AND 9 ARE CONTIGUOUS ALONG THEIR COMMON BOUNDARIES WITHOUT ANY GAPS, GORES

OVERLAPS. THIS MAP IS INTENDED TO BE DISPLAYED AT THE GRAPHIC SCALE SHOWN HEREON OR SMALLER. ROOF OVERHANG NOT LOCATED UNLESS OTHERWISE SHOWN.

UNDERGROUND IMPROVEMENTS AND/OR UNDERGROUND ENCROACHMENTS NOT SHOWN UNLESS OTHERWISE INDICATED. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE DETERMINED FROM AS-

PLANS AND/OR ON-SITE LOCATIONS AND SHOULD BE VERIFIED BEFORE CONSTRUCTION. LEGAL DESCRIPTION SHOWN HEREON BASED ON THE TITLE COMMITMENT AND NO CLAIMS AS TO OWNERSHIP ARE MADE OR IMPLIED.

THE FOLLOWING ARE OPTIONAL TABLE A ITEMS TO MEET ALTA/NSPS LAND TITLE SURVEY STANDARDS: 9. TOTAL STRIPED PARKING SPACES WITHIN LEGAL DESCRIPTION: 17 REGULAR AND 0 HANDICAP. PARKING SPACES WERE NOT VERIFIED FOR ANY APPLICABLE REQUIREMENTS. 16. THERE IS NO EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING

ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK. 17. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO PROPOSED CHANGES IN STREET RIGHT-OF-

AND THERE IS NO VISIBLE EVIDENCE OF RECENT ROAD CONSTRUCTION WORK

CODE DATA

I. PROJECT SHALL BE PERMITTED UNDER THE 2020 FLORIDA BUILDING CODE, 7TH EDITION. AND COMPLY WITH FAIR HOUSING ACT DESIGN PRINCIPLES WHERE APPLICABLE.

2. OCCUPANCIES UNDER THE BUILDING PERMIT SHALL BE CLASSIFIED "B", "S-2", "A-2", AND "R-2" PER FBC 2020 CHAPTER 3.

B. PARKING GARAGE SHALL BE "CLOSED" AND MECHANICALLY VENTILATED PER FBC 2020 SECTION

4. LIFE SAFETY PLANS UNDER THE BUILDING PERMIT SHALL BE SUBJECT TO FBC 2020, CHAPTER 10 MEANS OF EGRESS - TYPICAL ALL FLOORS.

5. BUILDING SEPARATIONS SHALL COMPLY WITH FBC 2020 CHAPTER 6, TABLES 601 AND 602.

6. EXTERIOR WALL OPENINGS SHALL COMPLY WITH FBC 2020 CHAPTER 7, TABLE 705.8. 7. PARKING GARAGE SLOPES SHALL COMPLY WITH ULDR SECTION 47-20.9.A.

8. DUMPSTERS SHALL COMPLY WITH ULDR SECTION 47-19.4.

REVISIONS

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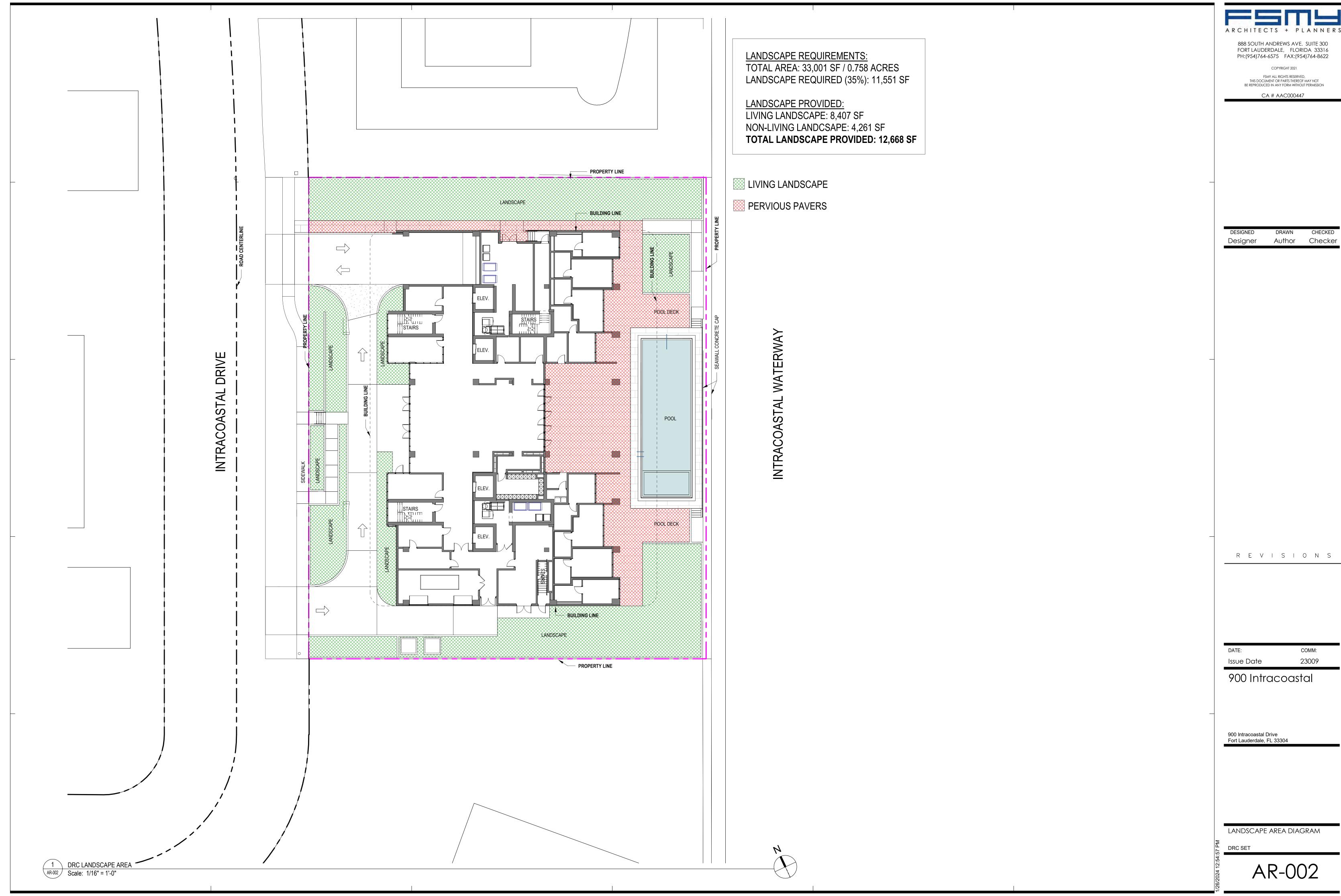
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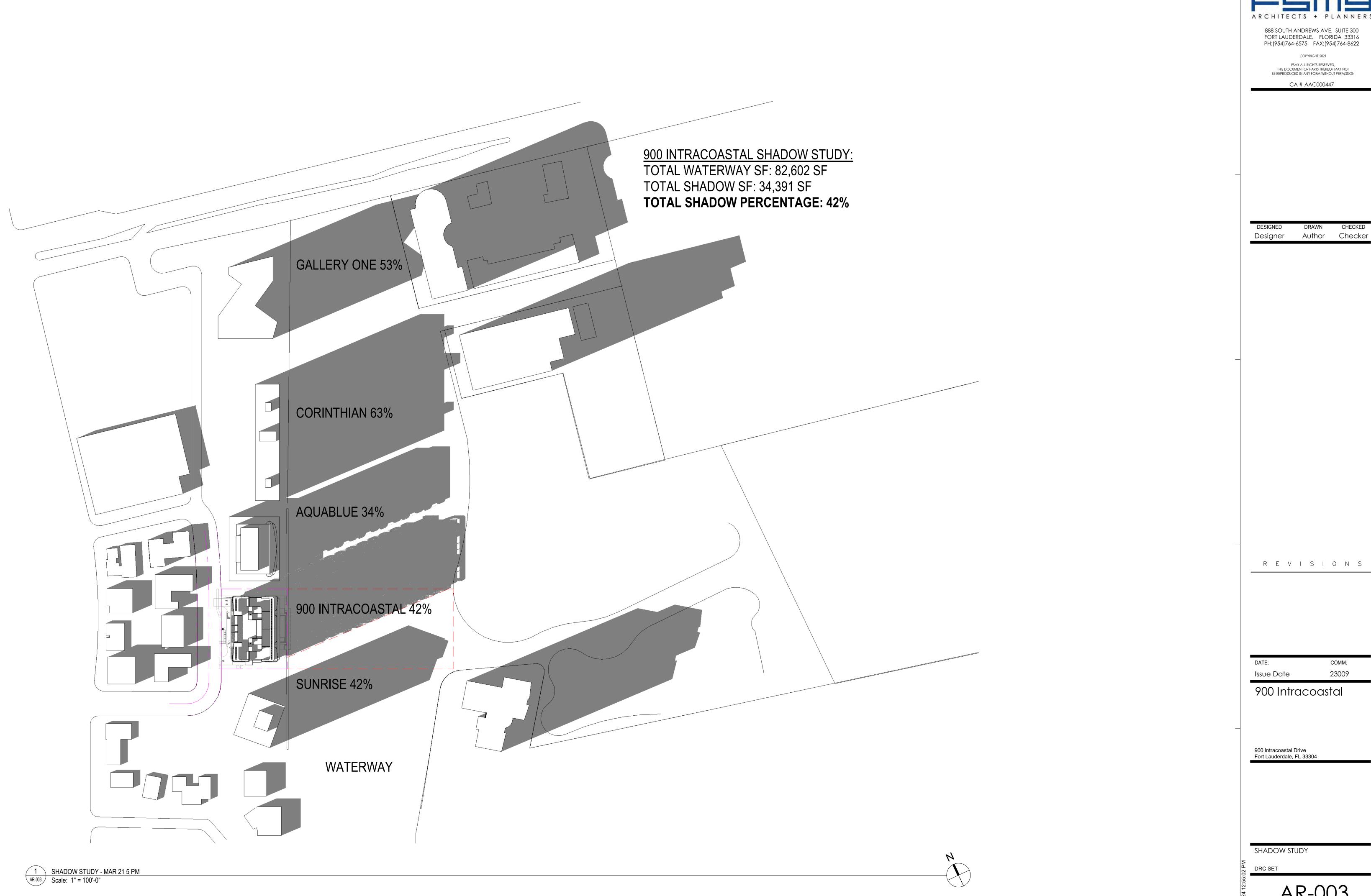
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SITE PLAN

DRC SET

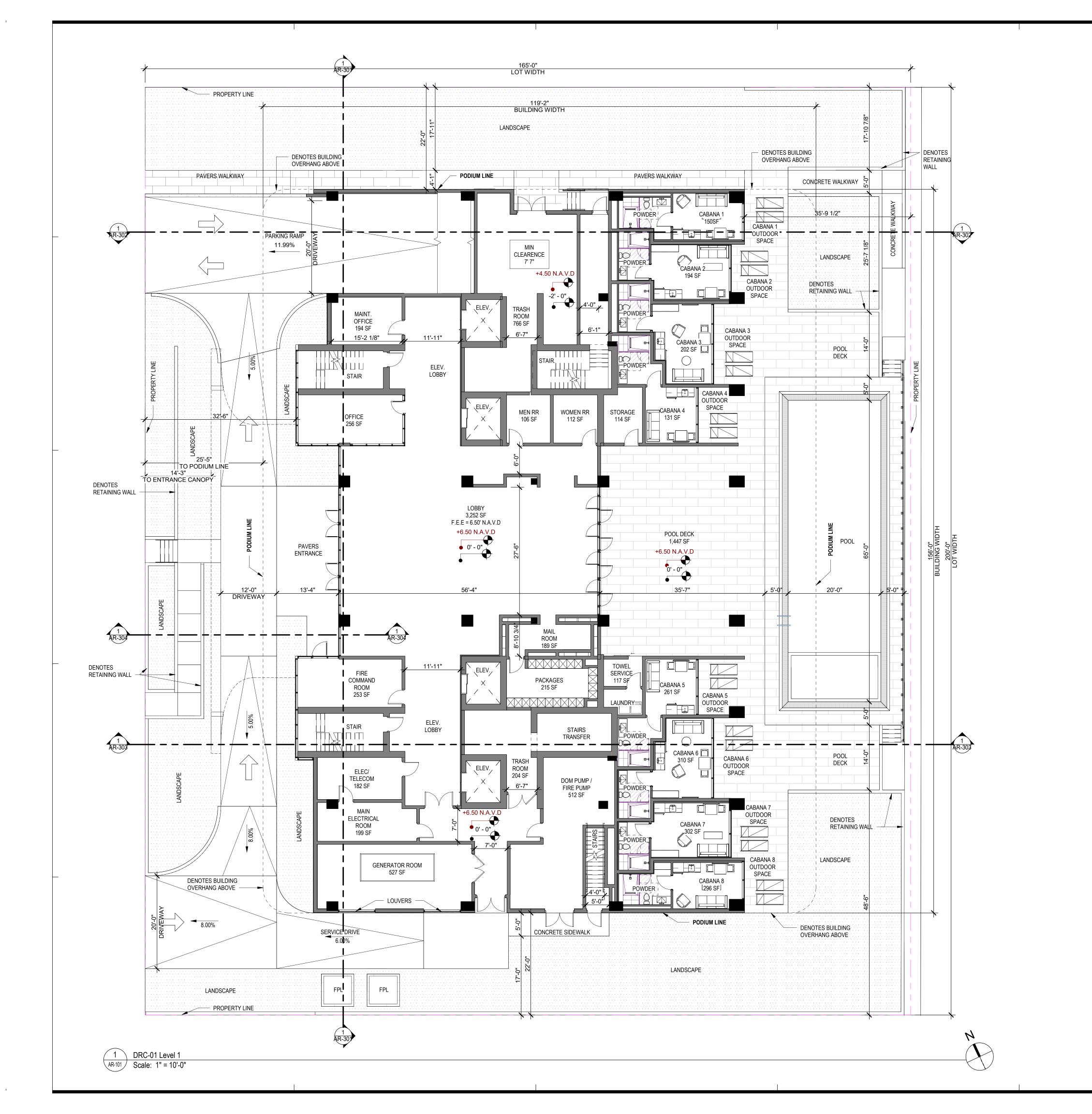




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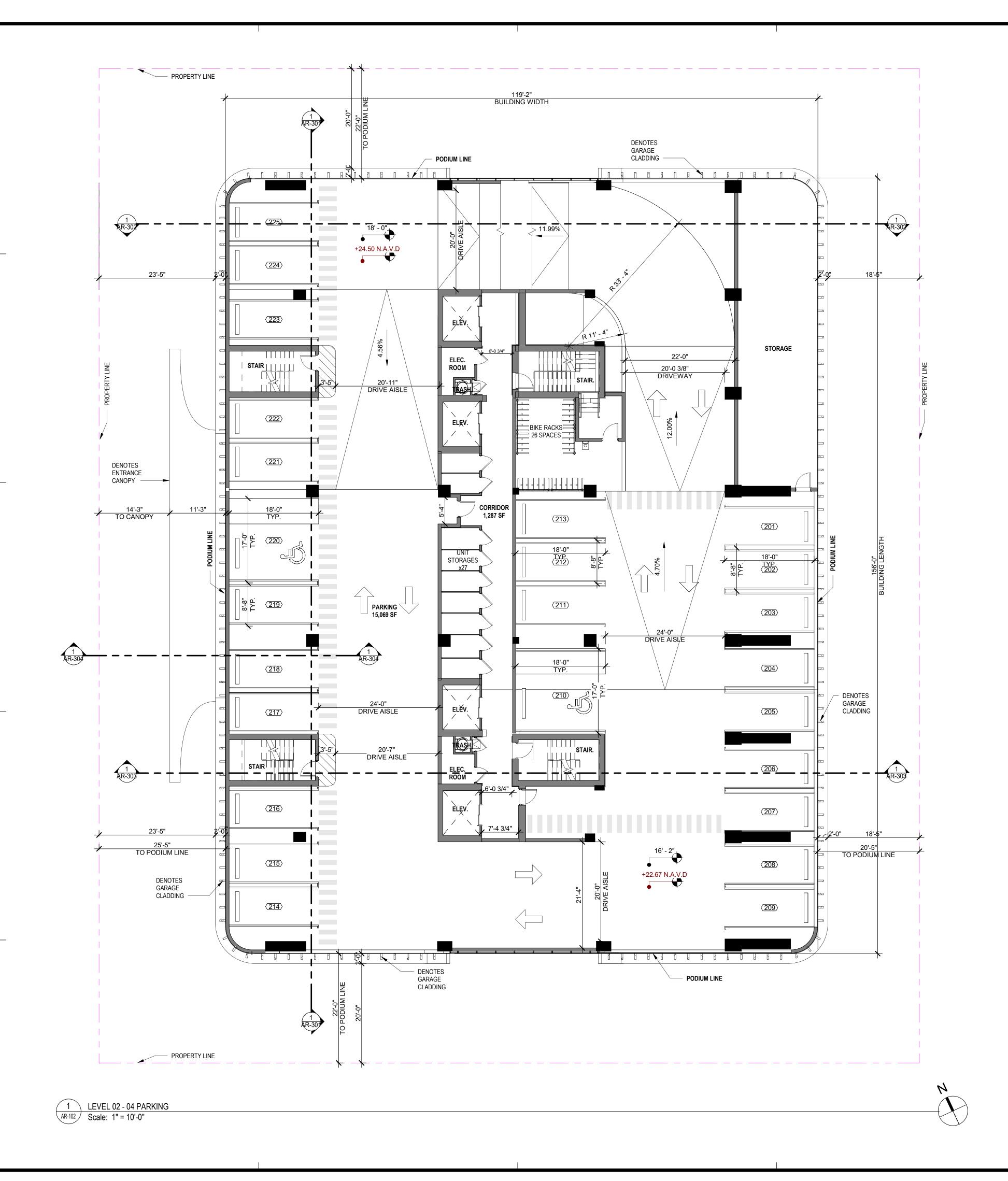
1 AR-204

AR-21

1 AR-203

LEVEL 01 FLOOR PLAN

Project Status





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1 AR-221

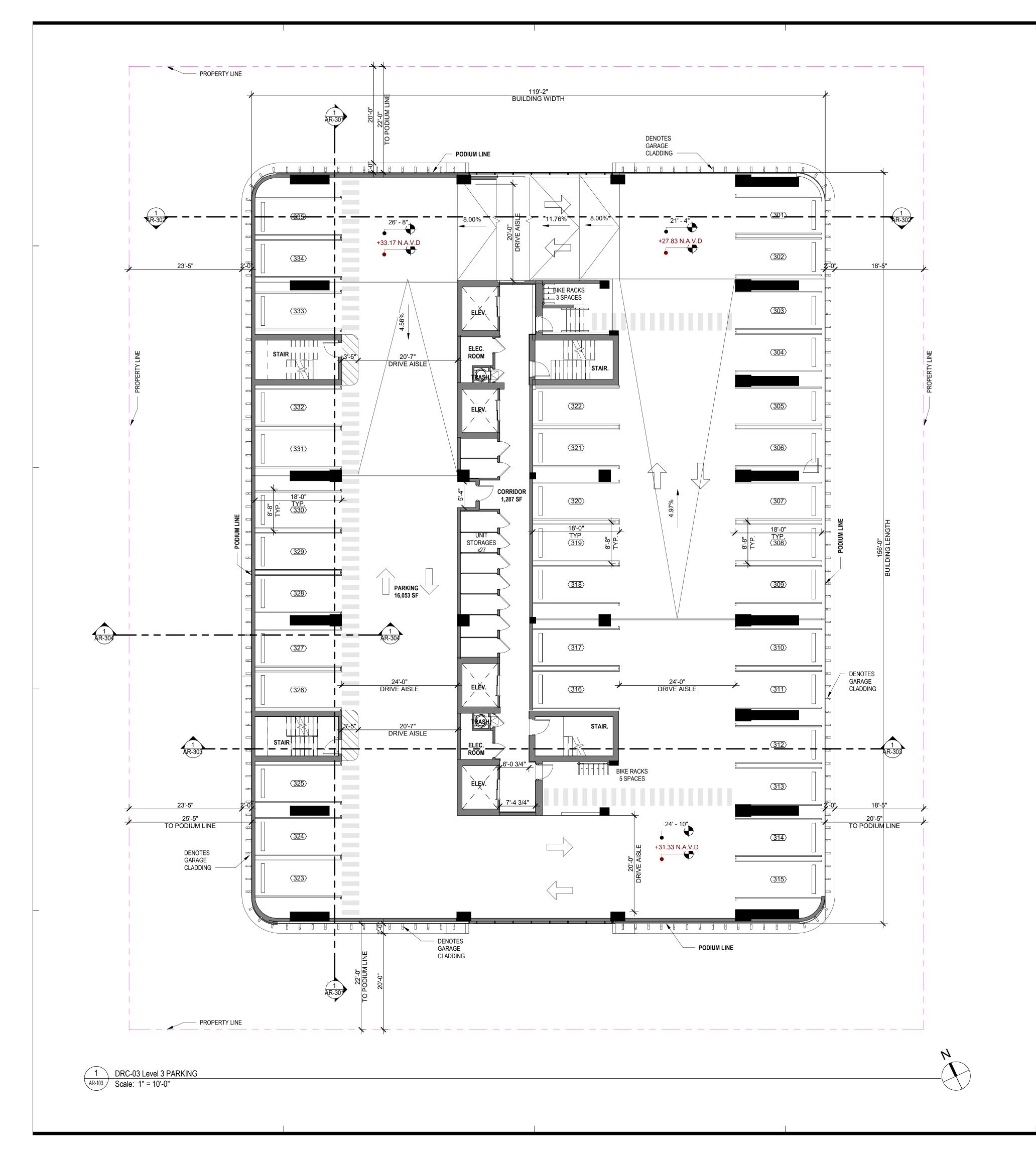
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1 AR-21

> 1 AR-203

> > LEVEL 02 FLOOR PLAN - PARKING

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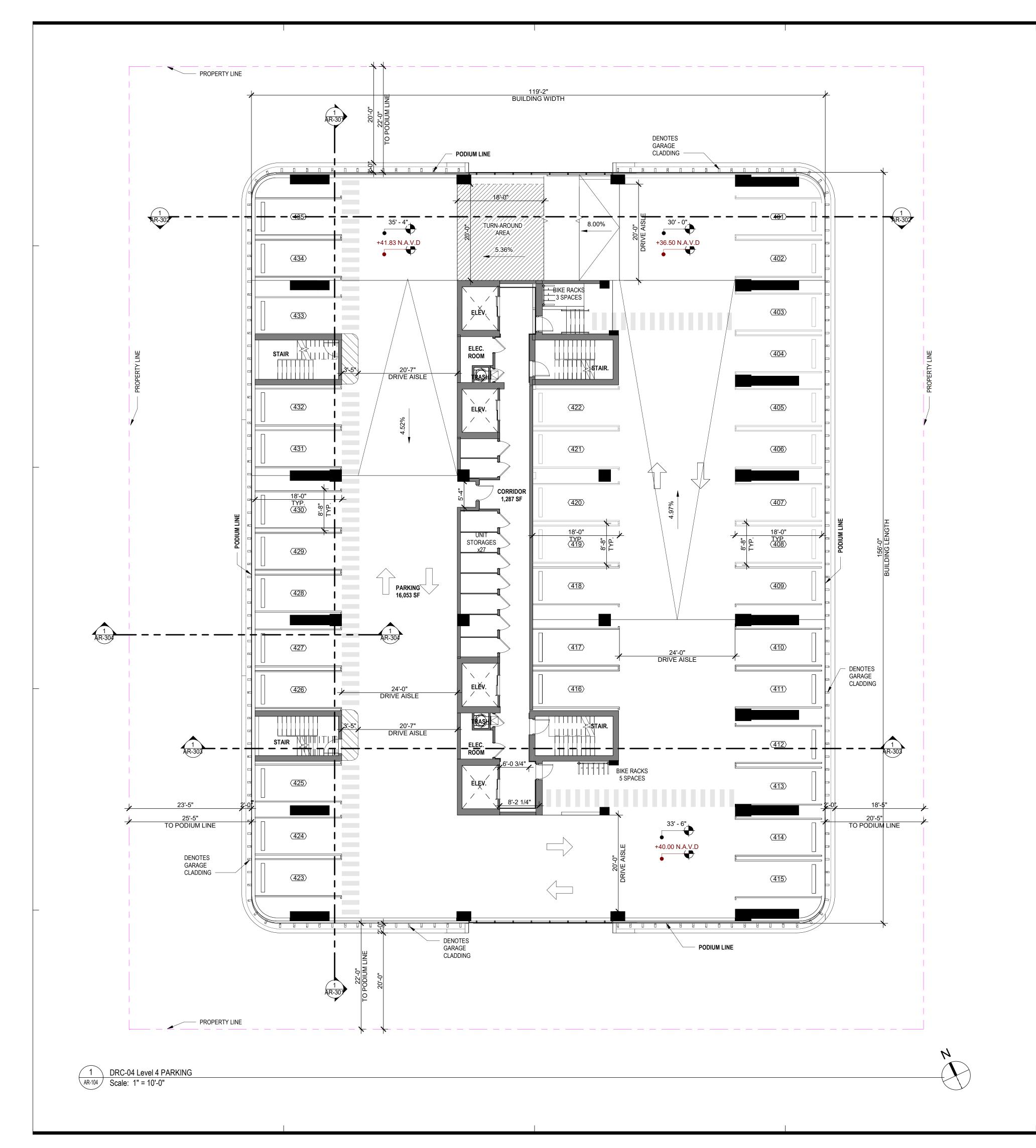
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> > LEVEL 03 FLOOR PLAN - PARKING

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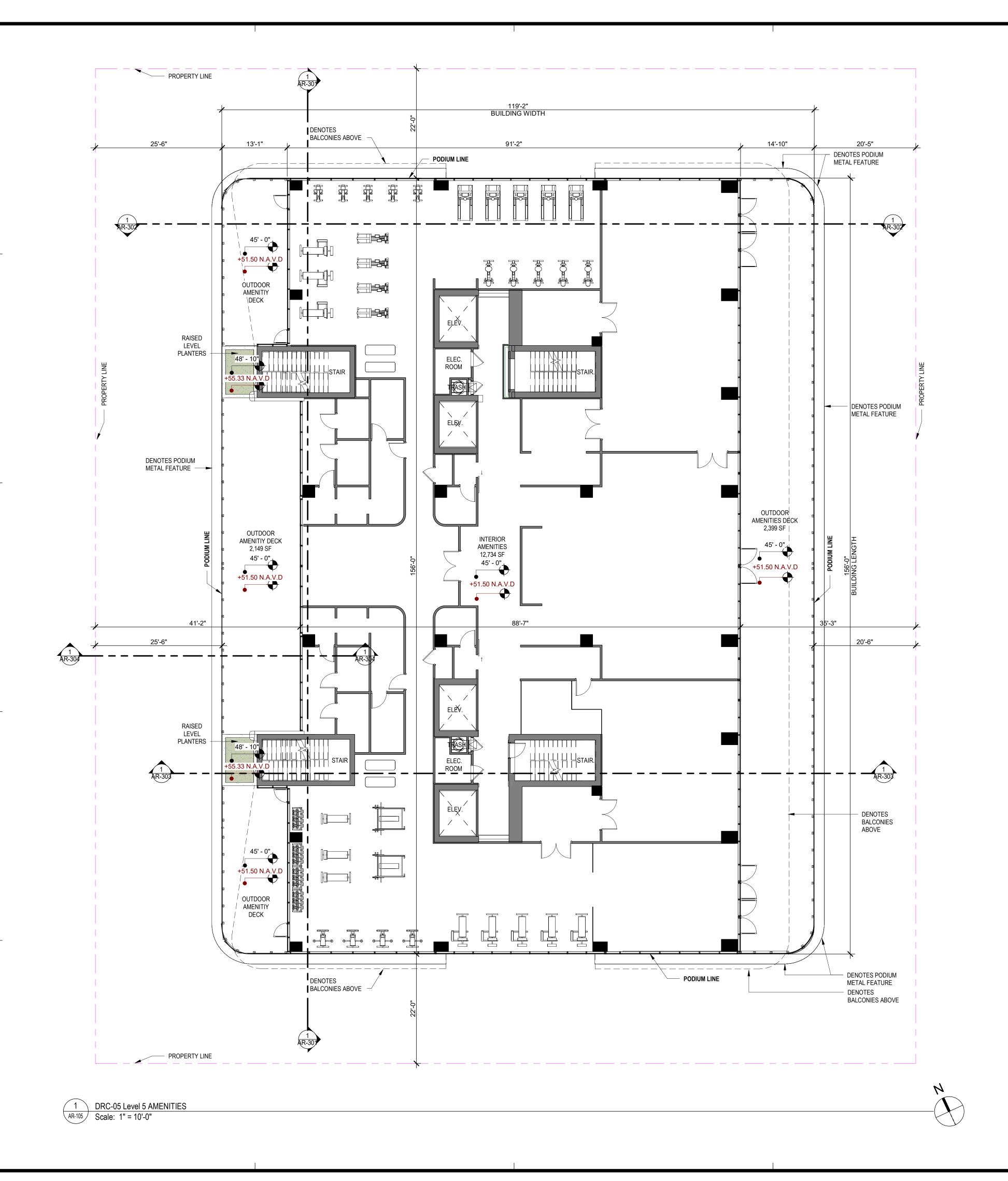
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1 AR-21

> 1 AR-203

> > LEVEL 04 FLOOR PLAN - PARKING

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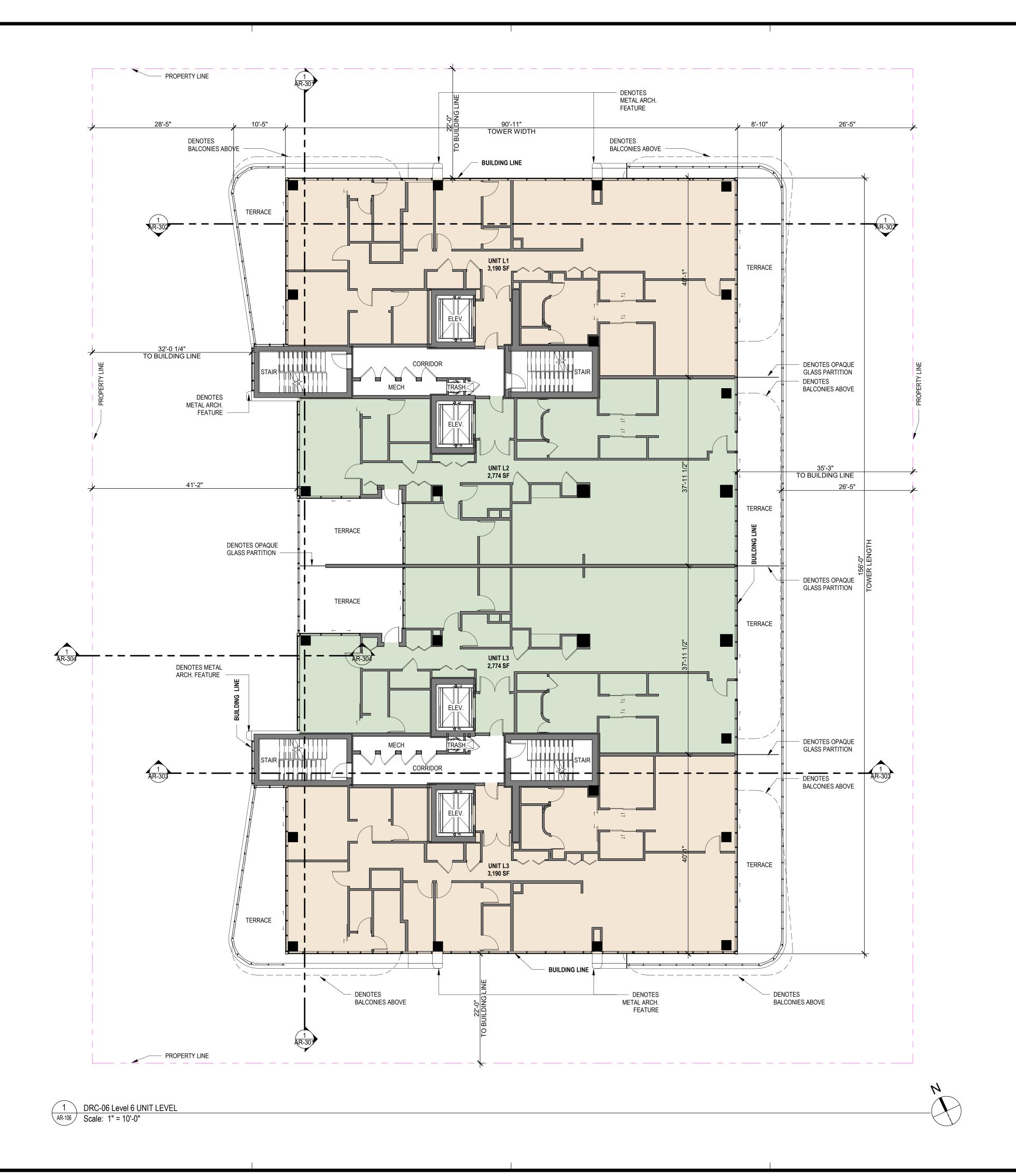
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AR-21

1 AR-203

LEVEL 05 FLOOR PLAN - AMENITIES

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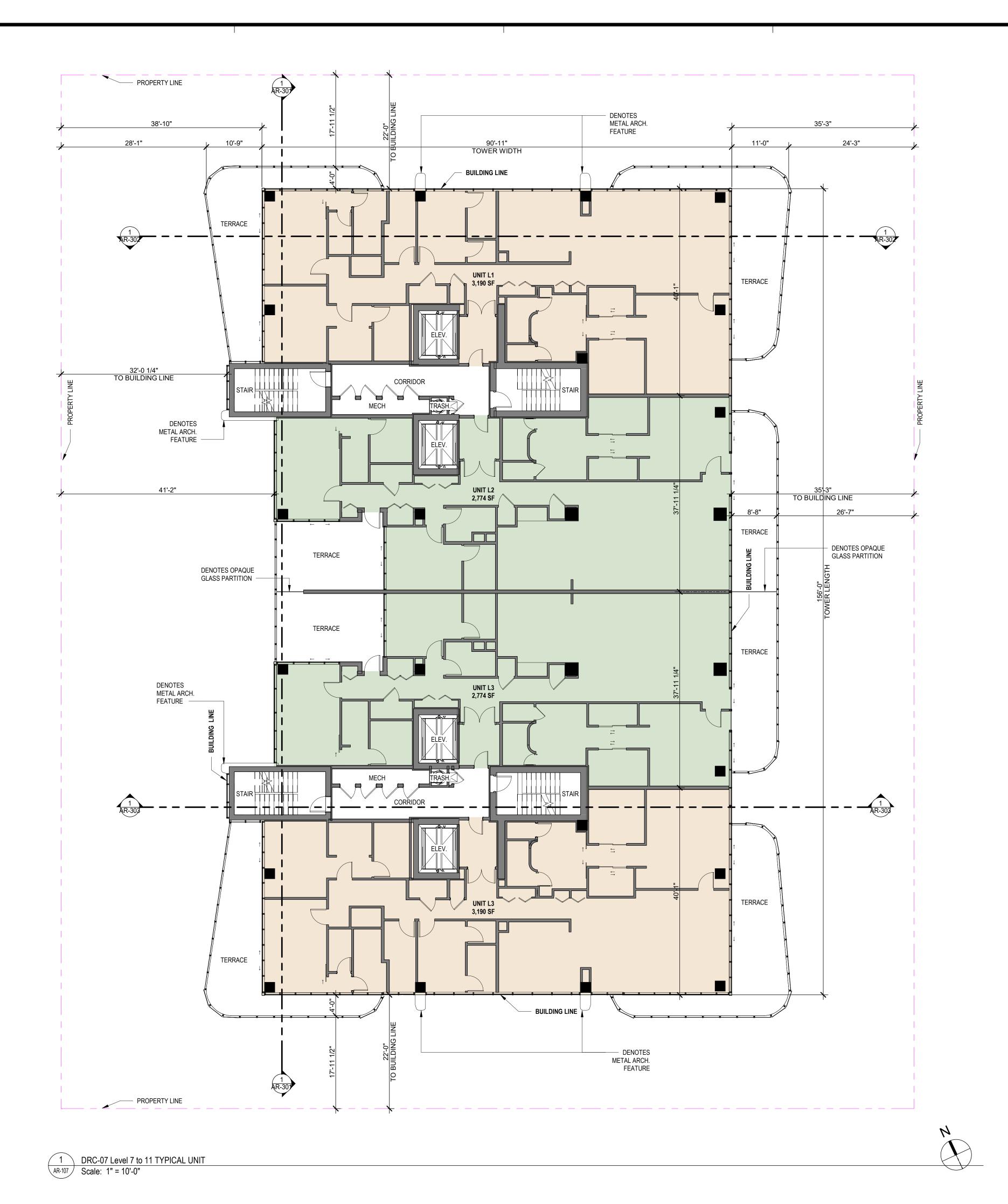
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AR-21

1 AR-203

LEVEL 06 FLOOR PLAN - UNIT LEVEL

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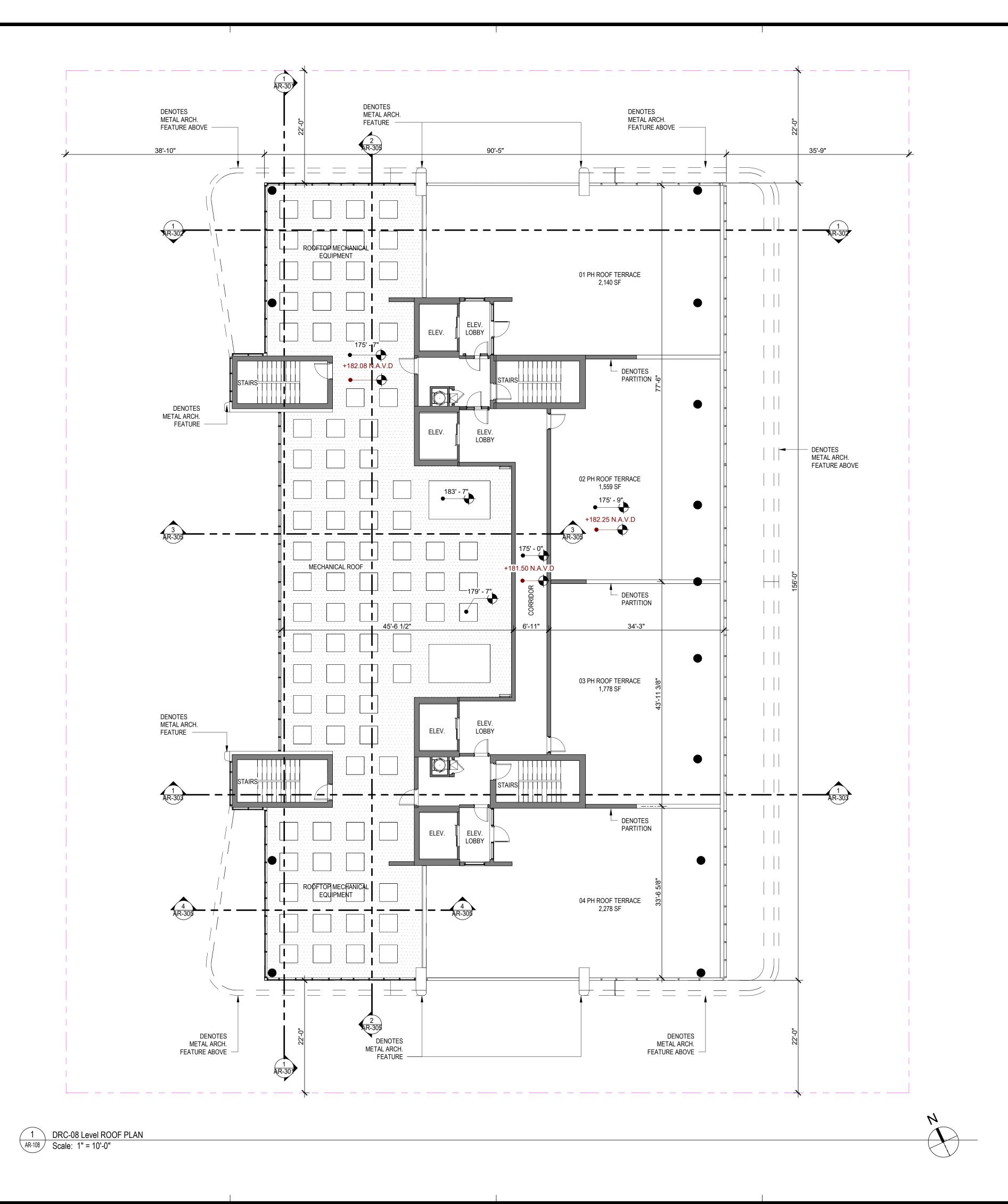
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1 AR-204

1 AR-21

> 1 AR-203

> > LEVEL 07 -16 FLOOR PLAN - TYP.
> > UNIT LEVEL
> > Project Status





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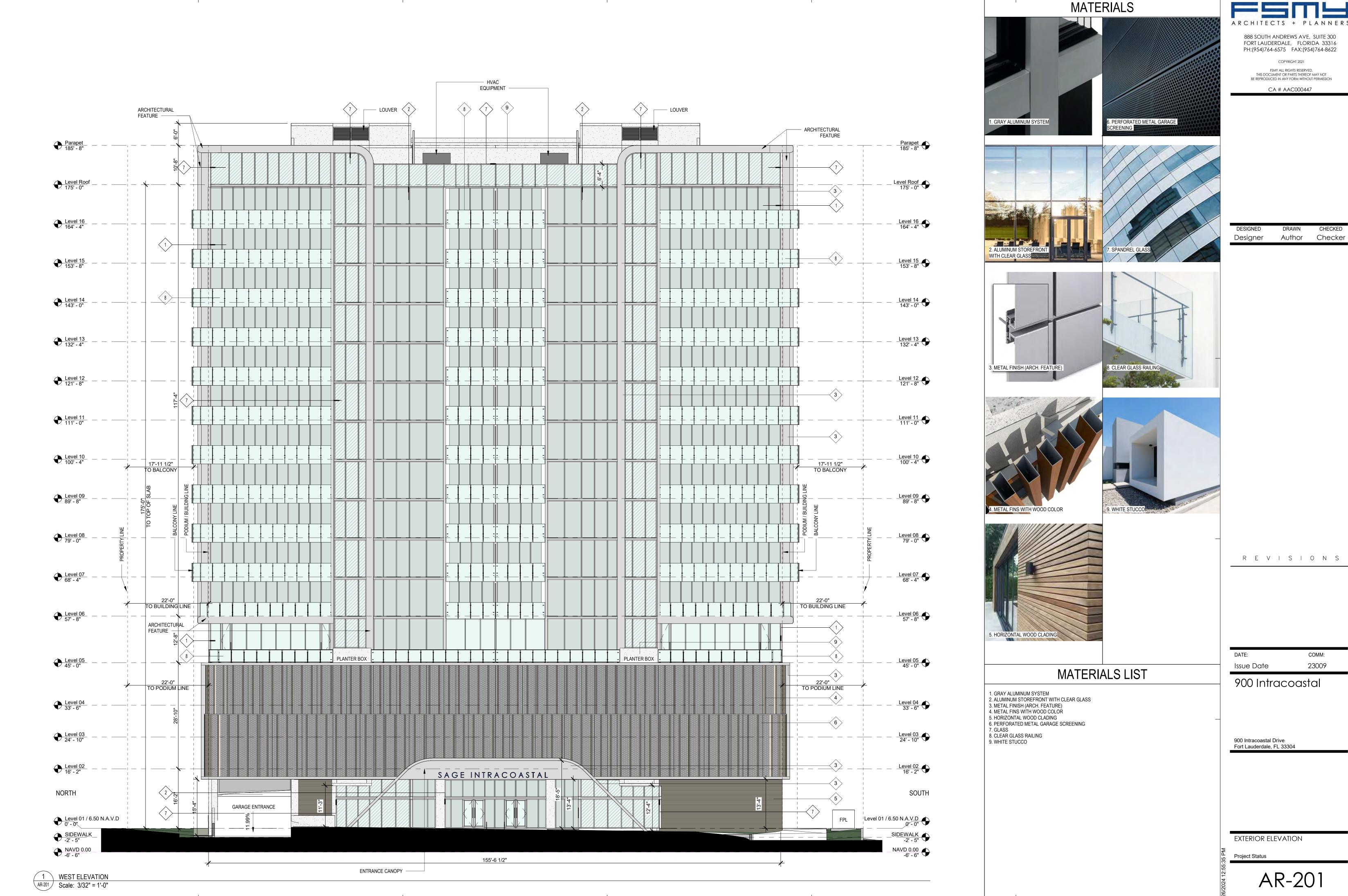
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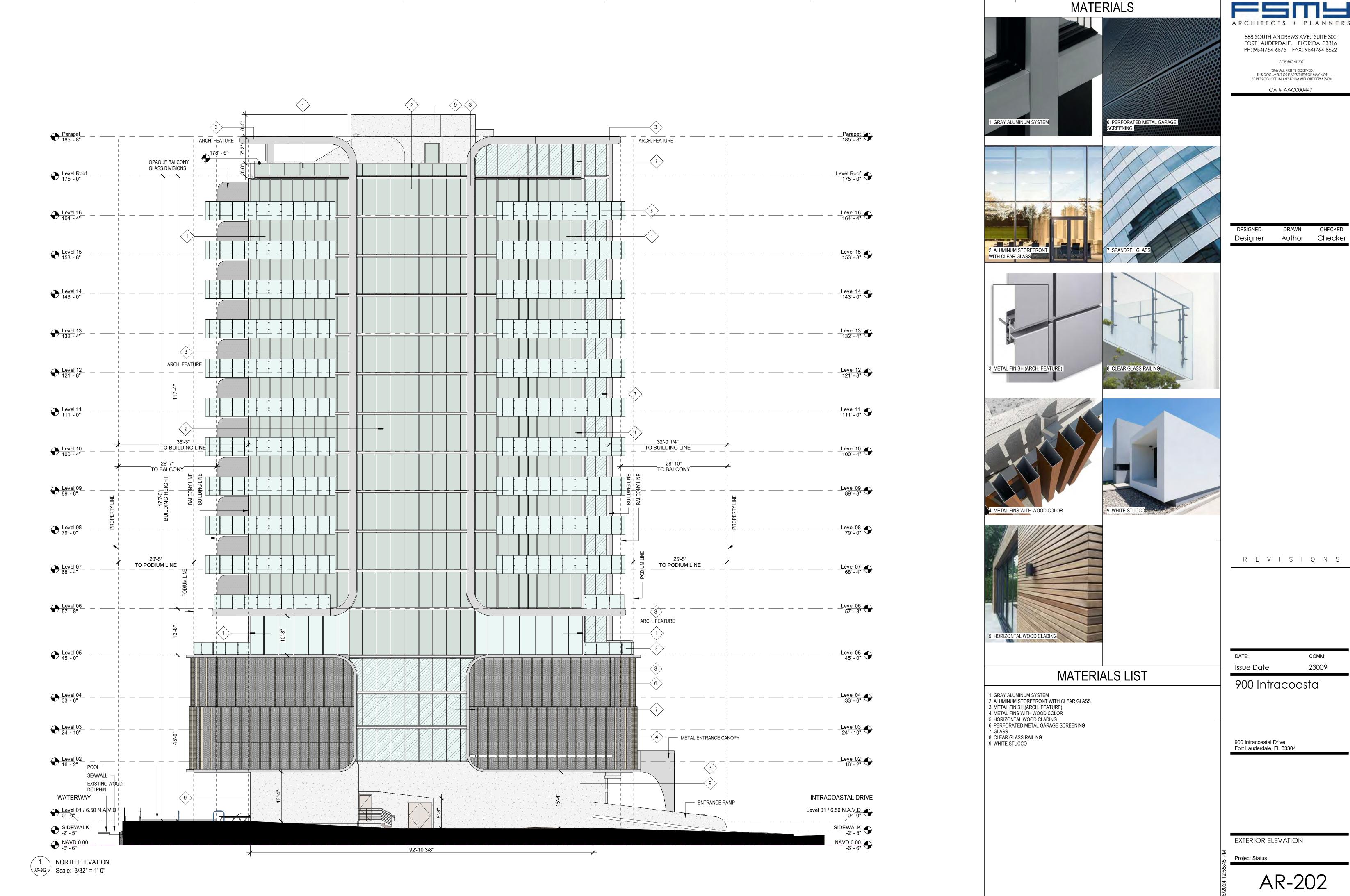
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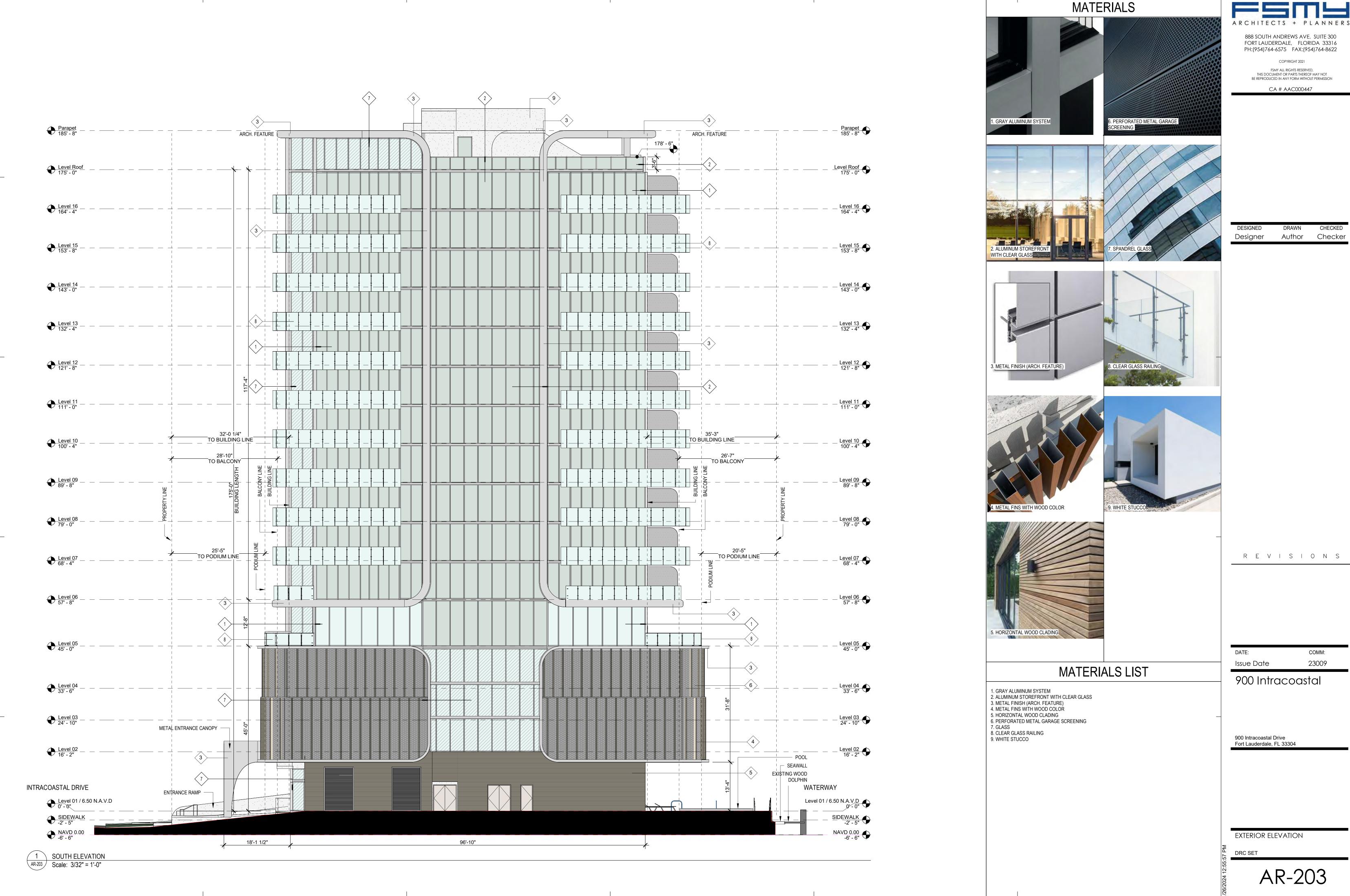
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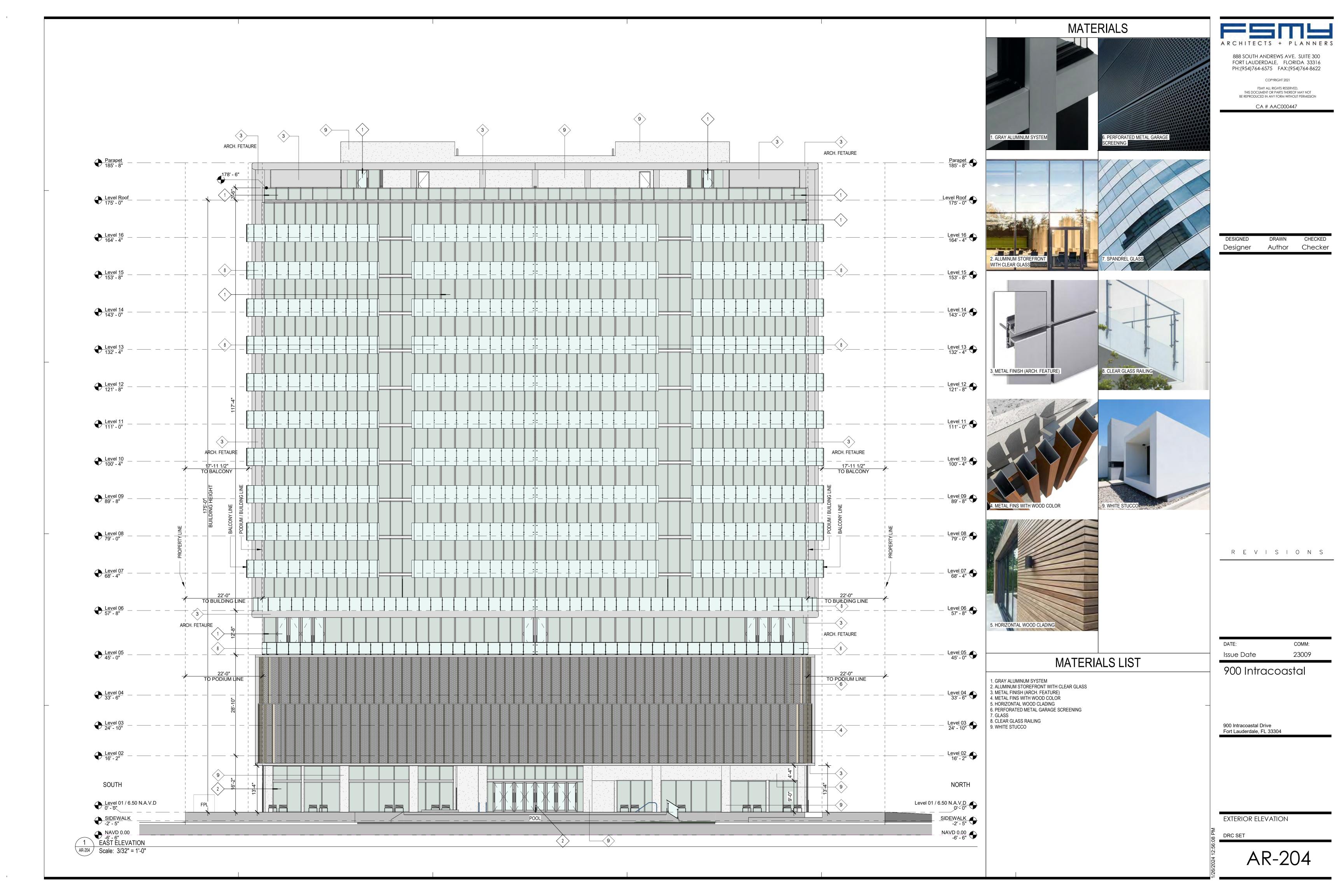
LEVEL ROOF PLAN

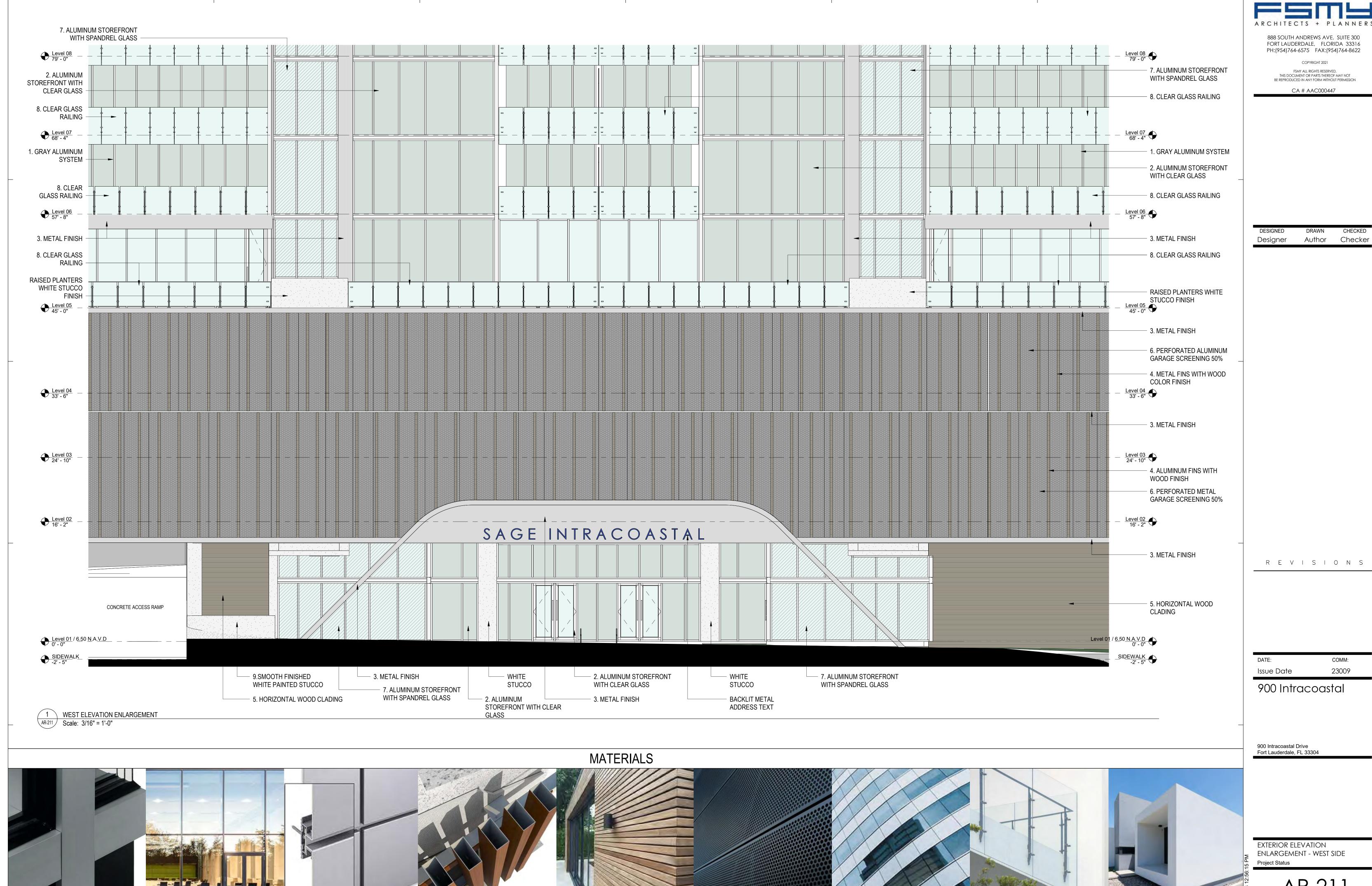
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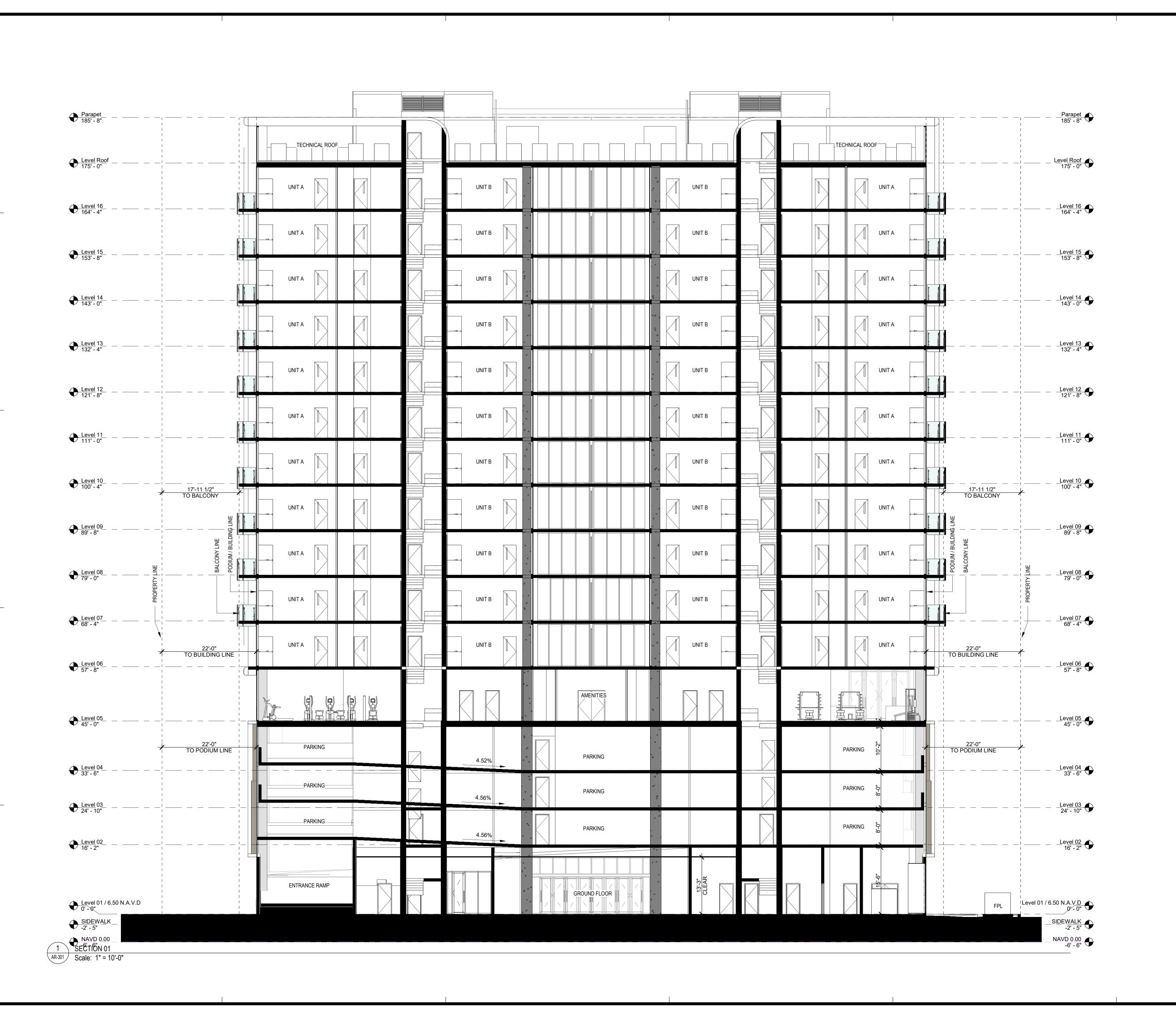
4. METAL FINS WITH WOOD COLOR

5. HORIZONTAL WOOD CLADING

6. PERFORATED METAL GARAGE SCREENING

8. CLEAR GLASS RAILING

3. METAL FINISH (ARCH.FEATURE)



ARCHITECTS + PLANNER:

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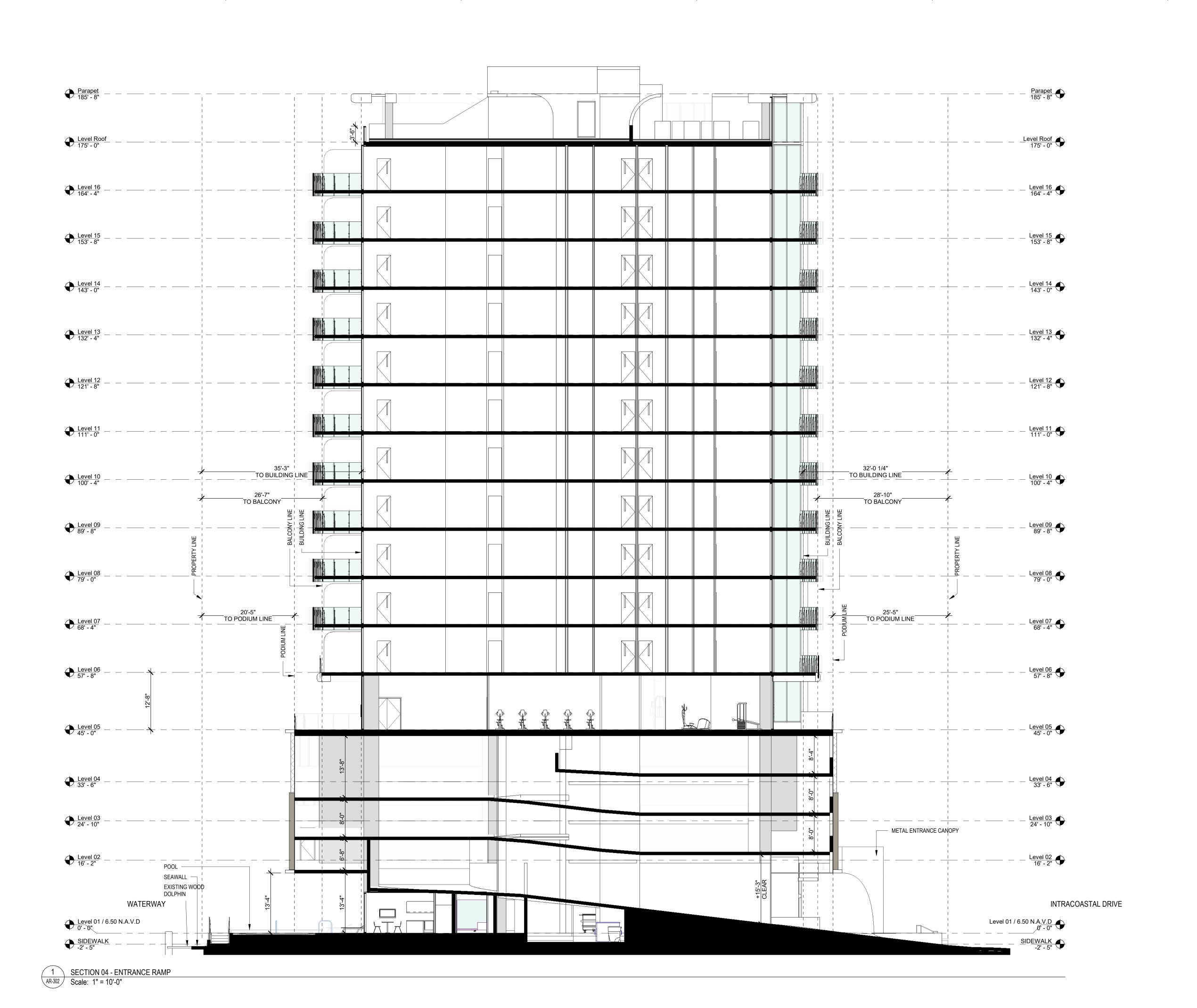
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BUILDING SECTION

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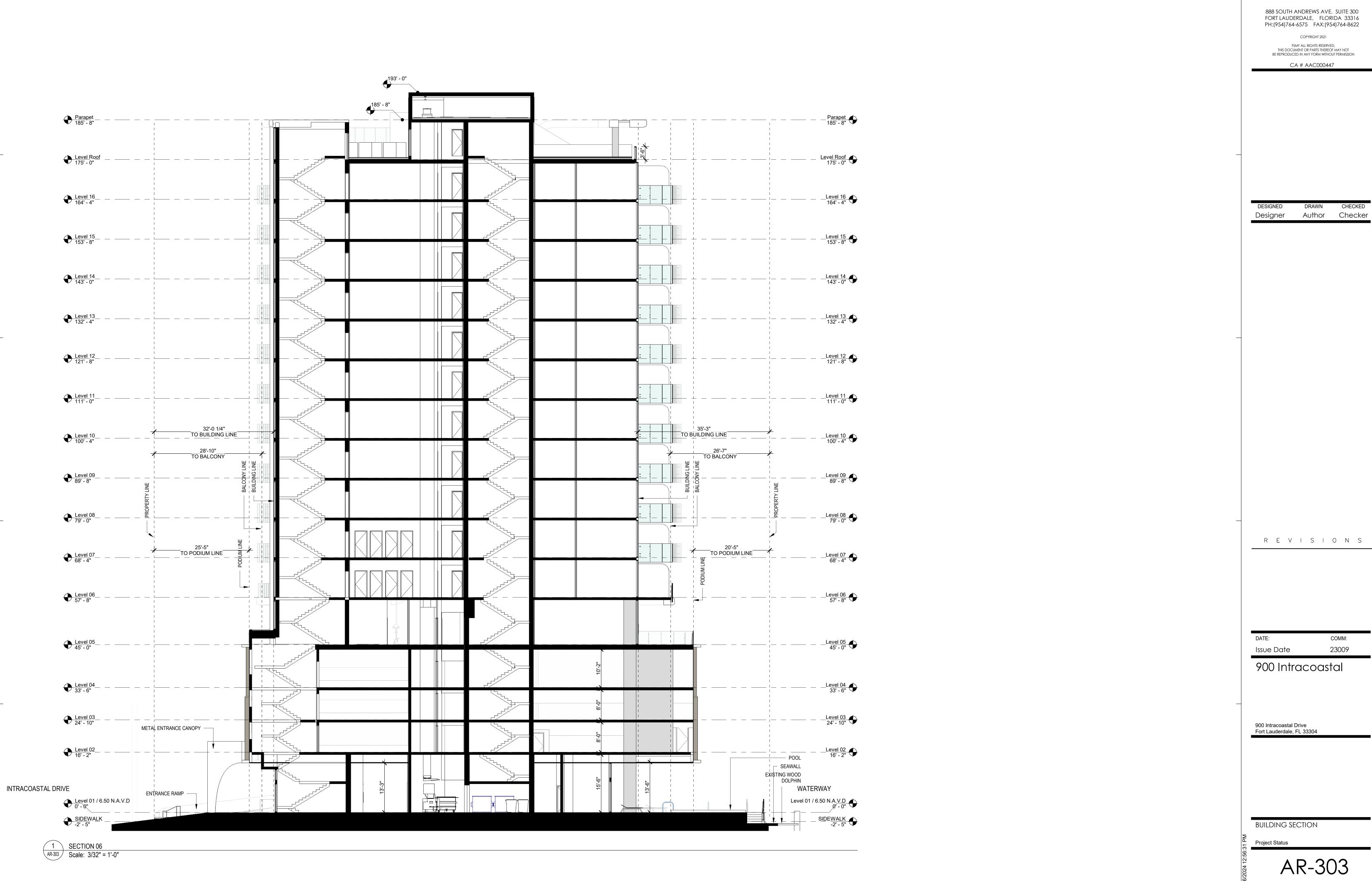
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BUILDING SECTION

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MATERIALS

ENTRY WALK

13.34

10'-9" TO SETBACK

PORTE COCHER



SLOPE TRANSITION 16.33

HIGH POINT OF SIDEWALK -

NORTH-BOUND

12.00 TRAFFIC

SITE SECTION - ZONING

AR-304 Scale: 3/16" = 1'-0"

PROPOSED SIDEWALK TO MATCH ELEVATION AND POSITION OF NORTH SIDE NEIGHBOR'S SIDEWALK

CURB CUTS 7.08

SIDEWALK ZONE



Level 06 57' - 8"

Level 05 45' - 0"

Level 04 33' - 6"

Level 02 16' - 2"

Level 01 / 6.50 N.A.V.D 0' - 0"

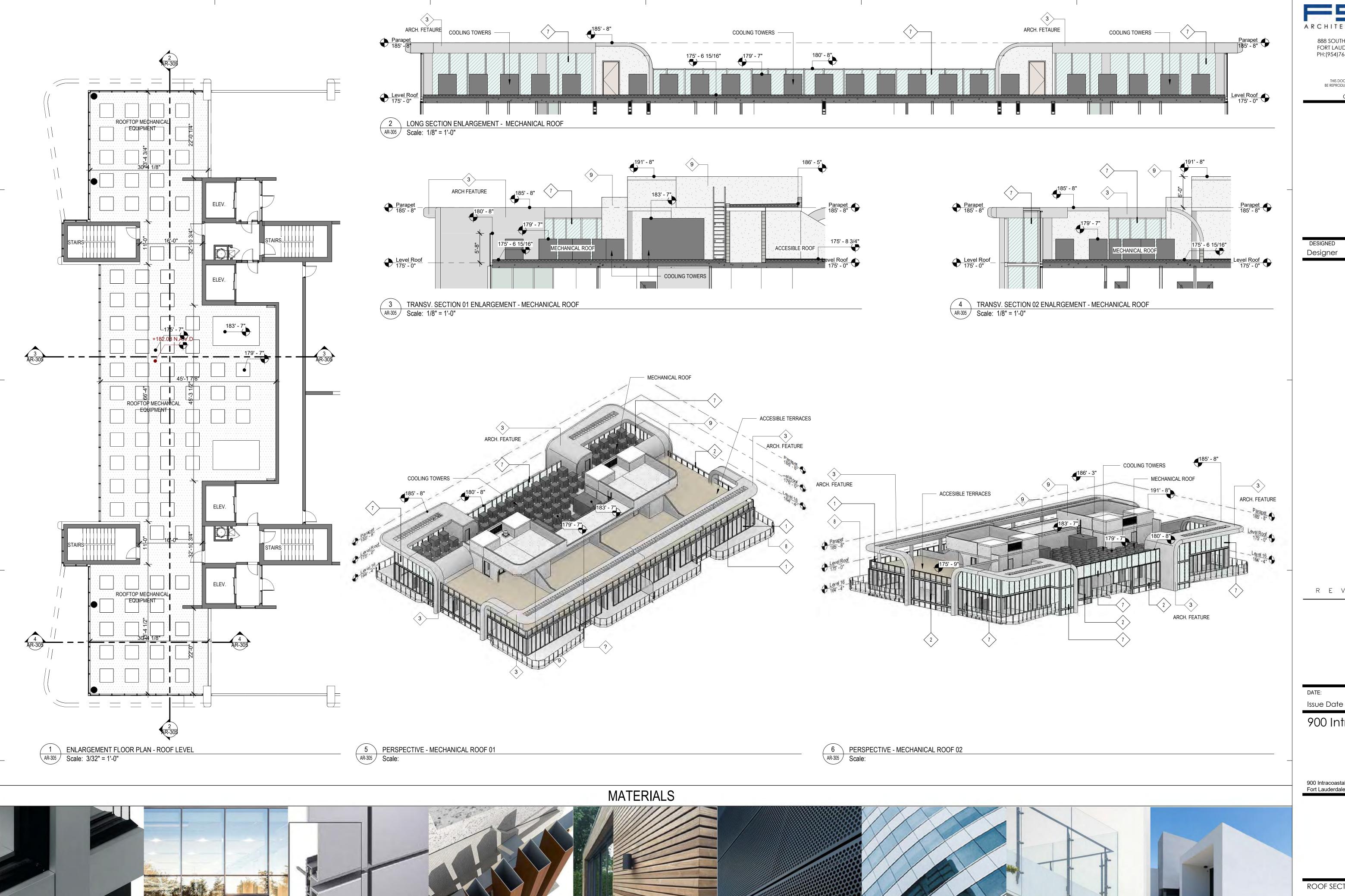
NAVD 0.00 -6' - 6"





STREET SECTION

Project Status



5. HORIZONTAL WOOD CLADING

6. PERFORATED METAL GARAGE SCREENING

4. METAL FINS WITH WOOD COLOR

3. METAL FINISH (ARCH.FEATURE)

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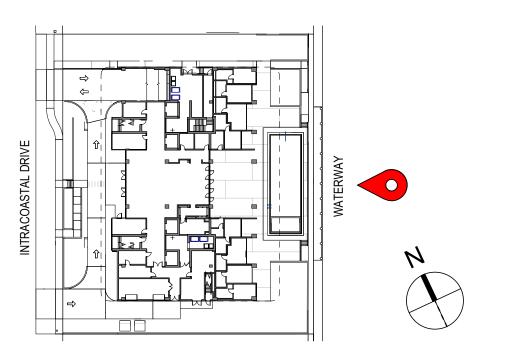
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ROOF SECTION - DETAIL





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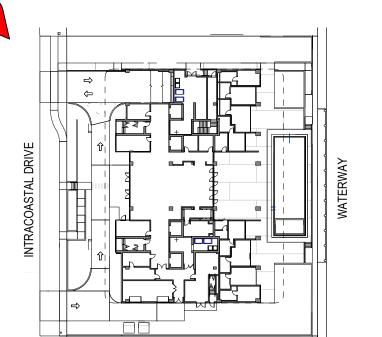
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PERSPECTIVES & RENDERINGS

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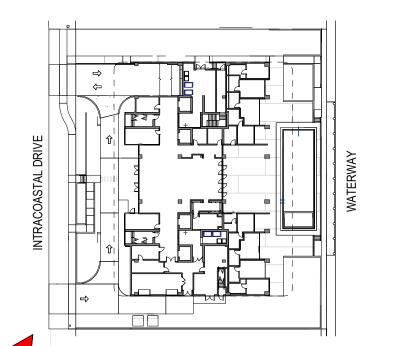
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PERSPECTIVES & RENDERINGS

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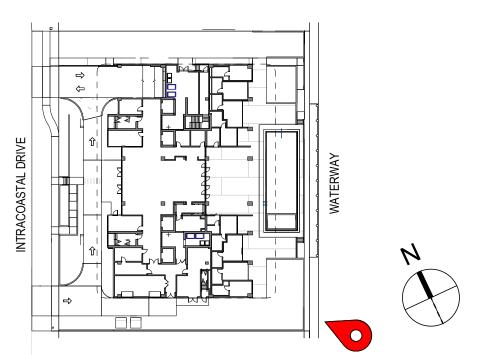
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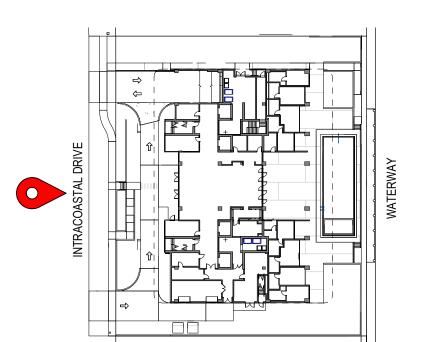
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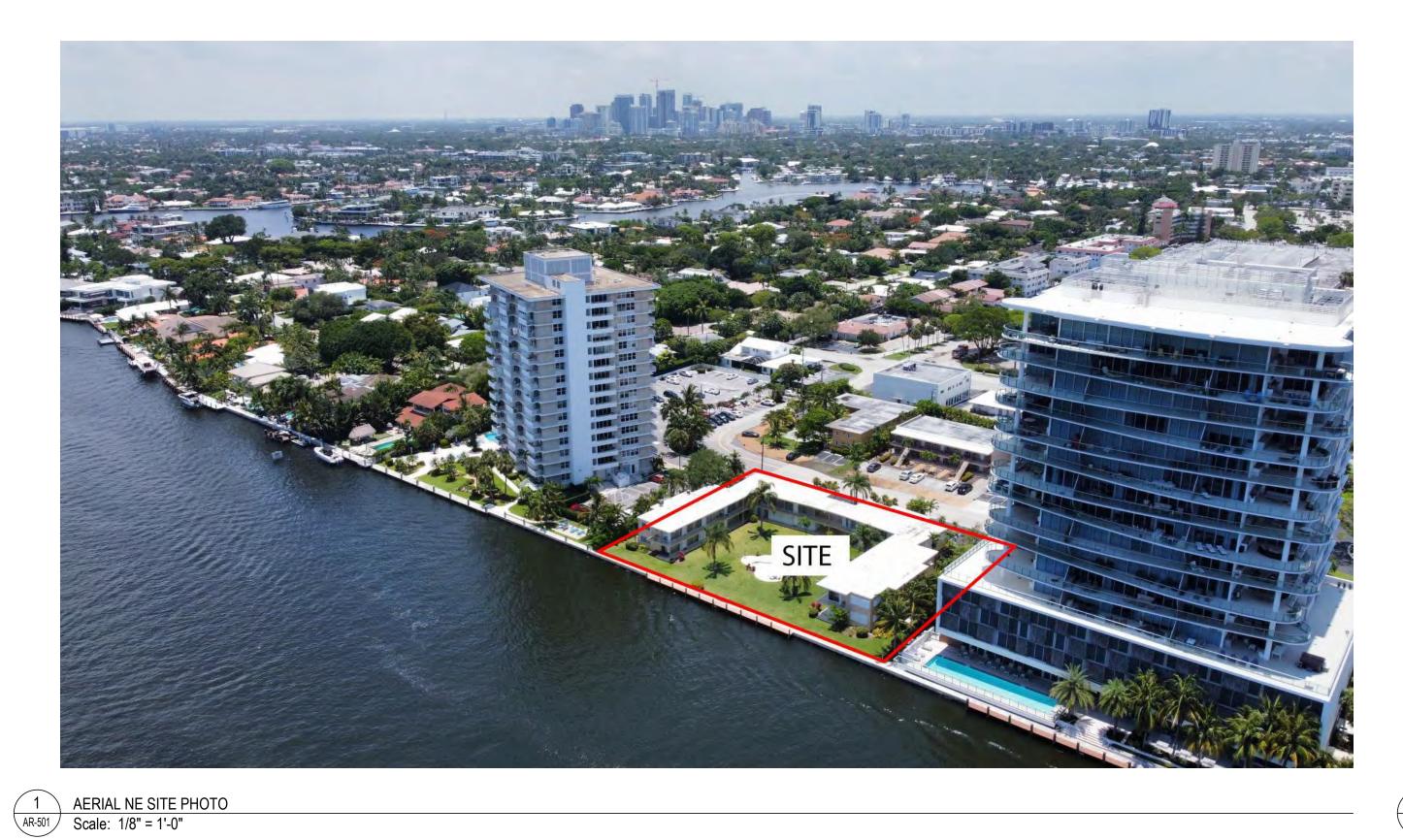
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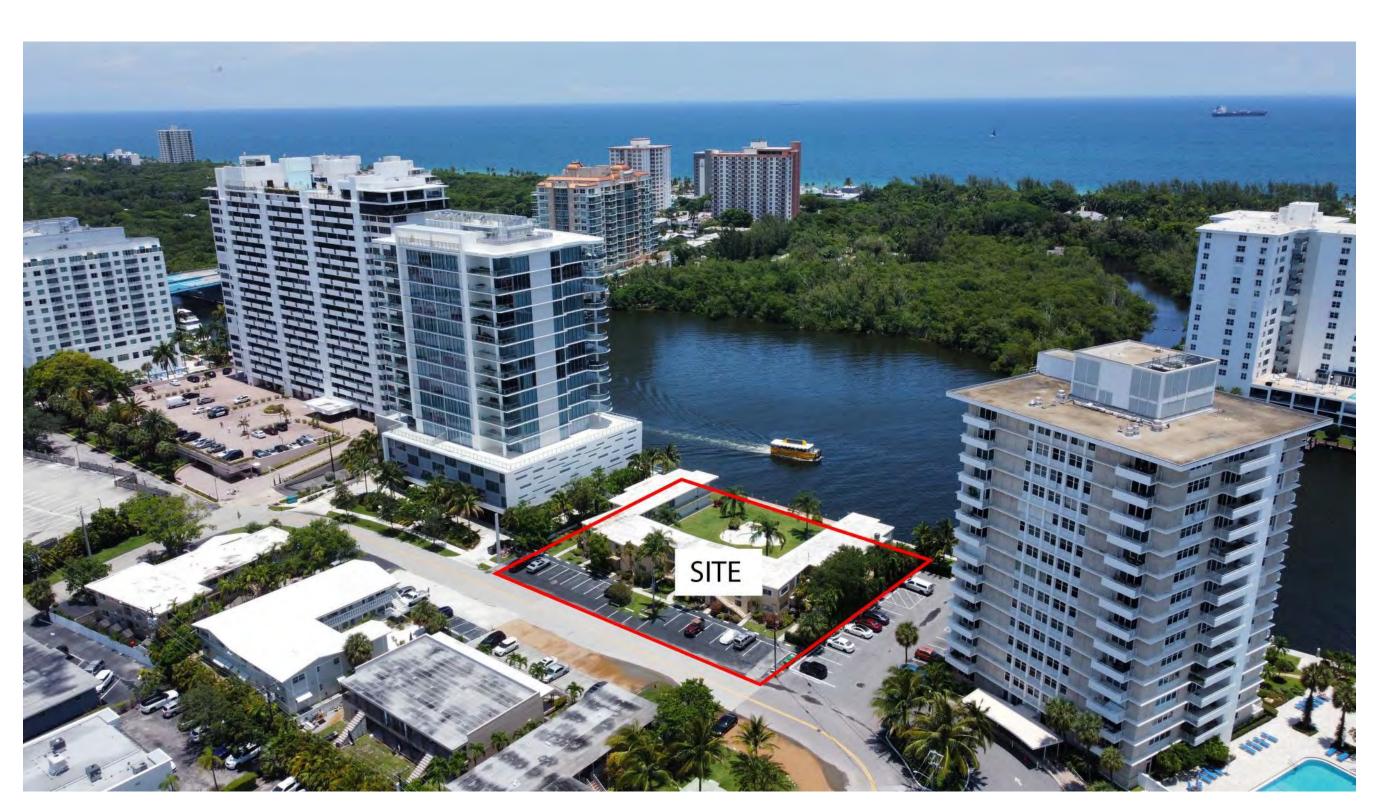
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AR-501 AR-501 Scale: 1/8" = 1'-0"

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EXISTING SITE PHOTOS

AR-501

4 AERIAL NW SITE PHOTO
AR-501 Scale: 1/8" = 1'-0"





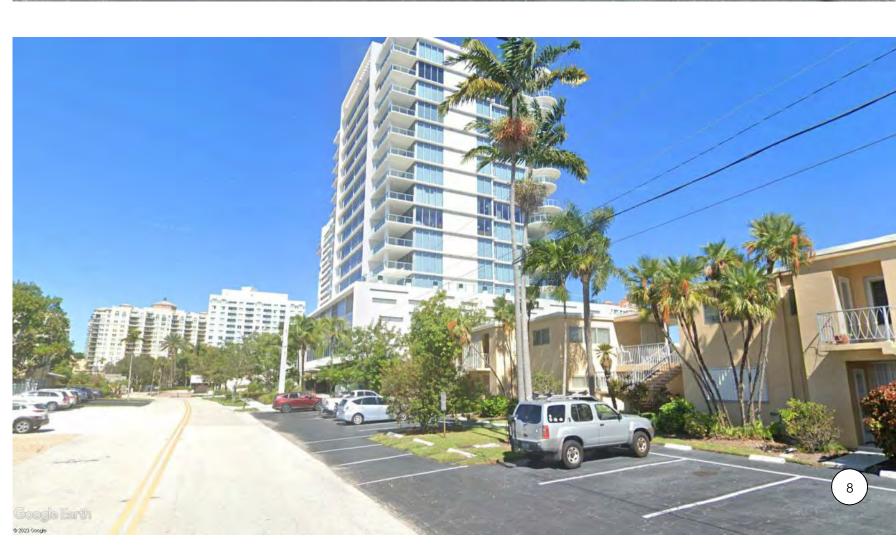


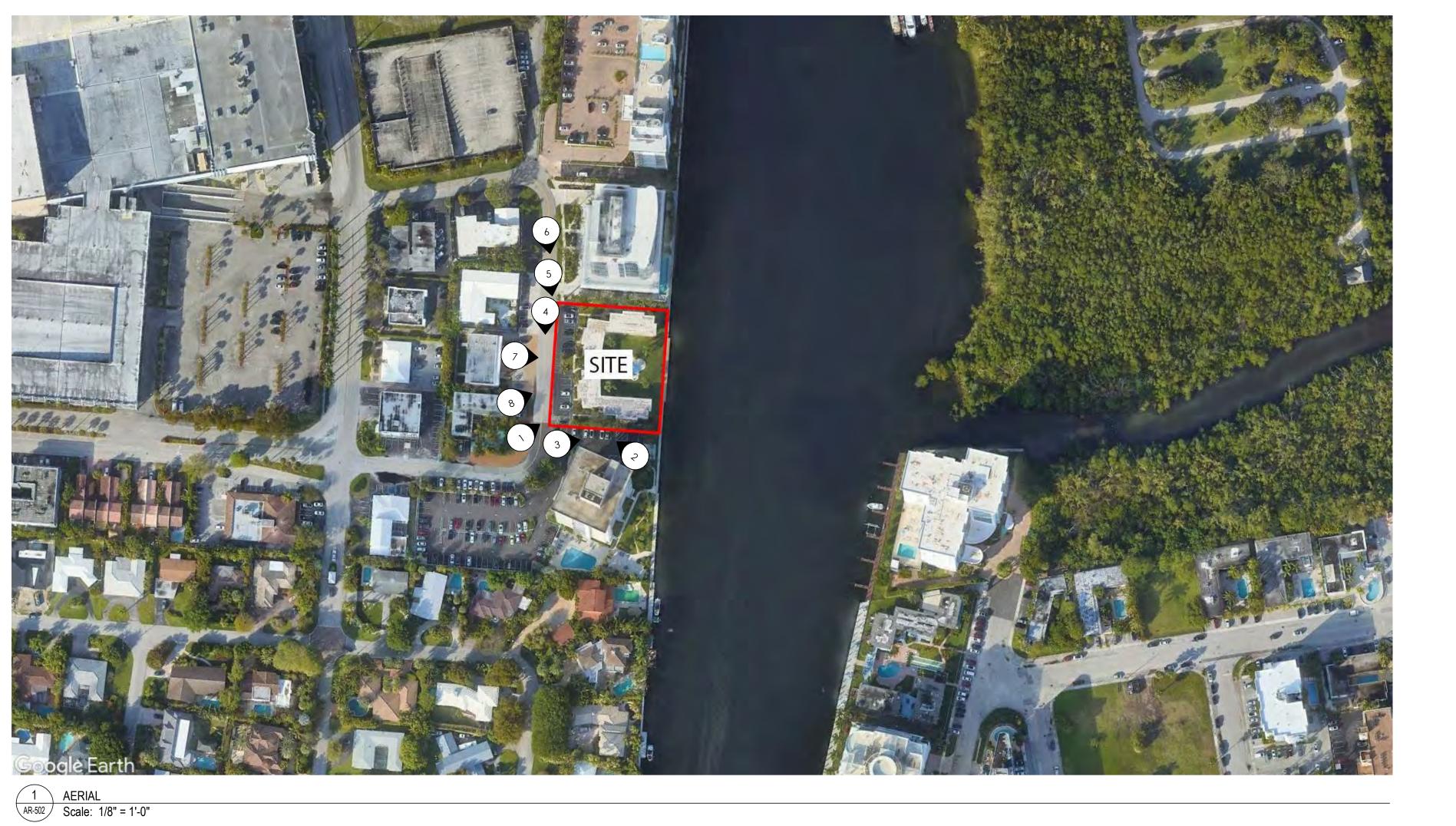












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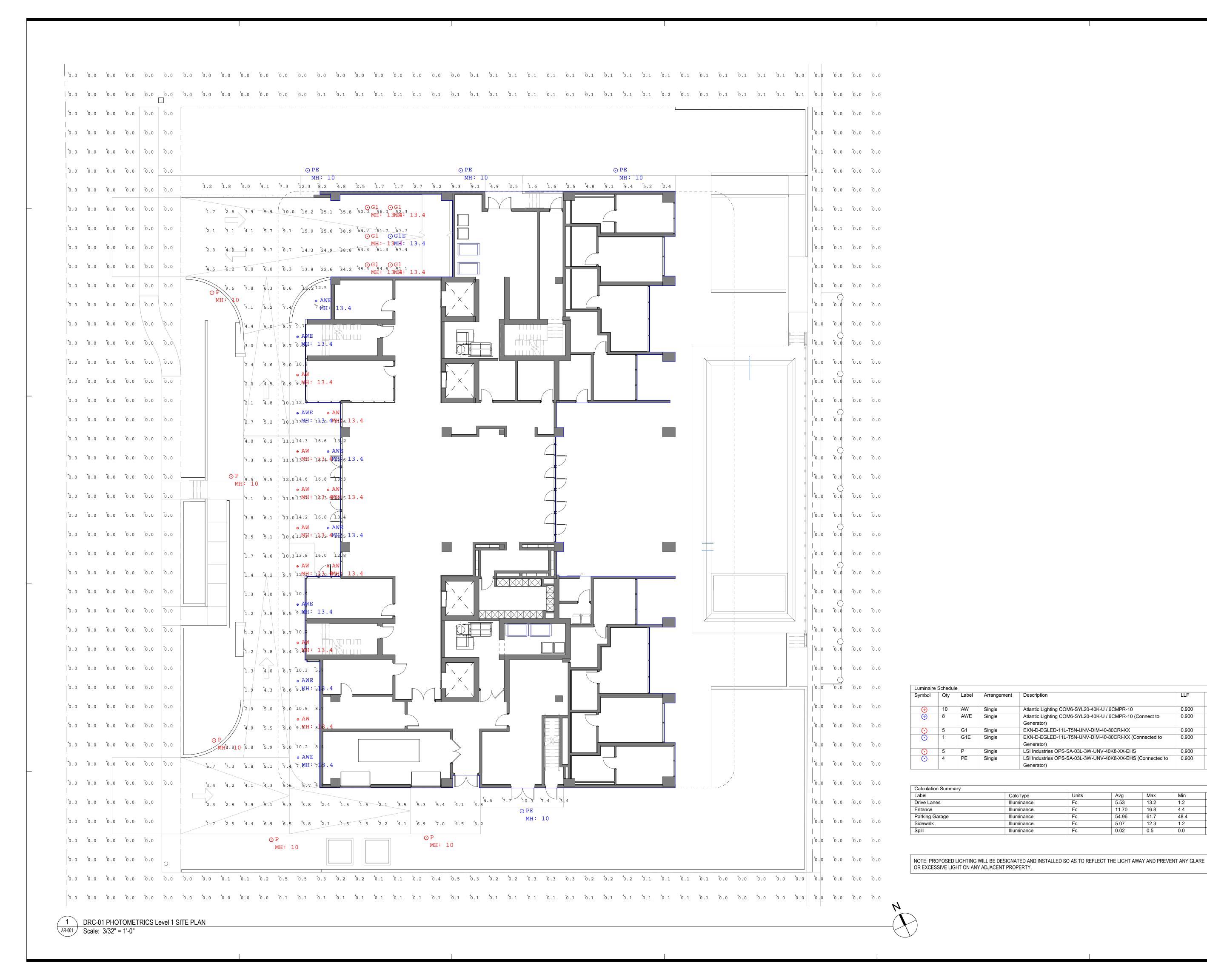
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Lumens

1660

11340

3155

3155

Avg/Min 4.61

2.66

1.14

4.23

0.900

0.900

1.2

4.4

48.4

1.2

0.0

13.2

16.8

61.7

12.3

11.70

54.96

5.07

0.02

Atlantic Lighting COM6-SYL20-40K-U / 6CMPR-10

EXN-D-EGLED-11L-T5N-UNV-DIM-40-80CRI-XX

LSI Industries OPS-SA-03L-3W-UNV-40K8-XX-EHS

Generator)

Illuminance

Illuminance

Illuminance

Illuminance

Atlantic Lighting COM6-SYL20-40K-U / 6CMPR-10 (Connect to

EXN-D-EGLED-11L-T5N-UNV-DIM-40-80CRI-XX (Connected to

LSI Industries OPS-SA-03L-3W-UNV-40K8-XX-EHS (Connected to

Watts Watts

17.1 171

17.1

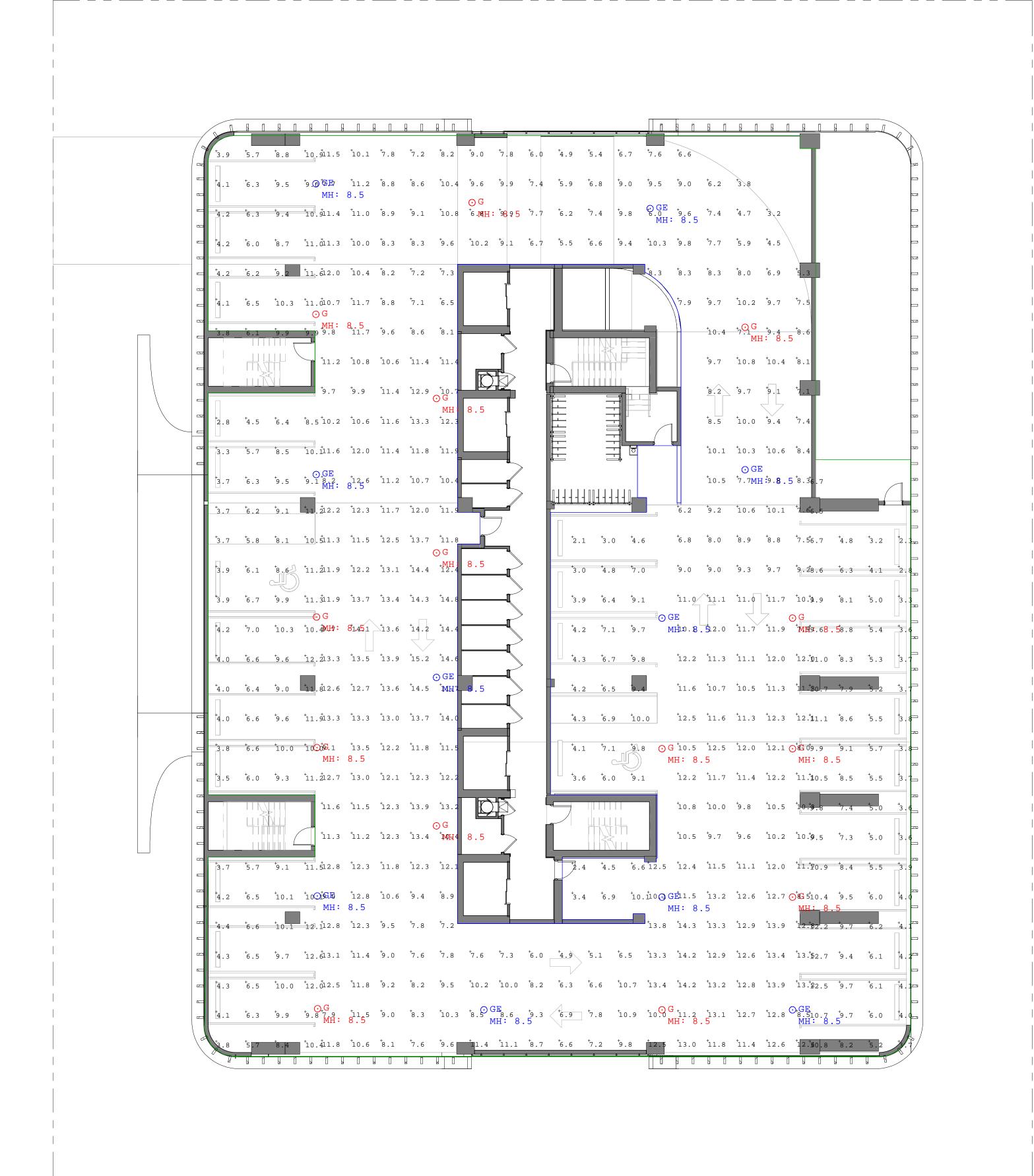
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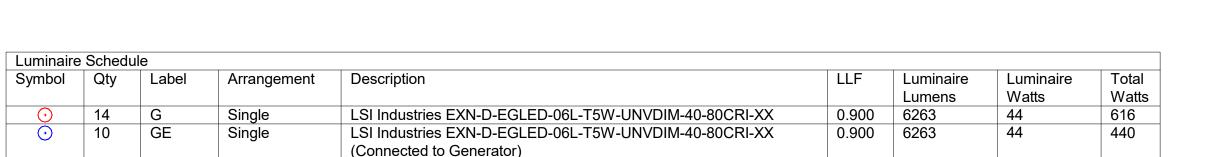
3.82

1.27

10.25

L.01 PHOTOMETRIC PLANS





Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Spaces_Floor	Illuminance	Fc	6.99	12.7	1.6	4.37	7.94
Ramp and Drive Lanes	Illuminance	Fc	10.34	15.2	3.2	3.23	4.75

NOTE: PROPOSED LIGHTING WILL BE DESIGNATED AND INSTALLED SO AS TO REFLECT THE LIGHT AWAY AND PREVENT ANY GLARE OR EXCESSIVE LIGHT ON ANY ADJACENT PROPERTY.

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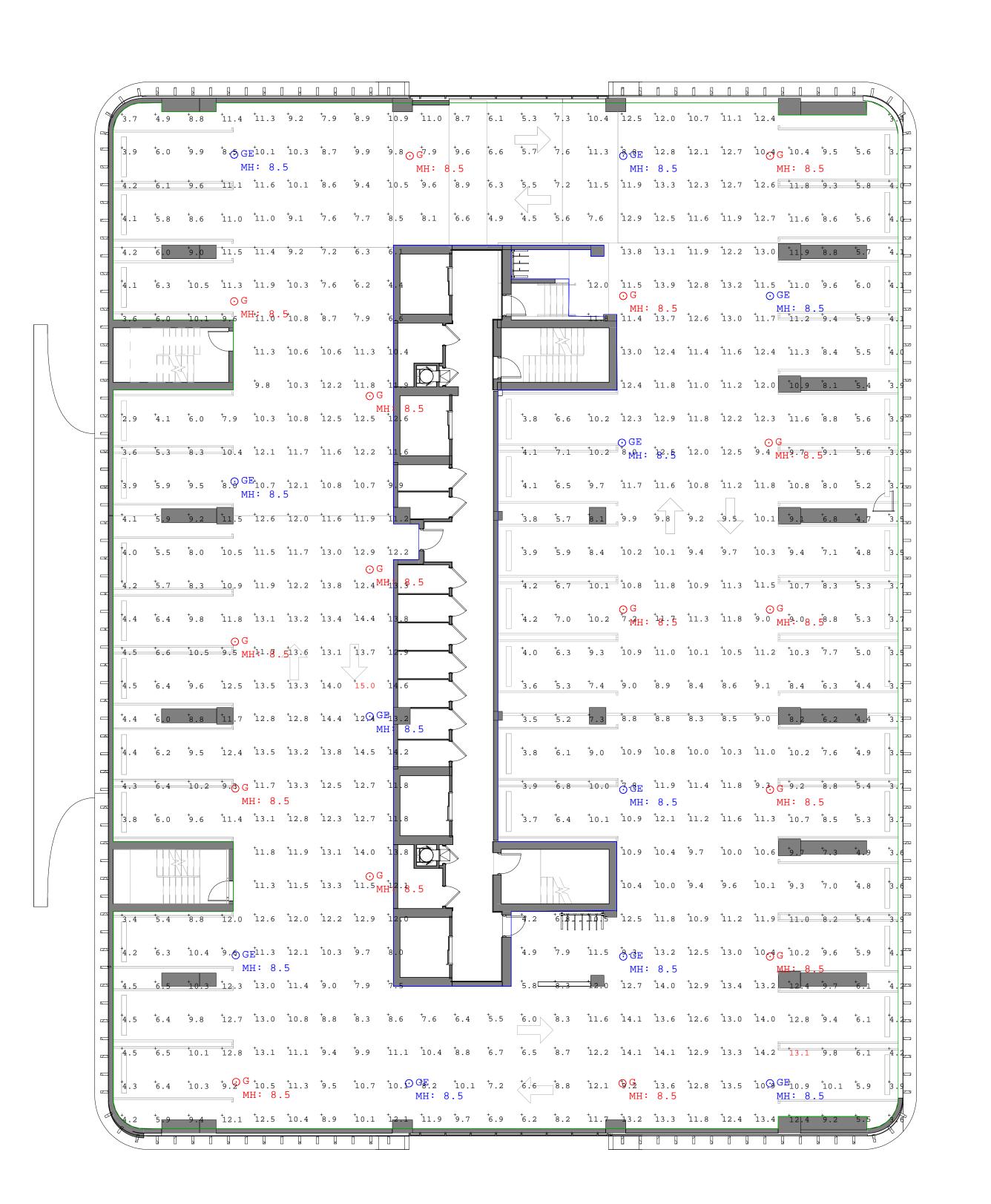
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L.02 PHOTOMETRIC PLANS





Luminaire	Schedu	ile						
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire	Luminaire	Total
						Lumens	Watts	Watts
<u> </u>	16	G	Single	LSI Industries EXN-D-EGLED-06L-T5W-UNVDIM-40-80CRI-XX	0.900	6263	44	704
<u> </u>	11	GE	Single	LSI Industries EXN-D-EGLED-06L-T5W-UNVDIM-40-80CRI-XX	0.900	6263	44	484
				(Connected to Generator)				

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Spaces_Floor	Illuminance	Fc	7.17	13.1	2.9	2.47	4.52
Ramp and Drive Lanes	Illuminance	Fc	10.85	15.0	4.2	2.58	3.57

NOTE: PROPOSED LIGHTING WILL BE DESIGNATED AND INSTALLED SO AS TO REFLECT THE LIGHT AWAY AND PREVENT ANY GLARE OR EXCESSIVE LIGHT ON ANY ADJACENT PROPERTY.

ARCHITECTS + PLANNER

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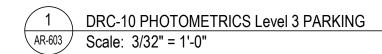
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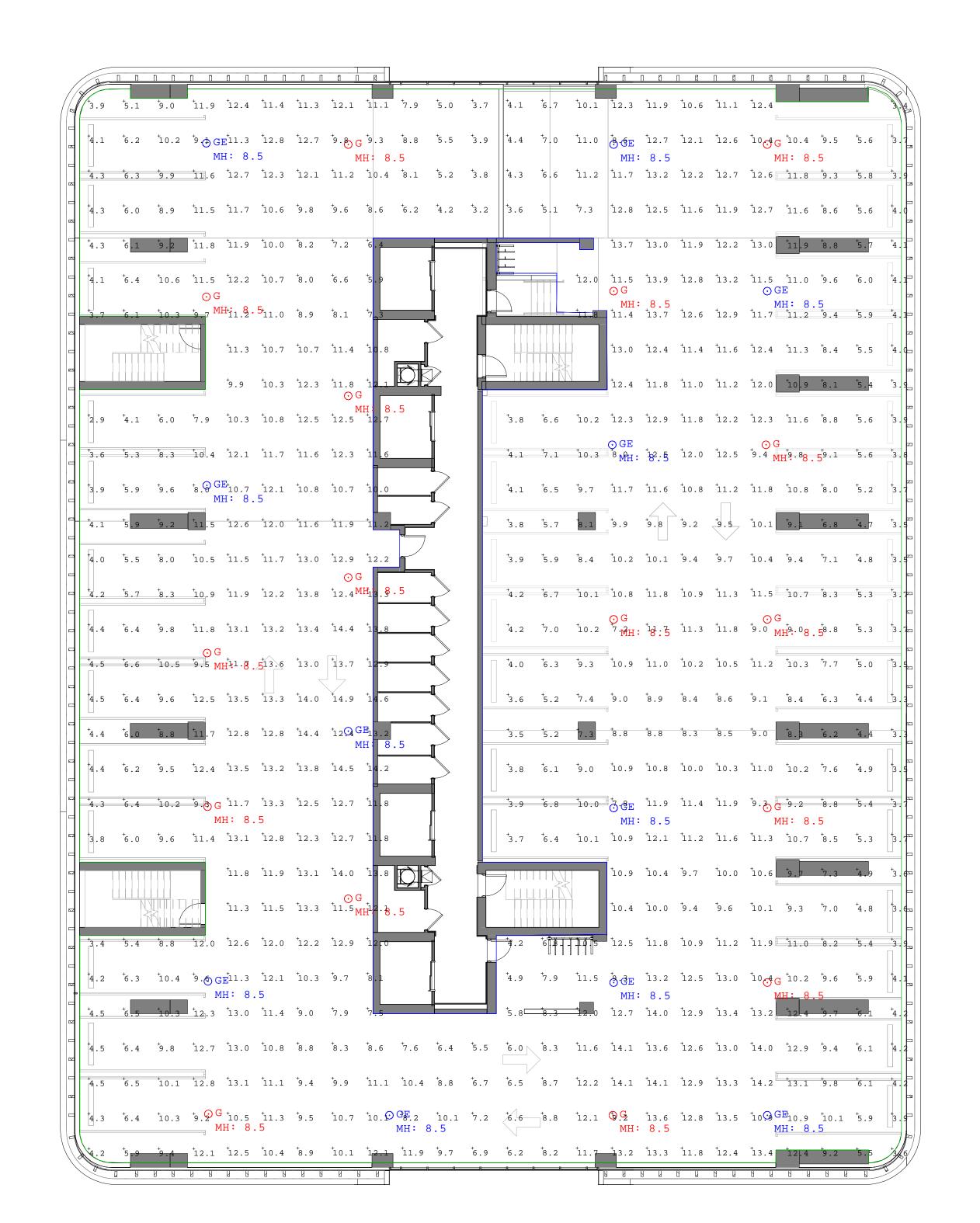
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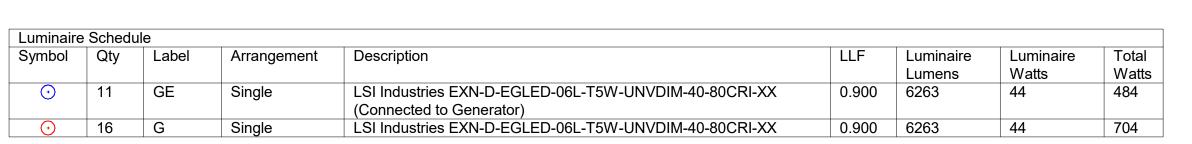
L.03 PHOTOMETRIC PLANS

AR-603









Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Spaces_Floor	Illuminance	Fc	7.20	13.1	2.9	2.48	4.52
Ramp and Drive Lanes	Illuminance	Fc	10.86	14.9	3.2	3.39	4.66

NOTE: PROPOSED LIGHTING WILL BE DESIGNATED AND INSTALLED SO AS TO REFLECT THE LIGHT AWAY AND PREVENT ANY GLARE OR EXCESSIVE LIGHT ON ANY ADJACENT PROPERTY.

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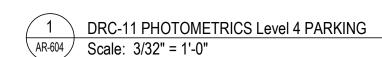
900 Intracoastal

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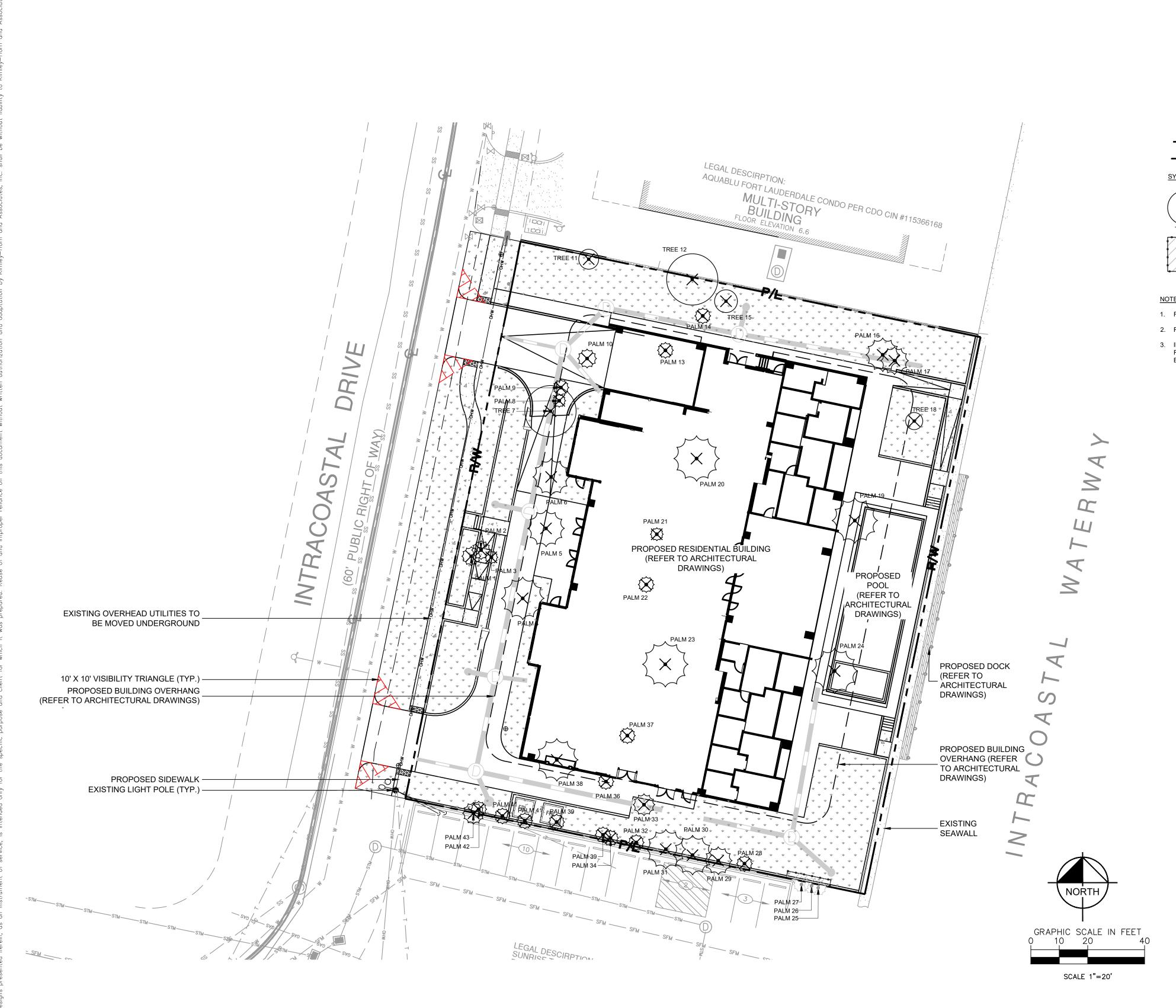
L.04 PHOTOMETRIC PLANS

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AR-604







TREE DISPOSITION GRAPHIC LEGEND

DESCRIPTION DESCRIPTION TREE TO BE REMOVED PALM TO BE REMOVED TREE PROTECTION FENCE EXISTING PALM NOT IN SCOPE TO REMAIN

- 1. REFER TO SHEET L-101 FOR TREE DISPOSITION AND MITIGATION LEGENDS.
- 2. REFER TO SHEET L-300 FOR LANDSCAPE PLAN AND PROPOSED MITIGATION.
- 3. INFORMATION UTILIZED IN PREPARATION OF THE TREE DISPOSITION PLAN AND LIST IS ASCERTAINED FROM AND RELIANT UPON SURVEY PREPARED BY DANIEL C. FORTIN JR. DATED 08/03/2023 AND ARBORIST REPORT PREPARED BY MARK C. WILLIAMS. DATED 06/12/2023.

PALM#

SITION DISPO

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#	BOTANICAL NAME	COMMON NAME	HEIGHT (ft)	WIDTH (ft)	DBH (in)	CLEAR TRUNK (ft)	HEALTH CONDITION	HEALTH CONDITION	SPECIES CLASSIFICATION A=100% B=80% C=60% D=40% E=20%	RELOCATION CANDIDATE (Y/N)	ARBORIST OBSERVATIONS	DISPOSITION	CALIPER TREE REPLACEMENT REQUIREMENT (IN)	PALM REPLACEMENT REQUIREMENT (EA)
1	Montgomery Palm	Veitchia arecina	44.3	7	8.5	34.9	Fair	0.54	0.40	N	Nutrient deficiency	REMOVE		1
2	Montgomery Palm	Veitchia arecina	40.1	7	10	33.1	Good	0.64	0.60	Υ		REMOVE		1
3	Solitaire Palm	Ptychosperma elegans	23.1	5	4.5	19.3	Fair	0.54	0.40	N	Nutrient deficiency	REMOVE		1
4	Everglades Palm	Acoelorrhaphe wrightii	20.1	15	16	17.1	Good	0.62	0.60	Y	Multiple trunks	REMOVE		1
5	Queen Palm	Syagrus romanzoffiana	34	13	10.5	22.1	Good	0.7	0.60	Y		REMOVE		1
6	Everglades Palm	Acoelorrhaphe wrightii	19.8	13	10	17.8	Good	0.62	0.60	Y	Multiple trunks	REMOVE		1
7	Pink Tabebuia	Tabebuia heterophylla	27.4	16	8.75		Fair	0.5	0.40	N	Poor structure, confined root space, heading cuts	REMOVE	2	
8	European Fan Palm	Acoelorrhaphe wrightii	9	5	5.5	7	Good	0.7	0.60	Υ		REMOVE		
9	Solitaire Palm	Ptychosperma elegans	26	6	4	20.2	Fair	0.54	0.40	N	Nutrient deficiency	REMOVE		1
10	Everglades Palm	Acoelorrhaphe wrightii	17	7	6	14	Fair	0.49	0.40	N	Multiple trunks, nutrient deficiencies	REMOVE		1
11	Pink Tabebuia	Tabebuia heterophylla	14	7	7		Fair	0.52	0.40	N	Poor structure, canopy crowding	REMOVE	1	
12	Pink Tabebuia	Tabebuia heterophylla	26.1	18	14.5		Fair	0.52	0.40	N	Poor structure, confined root and trunk space, canopy dieback, trunk wound	REMOVE	3	
13	Solitaire Palm	Ptychosperma elegans	22.5	6	3.75	18.5	Fair	0.52	0.40	N	Nutrient deficiency	REMOVE		1
14	Solitaire Palm	Ptychosperma elegans	31.3	6	5.5	26.6	Fair	0.52	0.40	N	Nutrient deficiency	REMOVE		1
15	Sapodilla	Manilkara zapota	18	8	3.5		Fair	0.53	0.40	N	Poor structure	REMOVE	1	
16	Areca Palm	Dypsis lutescens	18.4	12	15		Good	0.64	0.60	Y		REMOVE		1
17	Areca Palm	Dypsis lutescens	18.4	10	15		Good	0.64	0.60	Y		REMOVE		1
18	Gumbo Limbo	Bursera simaruba	10.2	6	11		Fair	0.55	0.40	N	Poor structure, heading cuts	REMOVE	2	
19	Queen Palm	Syagrus romanzoffiana	21.7	16	10	11.7	Good	0.7	0.60	Υ		REMOVE		1
20	Queen Palm	Syagrus romanzoffiana	22.7	16	12.25	12.7	Good	0.7	0.60	Y		REMOVE		1
21	Pygmy Date Palm	Phoenix roebelenii	8.6	5	5	6	Fair	0.52	0.40	N	Nutrient deficiency	REMOVE		1
22	Pygmy Date Palm	Phoenix roebelenii	15.3	6	5	11.4	Good	0.65	0.60	Y		REMOVE		1
23	Queen Palm	Syagrus romanzoffiana	32.3	16	11.25	21.1	Good	0.7	0.60	Y		REMOVE		1
24	Queen Palm	Syagrus romanzoffiana	31	16	10.25	21	Good	0.62	0.60	Υ	Trunk wound	REMOVE		1
25	Solitaire Palm	Ptychosperma elegans	24.8	6	4	21.8	Good	0.65	0.60	N	Insufficient root ball for relocation	REMOVE	7 = 7	1
26	Solitaire Palm	Ptychosperma elegans	24.8	6	4	21.8	Good	0.65	0.60	N	Insufficient root ball for relocation	REMAIN (N.I.S)		
27	Solitaire Palm	Ptychosperma elegans	24.8	6	4	21.8	Good	0.65	0.60	N	Insufficient root ball for relocation	REMAIN (N.I.S)		
28	Areca Palm	Dypsis lutescens	14	10	15	11	Good	0.62	0.60	N	Insufficient root ball for relocation	REMAIN (N.I.S)		
29	Areca Palm	Dypsis lutescens	16	10	15	13	Good	0.62	0.60	N	Insufficient root ball for relocation	REMOVE		1
30	Queen Palm	Syagrus romanzoffiana	22.3	14	7.5	14.8	Fair	0.58	0.40	N	Curved trunk	REMOVE		1
31	Queen Palm	Syagrus romanzoffiana	25.7	14	8.5	21.1	Fair	0.55	0.40	N	Nutrient deficiency	REMOVE	J. T.	1
32	Solitaire Palm	Ptychosperma elegans	24	6	4	21	Fair	0.54	0.40	N	Canopy crowding	REMOVE		1
33	Sabal Palm	Sabal palmetto	17	8	14	12	Good	0.7	0.60	Υ		REMOVE		1
34	Solitaire Palm	Ptychosperma elegans	26	6	4	22	Fair	0.54	0.40	N	Canopy crowding	REMOVE		1
35	Live Oak	Quercus virginiana	32.2	36	16.25		Fair	0.59	0.40	н	Poor structure, confined root space, heading cuts, insufficientroot ball for relocation	REMOVE	4	
36	Solitaire Palm	Ptychosperma elegans	20	6	3.5	17	Fair	0.54	0.40	N	Canopy crowding	REMOVE		1
37	Solitaire Palm	Ptychosperma elegans	17	6	4	14	Fair	0.47	0.40	N	Canopy crowding	REMOVE		1
38	Everglades Palm	Acoelorrhaphe wrightii	19	15	12	16	Fair	0.52	0.40	N	Nutrient deficiency	REMOVE		1
39	Solitaire Palm	Ptychosperma elegans	23	6	4	20	Fair	0.54	0.40	N	Canopy crowding	REMOVE		1
40	Solitaire Palm	Ptychosperma elegans	23	6	4	20	Fair	0.54	0.40	N	Canopy crowding	REMOVE		1
41	Christmas Palm	Adonidia merrillii	22	6	5	19	Good	0.65	0.60	Υ		REMOVE		1
42	Solitaire Palm	Ptychosperma elegans	24.7	6	5		Fair	0.53	0.40	N	Nutrient deficiency	REMOVE		1
43	Sabal Palm	Sabal palmetto	17.6	8	17	13.8	Good	0.7	0.60	Y	The state of the s	REMOVE		4

MITIGATION SUMMARY	
TOTAL DBH REMOVED (in):	358
TOTAL CALIPER REPLACEMENT REQUIRED:	13
TREES:	
Opt. 1 - Shade species with a min. cal. of 3", 22	25 Sq ft, with 15' being the smallest dimension
TOTAL TREES REQUIRED:	5
Opt. 2 - Shade species with a min. cal. of 2", 90	Sq ft, with 8' being the smallest dimension
TOTAL TREES REQUIRED:	7
TOTAL SPECIMEN TREES REMOVED:	0
PALMS:	
1 palm removed = 1 palm or 1 tree required	
TOTAL PALMS REMOVED:	33
TOTAL PALMS/TREES REQUIRED:	33

LANDSCAPE CODE REQUIREMENTS (PER FT LAUDERDA	TEL LAND DEVELOPMENT	CODE
ZONING DISTRICT: RMH-60		
GROSS LOT AREA: 0.758 acres 33,001 sq ft		
NET LOT AREA: 11,078 sq ft		
GROSS VUA AREA: 4002 sq ft	DEOUIDED	I DROWDED
OPEN SPACE	REQUIRED	PROVIDED
		1
REQUIRED LANDSCAPE AREA		DI INA I O 407.65
SEC.47-21,13.B.3	11 551 65	Planted Material: 8,407 SF
A minimum of 35% of the gross lot square footage shall be in landscaping, maintained	11,551 SF	Pervious Pavers: 4,261 SF
by an irrigation system. The minimum 20% VUA landscaping may be used toward fulfilling the gross 35% minimum.		Total: 12,668 SF
LAWN AREA	N1/A	N/A
NATIVE TURF GRASS	N/A	N/A
TREES PROJUDED SIZE TREES		
REQUIRED SITE TREES		
SEC.47-21.13.B.1.a	8	19
There shall be at least 1 tree for each 1,000 sq ft of <u>net lot area</u> or portion thereof.		
(7,536 net lot area / 1,000 sq ft = mimumum site 8 trees)		
REQUIRED NATIVE SITE TREES		
SEC.47-21.13.B.10		10
At least 40% of all required trees shall consist of native species.	3	19
(8 minimum required site trees x 40% = minimum 3 site trees that are native)		
REQUIRED SHADE SITE TREES		
SEC.47-21.13.B.1.a		
20% of the trees shall be shade trees.	2	3
(20% of 8 = minumum 2 shade trees)		
· · · · · · · · · · · · · · · · · · ·		
STREET TREES SEC 47 21 12 P 16	E shada twa as	E chada tua a c
<u>SEC.47-21.13.B.16</u> (177 linear ft / 40 sq ft)	5 shade trees	5 shade trees
STREET TREES THAT ARE TO BE SHADE TREES		
SEC.47-21.13.B.16	3 shade trees	5 shade trees
(Min. 50% or required street trees)		
SHRUBS		Τ
REQUIRED SITE SHRUBS		
SEC.47-21.13.B.15	133	211
(12 shrubs per 1,000 sq ft of <u>net lot area</u>)		
REQUIRED NATIVE SITE SHRUBS		
SEC.47-21.13.B.15	53	393
(40% of required site shrubs)		



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8201 PETERS ROAD, SUITE 2200, PLANTATION, FL 33324
PHONE: 954—535—5100 FAX: 954—739—2247
WWW.KIMLEY—HORN.COM REGISTRY No. 696

HA PROJECT MATTHEW VINCENT WISNIEWSI 043797012 REGISTERED LANDSCAPE ARCHITECT FL LICENSED PROFESSIONAL, STATE OF FLORIDA STATE OF STATE OF FLORIDA STATE OF STATE OF FLORIDA STA

TREE DISPOSITION LISTS

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TREE PROTECTION AND TREE TO REMAIN PRUNING SPECIFICATIONS

- A. Natural Resource Existing trees or palms.B. Critical Root Zone The minimum volume of roots necessary to have for tree health and stability.
- C. DBH Diameter Breast High Indicates the location on the trunk, approximately 4.5' above ground, to measure the diameter of a tree.
- D. Preserved Trees Trees that are to be saved/remain in place.
- E. Owner's Representative A representative, hired and paid for by the owner, that supervises
- the construction of the procedures shown on the tree disposition plans.

 F. Tree Protection Zone (TPZ) The area surrounding a tree defined by a specified distance, which excavation and other construction related activities should be avoided. The TPZ is variable depending on species,
- factors, age and health of the plant, soil conditions, and proposed construction.
- G. Contractor's Certified Arborist an independent ISA Certified Arborist, hired and paid for by the contractor, that supervises the construction of the procedures shown on the tree

PART 2 - EXECUTION

- A. If hazards are determined by qualified certified arborist in an individual tree then those hazards can be mitigated
 - according to the specifications given by the Qualified Certified Arborist. 1. The tree disposition list. This item is to be coordinated by the Qualified Certified Arborist
 - with the Owner's Representative.
 - 2. All pruning shall be done in accordance with ANSI A300 (Part 1) Pruning and best management practices. 3. The Contractor's Certified Arborist shall be present during all pruning operations.
- B. Root Pruning Refer to Arborist Report
 - 1. Trenching locations shall be approved in the field by the Owner's Representative and the Contractor's Certified Arborist.
 - 2. All roots shall be cut by hand. 3. The trench shall be backfilled minus debris and large rocks, as directed by the Contractor's Certified Arborist.
- 4. Phased root pruning timeframes vary by species. Contractor's certified arborist shall direct pruning schedule.

C. Tree Protector Barrier

2. Tree Protector Barrier shall be placed by the Contractor around each tree to remain as directed by the Contractor's Certified Arborist.

D. Tree Removals

- 1. Contractor shall remove and discard all trees shown as "Remove" on the Tree Disposition Plan and the Tree Disposition List.
- Tree stump shall be ground below grade. Care shall be taken to not damage the existing trees marked to remain and their critical root zones shall not be compacted by equipment.
- 2. If Tree Protector Barrier is damaged, repair shall be performed immediately.
- 3. Contractor shall remove and haul away from the job site all wood generated from tree removals, including stumps, the same day the removal happens.
- 4. Burn pits are not allowed.

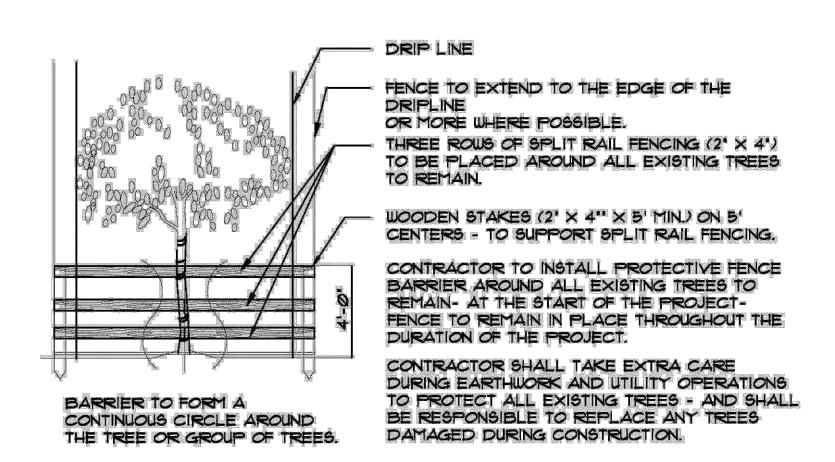
PART 3 - PENALTIES

- A. Repair of Damaged Trees To Remain
- 1. If any damage to trees to remain or other natural resources should occur by accident or negligence during the construction period, shall be immediately inspected by Qualified Certified Arborist who shall determine the prescription of care at the Contractor's expense.

PART 4 - TREE PROTECTION

- A. Contractor's Certified Arborist to determine the location of the Tree Protector Barrier around each tree to remain based on his/her analysis of each
- existing tree to remain that is adjacent to construction improvements such as utility installation, pavement addition and/or restoration, etc. Contractor shall maintain and repair the Tree Protector Barrier during site construction operations.
- C. Contractor's access to the fenced tree protection areas will be permitted only with approval of Owner's Representative and Contractor's Certified Arborist's written directive.
- D. There shall no be change in grade within the critical root zone as per ANSI Standards. E. Contractor shall clear by hand all vegetation to grade within the critical root zones of trees to remain.
- F. Contractor shall not install conduit, sprinklers, or any utility line in any critical root zone areas without the approval of the Contractor's Certified Arborist and Owner's Representative.

- A. Contractor shall irrigate trees as specified by Landscape Architect and Qualified Certified Arborist.
- B. On a monthly basis an irrigation audit shall be conducted by an irrigation specialist for review by Landscape Architect or Qualified Certified Arborist.



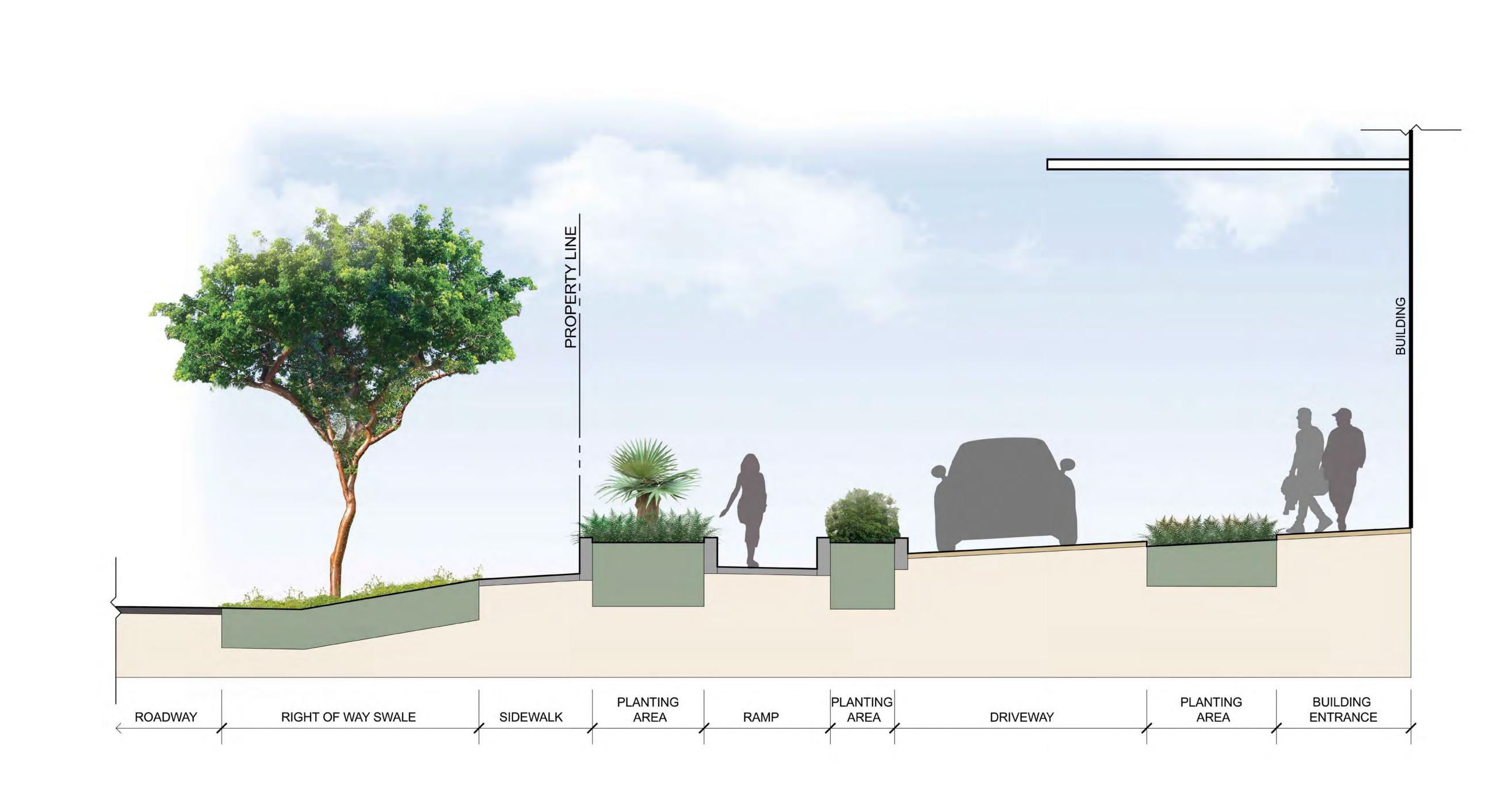


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LANDSCAPE CROSS SECTION

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SHEET NUMBER
L-210

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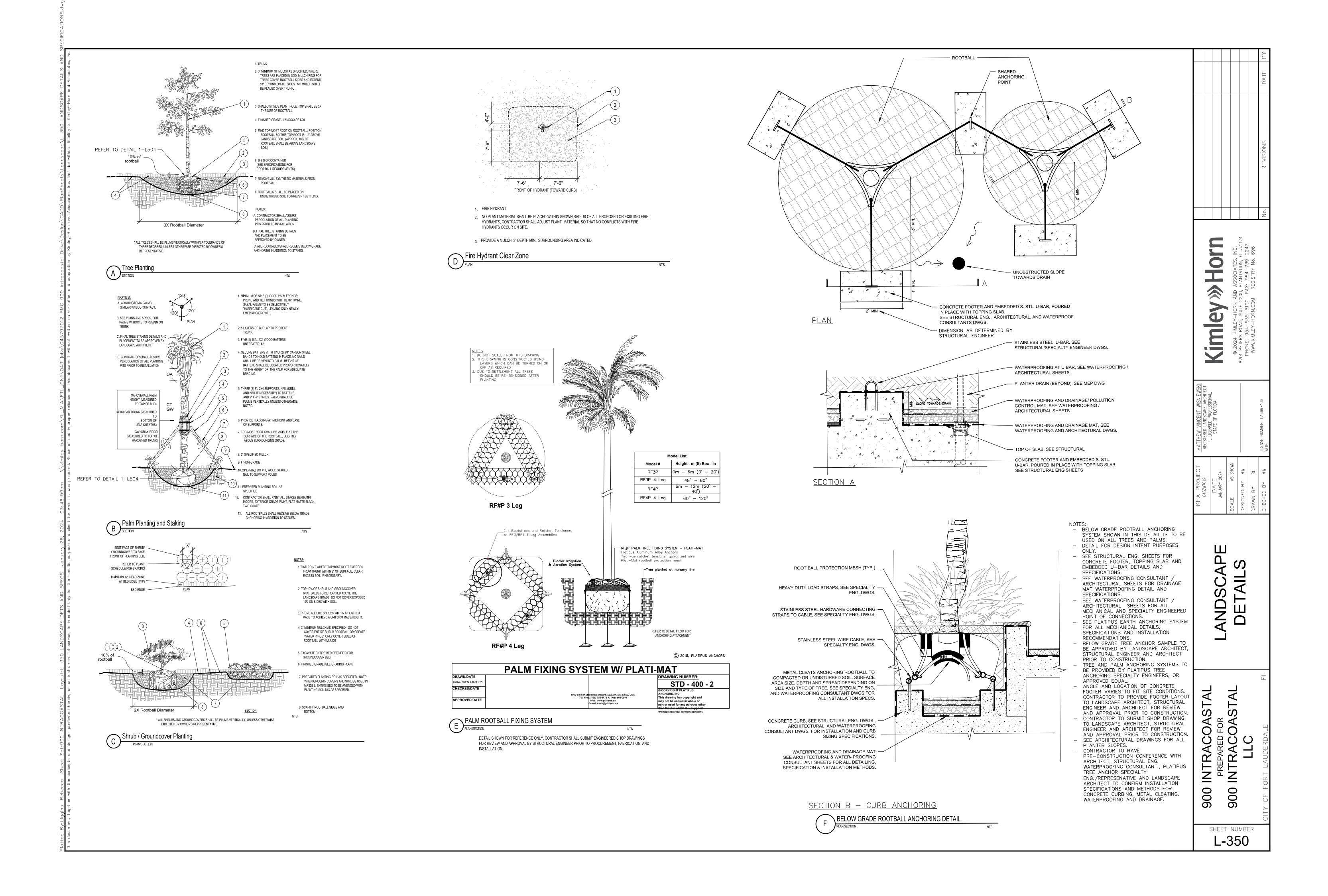
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GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

A SCOPE OF WORK

1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.

2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE HEAT WILL DAMAGE ANY PLANT. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/ OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

D. MATERIALS

D. WATERIAL

MATERIALS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL. UPON SUBMITTALS' APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL SUBMITTAL

TOPSOIL MIX AMENDMENT MIX/ PRODUCT DATA/ TEST RESULTS
PLANTS PHOTOGRAPHS OF ONE (1) OF EACH SPECIES (OR TAGGED IN NURSERY)
INDICATE SIZES (HEIGHT/WIDTH) AND QUALITY PER SPEC.

CLIENT-REQUESTED TAGGING MAY SUBSTITUTE PHOTOS.

FERTILIZER PRODUCT DATA INNOCULANT PRODUCT DATA HERBICIDE PRODUCT DATA

2. PLANT MATERIALS

A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE

B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

D. ANY PLANT DESIGNATED AS "SPECIMEN" SHALL BE FLORIDA FANCY GRADE.

E. SOIL MIXTURE

1. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF 70% COARSE SAND AND 20% FLORIDA PEAT, AS DESCRIBED BELOW, AND 10% PINE BARK.

2. SOIL MIXTURE FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, AND FRIABLE; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL HAVE A PH BETWEEN 5.5 AND 7.0 - SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL.

3. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, FDOT ORTONA MINED SAND. CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TEST FOR TOPSOIL AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY THE LANDSCAPE ARCHITECT.

4. CONTRACTOR SHALL SUBMIT SAMPLES OF SOIL MIXTURE FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.

FOR SOIL MIXTURE.

6. CONTRACTOR SHALL PROVIDE PENETROMETER ON-SITE AT ALL TIMES FOR COMPACTION INSPECTION AT THE DISCRETION OF THE

5. CONTRACTOR SHALL PROVIDE PH TEST RESULT FOR ALL MIX COMPONENTS. CONTRACTOR SHALL SUBMIT SIEVE TEST RESULTS

LANDSCAPE ARCHITECT.

7. PENETROMETER CRITERIA / SPECIFICATION SHALL RANGE FROM APPROX. 75 PSI TO LESS THAN 300 PSI OR AS DETERMINE BY

LANDSCAPE ARCHITECT.

8. SOIL SHALL BE SUPPLIED BY ATLAS PEAT & SOIL INC. 9621 STATE RD, BOYNTON BEACH, FLORIDA 33472. PHONE: 561-734-7300.

9. FINAL MIX SHALL BE TESTED TO HAVE A SATURATED WEIGHT OF NO MORE THAN 110 POUNDS PER CUBIC FOOT WHEN COMPACTED TO 85% STANDARDS PROCTOR.

10. CONTRACTOR SHALL PROVIDE STRUCTURAL SOIL PER THE WYNWOOD STREETSCAPE MASTER PLAN REQUIREMENTS FOR ALL STREET TREE PLANTINGS. STRUCTURAL SOIL SHALL BE PROVIDED BY ATLAS PEAT & SOIL INC. 9621 STATE ROAD, BOYNTON BEACH, FLORIDA 33472. CONTRACTOR SHALL SUBMIT SAMPLES OF SOIL MIXTURE FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.

F. WATER

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC.. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

*WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

G. FERTILIZER

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

*FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

H. MULCH

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A MINIMUM DEPTH OF 3 INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE). TYPE OF MATERIAL: "FLORIMULCH" OR SHREDDED, STERILE EUCALYPTUS MULCH

I. DIGGING AND HANDLING

1. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.

3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS, COMPLYING WITH <u>FLORIDA GRADES AND STANDARDS</u>
<u>FOR NURSERY PLANTS</u>, CURRENT EDITION. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING
TRANSPORTATION AND PRIOR TO PLANTING.

4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL.

5. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB- BASES.

J. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION, FLORIDA #1 OR BETTER.

2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

3. PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE.

4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL IS OBTAINED FROM THE OWNER OR OWNER'S REPRESENTATIVE.

K. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

L. NATIVE STOCK

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

M. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE

N. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED.

2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.

3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES.

O. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL NATIONAL ONE CALL - 811 - TO LOCATE UTILITIES.

3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND ADEQUATE PERCOLATION CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.

5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES, METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND

7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER PERCOLATION. IF POOR PERCOLATION EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.

8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E OF THESE SPECIFICATIONS.

10. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE
(1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL
BE BACKFILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).

11. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.

12. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, BASKETS, ETC..., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

13. PRUNING: TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY LICENSED ARBORIST, IN ACCORDANCE WITH ANSI A-300.

14. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" TO ACHEIVE SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

15. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.

16. MULCHING: PROVIDE A THREE INCH (MINIMUM) LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT PLANTED UNDER THIS CONTRACT.

17. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

P. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE

2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.

3. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.

4. SODDING

A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.

B. THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED - REFER TO DETAILS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

5. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

6. LAWN MAINTENANCE:

A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY).

B. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

Q. CLEAN

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

R. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

S. MAINTENANCE (ALTERNATE BID ITEM)

CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST-PER-MONTH BASIS.

T. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

U. WARRANTY

 THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.

2. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.

3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

No. REVISIONS DATE

FIMEY-HORN AND ASSOCIATES, INC.
PETERS ROAD, SUITE 2200, PLANTATION, FL 33324
HONE: 954-535-5100 FAX: 954-739-2247
WWW.KIMLEY-HORN.COM REGISTRY NO. 696

7012
REGISTERED LANDSCAPE ARCHITECT
FL LICENSED PROFESSIONAL,
STATE OF FLORIDA
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RL
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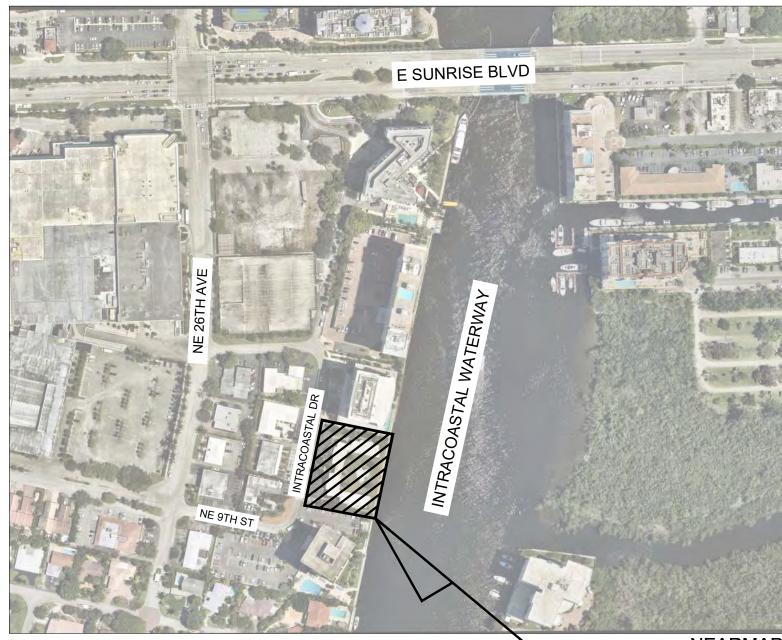
LANDSCAPE SPECIFICATIONS

900 INTRACOASTA PREPARED FOR 900 INTRACOASTA LLC

CIVIL ENGINEERING PLANS FOR 900 INTRACOASTAL

900 INTRACOASTAL DRIVE FORT LAUDERDALE, FLORIDA

SECTION 3, TOWNSHIP 50S, RANGE 42E





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LEGAL DESCRIPTION:

LOTS 8 AND 9, BLOCK 1, SUNRISE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 28 AT PAGE 42 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

Sheet List Table Sheet Number Sheet Title **COVER SHEET** C0.00 C0.01 GENERAL NOTES **EROSION CONTROL NOTES** C1.00 C1.01 **EROSION CONTROL PLAN** C1.02 **EROSION CONTROL DETAILS** C2.00 **DEMOLITION NOTES** C2.01 **DEMOLITION PLAN** GEOMETRY, SIGNAGE, AND STRIPING PLAN C3.01 GEOMETRY, SIGNAGE, AND STRIPING DETAILS C4.00 PAVING AND GRADING PLAN C4.01 PAVING AND GRADING BLOW UPS C4.02 PAVING AND GRADING BLOW UPS C4.03 PAVING AND GRADING DETAILS C4.04 PAVING AND GRADING DETAILS C4.05 DRAINAGE PLAN C4.06 DRAINAGE DETAILS C4.07 DRAINAGE DETAILS C4.08 DRAINAGE DETAILS C4.09 DRAINAGE DETAILS **CROSS SECTIONS** C4.10 C5.00 WATER AND SEWER PLAN C5.01 WATER AND SEWER NOTES C5.02 WATER AND SEWER DETAILS C5.03 WATER AND SEWER DETAILS C5.04 WATER AND SEWER DETAILS C5.05 WATER AND SEWER DETAILS C6.00 FIRE TRUCK CIRCULATION PLAN C6.01 TRASH TRUCK CIRCULATION PLAN C6.02 SU-30 CIRCULATION PLAN C6.03

PASSENGER CIRCULATION PLAN

PROJECT LOCATION **BROWARD COUNTY** PROJECT TEAM

ARCHITEC FSMY ARCHITECTS + PLANNERS 888 SOUTH ANDREWS AVE. SUITE 300 FORT LAUDERDALE, FL 33316 PHONE: (954) 764-6575

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ELECTRIC PROVIDER FLORIDA POWER & LIGHT NW 44TH ST FORT LAUDERDALE, FL 33323 PHONE: (786) 863-5967

CONTACT: DANIEL TORRES

PLANS ARE IN NAVD 1988 DATUM CONVERSION EQUATION IS BELOW: (NAVD 1988) + 1.58' = (NGVD 1929)

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.



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OAST FOR ASTAL PREPARED FINTRACOAS 900 900

SHEET NUMBER C0.00

GENERAL CONSTRUCTION NOTES

- 1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE CITY OF FORT LAUDERDALE, FLORIDA PUBLIC WORKS MANUAL, AND SPECIFICATIONS, THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION), THE FLORIDA BUILDING CODE, AND ALL OTHER LOCAL, COUNTY, STATE, AND FEDERAL STANDARDS GOVERNING THE PROPOSED WORK AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
- 3. THE INFORMATION PROVIDED IN THESE PLANS IS TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT ANY INVESTIGATION THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE ACTUAL CONDITION THAT WILL BE ENCOUNTERED, AND UPON WHICH THEIR BIDS WILL BE BASED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE BOTH THE SURFACE AND SUBSURFACE CONDITIONS AND BASE HIS PRICING ACCORDINGLY. GEOTECHNICAL AND ENVIRONMENTAL REPORTS ARE AVAILABLE FOR REVIEW.
- 4. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL B DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. AN APPROXIMATE LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
- 6. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER, AND THE ENGINEER OF RECORD.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED
- 8. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED
- 9. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- 10. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTORS RESPONSIBILITY.
- 12. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE OWNER, ENGINEER OF RECORD AND APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
- 13. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE MAINTENANCE OF TRAFFIC FOR THE ADJACENT PROPERTY
- 14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL AFFECTED AND ADJACENT PROPERTY OWNERS PRIOR TO BEGINNING
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PROPOSED IMPROVEMENTS. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- 16. PRIOR TO GRAND OPENING THE CONTRACTOR SHALL: SWEEP THE ENTIRE SITE
- ELIMINATE ALL DEBRIS IN THE LANDSCAPING AREAS
- PRESSURE CLEAN THE SITE ASPHALT PRESSURE CLEAN THE CURBS, SIDEWALKS, AND CONCRETE PAD AT THE DRIVE THRU

- 1. ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). HORIZONTAL COORDINATES ARE RELATIVE TO THE FLORIDA STATE COORDINATES SYSTEM, EAST ZONE, NORTH AMERICAN DATUM 1983(90) (NAD83).
- 2. ALL EXISTING CONTROL POINTS AND/OR REFERENCE MARKERS SHALL BE RAISED TO FINAL GRADE. THESE POINTS AND REFERENCE MARKERS SHALL BE LOCATED AND NOTED ON THE AS-BUILTS.
- 3. THE LOCATION OF EXISTING RIGHT-OF-WAY LINES, CENTERLINES, ROADWAY PAVEMENT, UTILITIES, TREES, AND OTHER PHYSICAL ABOVE-GROUND FEATURES SHOWN ON THE PLANS WERE TAKEN FROM THE SPECIFIC PURPOSE SURVEYS PREPARED BY:

FORTIN, LEAVY, SKILES, INC. CONSULTING ENGINEERS, SURVEYORS & MAPPERS 180 NE 168TH STREET NORTH MIAMI BEACH, FL 33162 PHONE: (305) 653-4493 CONTACT: DANIEL C. FORTIN, PSM

- 4. ALL STATIONS AND OFFSETS ARE REFERENCED TO BASELINE OF SURVEY/CONSTRUCTION BASELINE.
- 5. EXISTING SECTION CORNERS AND 1/4 SECTION CORNERS, AND OTHER LAND MARKERS OR MONUMENTS LOCATED WITHIN PROPOSED CONSTRUCTION ARE TO BE REFERENCED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND REPLACED IF DISTURBED BY THE CONTRACTOR AT DIRECTION OF A REGISTERED LAND SURVEYOR LICENSED IN THE STATE OF FLORIDA.
- 6. ANY NAVD-1988 MONUMENT WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF IN DANGER OF DAMAGE, NOTIFY:

GEODETIC INFORMATION CENTER ATTN: MARK MAINTENANCE SECTION N/CG-162 6001 EXECUTIVE BLVD ROCKVILLE, MARYLAND 20852 PHONE: 301-443-8319

PAVING GRADING AND DRAINAGE NOTES

- 1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
- 2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
- 3. TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- 4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- 5. ALL EARTHEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
- 6. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- 7. BASED ON THE CITY, COUNTY, AND FDOT REQUIREMENTS IN THE LOCATIONS WHERE NEW ASPHALT PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM OF 1.5" OR 2" DEEP (AS SPECIFIED BY THE GOVERNING REGULATORY AGENCY) FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT, UNLESS OTHERWISE INDICATED.
- 8. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE ENGINEER PRIOR TO ANY EXCAVATION.
- 9. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.

- 10. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FDOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- 11. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE EARTHEN AREAS SHALL THEN BE SODDED OR SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
- 12. ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL) :1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION
- 14. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTER 17-302, FLORIDA ADMINISTRATIVE CODE.
- 15. SOD, WHERE CALLED FOR, MUST BE INSTALLED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
- 16. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.
- 17. THE CONTRACTOR SHALL ENSURE THAT PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- 18. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- 1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
- 2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 981 OF THE STANDARD
- 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- 4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS
- 5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- 6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS AT NO ADDITIONAL COST TO THE OWNER WHEN THE DESIGN CAPACITY HAS BEEN NOTICEABLY REDUCED IN THE OPINION OF THE OWNER OR THE AHJ.
- 7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS

MAINTENANCE OF TRAFFIC

- 1. TRAFFIC CONTROLS SHALL BE IN ACCORDANCE WITH THE PROJECT PLANS, THE 2023 EDITION OF THE FDOT DESIGN STANDARDS (600 SERIES), AND THE 2009 EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS A MINIMUM
- 2. IF ANY DROP-OFF CONDITION CAN NOT BE CREATED AND RESTORED WITHIN THE SAME WORK PERIOD, THE CONTRACTOR SHALL USE BARRIERS PER INDEX 600 OF THE FDOT DESIGN STANDARDS.
- 3. THE CONTRACTOR SHALL HAVE A TRAFFIC CONTROL OFFICER ON SITE DURING WORK ACTIVITIES.
- 4. THE CONTRACTOR SHALL NOTIFY ALL LOCAL POLICE DEPARTMENTS, FIRE DEPARTMENTS, AND EMS 48 HOURS IN ADVANCE OF ANTICIPATED DISRUPTION TO THE NORMAL FLOW OF TRAFFIC. INCLUDING DETOURS.
- 5. THE CONTRACTOR SHALL NOTIFY THE CITY OF FORT LAUDERDALE AND THE BROWARD COUNTY SCHOOL DISTRICT TWO WEEKS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- 6. THE CONTRACTOR SHALL MAINTAIN PEDESTRIAN FACILITIES PER STANDARD INDEX 660 DURING ALL CONSTRUCTION ACTIVITIES.

TYPICAL ENGINEER OBSERVATIONS

CONTRACTOR SHALL NOTIFY ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES:

- PRE—CONSTRUCTION MEETING
- SUBGRADE PREPARATION BASE INSTALLATION
- CONCRETE INSTALLATION
- UNDERGROUND PIPING AND UTILITIES INSTALLATION
- INSTALLATION OF STRUCTURES, DDCV, HYDRANTS, METERS, ETC. SIDEWALK INSTALLATION
- CONNECTIONS TO WATER AND SEWER MAINS
- TESTS OF UTILITIES - ANY OTHER INSPECTION FOR WHICH A PERMITTING AGENCY REQUIRES THE
- ENGINEER TO BE PRESENT

3RD PARTY TEST REPORTS REQUIRED

TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO:

 DENSITY TEST REPORTS - ANY OTHER TESTING REQUIRED BY JURISDICTIONAL AGENCIES

RECORD DRAWINGS

- 1. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.
- 2. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH AS-BUILT GRADES AND LOCATIONS OF FINISHED PAVEMENT, SIDEWALKS, CURBS, AND ALL PHYSICAL IMPROVEMENTS. SUCH GRADES SHALL BE OBTAINED BY A LICENSED SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF FLORIDA, AND SHALL DOCUMENT THE INTENT OF THE PROPOSED GRADES SHOWN ON THE PLANS. THIS SHALL BE DONE AT NO COST TO THE OWNER.

PROJECT CLOSE OUT

- 1. CLEANING UP
- A. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEANUP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEPT CLEAN.
- B. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS/HER WORK, EQUIPMENT AND/OR EMPLOYEES TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS.

- C. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZED EARTH, CURBS, DRIVEWAYS, SIDEWALKS, FENCES, MAILBOXES, SIGNS AND ANY OTHER IMPROVEMENTS REMOVED DURING CONSTRUCTION WITH THE SAME TYPE OF MATERIAL AND TO THE CONDITION WHICH EXISTED PRIOR TO THE BEGINNING OF OPERATIONS.
- D. WHERE MATERIAL OR DEBRIS HAVE WASHED OR FLOWED INTO, OR HAVE BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE, AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK. THESE AREAS SHALL BE KEPT IN A CLEAN AND NEAT CONDITION.
- E. ALL DISPOSAL OF EXCESS AND UNSUITABLE EXCAVATED MATERIAL, DEMOLITION, VEGETATION, RUBBISH AND DEBRIS SHALL BE MADE OUTSIDE THE LIMITS OF CONSTRUCTION AT A LEGAL DISPOSAL SITE PROVIDED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE, WITH THE PRIOR APPROVAL OF THE ENVIRONMENTAL ENGINEER. MATERIAL CLEARED FROM THE SITE SHALL NOT BE DEPOSITED ON ADJACENT AND/OR NEARBY PROPERTY.
- F. IMMEDIATELY PRIOR TO GRAND OPENING, CONTRACTOR IS TO SWEEP ENTIRE SITE, ELIMINATE ALL DEBRIS AND FUMIGATE THE LANDSCAPE AREAS AND PRESSURE CLEAN THE SITE ASPHALT, CURB, SIDEWALKS, AND CONCRETE PADS.
- 2. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- 3. CONTRACTOR TO REPLACE ALL FOUND PIPES WITH NAIL AND DISKS.
- 4. REFER TO BROWARD COUNTY AND THE CITY OF FORT LAUDERDALE STANDARDS FOR ADDITIONAL CLOSE-OUT REQUIREMENTS.

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PLANS ARE IN NAVD 1988 DATUM CONVERSION EQUATION IS BELOW: (NAVD 1988) + 1.58' = (NGVD 1929)

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

THIS PLAN HAS BEEN PREPARED TO ENSURE COMPLIANCE WITH APPROPRIATE CONDITIONS OF THE BROWARD COUNTY LAND DEVELOPMENT REGULATIONS, THE RULES OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP), CHAPTER 17-25, F.A.C., THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD), CHAPTER 40D-4, F.A.C. AND THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) DOCUMENT NO. EPA 832/R-92-005 (SEPTEMBER 1992). THE PLAN ADDRESSES THE FOLLOWING:

- 1. PREVENT LOSS OF SOIL DURING CONSTRUCTION BY STORMWATER RUNOFF AND/OR WIND EROSION, INCLUDING PROTECTING TOPSOIL BY STOCKPILING FOR REUSE.
- 2. SEDIMENTION PROTECTION OF STORM SEWER OR RECEIVING STREAM.
- PREVENT POLLUTING THE AIR WITH DUST AND PARTICULATE MATTER. THE VARIOUS TECHNIQUES OR ACTIONS IDENTIFIED UNDER EACH SECTION INDICATE THE APPROPRIATE SITUATION WHEN THE TECHNIQUES SHOULD BE EMPLOYED. ALSO IDENTIFIED IS A CROSS-REFERENCE TO A DIAGRAM OR FIGURE REPRESENTING THE TECHNIQUE. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED BMP(S). THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN ACCORDANCE WITH THE CURRENT FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. CONTRACTOR SHALL PREPARE REQUIRED NPDES DOCUMENTATION AND OBTAIN PERMIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE THE REQUIRED NPDES DOCUMENT AND OBTAIN THE NPDES PERMIT. ALL COST ASSOCIATED WITH SUCH WORK SHALL BE DEEMED INCIDENTAL TO THE PROJECT LUMP SUM

GENERAL EROSION CONTROL NOTES:

- 1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THESE EROSION CONTROL DRAWINGS, THE STANDARD DETAILS, THE NPDES PERMIT (TO BE OBTAINED BY CONTRACTOR) AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- 2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THIS DRAWING AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERIC PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- 3. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP) IN ALL CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- A. FUEL SPILLS AND LEAKS PREVENTION
- B. PREVENT/REDUCE VEHICLE AND EQUIPMENT WASHING AND STEAM CLEANING
- C. VEHICLE AND EQUIPMENT MAINTENANCE AND REPAIR
- D. PROPER OUTDOOR LOADING/UNLOADING OF MATERIALS
- E. PREVENT/REDUCE OUTDOOR STORAGE OF RAW MATERIALS, PRODUCTS, AND BY-PRODUCTS
- F. SOLID WASTE MANAGEMENT
- G. HAZARDOUS WASTE MANAGEMENT
- H. CONCRETE WASTE MANAGEMENT
- I. SANDBLASTING WASTE MANAGEMENT
- J. STRUCTURE CONSTRUCTION AND PAINTING
- K. SPILL PREVENTION AND CONTROL
- L. CONTAMINATED SOIL MANAGEMENT
- M. SANITARY/SEPTIC WASTE MANAGEMENT
- N. SOIL EROSION CONTROL
- O. STORM WATER TURBIDITY MANAGEMENT

ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.

- 4. BEST MANAGEMENT PRACTICES (BMPS) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE. AS APPLICABLE, CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- 5. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. CONTRACTOR MUST MAINTAIN ALL PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS ON SITE AT ALL TIMES.
- 6. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- CONTRACTOR SHALL BEGIN CLEARING AND GRUBBING THOSE PORTIONS OF THE SITE NECESSARY TO IMPLEMENT PERIMETER CONTROL MEASURES. CLEARING AND GRUBBING FOR THE REMAINING PORTIONS OF THE PROPOSED SITE SHALL COMMENCE ONCE PERIMETER
 CONTROLS ARE IN PLACE. PERIMETER CONTROLS SHALL BE ACTIVELY MAINTAINED UNTIL SAID AREAS HAVE BEEN STABILIZED AND SHALL BE REMOVED ONCE FINAL STABILIZATION IS COMPLETE
- 8. GENERAL EROSION CONTROL BMPS SHALL BE EMPLOYED TO MINIMIZE SOIL EROSION AND POTENTIAL LAKE SLOPE CAVE-INS. WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE AND PLAN SPECIFIC, THEY SHOULD BE EMPLOYED AS SOON AS POSSIBLE DURING
- 9. ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- 10. SURFACE WATER QUALITY SHALL BE MAINTAINED BY EMPLOYING THE FOLLOWING BMP'S IN THE CONSTRUCTION PLANNING AND CONSTRUCTION OF ALL IMPROVEMENTS.

STORM WATER EROSION CONTROL PRACTICES:

- 1. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT FROM DETENTION PONDS AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- 2. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION
- 3. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (COMPOST SOCK DEVICES, ETC.) TO PREVENT EROSION.
- 4. WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES.
- 5. EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY. WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:
- 6. IN GENERAL, EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.
- 7. STORMWATER INLETS SHALL BE PROTECTED DURING CONSTRUCTION. PROTECTION MEASURES SHALL BE EMPLOYED AS SOON AS PRACTICAL DURING THE VARIOUS STAGES OF INLET CONSTRUCTION. SILT BARRIERS SHALL REMAIN IN PLACE UNTIL SODDING AROUND INLETS IS
- 8. WHEN NEEDED A TEMPORARY SEDIMENT TRAP SHOULD BE CONSTRUCTED TO DETAIN SEDIMENT-LADEN RUNOFF FROM DISTURBED AREAS.
- 9. SILT BARRIERS, ANY SILT WHICH ACCUMULATES BEHIND THE BARRIERS, AND ANY FILL USED TO ANCHOR THE BARRIERS SHALL BE REMOVED PROMPTLY AFTER THE END OF THE MAINTENANCE PERIOD SPECIFIED FOR THE BARRIERS.
- 10. SLOPES OF BANKS OF RETENTION/DETENTION PONDS SHALL BE CONSTRUCTED NOT STEEPER THAN 3H:1V FROM TOP OF BANK TO TWO FEET BELOW NORMAL WATER LEVÉL, AS APPLICABLE.
- 11. SOD SHALL BE PLACED FOR A 2-FOOT WIDE STRIP ADJOINING ALL CURBING AND AROUND ALL INLETS. SOD SHALL BE PLACED BEFORE SILT BARRIERS ARE REMOVED.
- 12. WHERE REQUIRED TO PREVENT EROSION FROM SHEET FLOW ACROSS BARE GROUND FROM ENTERING A LAKE OR SWALE, A TEMPORARY SEDIMENT SUMP SHALL BE CONSTRUCTED.
- 13. FILTER FABRIC SHOULD BE USED FOR STORM DRAIN INLET PROTECTION BEFORE FINAL STABILIZATION.

WIND EROSION CONTROL PRACTICES:

- 1. WIND EROSION SHALL BE CONTROLLED BY EMPLOYING THE FOLLOWING METHODS AS NECESSARY AND APPROPRIATE:
- A. BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IT MAY BE NECESSARY TO LIMIT CONSTRUCTION VEHICLE SPEED IF BARE EARTH HAS NOT BEEN EFFECTIVELY

WIND EROSION CONTROL PRACTICES (continued):

- WATERED. IN NO CASE SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.
- B. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED (SEE PERMANENT STABILIZATION PRACTICES FOR DETAILS). THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN. CLEARED SITE DEVELOPMENT AREAS NOT CONTINUALLY SCHEDULED FOR CONSTRUCTION ACTIVITIES SHALL BE COVERED WITH HAY OR OVERSEEDED AND PERIODICALLY WATERED SUFFICIENTLY TO STABILIZE THE TEMPORARY GROUNDCOVER (SEE TEMPORARY STABILIZATION PRACTICES
- C. AT ANY TIME BOTH DURING AND AFTER SITE CONSTRUCTION THAT WATERING AND/OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR TRANSPORT OF FUGITIVE DUST, OTHER METHODS AS ARE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS SHOULD INCLUDE ERECTION OF DUST CONTROL FENCES. A 6-FT GEOTEXTILE FILTER FABRIC SHOULD HANGING AGAINST THE EXISTING CHAIN LINK FENCE AND GATE.
- 2. ALL DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

STABILIZATION PRACTICES:

SHALL BE IN ACCORDANCE WITH DEP DOCUMENT NO. 62-621.300(4)(a)

STRUCTURAL PRACTICES:

SHALL BE IN ACCORDANCE WITH DEP DOCUMENT NO. 62-621.300(4)(a)

WASTE DISPOSAL

- 1. WASTE MATERIALS ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN A METAL DUMPSTER WITH A SECURE LID IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN THE DUMPSTER. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITIES TO HAVE THE DUMPSTER EMPTIED AT LEAST TWICE A WEEK AND THE WASTE TAKEN TO AN APPROPRIATE LANDFILL. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE. THE SUPERINTENDENT SHALL ORGANIZE TRAINING FOR THE EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH WASTE MATERIALS. THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR POSTING AND ENFORCING WASTE MATERIAL PROCEDURES.
- 2. HAZARDOUS WASTE HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS OR AS DIRECTED BY THE MANUFACTURER. THE SUPERINTENDENT SHALL ORGANIZE THE PROPER TRAINING FOR EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH HAZARDOUS WASTE MATERIALS. THESE PROCEDURES SHALL BE POSTED ON THE SITE. THE PERSON WHO MANAGES THE SITE SHALL BE RESPONSIBLE FOR ENFORCING THE PROCEDURES.
- 3. SANITARY WASTE SANITARY WASTE SHALL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITY FOR COLLECTION OF THE SANITARY WASTE AT LEAST THREE TIMES A WEEK TO PREVENT SPILLAGE ONTO THE SITE.
- 4. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

OFFSITE TRACKING:

- 1. STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO REDUCE SEDIMENT TRACKING OFFSITE. THE MAJOR ROAD CONNECTED TO THE PROJECT SHALL BE CLEANED ONCE A DAY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK RESULTING FROM CONSTRUCTION TRAFFIC. ALL TRUCKS HAULING MATERIALS OFFSITE SHALL BE COVERED WITH A TARPAULIN.
- 2. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATION PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE, AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES INCLUDING STORMWATER COLLECTION AND TREATMENT SYSTEMS. CONTRACTORS SHALL PROVIDE BROAD DIKES, HAY BALES OR SILT SCREENS AROUND, AND SEDIMENT SUMPS WITHIN, SUCH AREAS AS REQUIRED TO CONTAIN SPILLS OF OIL, GREASE OR LUBRICANTS. CONTRACTORS SHALL HAVE AVAILABLE, AND SHALL USE, ABSORBENT FILTER PADS TO CLEAN UP SPILLS AS SOON AS POSSIBLE AFTER OCCURRENCE.
- 3. ALL WASH WATER FROM CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC. SHALL BE DETAINED ON SITE AND SHALL BE PROPERLY TREATED OR DISPOSED
- 4. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- 5. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED

MAINTENANCE

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- . INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS 2. OF UNDERMINING, OR DETERIORATION.
- 3. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED,
- 4. THE COMPOST SOCK FILTRATION DEVICE SHALL BE INSPECTED PERIODICALLY FOR HEIGHT OF SEDIMENT AND CONDITION OF DEVICE. COMPOST SOCK SHALL BE REPAIRED TO ITS ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE COMPOST SOCK WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE COMPOST SOCK.
- 5. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- 6. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- 7. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. THE SEDIMENT BASINS/DITCHES SHALL BE CHECKED MONTHLY FOR DEPTH OF SEDIMENT. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 10% AND AFTER CONSTRUCTION IS COMPLETE.
- 8. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN SEVEN CALENDAR DAYS FOLLOWING THE INSPECTION.DIVERSION DIKES SHALL BE INSPECTED MONTHLY. ANY BREACHES SHALL BE PROMPTLY REPAIRED.
- 9. A MAINTENANCE REPORT SHALL BE COMPLETED DAILY AFTER EACH INSPECTION OF THE SEDIMENT AND EROSION CONTROL METHODS. THE REPORTS SHALL BE FILED IN AN ORGANIZED MANNER AND RETAINED ON-SITE DURING CONSTRUCTION. AFTER CONSTRUCTION IS COMPLETED, THE REPORTS SHALL BE SAVED FOR AT LEAST THREE YEARS. THE REPORTS SHALL BE AVAILABLE FOR ANY AGENCY THAT HAS JURISDICTION OVER EROSION CONTROL.
- 10. ALL REPAIRS MUST BE MADE WITHIN 24 HOURS OF REPORT.
- 11. THE SUPERINTENDENT SHALL ORGANIZE THE TRAINING FOR INSPECTION PROCEDURES AND PROPER EROSION CONTROL METHODS FOR EMPLOYEES THAT COMPLETE INSPECTIONS AND REPORTS.
- 12. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.

SPILL PREVENTION AND CONTROL

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF. GOOD HOUSEKEEPING

- A. SUPERINTENDENT SHALL INSPECT PROJECT AREA DAILY FOR PROPER STORAGE, USE, AND DISPOSAL OF CONSTRUCTION MATERIALS.
- B. STORE ONLY ENOUGH MATERIAL ON SITE FOR PROJECT COMPLETION.

C. ALL SUBSTANCES SHOULD BE USED BEFORE DISPOSAL OF CONTAINER.

- D. ALL CONSTRUCTION MATERIALS STORED SHALL BE ORGANIZED AND IN THE PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR PROTECTIVE COVER.
- E. PRODUCTS SHALL NOT BE MIXED UNLESS DIRECTED BY THE MANUFACTURER.

SPILL PREVENTION AND CONTROL (continued)

3. PRODUCT SPECIFIC PRACTICES

- F. ALL PRODUCTS SHALL BE USED AND DISPOSED OF ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- 2. HAZARDOUS PRODUCTS
- A. MATERIALS SHOULD BE KEPT IN ORIGINAL CONTAINER WITH LABELS UNLESS THE ORIGINAL CONTAINERS CANNOT BE RESEALED. IF ORIGINAL CONTAINERS CANNOT BE USED, LABELS AND PRODUCT INFORMATION SHALL BE SAVED.
- B. PROPER DISPOSAL PRACTICES SHALL ALWAYS BE FOLLOWED IN ACCORDANCE WITH MANUFACTURER AND LOCAL/STATE REGULATIONS.
- PETROLEUM PRODUCTS MUST BE STORED IN PROPER CONTAINERS AND CLEARLY LABELED. VEHICLES CONTAINING PETROLEUM PRODUCTS SHALL BE PERIODICALLY INSPECTED FOR LEAKS. PRECAUTIONS SHALL BE TAKEN TO AVOID LEAKAGE OF PETROLEUM PRODUCTS ON SITE.
- B. THE MINIMUM AMOUNT OF FERTILIZER SHALL BE USED AND MIXED INTO THE SOIL IN ORDER TO LIMIT EXPOSURE TO STORM WATER. FERTILIZERS SHALL BE STORED IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
- C. PAINT CONTAINERS SHALL BE SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT MUST BE DISPOSED OF IN AN APPROVED
- D. CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

SPILL CLEAN UP: IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED ABOVE, THE FOLLOWING PRACTICES SHALL BE

- FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
- 1. SPILL CLEANUP INFORMATION SHALL BE POSTED ON SITE TO INFORM EMPLOYEES ABOUT CLEANUP PROCEDURES AND RESOURCES. THE FOLLOWING CLEAN—UP EQUIPMENT MUST BE KEPT ON—SITE NEAR THE MATERIAL STORAGE AREA: GLOVES, MOPS, RAGS, BROOMS,
- DUST PANS. SAND. SAWDUST, LIQUID ABSORBER, GOGGLES, AND TRASH CONTAINERS. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ONSITE AND READILY AVAILABLE TO
- CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS. 4. ALL SPILLS SHALL BE CLEANED UP AS SOON AS POSSIBLE.
- WHEN CLEANING A SPILL, THE AREA SHOULD BE WELL VENTILATED AND THE EMPLOYEE SHALL WEAR PROPER PROTECTIVE COVERING TO PREVENT INJURY.
- 6. TOXIC SPILLS MUST BE REPORTED TO THE PROPER AUTHORITY REGARDLESS OF THE SIZE OF THE SPILL.
- AFTER A SPILL, THE PREVENTION PLAN SHALL BE REVIEWED AND CHANGED TO PREVENT FURTHER SIMILAR SPILLS FROM OCCURRING. THE CAUSE OF THE SPILL, MEASURES TO PREVENT IT, AND HOW TO CLEAN THE SPILL UP SHALL BE RECORDED.
- THE SUPERINTENDENT SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR AND IS RESPONSIBLE FOR THE DAY TO DAY SITE OPERATIONS. THE SUPERINTENDENT ALSO OVERSEES THE SPILL PREVENTION PLAN AND SHALL BE RESPONSIBLE FOR EDUCATING THE EMPLOYEES ABOUT SPILL PREVENTION AND CLEANUP PROCEDURES.

CITY OF FORT LAUDERDALE NOTES

- CONTRACTOR SHALL CLOSED-CIRCUIT TV (CCTV) THE CONDITION OF THE CITY'S STORM DRAIN SYSTEM BEFORE AND AFTER CONSTRUCTION, AND SHALL PROVIDE THE VIDEOTAPES TO THE CITY STORMWATER OPERATIONS GROUP PRIOR TO CONSTRUCTION & FINAL C.O. TO VERIFY THAT THE CITY'S STORMWATER SYSTEM HAS NOT BEEN NEGATIVELY AFFECTED BY THE CONSTRUCTION ACTIVITIES.
- 2. IF DEBRIS IS FOUND IN THE CITY'S STORMWATER SYSTEM PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL INFORM THE CITY'S STORMWATER OPERATIONS DEPARTMENT FOR PROPER REMOVAL.
- 3. IF DEBRIS IS FOUND IN THE CITY'S STORMWATER SYSTEMS AS A RESULT OF CONSTRUCTION ACTIVITIES, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VACUUM CLEAN THE CITY'S STORMWATER SYSTEM AND PROVIDE PROOF OF ITS FINAL CONDITION TO THE CITY'S STORMWATER OPERATIONS GROUP FOR APPROVAL PRIOR TO FINAL C.O.

CITY OF FORT LAUDERDALE POLLUTION PREVENTION NOTES:

POLLUTION PREVENTION NOTES (APPLICABLE TO MOST SITE DEVELOPMENTS)

- 1. CONTRACTOR SHALL ADHERE TO OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. THE CONTRACTOR SHALL INSTITUTE BEST MANAGEMENT PRACTICES (BMPS) TO ENSURE COMPLIANCE WITH THE NPDES PROGRAM AND TO MINIMIZE THE IMPACT TO PUBLIC STORMWATER FACILITIES. A NOTICE OF INTENT (NOI) SHALL BE FILED PRIOR TO START CONSTRUCTION ACTIVITIES.
- PRIOR TO DEMOLITION ACTIVITIES, CONTRACTOR SHALL INSTALL POLLUTION PREVENTION CONTROL DEVICES (I.E., SILT BARRIERS, SEDIMENT BASINS. TURBIDITY BARRIERS AROUND STORMWATER OUTFALLS ON THE WATERSIDE OF LAKES, PONDS, CANALS, OR WATERWAYS, SILT SCREENS, ETC. ACCORDING TO THE APPROVED SWPPP AND AS RECOMMENDED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) LATEST GUIDELINES AND PERMITTING REQUIREMENTS.
- PRIOR TO DEMOLITION ACTIVITIES. A SILT FENCE IN ACCORDANCE WITH THE APPROVED SWPPP DETAILS AND LATEST DEP STANDARDS SHALL BE ERECTED AROUND THE SITE PROPERTY LINES. ALL PUBLIC INLETS SURROUNDING THE SITE SHALL BE PROTECTED BY THE
- INSTALLATION OF FILTER FABRIC INTO THE FRAME AND GRATE OR OTHER APPROVED BMPS TO PROTECT AGAINST STORM RUNOFF. 4. POLLUTION CONTROL INSTALLATIONS, AS APPROVED AND SHOWN IN THE SWPPP, SHALL BE MAINTAINED THROUGHOUT DEMOLITION AND CONSTRUCTION PERIODS UNTIL THE PROJECT HAS BEEN COMPLETED AND APPROVED BY CITY ENGINEERING INSPECTOR OR PROJECT
- CONTRACTOR SHALL INSPECT THE POLLUTION CONTROL DEVICES DAILY FOR SIGNS OF MALFUNCTION, FAILURE, OR NEEDED REPAIRS, AND SHALL MAKE REMEDIAL ACTIONS IMMEDIATELY UPON DISCOVERY.
- EXISTING STORMWATER INLETS, CATCH BASINS, OR MANHOLES, ONSITE AND OFFSITE, SHALL BE PROTECTED FROM SEDIMENT STORM RUNOFF FROM THE PROPOSED DEMOLITIONS AND CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL IMMEDIATELY REMOVE ALL MUD, DIRT, OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING ROADS AND FACILITIES DUE TO DEMOLITION OR CONSTRUCTION ACTIVITIES FROM THE PROPOSED DEVELOPMENT.
- 8. IN ORDER TO MINIMIZE THE AMOUNT OF SEDIMENTS, MUD, AND DUST TRANSPORTED ONTO PUBLIC ROADWAYS BY THE CONSTRUCTION VEHICLES OR RUNOFF, THE CONTRACTOR SHALL INSTALL STABILIZED TEMPORARY CONSTRUCTION ENTRANCE(S) FROM THE CONSTRUCTION SITE AS RECOMMENDED BY FDEP. EACH TEMPORAL CONSTRUCTION ENTRANCE IS A STABILIZED 6 INCH THICK LAYER OF 2 TO 3 INCH COURSE AGGREGATE STONE, 12" MINIMUM WIDTH, AND LENGTH TO ACCOMMODATE A MINIMUM OF ONE TRUCKING VEHICLE.
- THE ENTRANCE SHALL BE MAINTAINED PERIODICALLY AS CONDITIONS DEMAND IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENTS ONTO PUBLIC RIGHTS-OF-WAY. SEDIMENT SHALL BE TRAPPED IN CLEANOUT AREAS AND PROPERLY HANDLED AS ONSITE DEBRIS PER APPLICABLE STATE REGULATIONS.

B. WHEN NECESSARY, VEHICLE WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.

- C. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO PUBLIC STORM DRAINS MUST BE REMOVED BY THE CONTRACTOR IMMEDIATELY.
- D. TRUCKS SHALL NOT CUT CORNERS WHERE THE CONSTRUCTION EXIT MEETS THE ROADWAYS.
- E. SWEEPING OF PUBLIC ROADWAYS SHALL BE DONE PERIODICALLY AS CONDITION DEMAND. 9. DUST GENERATED FROM CONSTRUCTION SHALL BE MINIMIZED BY DAILY WATERING OF THE SITE.
- 10. CONTRACTOR SHALL PROVIDE AN EROSION AND SEDIMENTATION CONTROL INSPECTOR TO INSPECT ALL POINTS OF DISCHARGE INTO NEARBY WATERBODIES TO RECORD THE CONDITION OF DISCHARGE POINTS, INTEGRITY OF SILT FENCE AND POLLUTION CONTROL DEVICES, DUST CONTROL MEASURES. VEHICULAR TRAFFIC AND CONSTRUCTION MATERIAL STORAGE AND DISPOSAL. WRITTEN RECORD OF ALL INSPECTIONS SHALL BE STORED BY THE CONTRACTOR DURING DEMOLITION AND CONSTRUCTION PERIODS AND SHALL BE SUBMITTED TO CITY INSPECTORS
- UPON REQUEST. THE INSPECTION REPORT SHALL INCLUDE AT A MINIMUM THE FOLLOWING INFORMATION: NAME OF INSPECTOR AND HIS/HER QUALIFICATIONS IN EROSION AND SEDIMENTATION CONTROL
- DATE OF THE INSPECTION RAINFALL RATE
- OBSERVATIONS ABOUT THE SWPP ACTIONS TAKEN BY CONTRACTOR FOR ALL INCIDENTS OF NONCOMPLIANCE WITH PERMIT(S)
- CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE SWPP AND PERMIT(S) 11. IF DEWATERING ACTIVITIES ARE ANTICIPATED, A NOTARIZED CITY DEWATERING AFFIDAVIT SHALL BE FILED AT CITY'S BUILDING DEPARTMENT WHEN SUBMITTING A DEMOLITION OR FOUNDATION PERMIT ALONG WITH ANY APPLICABLE DEWATERING PERMIT FROM REGULATORY AGENCIES SUCH AS THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR BROWARD COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION.

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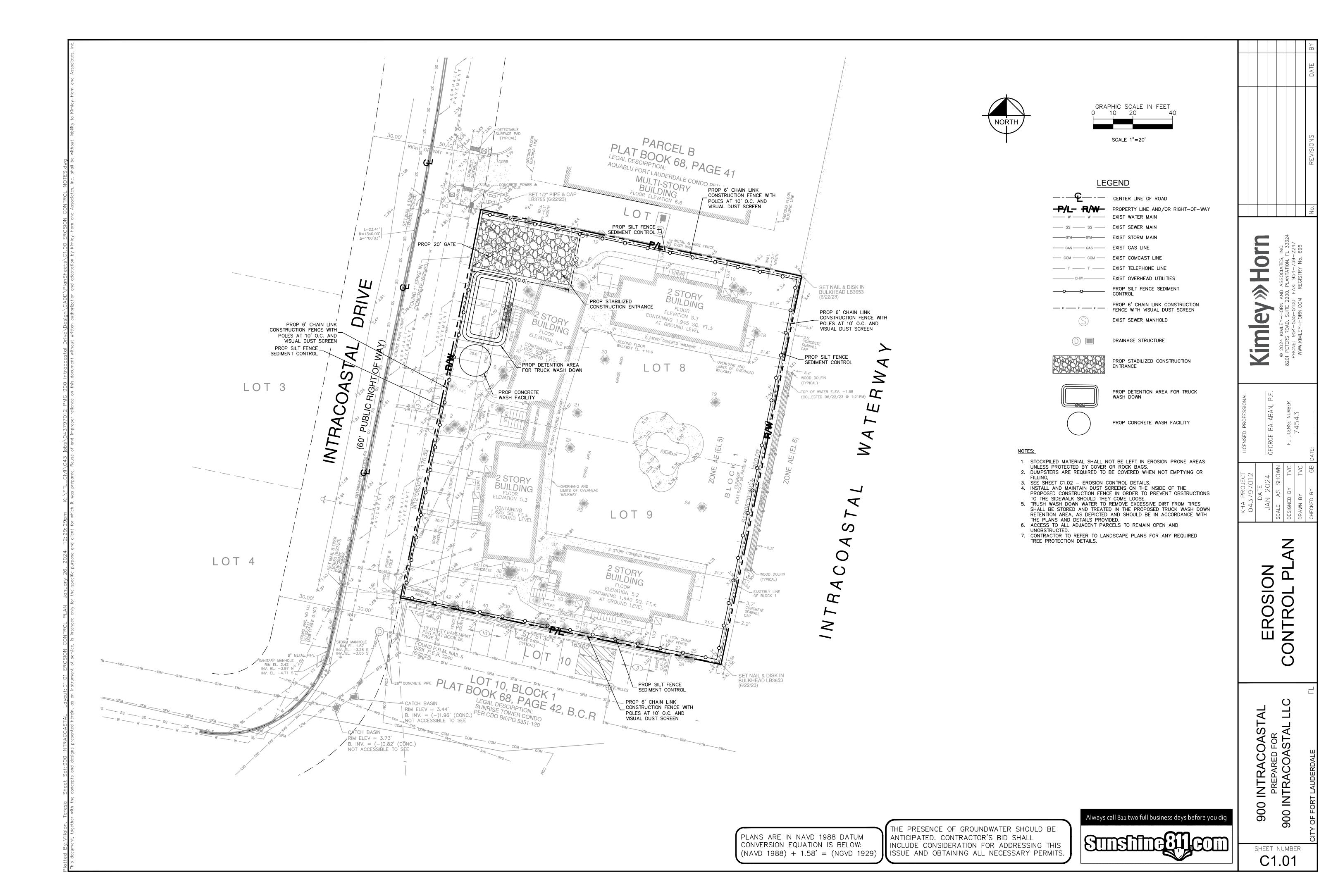
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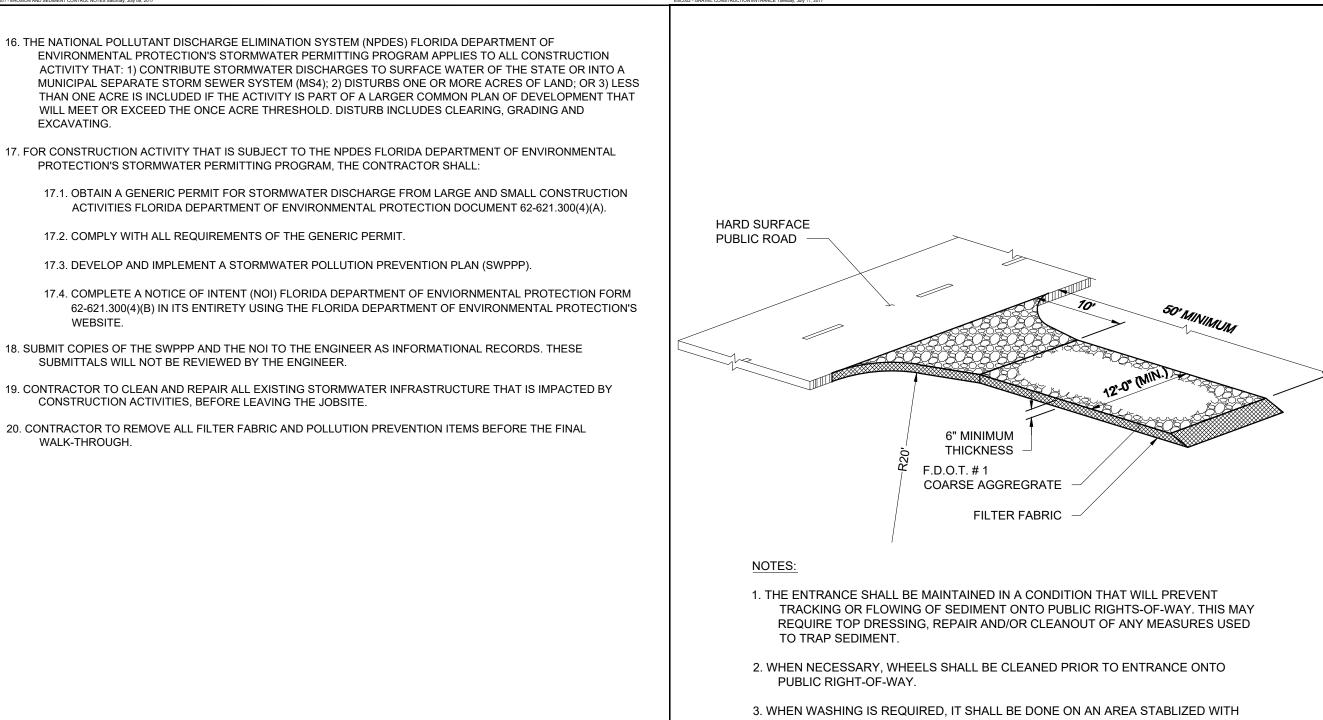
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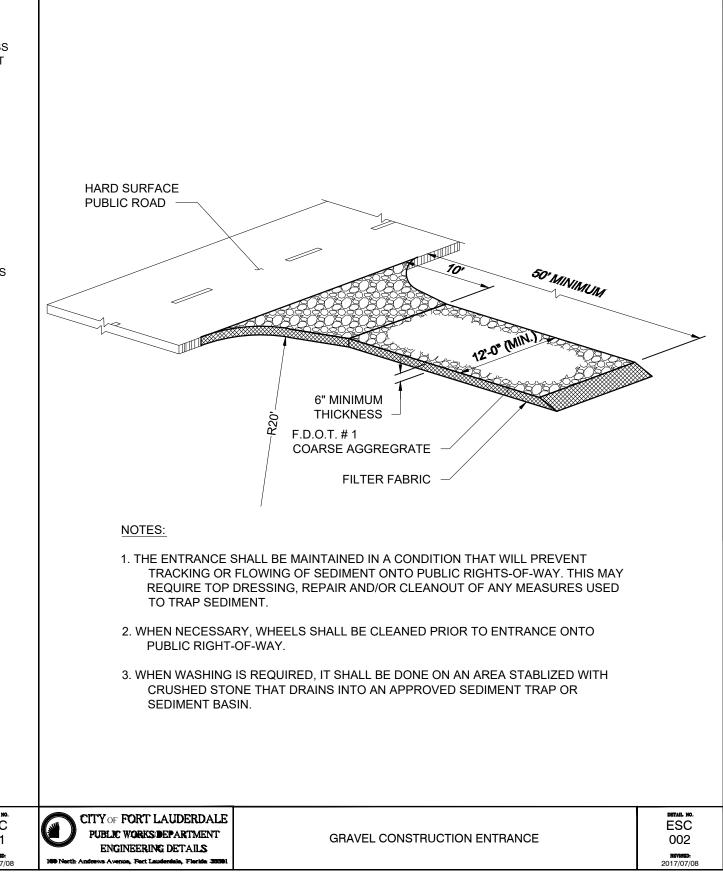
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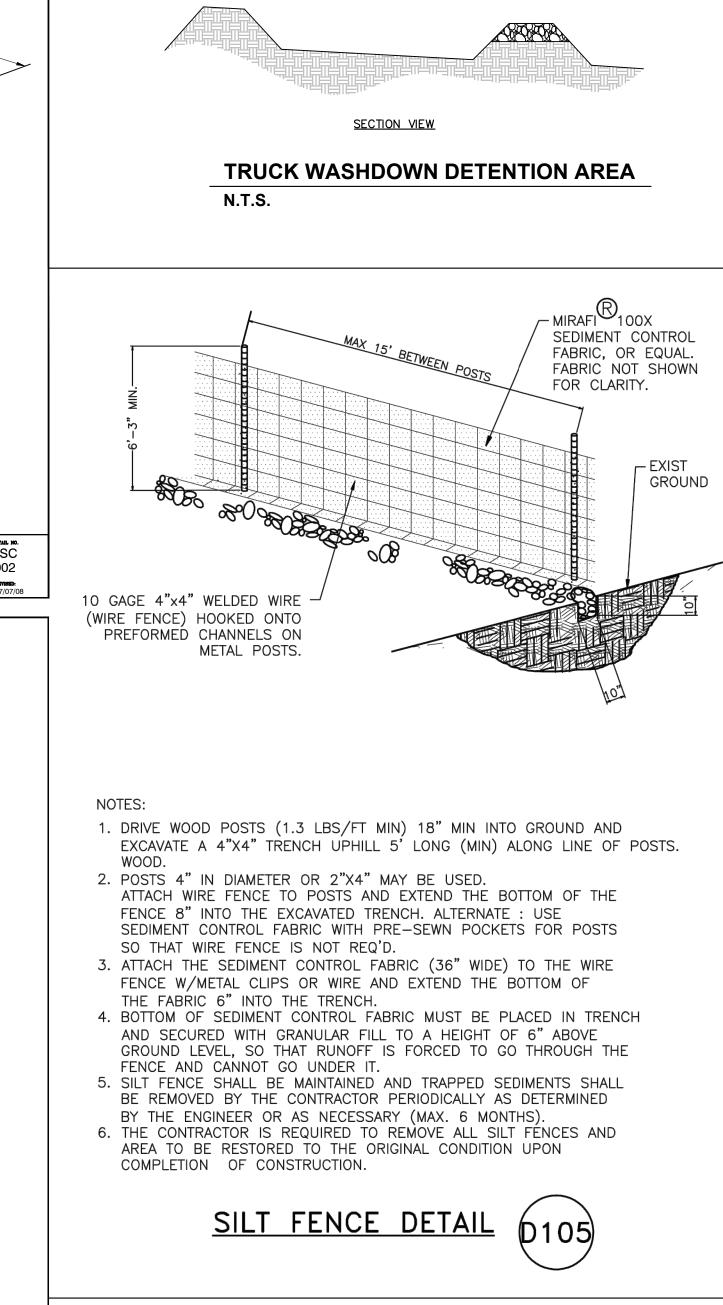
THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.



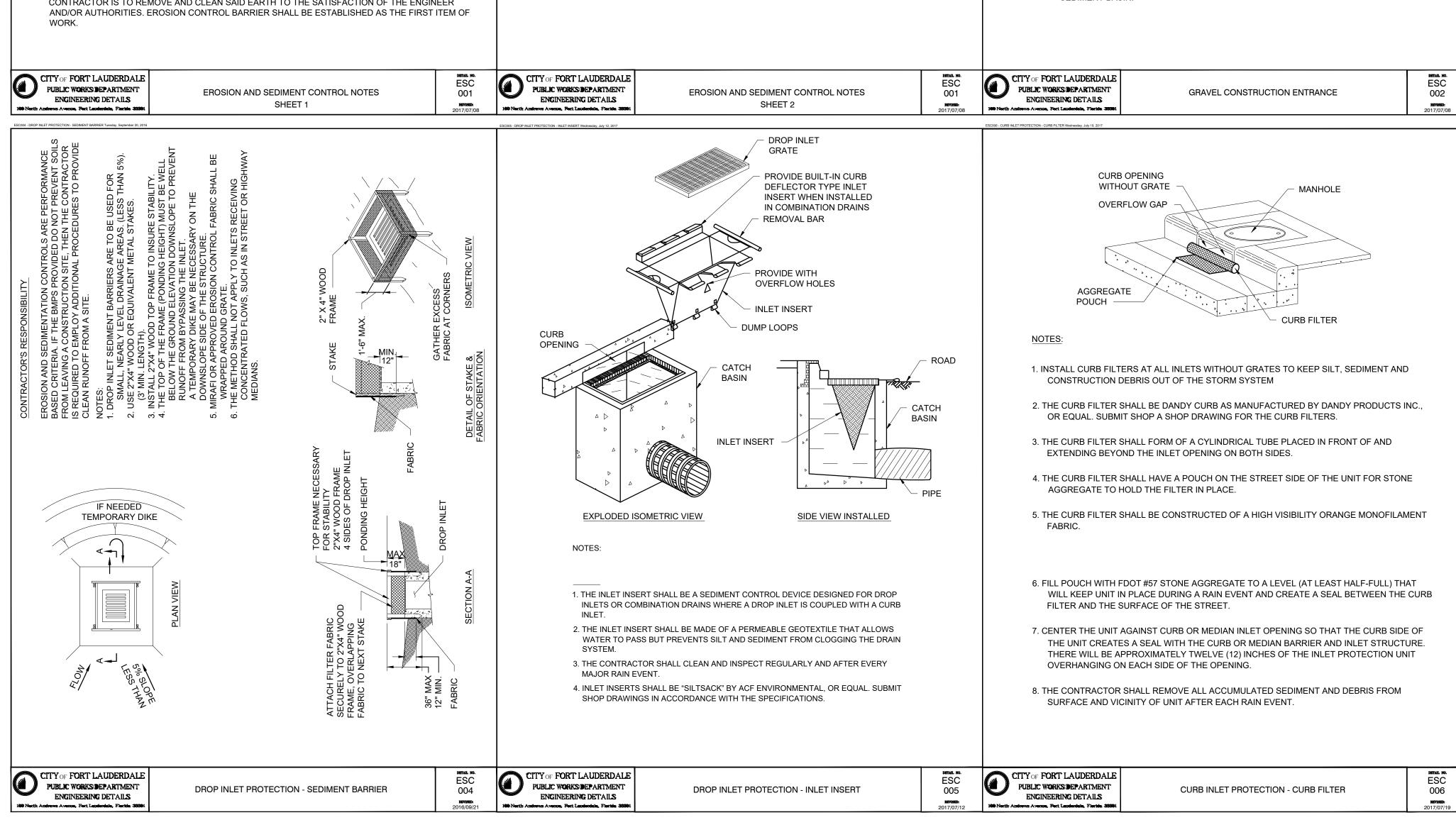
EROSION AND SEDIMENT CONTROL I. CONTRACTOR TO EMPLOY BEST MANAGEMENT PRACTICES THROUGHOUT CONSTRUCTION IN ORDER • TO ENSURE POLLUTION PREVENTION. CONTRACTOR TO COMPLY WITH ALL LOCAL STATE AND OTHER GOVERNMENTAL ENVIRONMENTAL REGULATIONS THROUGHOUT CONSTRUCTION. 2. DURING CONSTRUCTION ALL CATCH BASIN INLETS SHALL BE PROTECTED TO PREVENT SEDIMENT AND DEBRIS FROM ENTERING THE CATCH BASIN. 3. SILT FENCES SHALL BE INSTALLED AS NECESSARY TO CONTROL OR PREVENT DISCHARGE OF SEDIMENT ONTO ADJACENT UNDISTURBED AREAS, OR OFF-SITE AREAS. 4. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED WITHIN A REASONABLE PERIOD OF TIME TO ASSURE MINIMUM EROSION OF SOILS. 5. NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN 6. ALL EXPOSED AREAS SHALL BE SODDED AS SPECIFIED WITHIN 30 DAYS OF FINAL GRADING. LEAVING THE SITE. 7. MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN AND AT LEAST ONCE A WEEK. 8. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM 9. CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY. 10. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY CITY, COUNTY, AND STATE OF FLORIDA ON SITE INSPECTION, AT NO ADDITIONAL COST 11. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES. 12. IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC. 13. BURNING OF DEBRIS WILL NOT BE ALLOWED. 14. CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION. 15. CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATER WAYS. IN ADDITION CONTRACTOR SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT SITE IF IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES IF EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC. THE CONTRACTOR IS TO REMOVE AND CLEAN SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES. EROSION CONTROL BARRIER SHALL BE ESTABLISHED AS THE FIRST ITEM OF CITY OF FORT LAUDERDALE







PLAN VIEW



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CIVIL RELATED DEMOLITION NOTES AND SPECIFICATIONS:

SHOULD ANY SECTION OF THESE DEMOLITION NOTES BE IN DIRECT CONFLICT WITH THE PROVISIONS OR TECHNICAL SPECIFICATIONS CONTAINED IN THE CONTRACT DOCUMENT FOR THIS PROJECT, THE INTENT OF THE CONTRACT DOCUMENT SHALL GOVERN.

I. GENERAL

FOR THIS PROJECT, "OWNER" SHALL MEAN PMG ACQUISITIONS, LLC, "SURVEY" SHALL MEAN THE BOUNDARY SURVEY PREPARED BY FORTIN, LEAVY, SKILES, INC, CONSULTING ENGGINERS, SURVEYORS AND MAPPERS ON 08/03/2023 FLORIDA PROFESSIONAL SURVEYOR AND MAPPER NO. 6435 AND "ENGINEER" SHALL MEAN THE ENGINEER OF RECORD.

- 1. EXISTING CONDITIONS, UTILITIES, STRUCTURES AND OTHER IMPROVEMENTS, AS SHOWN ON THE DEMOLITION DRAWINGS, WERE TAKEN FROM THE SURVEY, AND FROM INFORMATION PROVIDED BY UTILITY COMPANIES. AN ATTEMPT HAS BEEN MADE TO SHOW ALL EXISTING STRUCTURES, UTILITIES, DRIVES, WALKS, ETC., IN THEIR APPROXIMATE LOCATION. OTHERS MAY EXIST AND MAY BE FOUND UPON VISITING THE SITE. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ACCURATELY LOCATE ALL FACILITIES AND TO DETERMINE THEIR EXTENT. IF SUCH FACILITIES OBSTRUCT THE PROGRESS OF THE WORK AND ARE NOT INDICATED TO BE REMOVED OR RELOCATED, THEY SHALL BE REMOVED OR RELOCATED ONLY AS DIRECTED BY THE OWNER OR ENGINEER OF RECORD, AT NO ADDITIONAL COST TO THE OWNER.
- SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY
 TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE
 CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
- 3. ORGANIZE AND PERFORM DEMOLITION WORK TO AVOID DAMAGE TO CONSTRUCTION INTENDED TO REMAIN, INCLUDING TREES (SEE LANDSCAPE PLANS FOR DETAILS).
- 4. DEMOLITION AND REMOVAL OPERATIONS SHALL BE CONDUCTED IN AN EXPEDIENT MANNER, WITH PRECAUTIONS TAKEN TO PREVENT THE DEMOLITION SITE FROM BEING A NUISANCE.
- 5. PERFORM REMOVAL AND DEMOLITION IN ACCORDANCE WITH DEMOLITION SCHEDULE (REFER TO SECTION IV.) AND TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING ADJACENT BUILDINGS, FURNISHINGS, AND EQUIPMENT. NOTIFY THE ENGINEER OF ANY CONDITIONS THAT MAY AFFECT THE SAFETY OF OCCUPANTS OF ADJACENT BUILDINGS, THE NORMAL USE OF THESE FACILITIES, OR THE PHYSICAL CONDITION OF THE STRUCTURES.
- 6. ALL EXISTING UTILITIES OUTSIDE THE PROPERTY BOUNDARIES ARE TO REMAIN, UNLESS OTHERWISE NOTED.
- 7. PRIOR TO DEMOLITION ACTIVITIES, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL AFFECTED UTILITY COMPANIES IN ORDER TO COORDINATE THE DEACTIVATION OF ALL EXISTING UTILITY LINES WITHIN THE PROPERTY. ONCE ALL ONSITE UTILITIES HAVE BEEN DEACTIVATED, ALL LINES SHALL BE CUT AND CAPPED INSIDE THE PROPERTY LINE, AND REMOVED (UNLESS OTHERWISE INDICATED).
- 8. THE CONTRACTOR SHALL USE EXTREME CAUTION IN REMOVING ANY STRUCTURES AND UTILITIES ABOVE AND BELOW GRADE TO PREVENT DAMAGE TO EXISTING UTILITIES WHICH ARE TO REMAIN IN SERVICE. ANY DAMAGE TO EXISTING PIPELINES, UTILITIES, ETC., CAUSED BY THE CONTRACTOR SHALL BE REPAIRED, AT THE CONTRACTOR'S EXPENSE, IN A MANNER ACCEPTABLE TO THE PARTY IN OWNERSHIP OF THE DAMAGED PROPERTY. THE CONTRACTOR SHALL REPORT ANY EXISTING DAMAGE PRIOR TO BEGINNING WORK. IN THE EVENT OF ACCIDENTAL DISRUPTION OF UTILITIES OR THE DISCOVERY OF PREVIOUSLY UNKNOWN UTILITIES, STOP WORK IMMEDIATELY AND NOTIFY THE AFFECTED UTILITY COMPANY AND THE ENGINEER. DO NOT CONTINUE WORK UNTIL THE UTILITY COMPANY, ENGINEER, AND CONTRACTOR AGREE ON A PLAN TO CORRECT THE SITUATION OR IDENTIFY THE UTILITY SERVICE LINE.
- 9. EXISTING WORK NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARILY REMOVED, DAMAGED, EXPOSED, OR IN ANY WAY DISTURBED OR ALTERED BY THE CONTRACTORS ACTIVITIES SHALL BE REPAIRED, PATCHED OR REPLACED, SOLELY AT THE CONTRACTOR'S EXPENSE, TO THE ENGINEER'S AND OWNER'S SATISFACTION.
- 10. TITLE AND RESPONSIBILITY TO MATERIALS AND EQUIPMENT TO BE REMOVED, EXCEPT SALVAGEABLE EQUIPMENT TO BE RETAINED BY THE OWNER, IS VESTED TO THE CONTRACTOR UPON RECEIPT OF NOTICE TO PROCEED. THE OWNER WILL NOT BE RESPONSIBLE FOR THE CONDITION, LOSS OR DAMAGE TO SUCH MATERIALS AND EQUIPMENT AFTER THE ISSUANCE OF THE NOTICE TO PROCEED.

11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO:

- A. PROTECT ALL EXISTING STRUCTURAL AND VEGETATIVE ELEMENTS TO REMAIN DURING DEMOLITION UNLESS OTHERWISE SPECIFIED.
- B. IF APPLICABLE, PATCH AND REPAIR ALL SURFACES WITHIN THE PUBLIC R/W AFFECTED BY DEMOLITION.
- C. SAW-CUT IN NEAT, STRAIGHT LINES, EXISTING CONC. OR ASPHALT PAVEMENT.
- D. REMOVE ALL EXISTING IRRIGATION LINES WITHIN THE LIMITS OF DEMOLITION UNLESS OTHERWISE NOTED.
- E. ALL EXISTING CHAIN LINK FENCES AND CBS WALLS ALONG THE PERIMETER OF THE PROPERTY SHALL REMAIN, UNLESS OTHERWISE SPECIFIED.
- F. NO ELECTRIC POLES, STREET LIGHTS, WATER METERS/VALVES, FIRE HYDRANTS ETC. WILL BE REMOVED WITHIN THE ROADWAY RIGHT-OF-WAY, UNLESS OTHERWISE NOTED ON THE DEMOLITION PLANS.
- G. REFER TO LANDSCAPE PLANS FOR VERIFICATION OF ALL EXISTING TREES TO BE REMOVED, RELOCATED OR TO REMAIN.
- H. MAINTAIN ALL EXISTING SURVEY REFERENCES AND MARKERS IN PLACE, OTHERWISE THEY SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

II. DESCRIPTION

- 1. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, ETC., NECESSARY AND INCIDENTAL TO THE COMPLETION OF ALL SITE DEMOLITION AND CLEARING WORK AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN, INCLUDING THE LEGAL TRANSPORT AND OFF-SITE DISPOSAL OF DEMOLITION DEBRIS.
- 2. ALL SITE WORK INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:
- A. FULL-DEPTH REMOVAL OF EXISTING SIDEWALKS, DRIVES, CURBS, AND PAVEMENT.
- B. FULL DEPTH REMOVAL OF EXISTING BUILDING FOUNDATIONS, UNDERGROUND UTILITIES AND RELATED STRUCTURES.
- C. CLEARING SITE OF VEGETATION AND TREES AS NOTED ON THE LANDSCAPE PLANS.
- D. CLEARING SITE OF DEMOLITION DEBRIS.
- E. REMOVAL FROM SITE AND DISPOSAL OF ALL EXCESS AND UNUSABLE MATERIAL.
- F. COORDINATION WITH ALL UTILITY COMPANIES/OWNERS PRIOR TO DEACTIVATION OF EXISTING UTILITIES.

III. APPLICABLE CODES

- DEMOLITION AND TRANSPORTATION OF DEBRIS SHALL COMPLY WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS GOVERNING THESE OPERATIONS. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ANY PERMITS, BONDS, LICENSES, ETC., REQUIRED FOR DEMOLITION AND CLEARING WORK.
- 2. ANY WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT, AND OTHER GOVERNMENTAL AGENCIES WHO MAY HAVE JURISDICTION OF THE PUBLIC RIGHT-OF-WAY. SAID WORK SHALL NOT BEGIN UNTIL THE CONTRACTOR HAS OBTAINED ALL PERMITS AND NOTIFIED ALL THE GOVERNING AUTHORITIES.

IV. SEQUENCING AND SCHEDULING

- 1. AREAS ADJACENT TO DEMOLITION AND REMOVAL WORK MAY BE OCCUPIED AND THEIR ACTIVITIES CANNOT BE INTERRUPTED OR DISTURBED DURING NORMAL WORKING HOURS. DEMOLITION SCHEDULE SHALL BE COORDINATED WITH ALL ADJACENT PROPERTY OWNERS AND ANY OTHER PARTIES WHOSE DAILY ACTIVITIES WOULD BE AFFECTED BY THE DEMOLITION WORK.
- 2. COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR UTILITY LINE REMOVAL, CAPPING AND UTILITY SHUTDOWNS NECESSITATED BY REMOVAL WORK.

V. ENVIRONMENTAL PROTECTION

- CONTROL AMOUNT OF DUST RESULTING FROM CONSTRUCTION OR DEMOLITION TO PREVENT SPREAD OF DUST TO OTHER BUILDINGS AND TO AVOID CREATION OF A NUISANCE IN SURROUNDING AREAS. USE OF WATER TO CONTROL DUST WILL NOT BE PERMITTED WHEN IT WILL RESULT IN, OR CREATE, HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.
- 2. NOISE PRODUCING ACTIVITIES SHALL BE HELD TO A MINIMUM. INTERNAL COMBUSTION ENGINES AND COMPRESSORS, ETC., SHALL BE EQUIPPED WITH MUFFLERS TO REDUCE NOISE TO A MINIMUM. CONTRACTOR SHALL COMPLY WITH ALL NOISE ABATEMENT ORDINANCES.
- 3. THE USE OF EXPLOSIVES WILL NOT BE PERMITTED.
- 4. DISPOSITION OF DEMOLISHED MATERIALS BY BURNING IS NOT PERMITTED.
- 5. ALL CLEARING SHALL BE PERFORMED IN A MANNER SUCH AS TO PREVENT ANY WASH-OFF OF SOILS AND DEBRIS FROM THE SITE INTO PUBLIC RIGHT-OF-WAY WATER BODIES, AND/OR STORM DRAINAGE SYSTEMS. APPROPRIATE SEDIMENTATION PONDS, DIKES, COLLARS, AND FILTER MEDIA SHALL BE EMPLOYED TO ENSURE COMPLIANCE WITH THESE REQUIREMENTS. WHERE A SPECIFIC STATUTE GOVERNS THESE PROCEDURES, SUCH STATUTE SHALL BE COMPLIED WITH IN ITS ENTIRETY.
- 6. AT ALL TIMES DURING THE CLEARING OPERATION, THE EXPOSED AREAS OF SUBGRADE SHALL BE MAINTAINED IN A CONDITION COMPATIBLE WITH POSITIVE DRAINAGE OF THE WORK AREA. NO WATER WILL BE PERMITTED TO STAND IN OPEN EXCAVATIONS. ALL STORMWATER RUNOFF SHALL BE CONTAINED WITHIN THE SITE. FAILURE TO MAINTAIN SUCH DRAINAGE SHALL BE CONSIDERED ADEQUATE CAUSE TO ORDER TEMPORARY SUSPENSION OF THE WORK.
- 7. IF IT SHOULD BECOME NECESSARY TO STOP WORK FOR INDEFINITE PERIODS, THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT DAMAGE OR DETERIORATION OF THE WORK ALREADY PERFORMED, PROVIDE SUITABLE AND FUNCTIONAL DRAINAGE BY OPENING DITCHES, FILTER DRAINS, TEMPORARY CUT-OFF LINES, ETC., AND ERECT TEMPORARY PROTECTIVE STRUCTURES WHERE NECESSARY. ALL EMBANKMENTS SHALL BE BACK-BLADED AND SUITABLY SEALED TO PROTECT AGAINST ADVERSE WEATHER CONDITIONS.
- 8. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS WHEN REMOVING ABANDONED AND DE-ENERGIZED MATERIALS. IF ASBESTOS PIPES ARE ENCOUNTERED, THE CONTRACTOR WILL TAKE ALL NECESSARY ABATEMENT STEPS AS REQUIRED BY GOVERNING REGULATIONS TO SAFELY REMOVE AND DISPOSE OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF SAID MATERIALS.
- 9. THE CONTRACTOR SHALL SECURE THE WORK AREA WITH FENCING OR OTHER MEANS AS APPROVED BY THE OWNER.

VI. TRAFFIC MAINTENANCE

- 1. THE CONTRACTOR SHALL FOLLOW FDOT MAINTENANCE OF TRAFFIC PROCEDURES DURING CONSTRUCTION IN PUBLIC RIGHT-OF-WAYS AND PRIVATE DRIVEWAYS, PEDESTRIANS PATHS, AND ROADWAYS (INDEX 600 SERIES), AND PREPARE AND OBTAIN APPROVAL OF SUCH MAINTENANCE OF TRAFFIC PLAN FROM THE APPROPRIATE REGULATORY AGENCY.
- 2. THE CONTRACTOR SHALL PROVIDE ADEQUATE BRACING, SHORING, TEMPORARY CROSSOVER FOR PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING GUARDRAILS, LAMPS, WARNING SIGNS AND FLAGS AS REQUIRED BY AGENCIES HAVING JURISDICTION, AND SHALL NOT REMOVE THESE UNTIL THE NEED FOR PROTECTION CEASES.
- 3. THE CONTRACTOR MAY NOT CLOSE ANY SIDEWALKS WITHOUT PROVIDING ALTERNATE ROUTES IN ACCORDANCE WITH FDOT INDEX 660 AND OBTAINING APPROVAL AND PERMIT FROM THE GOVERNING JURISDICTIONAL AGENCY.
- 4. THE CONTRACTOR SHALL CONDUCT CONSTRUCTION OPERATIONS SO THAT TRAFFIC IS MAINTAINED ALONG EXISTING STREETS AND WALKS. ALL PUBLIC PAVED STREETS AND WALKWAYS MUST BE KEPT FREE OF DEBRIS. THE CONTRACTOR MUST REMOVE MATERIAL AND OTHER MATTER TRACKED OR FALLEN ONTO TRAFFIC SURFACES.

VII. CLEAN UP

- . REMOVE DEMOLISHED CONSTRUCTION MATERIALS AND RELATED DEBRIS FROM THE SITE ON A REGULAR BASIS. ACCUMULATION OF DEBRIS ON THE SITE WILL NOT BE PERMITTED. SELLING OF SALVAGEABLE MATERIALS IS NOT PERMITTED AT THE SITE.
- 2. REMOVE MATERIALS, INCLUDING DEBRIS AND DUST, AND DISPOSE OF LEGALLY OFF SITE. NO DEBRIS SHALL BE BURNED OR BURIED ON THE SITE AS A MEANS OF DISPOSAL. USE METHODS APPROVED BY THE REGULATORY AGENCIES PRIOR TO BEGINNING CLEANUP OPERATIONS. USE OF BLOWERS TO DISTRIBUTE DUST WILL NOT BE PERMITTED.
- 3. MATERIAL DESIGNATED FOR REMOVAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND ANY SALVAGE VALUE THERE FROM WILL ACCRUE TO THE CONTRACTOR.

No. REVISIONS DA

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OF PETERS ROAD, SUITE 2200, PLANTATION, FL 333.
PHONE: 954-535-5100 FAX: 954-739-2247
WWW.KIMLEY-HORN.COM REGISTRY NO. 696

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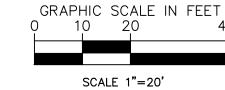
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PLANS ARE IN NAVD 1988 DATUM CONVERSION EQUATION IS BELOW: (NAVD 1988) + 1.58' = (NGVD 1929)

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.





LEGEND

--- CENTER LINE OF ROAD

PROPERTY LINE AND/OR RIGHT-OF-WAY ---- W ---- EXIST WATER MAIN ---- ss ---- EXIST SEWER MAIN

GAS — GAS — EXIST GAS LINE --- COM ---- COM --- EXIST COMCAST LINE —— T —— T —— EXIST AT&T BURIED LINE ------OHW------- EXIST OVERHEAD UTILITIES

ON-SITE DEMOLITION EXTENTS UNLESS OTHERWISE INDICATED

OFF-SITE SAWCUT LINE AND LIMITS

REFER TO TREE DISPOSITION PLAN

OFF-SITE DEMOLITION EXTENTS OFF-SITE FULL DEPTH TRENCH

OF 1.5" MILL AND RESURFACE CONCRETE POWER AND LIGHT POLE

WOOD POWER AND LIGHT POLE

EXIST DRAINAGE STRUCTURES

EXIST SEWER MANHOLE

- 1. INFORMATION ON THIS PLAN IS BASED ON THE SURVEY PROVIDED BY FORTIN, LEAVY, SKILES, INC. CONSULTING ENGINEERS, SURVEYORS & MAPPERS, DATED 08/03/2023.
- 2. THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT ALL EXISTING FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION. AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN
- 3. SEE LANDSCAPE PLANS FOR TREES TO REMAIN, BE REMOVED, RELOCATED, OR PROTECTED.
- 4. ALL MODIFICATIONS, REMOVALS AND RELOCATIONS OF EXISTING UTILITIES SHALL BE COORDINATED WITH THE UTILITY OWNER PRIOR TO
- 5. INACTIVE EXISTING SANITARY LATERALS SHALL BE CUT AND CAPPED AT THE MAIN AND ABANDONED IN THE RIGHT-OF-WAY.
- 6. CONTRACTOR TO SAWCUT AND MATCH EXISTING WHEN CONNECTING TO ADJACENT PAVEMENT.
- 7. PROPOSED LIMITS OF DEMOLITION SHALL INCLUDE REMOVAL OF ALL BUILDING/STRUCTURES, SOD, LANDSCAPING, PAVEMENT (FULL DEPTH OF BASE), UTILITIES, LIGHTING, DRAINAGE, IRRIGATION, SIGNS, WALLS, FENCES, ETC. UNLESS OTHERWISE NOTED ON THIS PLAN.
- 8. IF REQUIRED, CONTRACTOR TO COORDINATE WITH THE CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT AND BROWARD COUNTY PUBLIC WORK DEPARTMENT TO OBTAIN AN APPROVED MAINTENANCE OF TRAFFIC PLAN FOR VEHICULAR AND PEDESTRIAN TRAFFIC PRIOR TO COMMENCING WORK.
- 9. DO NOT BLOCK OR OBSTRUCT FIRE HYDRANTS AT ANY TIME. PROVIDE CERTIFIED FIRE EXTINGUISHERS ONSITE.
- 10. POST SIGN WITH 6-INCH TALL BUILDING ADDRESS VISIBLE TO STREET
- 11. IF ASBESTOS MATERIALS ARE ENCOUNTERED, THE CONTRACTOR IS TO PREPARE, AS REQUIRED, ALL NECESSARY ABATEMENT AS PER ENVIRONMENTAL REGULATIONS.
- 12. CONTRACTOR SHALL VISIT JOB SITE AND PHYSICALLY SURVEY ALL OF THE AS-BUILT CONDITIONS TO ASCERTAIN THE FULL SCOPE OF CLEARING AND DEMOLITION WORK. IF CONDITIONS ARE ENCOUNTERED OTHER THAN THOSE SHOWN ON THIS PLAN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PROCEEDING WITH WORK.
- 13. ANY GRAFFITI OR UNAPPROVED SIGNS THAT SHOW UP ON THE CONSTRUCTION FENCE OR JOBSITE SHALL BE REMOVED IMMEDIATELY.
- 14. INSTALL AND MAINTAIN DUST SCREENS ON THE INSIDE OF THE PROPOSED CONSTRUCTION FENCE IN ORDER TO PREVENT OBSTRUCTIONS TO THE SIDEWALK SHOULD THEY COME LOOSE.
- 15. CONTRACTOR SHALL SEEK CITY APPROVAL FOR ANY PUBLIC SIDEWALKS AND/OR STREETS TO BE CLOSED DURING CONSTRUCTION.
- 16. CONTRACTOR SHALL ENSURE PROPER EROSION CONTROL IS IN PLACE PRIOR TO DEMOLITION. SEE SHEET C1.01 AND C1.02 FOR INFORMATION.
- 17. CONTRACTOR SHALL REFER TO WATER AND SEWER, AND PAVING AND GRADING PLANS FOR OFF-SITE UTILITY TRENCH, MILLING, AND

(NAVD 1988) + 1.58' = (NGVD 1929)

ISSUE AND OBTAINING ALL NECESSARY PERMITS.



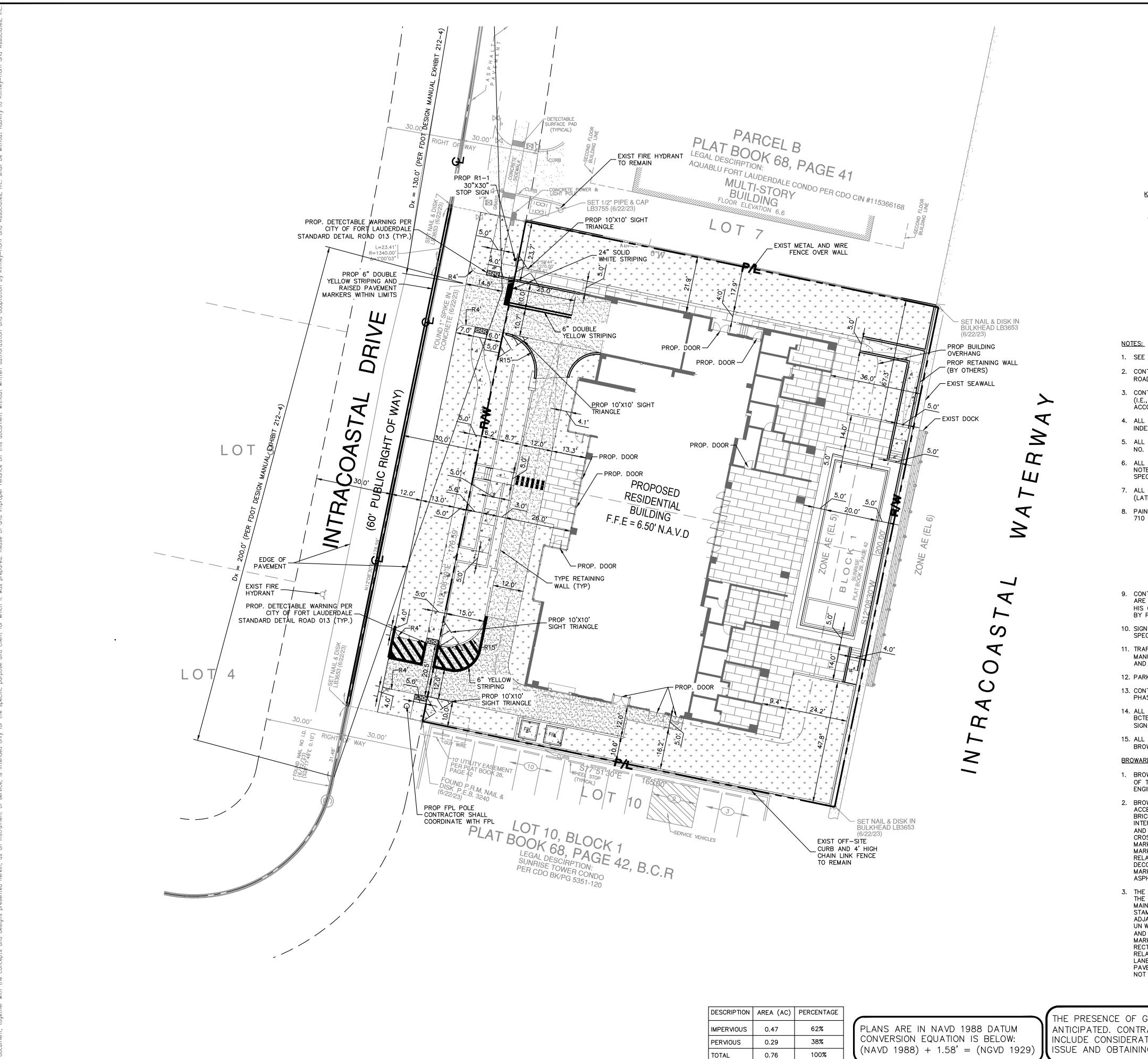
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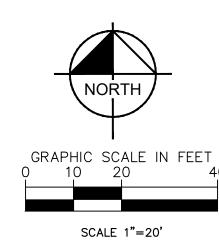
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(1) STOP R1-30"X3

P/L R/W PROPERTY LINE AND/OR RIGHT-OF-WAY

CENTER LINE OF ROAD

PROP CONCRETE SIDEWALK

PROP HEAVY DUTY CONCRETE

PROP PERMEABLE PAVERS

LANDSCAPE

BUILDING OVERHANG

- 1. SEE GEOMETRY SIGNAGE AND STRIPING DETAILS ON SHEET C3.01.
- 2. CONTRACTOR SHALL REPLACE ALL STRIPING REMOVED AND/OR DAMAGED DURING CONSTRUCTION ALONG THE ROAD ABUTTING THE PROPERTY PER APPLICABLE CITY, COUNTY, AND/OR STATE STANDARDS.
- 3. CONTRACTOR SHALL FIELD VERIFY THAT ALL EXISTING AND PROPOSED ADA ITEMS WITHIN PROJECT LIMITS (I.E., ROUTES, PARKING, STRIPING, SIGNAGE, ETC.) MEET THE MINIMUM REQUIREMENTS AND SHALL ADJUST ACCORDINGLY, BEFORE THE PROJECT CAN BE DEEMED CERTIFIED AND COMPLETE.
- 4. ALL CURB RAMPS AND DETECTABLE WARNINGS TO BE INSTALLED IN ACCORDANCE WITH FDOT STANDARD INDEX 522-002 (LATEST EDITION).
- 5. ALL SIGNS TO BE INSTALLED PER BCTED MOST CURRENT STANDARDS AND FDOT DESIGN STANDARDS INDEX NO. 700 (LATEST EDITION), AND AS SHOWN ON THE PLANS UNLESS OTHERWISE NOTED.
- 6. ALL PAVEMENT SYMBOLS AND MARKINGS SHALL BE THERMOPLASTIC PAVEMENT MARKINGS UNLESS OTHERWISE NOTED. INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 711 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND BCTED MOST CURRENT STANDARDS.
- 7. ALL PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 711-001 (LATEST EDITION) AND BCTED MOST CURRENT STANDARDS.
- 8. PAINTED PAVEMENT MARKINGS, INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FOLLOWING:

 A. APPLY TWO COATS OF VOC COMPLIANT, LOCAL DOT APPROVED, UNDILUTED SOLVENT BASED OR
 - B. FOLLOW MANUFACTURES RECOMMENDED APPLICATION RATE, WITHOUT THE ADDITION OF A THINNER, WITH A MAXIMUM OF 100 SF PER GALLON, OR AS REQUIRED, PROVIDING MINIMUM 25 MILS WET FILM THICKNESS AND 7.5 MILES DRY FILM THICKNESS PER COAT WITH MINIMUM OF 30 DAYS BETWEEN
 - APPLICATIONS.

 C. SECOND COAT OF PAINT SHALL NOT BE APPLIED EARLIER THAN 7 DAYS PRIOR TO GRAND OPENING.

 D. PAINT SHALL BE CRISP, STRAIGHT, AND APPLIED UNIFORMLY ACROSS THE WIDTH OF THE LINE FOR A TOTAL DRY FILM THICKNESS OF 15 MILS.
- 9. CONTRACTOR SHALL NOT ALLOW TRAFFIC ONTO NEWLY APPLIED PAVEMENT STRIPING/ MARKINGS UNTIL THEY ARE SUFFICIENTLY DRY TO PERMIT VEHICLES TO CROSS THEM WITHOUT DAMAGE. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REMOVE AND REPLACE ANY PORTION OF THE PAVEMENT STRIPING/MARKINGS DAMAGED BY PASSING TRAFFIC OR ANY OTHER CAUSE.
- 10. SIGNS SHALL BE IN ACCORDANCE WITH SECTION NO. 700, HIGHWAY SIGNING, OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND BCTED MOST CURRENT STANDARDS.
- 11. TRAFFIC SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), PART II AND BCTED MOST CURRENT STANDARDS, AND IN THE LOCATIONS SHOWN ON PLANS.
- 12. PARKING STALL MARKINGS DEPICTED ON PLAN ARE FOR GRAPHICAL PURPOSES ONLY.
- 13. CONTRACTOR TO COORDINATE WITH THE CITY, COUNTY, AND FDOT REGARDING THE CONSTRUCTION AND PHASING OF THE WAVE STREETCAR ROADWAY AND TRAFFIC SIGNAL IMPROVEMENTS.
- 14. ALL EXISTING SIGNALIZATION EQUIPMENT TO REMAIN IS ASSUMED TO BE IN GOOD WORKING ORDER UNLESS BCTED IS NOTIFIED IN WRITING PRIOR TO START OF CONSTRUCTION. ANY SUBSEQUENT DAMAGE TO THE SIGNAL EQUIPMENT SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- 15. ALL TRAFFIC SIGNAGE AND PAVEMENT MARKINGS TO BE PROVIDED ON THE SITE PLAN IN CONFORMANCE WITH BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (BCHTED) AND MUTCD STANDARDS.

 BROWARD COUNTY NOTES:
- BROWARD COUNTY TRAFFIC ENGINEERING DIVISION'S REVIEW DOES NOT INCLUDE A REVIEW AND ACCEPTANCE
 OF THE PROJECT'S DESIGN OR OPERATION. THESE ITEMS ARE TO BE REVIEWED AND APPROVED BY THE CITY
 ENGINEER.
- 2. BROWARD COUNTY TRAFFIC ENGINEERING DIVISION DOES NOT REVIEW AND APPROVE, OR INSPECT AND ACCEPT THE FOLLOWING ITEMS FOR MAINTENANCE: PAVEMENT MARKINGS ON OR ADJACENT TO PAVER BRICKS, PAINTED ASPHALT, STAMPED ASPHALT OR PAVEMENT MARKINGS MADE OF PAVER BRICKS, RAISED INTERSECTIONS AND RELATED MARKINGS AND SIGNING, UN—WARRANTED CROSSWALKS AND RELATED MARKINGS AND SIGNING, PAINTED/DECORATIVE CROSSWALKS, RAISED CROSSWALKS AND RELATED MARKINGS AND SIGNING, ADVANCED WARNING PAVEMENT MARKINGS FOR SPEED TABLES, BLINKER SIGNS, RECTANGULAR RAPID FLASHER BEACONS AND RELATED MARKINGS AND SIGNING, ON—STREET PARKING AND RELATED MARKINGS AND SIGNING, IN—ROAD LIGHTING AND RELATED MARKINGS AND SIGNING, GREEN BIKE LANES, FLEXIBLE DELINEATORS, DECORATIVE SIGNS AND DECORATIVE SIGN POSTS, PLANTERS, ON—SITE PAVEMENT MARKINGS AND SIGNING, OFF—SITE PAVEMENT MARKINGS AND SIGNING IN RIGHT—OF—WAY THAT IS NOT DEDICATED FOR PUBLIC USE, SIDEWALK WORK OR ASPHALT WORK.
- 3. THE CITY ENGINEER IS RESPONSIBLE FOR THE REVIEW AND APPROVAL OF THE DESIGN AND OPERATION OF THE PROJECT, AND FOR THE INSPECTION AND ACCEPTANCE OF THE FOLLOWING ITEMS THAT WILL BE MAINTAINED BY THE CITY: PAVEMENT MARKINGS ON OR ADJACENT TO PAVER BRICKS, PAINTED ASPHALT, STAMPED ASPHALT OR PAVEMENT MARKINGS MADE OF PAVER BRICKS, PAVEMENT MARKINGS ON OR ADJACENT TO PAINTED ASPHALT, RAISED INTERSECTIONS AND RELATED MARKINGS AND SIGNING, UN WARRANTED MID—BLOCK CROSSWALKS AND RELATED MARKINGS AND SIGNING, PAINTED/DECORATIVE CROSSWALKS, RAISED CROSSWALK AND RELATED MARKINGS AND SIGNING, ADVANCED WARNING PAVEMENT MARKINGS FOR SPEED TABLES, BLINKER SIGNS, RECTANGULAR RAPID FLASHER BEACONS AND RELATED MARKINGS AND SIGNING, ON—STREET PARKING AND RELATED MARKINGS AND SIGNING, GREEN BIKE LANES, FLEXIBLE DELINEATORS, DECORATIVE SIGNS AND DECORATIVE SIGN POSTS, PLANTERS, ON—SITE PAVEMENT MARKINGS AND SIGNING, OFF—SITE PAVEMENT MARKINGS AND SIGNING IN RIGHT—OF—WAY THAT IS NOT DEDICATED FOR PUBLIC USE, SIDEWALK WORK AND ASPHALT WORK.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

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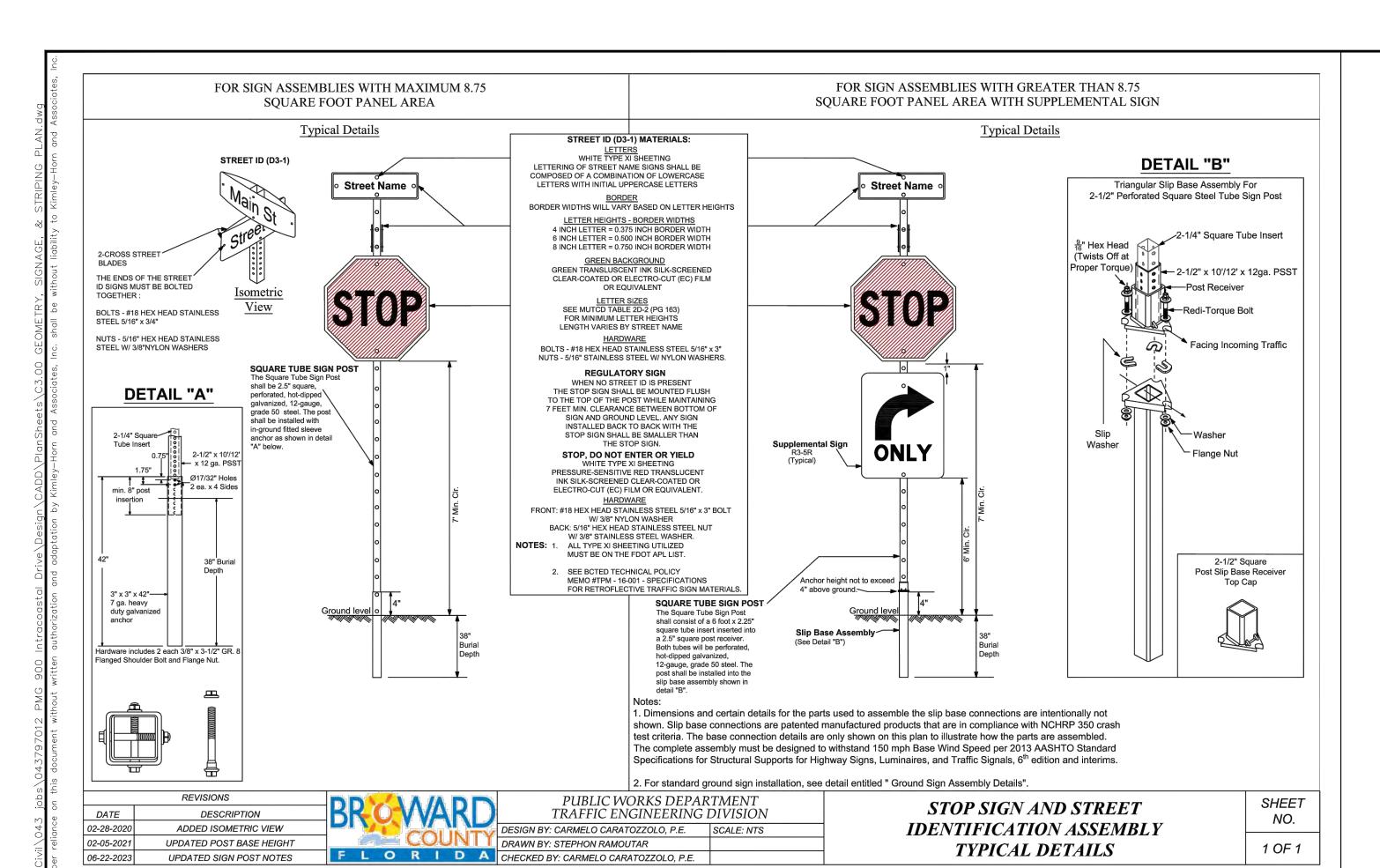
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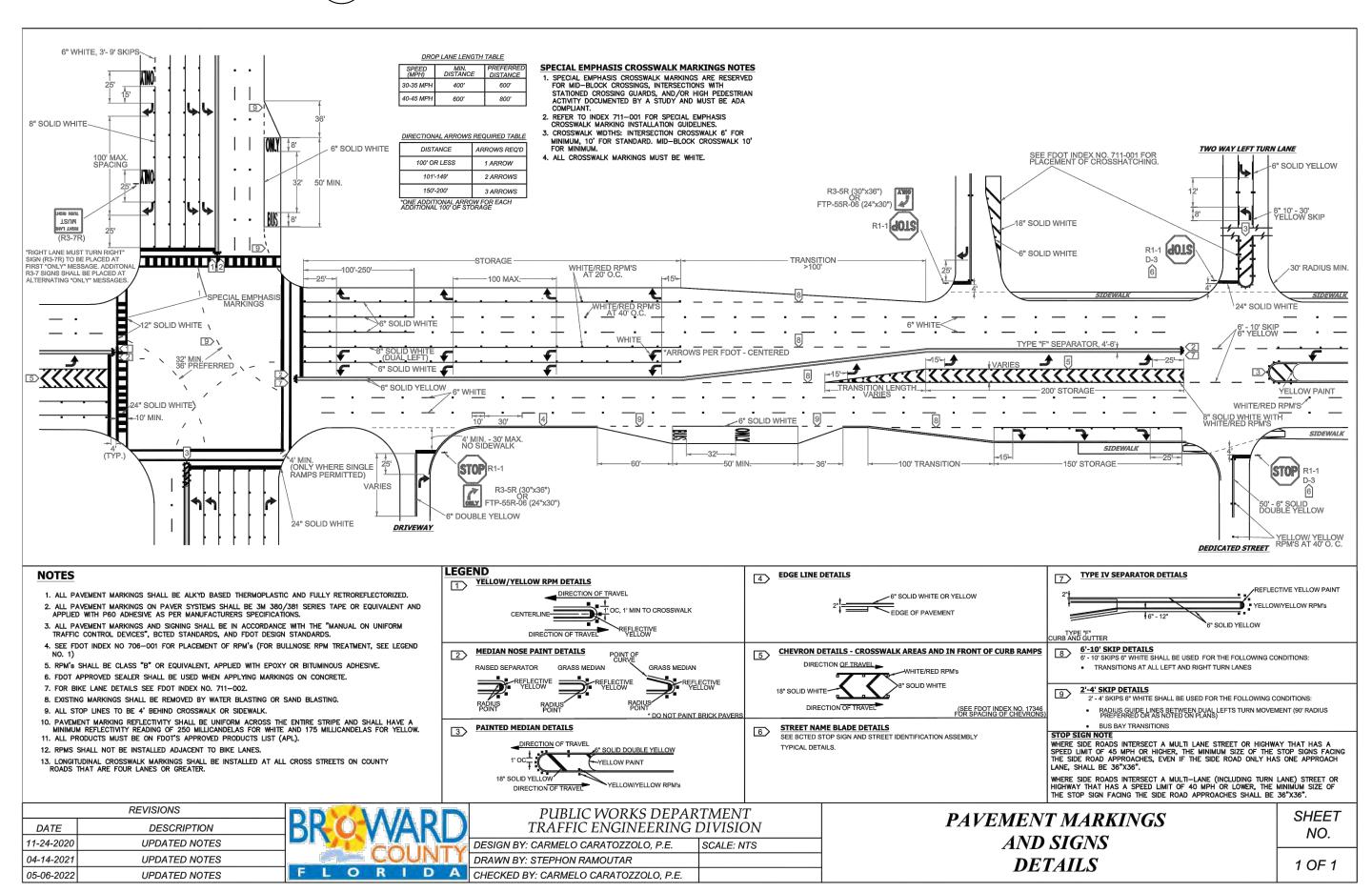
GEOMETRY, SIGNAGE, AND STRIPING PLAN

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1 STOP SIGN AND STREET IDENTIFICATION ASSEMBLY TYPICAL DETAILS







Maintenance of Traffic (MOT) Instructions/Requirements

An approved MOT Plan from the Broward County Traffic Engineering Division (BCTED) shall be required when work is being performed within Broward County Right of Way regardless of whether a right-of-way permit is required. The approved MOT Plan shall be on site prior to and during the entire operation. Ensure the Certified Worksite Traffic Supervisor is present to direct the initial setup of the traffic control plan, is available on a 24-hour basis, participates in all changes to traffic control and reviews the project on a daily basis. An MOT plan shall conform to, unless otherwise noted in the Broward County Minimum Standards, the latest editions of the Florida Department of Transportation (FDOT) Standard Plans 102-600 Series and the Manual on Uniform Traffic Control Devices (MUTCD). An approved MOT Plan and a copy of the permit, if issued, must be on site at all times. The MOT is valid for the duration of the time frame mentioned in the MOT Application From. Once the MOT is approved by the BCTED, the permittee shall be solely responsible for the installation and maintenance of the approved work zone traffic control devices throughout the length of the project.

Application Process for an MOT Plan:

- > Include an MOT Application Form.
- > Include a location map for the project.
- Submit an applicable FDOT Standard Plans Index from the 102-600 Series and/or a Typical Application figure from the MUTCD which represents the roadway characteristics and project conditions.
- If the project involves the closure of a sidewalk, include a sidewalk closure index.
- If the project does not impede a lane but is within the right of way, include the appropriate index for work off the road.
- If the project requires a lane shift, include a lane shift index.
- A sketch should accompany the submittals for a condition that is non-typical. Include taper lengths, shift lengths, shift widths, sign spacing, barricade or cone spacing, pavement markings, removal of pavement markings, nearby signal locations, etc..
- > Indexes, Typical Applications or sketches shall have the roadways identified by name and show a north arrow.
- Applications shall include a current FDOT-approved certification for Worksite Traffic Supervisor. If you are submitting an MOT Plan with an FDOT Standard Plans 102-600 Series Index or a Typical Application figure from the MUTCD, an Intermediate Level Certification Card will be required; if a sketch is submitted with the standard index, an Advanced Level Certification Card will be required. The certification card is required to contain the student's name, instructor's name, course provider, course category (Advance or Intermediate), date course was successfully completed and date when training or refresher course is required.
- > The FDOT Standard Index has notes in small print included on them. When sending these indexes, ensure the notes are legible.
- > The MOT Plan must cover all phases of construction.
- > If the project includes a sign-off sheet, it must be labeled with the project's name and/or location of the project.
- The following document will be required prior to the approval of the MOT plan when signal equipment is impacted:

 A filled out and signed form of ACCEPTANCE OF TRAFFIC SIGNAL MAINTENANCE AND TIMING BY CONTRACTOR DURING CONSTRUCTION AND BURN-IN PERIOD. The form can be downloaded under the category of Maintenance of Traffic in the webpage of http://www.broward.org/Traffic/About/Pages/Publications.aspx.
- The approval of an MOT application may require up to (2) weeks from the time that all required documents as stated above are received at the Traffic Engineering Division. Any rejected MOT submittal that is corrected and sent back to BCTED will be considered a new submittal, which may require up to two (2) additional weeks to approve. Additional time may be needed for more complex plans or plans requiring additional coordination/information.

G:\STUDIES\MOT\MOT Application Form\MOT Application Form 11-15-18.doc

Page 1

Revised 11/18



Maintenance of Traffic (MOT) Instructions/Requirements For Special Events

Beside the application process and requirements for the MOT submittal mentioned in Page 1, the following is also applied for the MOT plans affecting the County right-of-way for special events:

- County MOT application form with the County Special Event permit number;
- Applicable FDOT Design Plans Indexes and/or MUTCD Indexes;
- Detailed/typical sketches for lane/roadway closure;
- The current FDOT-approved certification for Worksite Traffic Supervisor; and
 A letter on the applicant/authorized agent company letterhead indicating that
- A letter on the applicant/authorized agent company letterhead indicating that "(name of the barricade company for this event) will set up and maintain the maintenance of traffic (MOT) plan, according to the Florida Department of Transportation and Manual on Uniform Traffic Control Devices standards; and applicant/authorized agent company has hired the (name of the City or Town) Police Department or Broward County Sheriff Office police officers, off-duty police officers, and retired police officers to supplement this MOT plan".
- If bridges are required to be closed during the event, the confirmation letter from the United States Coast Guard (USCG) regarding the closure for bridges is required. Mr. John Low, P. E., Construction Project Manager Supervisor with the Broward County Highway and Bridge Maintenance Division (BCHBMD), is the contact person for this issue. Mr. Low could be reached by telephone at 954.357.6043, or by e-mail at JLOW@broward.org.

Please note the following regarding the USCG issued Bridge Closure Approval Letter:

- USCG Bridge Closure Approval Letter is issued to BCHBMD after Broward County's Special Events Permit and
- MOT Permit requirements are satisfied.USCG requires 30-day notice for processing a bridge closure.
- Broward County's Special Events and MOT Permits require a minimum of two weeks for review and processing.
- A combined minimum of 45-day notice is required for Broward County (15-day notice) and USCG (30-day notice) to
- process potential bridge closures for special events.
 Special Event bridge closures should not extend to more than an hour and thirty minutes from the start of the event.
 USCG to determine at time of request.

Page 2

Non-timed Run Events shall not receive bridge closure approval. USCG to determine at time of request.

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PLANS ARE IN NAVD 1988 DATUM
CONVERSION EQUATION IS BELOW:
(NAVD 1988) + 1.58' = (NGVD 1929)

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

Revised 11/18

SIGNING AND MARKING NOTES :

- 1. ALL PAVEMENT MARKINGS SHALL BE MADE IN ACCORDANCE WITH FDOT STANDARD INDEX # 711-001, WHERE SHOWN ON THE PLANS
- 2. WHERE THE PLANS CALL FOR PAINTED PAVEMENT MARKINGS, INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE FOLLOWING: CONTRACTOR TO APPLY TWO COATS OF VOC COMPLIANT, LOCAL DOT APPROVED, UNDILUTED, SOLVENT BASED OR LATEX TRAFFIC PAINT. CONTRACTOR TO FOLLOW MANUFACTURER'S RECOMMENDED APPLICATION RATE WITHOUT THE ADDITION OF A THINNER, WITH A MAXIMUM OF 100 SQUARE FEET PER GALLON OR AS REQUIRED PROVIDING MINIMUM 15 MILS WET FILM THICKNESS AND 7.5 MILS DRY FILM THICKNESS PER COAT. PAINT SHALL BE CRISP, STRAIGHT AND APPLIED UNIFORMLY ACROSS THE WIDTH OF A LINE FOR A TOTAL DRY FILM THICKNESS OF 15 MILS.
- 3. ALL PAVEMENT SYMBOLS AND MARKINGS ARE TO BE THERMOPLASTIC WITH THE EXCEPTION OF PARKING STRIPING. THERMOPLASTIC INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 711 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- 4. ONE BI-DIRECTIONAL AMBER/AMBER REFLECTIVE MARKER SHALL BE PROVIDED AT 40' INTERVALS ON EACH SIDE OF DOUBLE YELLOW STRIPES..
- 5. PLACEMENT OF ALL REFLECTIVE PAVEMENT MARKERS SHALL CONFORM TO THE BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS (LATEST REVISED).
- 6. ALL SIGNS SHALL BE HIGH INTENSITY.7. ALL SIGNING AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND BROWARD COUNTY TRAFFIC
- 8. DESIGN SPEED = 25 M.P.H.

ENGINEERING STANDARDS (LATEST REVISED).

9. THE PUBLIC ROADWAYS INDICATED IN THESE PLANS HAVE BEEN DESIGNED SUBSTANTIALLY IN ACCORDANCE WITH "THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS—STATE OF FLORIDA".

COMMUNICATION NOTES:

PUBLICATIONS.

- 1. THE AGENCY RESPONSIBLE FOR MAINTENANCE OF TRAFFIC SIGNALS AND RELATED EQUIPMENT IS BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (BCTED). ALL SYSTEM COMMUNICATIONS EQUIPMENT, CABLING, AND RELATED MATERIAL SHALL COMPLY WITH BROWARD COUNTY'S LATEST EDITION OF MINIMUM STANDARDS AS EXPRESSED IN THE "STANDARDS AND SPECIFICATIONS"— COMMUNICATION INFRASTRUCTURE" DOCUMENT. PLEASE REFER TO (BCTED'S) COMMUNICATIONS POLICIES AND PROCEDURES FOR ADDITIONAL INFORMATION. BROWARD COUNTY ENGINEERING DIVISION WILL NOT ACCEPT ANY PROJECTS THAT DO NOT MEET THESE STANDARDS AND SPECIFICATIONS. IF FIBER OPTIC PULL BOXES ALREADY EXIST AT AN INTERSECTION, NO ADDITIONAL FIBER OPTIC PULL BOXES WILL NEED TO BE INSTALLED. FOR A COPY OF THESE STANDARDS REFER TO THE BROWARD COUNTY WEBSITE AT WWW.BROWARD.ORG/TRAFFIC UNDER
- 2. IF THERE ARE COPPER INTERCONNECT CABLE/S WITHIN YOUR PROJECT LIMITS OR WITHIN 1500 FEET OF YOUR PROJECT LIMITS CONTACT THE TRAFFIC SIGNAL TECHNICIAN III AT @TECOMMUNICATIONS@BROWARD.ORG OR 954-847-2761.
- IF THERE ARE FIBER OPTIC CABLE/S WITHIN YOUR PROJECT LIMITS OR WITHIN 1500 FEET OF YOUR PROJECT LIMITS CONTACT THE COMMUNICATIONS MANAGER AT <u>TECOMMUNICATIONS@BROWARD.ORG</u> OR 954-357-8242.
- 4. ALL BCTED COMMUNICATIONS CABLE/CONDUIT SHALL BE LOCATED A MINIMUM OF 48 HOURS IN ADVANCE.

BROWARD COUNTY TRAFFIC ENGINEERING DIVISION PROCEDURE FOR NOTIFICATION OF COMMUNICATION DISRUPTION

- 1. COPPER INTERCONNECT CABLE NOTIFICATION CONTACT PERSON: WHEN COMMUNICATIONS TO AN INTERSECTION MUST BE DISRUPTED BY A CONTRACTOR TO PERFORM WORK, THE CONTRACTOR SHALL PROVIDE TWO DAY ADVANCE NOTICE IN WRITING TO BROWARD COUNTY TRAFFIC ENGINEERING DIVISION. THIS NOTIFICATION SHALL BE CONVEYED VIA ELECTRONIC
- 2. MAIL (EMAIL) TO THE TRAFFIC SIGNAL TECHNICIAN III AT TECOMMUNICATIONS@BROWARD.ORG. NOTIFICATION SHALL INCLUDE CONTACT PERSON, TELEPHONE NUMBER, PURPOSE, LOCATION AND DURATION. THE DISRUPTION SHALL LAST NO MORE THAN 3 CONSECUTIVE BUSINESS DAYS. WHERE POSSIBLE, THE DISRUPTION SHALL BE DURING OFF PEAK HOURS BEGINNING A 9:00 AM AND ENDING AT 3:00 PM.
- 3. FIBER OPTIC CABLE NOTIFICATION CONTACT PERSON: WHEN COMMUNICATIONS TO AN INTERSECTION MUST BE DISRUPTED BY A CONTRACTOR TO PERFORM WORK, THE CONTRACTOR SHALL PROVIDE TWO DAY ADVANCE NOTICE IN WRITING TO BROWARD COUNTY TRAFFIC ENGINEERING DIVISION. THIS NOTIFICATION SHALL BE CONVEYED VIA ELECTRONIC
- 4. MAIL (EMAIL)TO THE COMMUNICATIONS MANAGER AT TECOMMUNICATIONS@BROWARD.ORG. NOTIFICATION SHALL INCLUDE CONTACT PERSON, TELEPHONE NUMBER, PURPOSE, LOCATION AND DURATION. THE DISRUPTION SHALL LAST NO MORE THAN 3 CONSECUTIVE BUSINESS DAYS. WHERE POSSIBLE, THE DISRUPTION SHALL BE DURING OFF PEAK HOURS BEGINNING A 9:00 AM AND ENDING AT 3:00 PM.

No. REVISIONS

MEY-HORN AND ASSOCIATES, INC.
TERS ROAD, SUITE 2200, PLANTATION, FL 33324
JE: 954-535-5100 FAX: 954-739-2247
V.KIMLEY-HORN.COM REGISTRY NO. 696

GEORGE BALABAN, P.E.

THE LICENSE NUMBER

043797012
DATE
JAN 2024
GE
SALE AS SHOWN
ESIGNED BY TVC
RAWN BY TVC

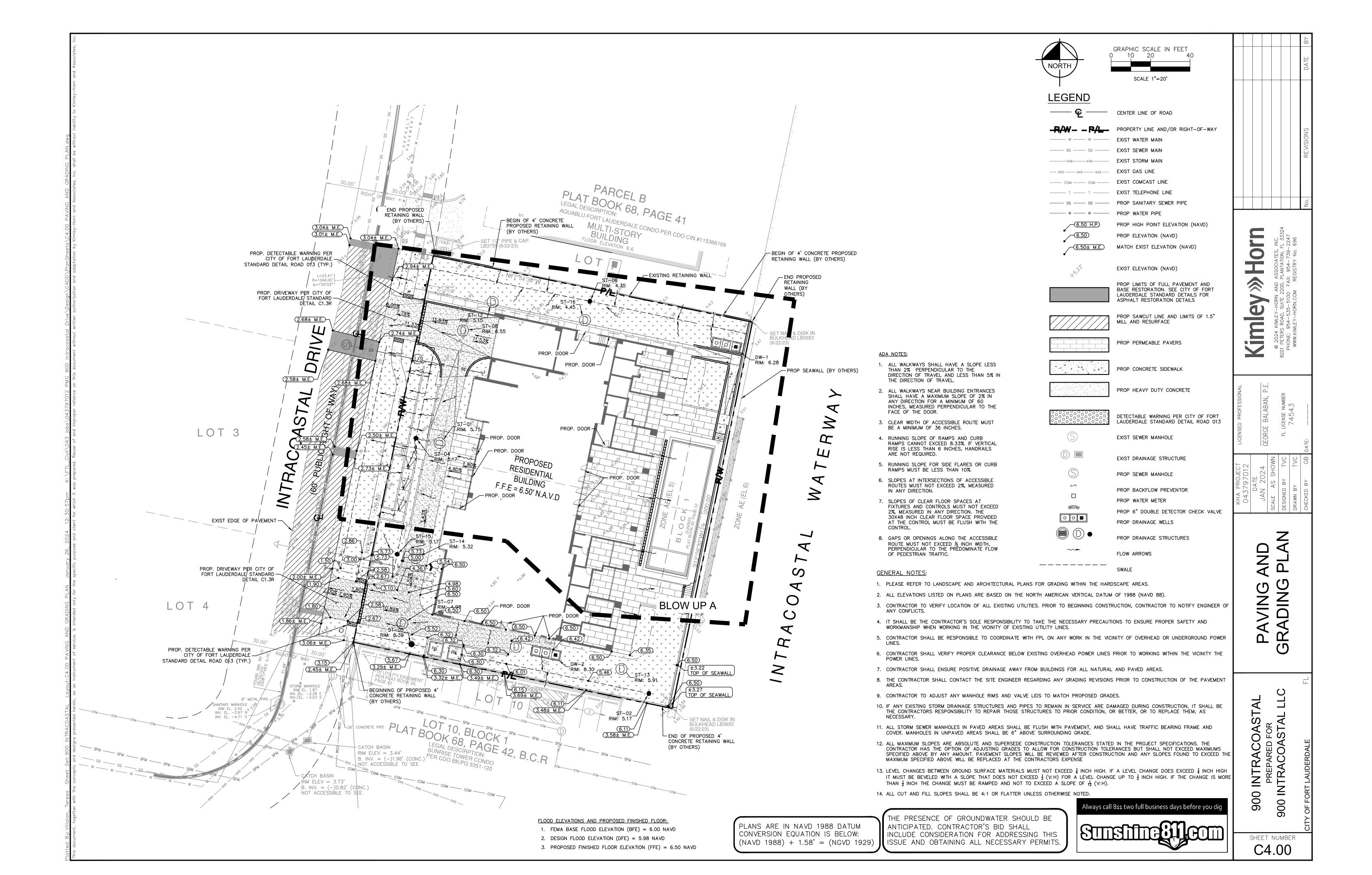
GEOMETRY, SIGNAGE, AND PRIPING DETAILS

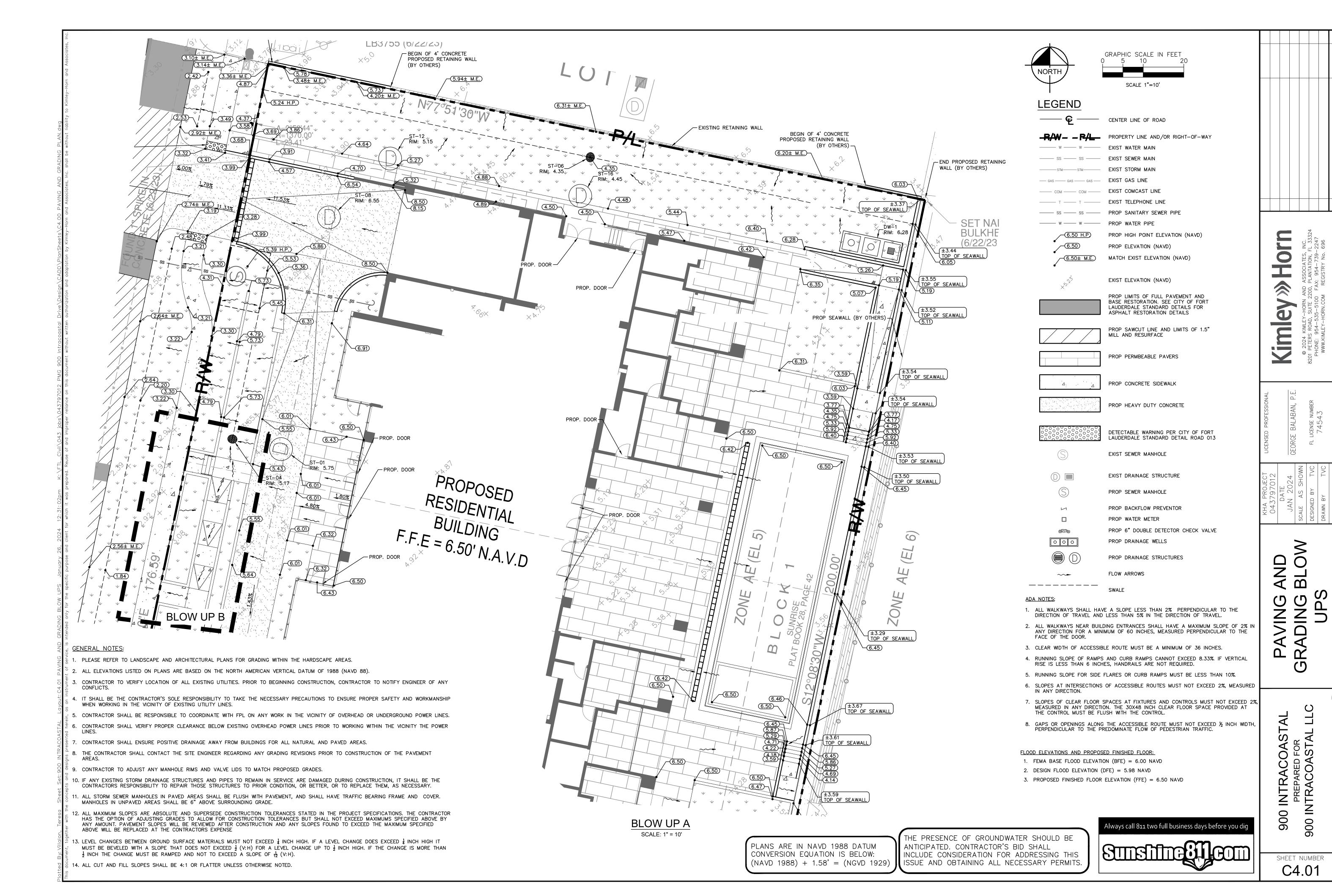
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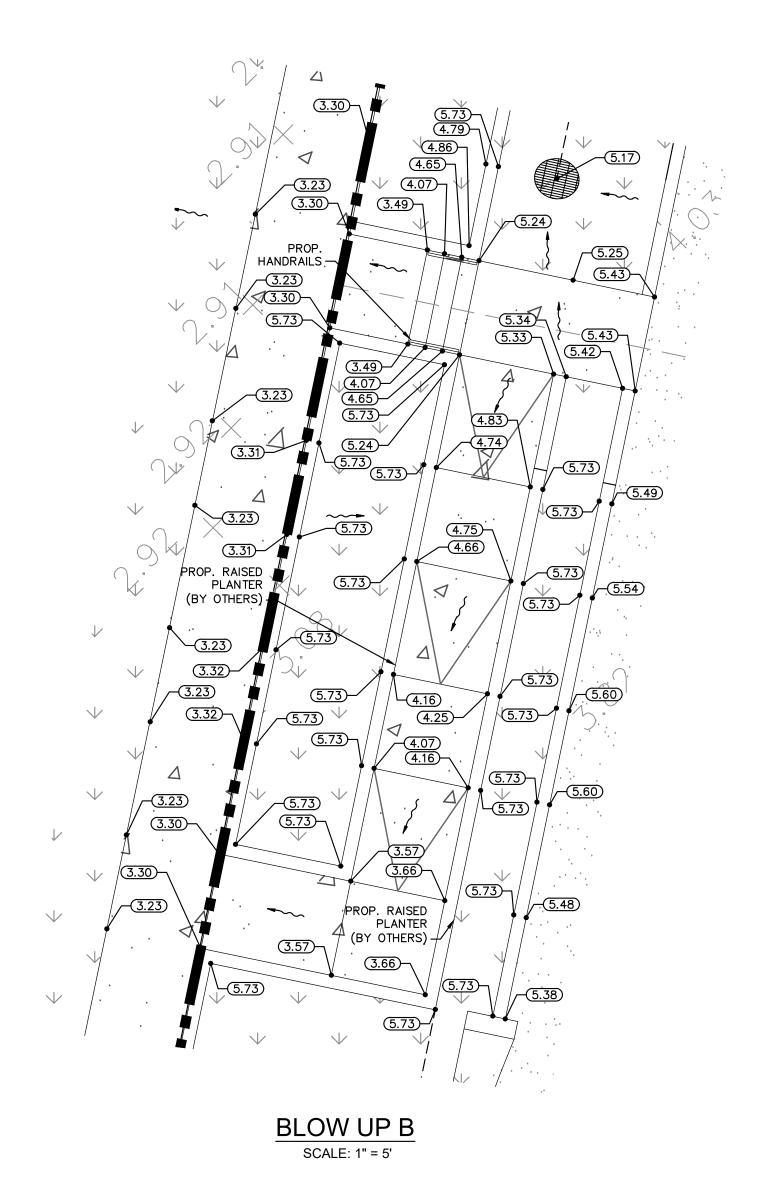
900 INTRACOASTAL
PREPARED FOR
900 INTRACOASTAL LLC

SHEET NUMBER

Always call 811 two full business days before you dig







GENERAL NOTES:

- 1. PLEASE REFER TO LANDSCAPE AND ARCHITECTURAL PLANS FOR GRADING WITHIN THE HARDSCAPE AREAS.
- 2. ALL ELEVATIONS LISTED ON PLANS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- 3. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR TO NOTIFY ENGINEER OF
- 4. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND
- WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
- 5. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH FPL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER
- 6. CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY THE
- 7. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- 8. THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER REGARDING ANY GRADING REVISIONS PRIOR TO CONSTRUCTION OF THE PAVEMENT
- 9. CONTRACTOR TO ADJUST ANY MANHOLE RIMS AND VALVE LIDS TO MATCH PROPOSED GRADES.
- 10. IF ANY EXISTING STORM DRAINAGE STRUCTURES AND PIPES TO REMAIN IN SERVICE ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR THOSE STRUCTURES TO PRIOR CONDITION, OR BETTER, OR TO REPLACE THEM, AS
- 11. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING FRAME AND COVER. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE SURROUNDING GRADE.
- 12. ALL MAXIMUM SLOPES ARE ABSOLUTE AND SUPERSEDE CONSTRUCTION TOLERANCES STATED IN THE PROJECT SPECIFICATIONS. THE CONTRACTOR HAS THE OPTION OF ADJUSTING GRADES TO ALLOW FOR CONSTRUCTION TOLERANCES BUT SHALL NOT EXCEED MAXIMUMS SPECIFIED ABOVE BY ANY AMOUNT. PAVEMENT SLOPES WILL BE REVIEWED AFTER CONSTRUCTION AND ANY SLOPES FOUND TO EXCEED THE MAXIMUM SPECIFIED ABOVE WILL BE REPLACED AT THE CONTRACTORS EXPENSE
- 13. LEVEL CHANGES BETWEEN GROUND SURFACE MATERIALS MUST NOT EXCEED \$\frac{1}{4}\$ INCH HIGH. IF A LEVEL CHANGE DOES EXCEED \$\frac{1}{4}\$ INCH HIGH IT MUST BE BEVELED WITH A SLOPE THAT DOES NOT EXCEED $\frac{1}{2}$ (V:H) FOR A LEVEL CHANGE UP TO $\frac{1}{2}$ INCH HIGH. IF THE CHANGE IS MORE THAN $\frac{1}{2}$ INCH THE CHANGE MUST BE RAMPED AND NOT TO EXCEED A SLOPE OF $\frac{1}{12}$ (V:H).

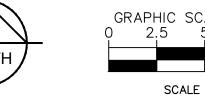
PLANS ARE IN NAVD 1988 DATUM

CONVERSION EQUATION IS BELOW:

14. ALL CUT AND FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.

(NAVD 1988) + 1.58' = (NGVD 1929)

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.



SCALE 1"=5"

LEGEND

——— Ç ——— CENTER LINE OF ROAD

PROPERTY LINE AND/OR RIGHT-OF-WAY — W — W — EXIST WATER MAIN ----- SS ----- EXIST SEWER MAIN

— GAS — GAS — EXIST GAS LINE ____ COM ____ COM ___ EXIST COMCAST LINE —— T — T — EXIST TELEPHONE LINE ----- ss ----- ss ----- PROP SANITARY SEWER PIPE

_____stm___stm____ EXIST STORM MAIN

----- W ----- PROP WATER PIPE PROP HIGH POINT ELEVATION (NAVD) PROP ELEVATION (NAVD) MATCH EXIST ELEVATION (NAVD)

EXIST ELEVATION (NAVD) PROP LIMITS OF FULL PAVEMENT AND BASE RESTORATION. SEE CITY OF FORT

LAUDERDALE STANDARD DETAILS FOR

PROP CONCRETE SIDEWALK

ASPHALT RESTORATION DETAILS PROP SAWCUT LINE AND LIMITS OF 1.5" MILL AND RESURFACE

PROP PERMEABLE PAVERS

PROP HEAVY DUTY CONCRETE

DETECTABLE WARNING PER CITY OF FORT LAUDERDALE STANDARD DETAIL ROAD 013

EXIST SEWER MANHOLE

PROP DRAINAGE WELLS

EXIST DRAINAGE STRUCTURE PROP SEWER MANHOLE

PROP BACKFLOW PREVENTOR PROP WATER METER PROP 6" DOUBLE DETECTOR CHECK VALVE

PROP DRAINAGE STRUCTURES

~~~ FLOW ARROWS \_\_\_\_\_

- 1. ALL WALKWAYS SHALL HAVE A SLOPE LESS THAN 2% PERPENDICULAR TO THE DIRECTION OF TRAVEL AND LESS THAN 5% IN THE DIRECTION OF TRAVEL.
- 2. ALL WALKWAYS NEAR BUILDING ENTRANCES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION FOR A MINIMUM OF 60 INCHES, MEASURED PERPENDICULAR TO THE
- 3. CLEAR WIDTH OF ACCESSIBLE ROUTE MUST BE A MINIMUM OF 36 INCHES.
- 4. RUNNING SLOPE OF RAMPS AND CURB RAMPS CANNOT EXCEED 8.33%. IF VERTICAL RISE IS LESS THAN 6 INCHES, HANDRAILS ARE NOT REQUIRED.
- 5. RUNNING SLOPE FOR SIDE FLARES OR CURB RAMPS MUST BE LESS THAN 10%.
- 6. SLOPES AT INTERSECTIONS OF ACCESSIBLE ROUTES MUST NOT EXCEED 2%, MEASURED IN ANY DIRECTION.
- 7. SLOPES OF CLEAR FLOOR SPACES AT FIXTURES AND CONTROLS MUST NOT EXCEED 2%, MEASURED IN ANY DIRECTION. THE 30X48 INCH CLEAR FLOOR SPACE PROVIDED AT THE CONTROL MUST BE FLUSH WITH THE CONTROL.
- 8. GAPS OR OPENINGS ALONG THE ACCESSIBLE ROUTE MUST NOT EXCEED  $\frac{1}{2}$  INCH WIDTH, PERPENDICULAR TO THE PREDOMINATE FLOW OF PEDESTRIAN TRAFFIC.

### FLOOD ELEVATIONS AND PROPOSED FINISHED FLOOR:

- 1. FEMA BASE FLOOD ELEVATION (BFE) = 6.00 NAVD
- 2. DESIGN FLOOD ELEVATION (DFE) = 5.98 NAVD

3. PROPOSED FINISHED FLOOR ELEVATION (FFE) = 6.50 NAVD



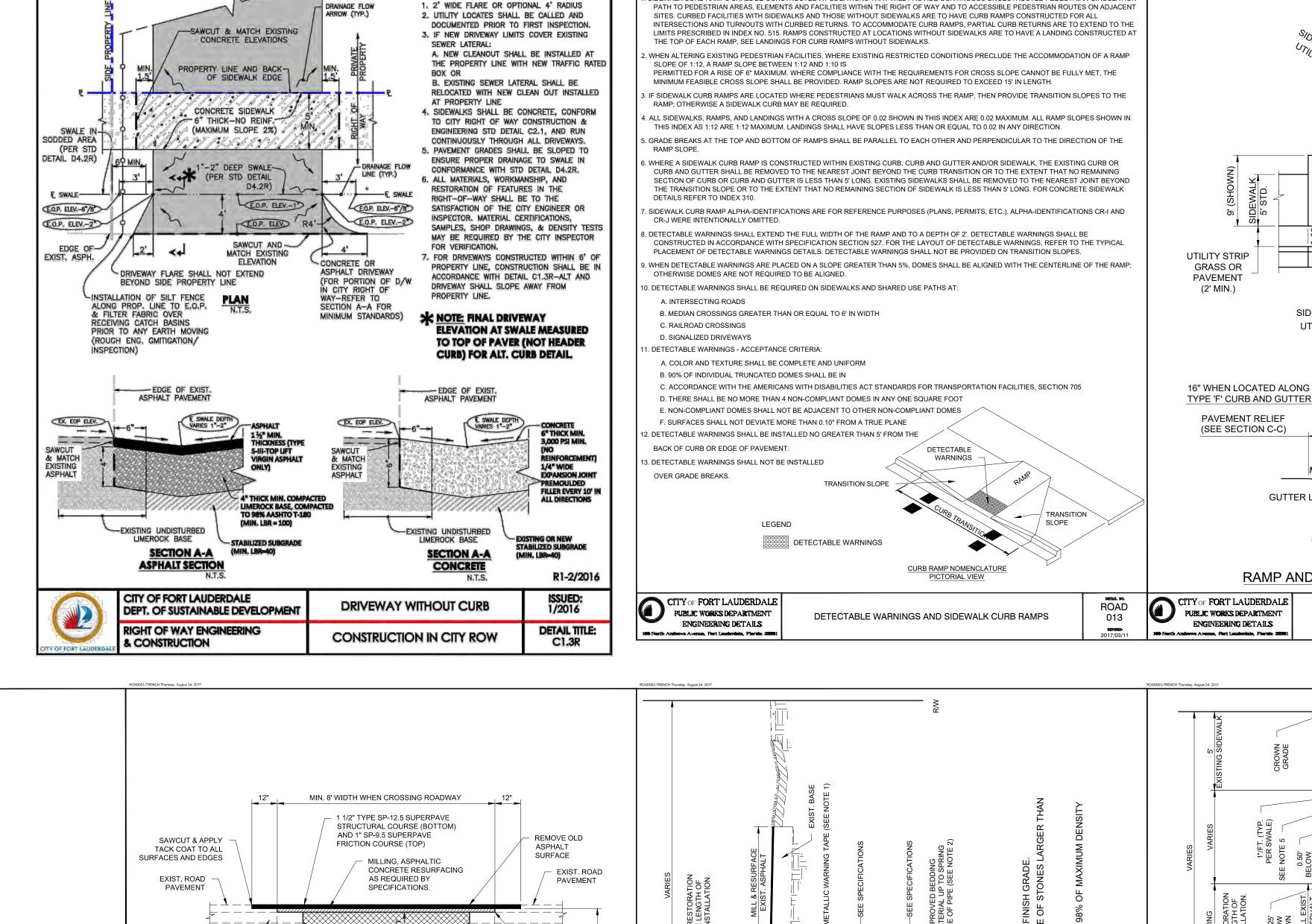
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GEORGE BALABAN, P.E

 $\Box$ **M** 

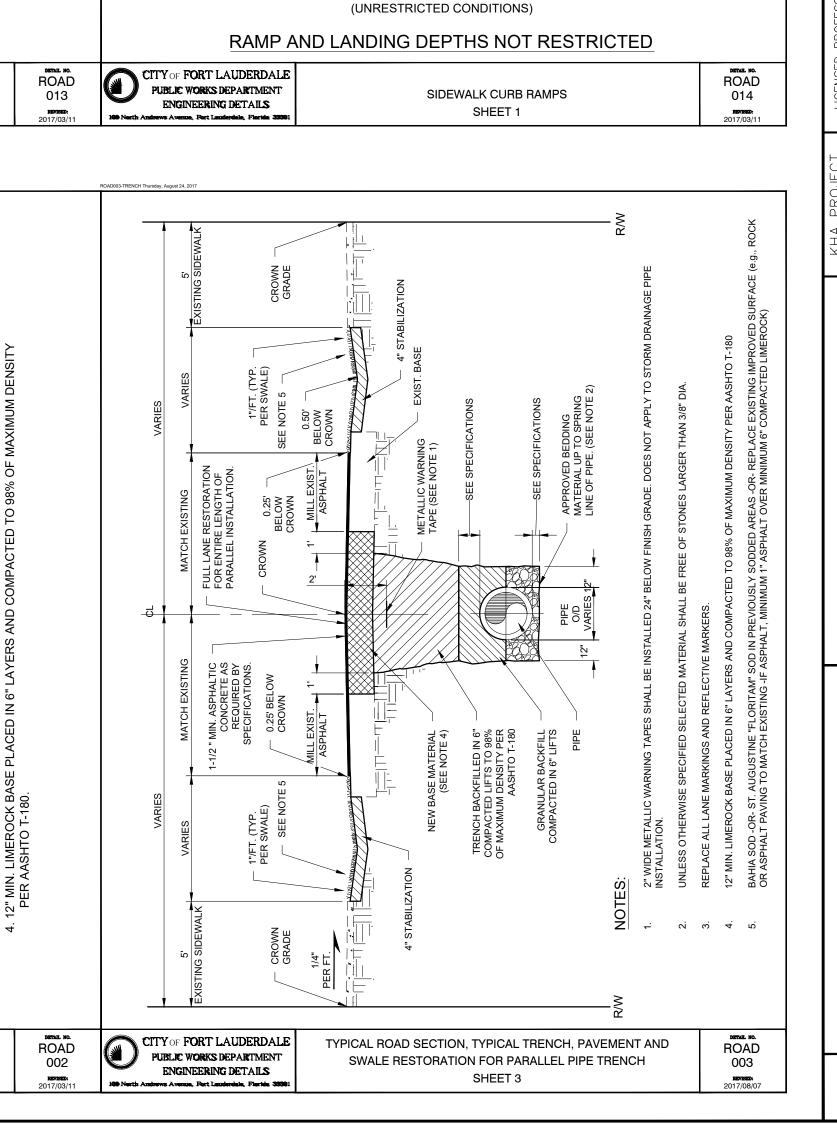
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GENERAL NOTES SIDEWALK CURB RAMPS SHALL BE CONSTRUCTED AT LOCATIONS THAT WILL PROVIDE CONTINUOUS UNOBSTRUCTED PEDESTRIAN CIRCULATION

**GENERAL NOTES:** 



PICTORIAL VIEW

Α

4' MIN.

PLAN VIEW

(CR-A)

SECTION A-A

SECTION THROUGH RAMP AND LANDING

SIDEWALK

LANDING

VARIES (11' - 0" SHOWN)

0

U

Kin

DETAIL

PAVINC ADING

2

006

SHEET NUMBER

C4.03

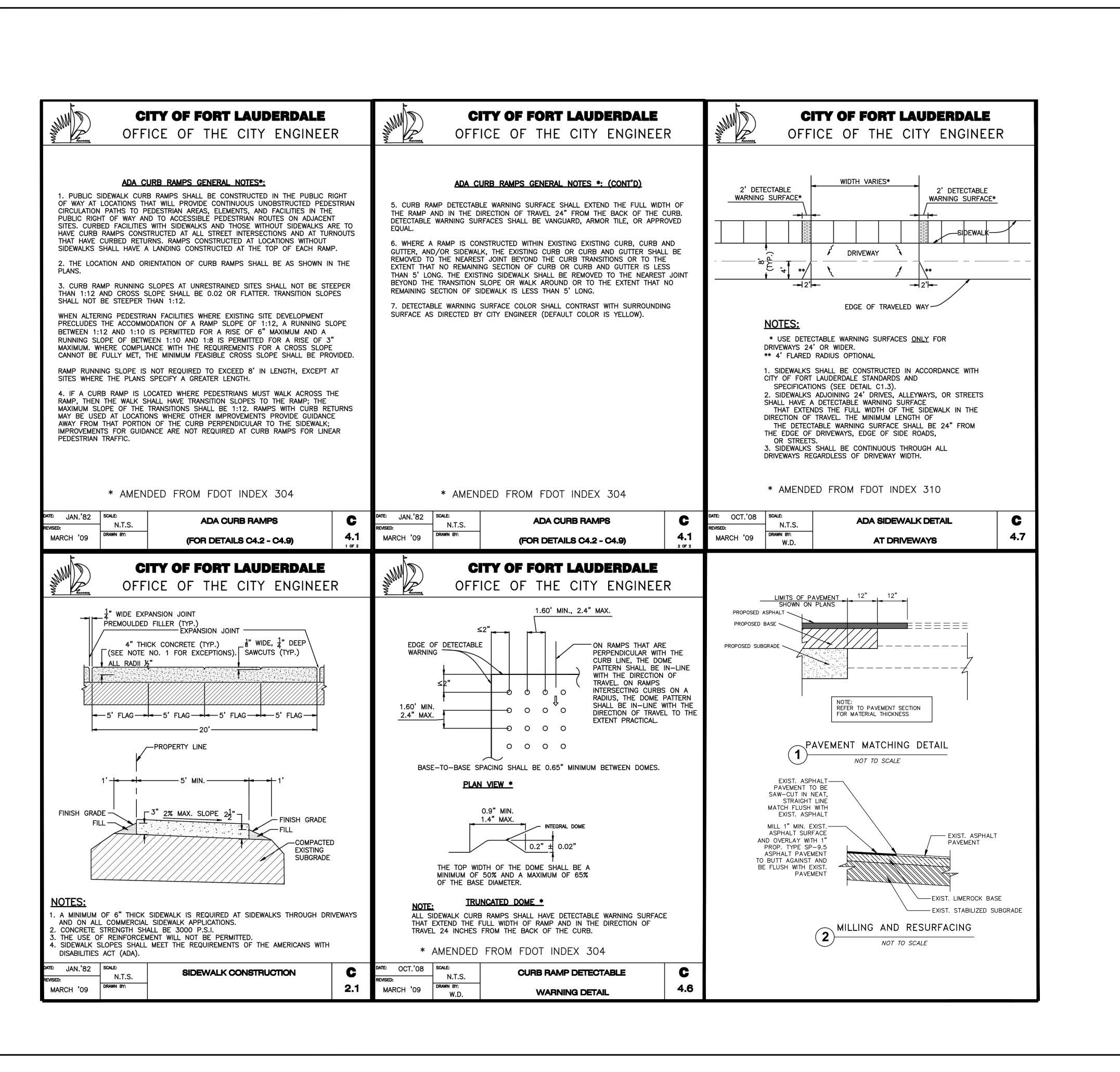
LANDING (4' MIN.)

SIDEWALK WITH

UTILITY STRIP

**GUTTER LINE** 

**TABLE OF DETECTABLE** WARNINGS **TOTAL AREA CURB RAMP** RADIUS (FT) (SF) CR-A 8 CR-B CR-D CR-E CR-F CR-G SAW CUT & APPLY TACK COAT TO ALL METALLIC WARNING SURFACES AND TAPE (SEE NOTE 1) RESTORE ROAD BED TWO TIMES EDGES ORIGINAL THICKNESS 18" MAX. -SEE SPECIFICATIONS AND 12" MIN. PLACED IN 6" GRANULAR BACKFILI LIFTS AND COMPACTED TO 98% OF MAXIMUM DENSITY PER AASHTO T-180 COMPACTED IN 6" LIFTS -SEE SPECIFICATIONS TRENCH BACKFILLED IN 6" LIFTS -COMPACTED TO 100% OF MAXIMUM CR-K DENSITY PER AASHTO T-99 THE FINAL TWO LIFTS OF BACKFILL 12" VARIES 12" APPROVED BEDDING CR-L MUST MEET LBR 40 LOADING MATERIAL UP TO SPRING-LINE OF PIPE (SEE NOTE 2) FLUSH SHOULDER NOTE: OPTION A DUE TO CONSTRUCTION APPLICATIONS, CR-L IS THE ONLY CURB RAMP FOR WHICH COMPACTED IN 6" LIFES A DETECTABLE WARNING QUANTITY WAS CALCULATED USING A CURB RADIUS OF 15' 1. METALLIC WARNING TAPES SHALL BE INSTALLED 24" BELOW FINISH GRADE FOR FLUSH SHOULDER OPTIONS WITH 5' ABOVE MAIN. (SEE SPECIFICATION 2320 SECTION 3.6 FOR MARKING TYPE) SIDEWALKS, THE BACK OF SIDEWALK IS OPTION B 2. UNLESS OTHERWISE SPECIFIED SELECTED MATERIAL SHALL BE FREE OF T=6" PARKING MEASURED AT 10' FROM THE EDGE OF STONES LARGER THAN 3/8" DIA. T=8" RESIDENTIAL STREETS
T=10" MAJOR STREETS (4 LANE) TRAVELED WAY. 3. REPLACE ALL LANE MARKINGS AND REFLECTIVE MARKERS. T=12" MAJOR STREETS (6 LANE) 2T=18" MAX. 12" MIN. AREAS OF DETECTABLE WARNINGS FOR SIDEWALK CURB RAMP AND FLUSH SHOULDER APPLICATIONS ROAD ROAD 001 CITY OF FORT LAUDERDALE CITY OF FORT LAUDERDALE CITY OF FORT LAUDERDALE TYPICAL TRENCH AND PAVEMENT TYPICAL ROAD SECTION, TYPICAL TRENCH AND TRENCH PUBLIC WORKS DEPARTMENT PUBLIC WORKS DEPARTMENT PUBLIC WORKS DEPARTMENT RESTORATION FOR PARALLEL PIPE TRENCH RESTORATION FOR TRANSVERSE PIPE CROSSING TABLE OF DETECTABLE WARNINGS 033 ENGINEERING DETAILS ENGINEERING DETAILS ENGINEERING DETAILS SHEET 1 SHEET 2 00 North Andrews Avenue, Fort Lauderdale, Florida 3550! 100 North Andrews Avenue, Fort Lauderdale, Florida 33301 100 North Andrews Avenue, Fort Lauderdele, Florida 33301



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8201 PETERS ROAD, SUITE 2200, PLANTATION, FL 33324
PHONE: 954-535-5100 FAX: 954-739-2247
WWW.KIMLEY-HORN.COM REGISTRY No. 696

GEORGE BALABAN, P.E.

VC FL LICENSE NUMBER

74543

DATE

DATE

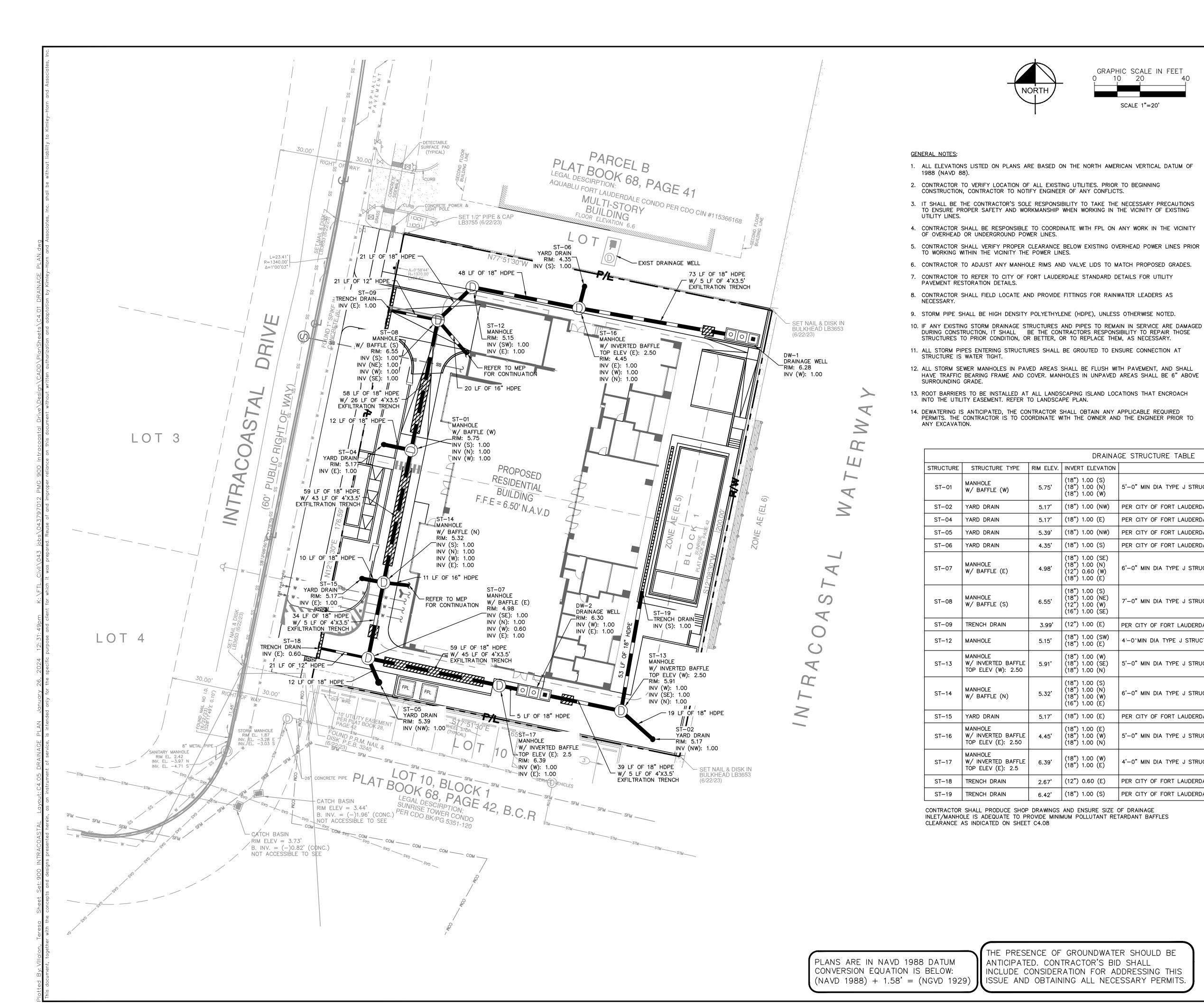
JAN 2024

SCALE AS SHOWN

PAVING AND RADING DETAILS

900 INTRACOASTAL
PREPARED FOR
900 INTRACOASTAL LLC

SHEET NUMBER
C4.04





5.75'

4.98'

6.55

5.15'

5.91

5.32'

4.45'

6.39'

(18") 1.00 (N)

5.17' (18") 1.00 (E)

(18") 1.00 (W)

(18") 1.00 (N)

(12") 0.60 (W)

(18") 1.00 (E)

(18") 1.00 (S)

(18") 1.00 (NE) (12") 1.00 (W)

(16") 1.00 (SE)

(18") 1.00 (E)

(18") 1.00 (W)

(18") 1.00 (SE)

(18") 1.00 (N)

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(18") 1.00 (N) (18") 1.00 (W)

(16") 1.00 (E)

(18") 1.00 (E)

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(18") 1.00 (W)

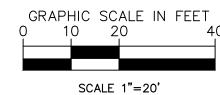
(18") 1.00 (E)

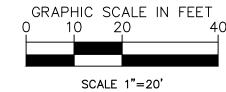
5.17' (18") 1.00 (E)

2.67' (12") 0.60 (E)

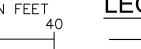
6.42' (18") 1.00 (S)

3.99' (12") 1.00 (E)





DRAINAGE STRUCTURE TABLE



**LEGEND** 

---- CENTER LINE OF ROAD

- PAL PROPERTY LINE AND/OR RIGHT-OF-WAY

----- w ----- EXIST WATER MAIN ----- ss ----- EXIST SEWER MAIN 

— GAS — GAS — EXIST GAS LINE \_\_\_\_ COM \_\_\_\_ COM \_\_\_\_ EXIST COMCAST LINE \_\_\_\_\_ T \_\_\_\_ EXIST TELEPHONE LINE ------ ss ------- prop sanitary sewer pipe ---- w ---- EXIST WATER PIPE

> PROP SEWER MANHOLE PROP BACKFLOW PREVENTOR PROP WATER METER

> > PROP 6" DOUBLE DETECTOR CHECK PROP DRAINAGE WELL

PROP DRAINAGE STRUCTURES PROP DRAINAGE PIPE WITH 4' WIDE

EXFILTRATION TRENCH

STRUCTURE DETAILS

5'-0" MIN DIA TYPE J STRUCTURE W/ TYPE AA COVER W/ THE WORD "STORM"

PER CITY OF FORT LAUDERDALE PLASTIC DRAIN BASIN DETAIL ON SHEET C4.07

6'-0" MIN DIA TYPE J STRUCTURE W/ TYPE AA COVER W/ THE WORD "STORM"

7'-0" MIN DIA TYPE J STRUCTURE W/ TYPE AA COVER W/ THE WORD "STORM"

--O"MIN DIA TYPE J STRUCTURE W/ TYPE AA COVER W/ THE WORD "STORM"

5'-0" MIN DIA TYPE J STRUCTURE W/ TYPE AA COVER W/ THE WORD "STORM"

6'-0" MIN DIA TYPE J STRUCTURE W/ TYPE AA COVER W/ THE WORD "STORM"

PER CITY OF FORT LAUDERDALE PLASTIC DRAIN BASIN DETAIL ON SHEET C4.07

5'-0" MIN DIA TYPE J STRUCTURE W/ TYPE AA COVER W/ THE WORD "STORM"

4'-0" MIN DIA TYPE J STRUCTURE W/ TYPE AA COVER W/ THE WORD "STORM"

PER CITY OF FORT LAUDERDALE TRENCH DRAIN DETAIL ON SHEET C4.07

PER CITY OF FORT LAUDERDALE TRENCH DRAIN DETAIL ON SHEET C4.07

PER CITY OF FORT LAUDERDALE TRENCH DRAIN DETAIL ON SHEET C4.07

(18") 1.00 (NW) | PER CITY OF FORT LAUDERDALE PLASTIC DRAIN BASIN DETAIL ON SHEET C4.07

5.39' (18") 1.00 (NW) | PER CITY OF FORT LAUDERDALE PLASTIC DRAIN BASIN DETAIL ON SHEET C4.07

4.35' (18") 1.00 (S) PER CITY OF FORT LAUDERDALE PLASTIC DRAIN BASIN DETAIL ON SHEET C4.07

FPL TRANSFORMER

Kin

LICENSE 745

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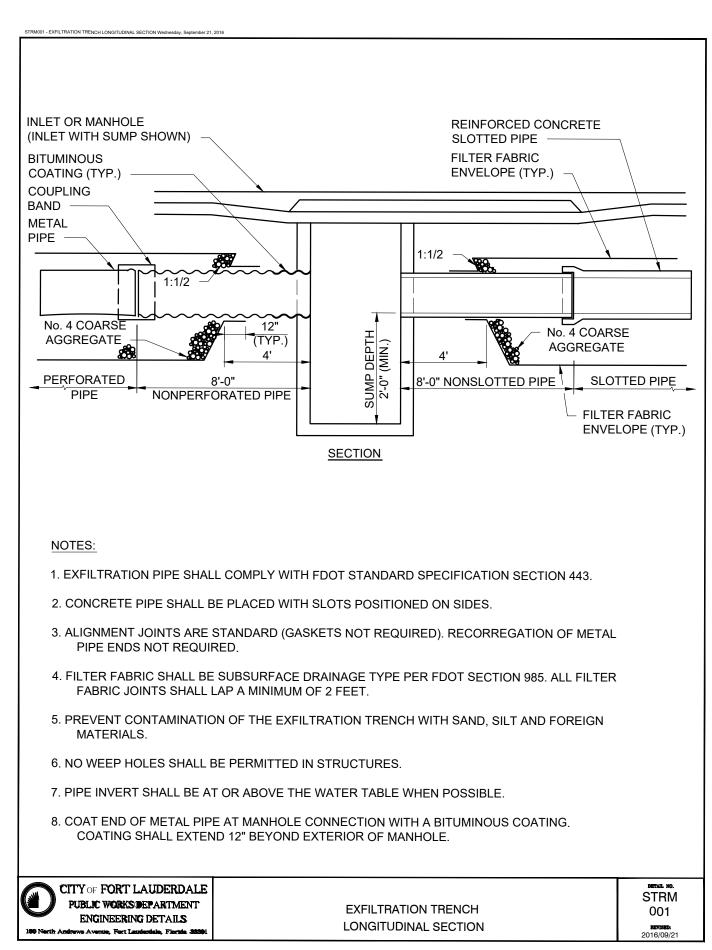
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O INTRACC PREPARED I 006 900 SHEET NUMBER

C4.05

Always call 811 two full business days before you dig

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS. Sunshine & Leom



3/8" ALUMINUM WEIR PLATE WITH 3"x3"x3/8" ALUMINUM ANGLE STIFFENERS @ 12" O.C.

RCP OUTLET (SEE PLANS)

FINAL GROUT

ASPHALT -

TOP OF WEIR EL. XX.XX

SHWT EL. XX.XX

BOTTOM EL. XX.XX

DESIGNED BY PRECAST FABRICATOR -

. ALL PRECAST CONCRETE SECTIONS SHALL

ENGINEER'S REVIEW AND APPROVAL. SHOP

REGISTERED IN THE STATE OF FLORIDA.

FLOATION WHEN EMPTY AND SUBJECT TO

GROUNDWATER TO TOP OF STRUCTURE.

CONTRACTOR SHALL SUBMIT SHOP DRAWING FOR

DRAWING SHALL INCLUDE DESIGN CALCULATIONS

SHOP DRAWINGS SHALL INCLUDE CALCULATIONS

DEMONSTRATING THAT STRUCTURE WILL RESIST

SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

TRANSPORTATION AND HANDLING.

SHWT: SEASONAL

HIGH WATER TABLE

DETAIL NO. STRM

004

e. PIPE THRUST = 500 LB.

f. H-20 TRUCK LOAD.

TRENCH OVERFLOW STRUCTURE

PLAN AND SECTION

REINFORCING STEEL TO BE

CONFORM TO ASTM C478.

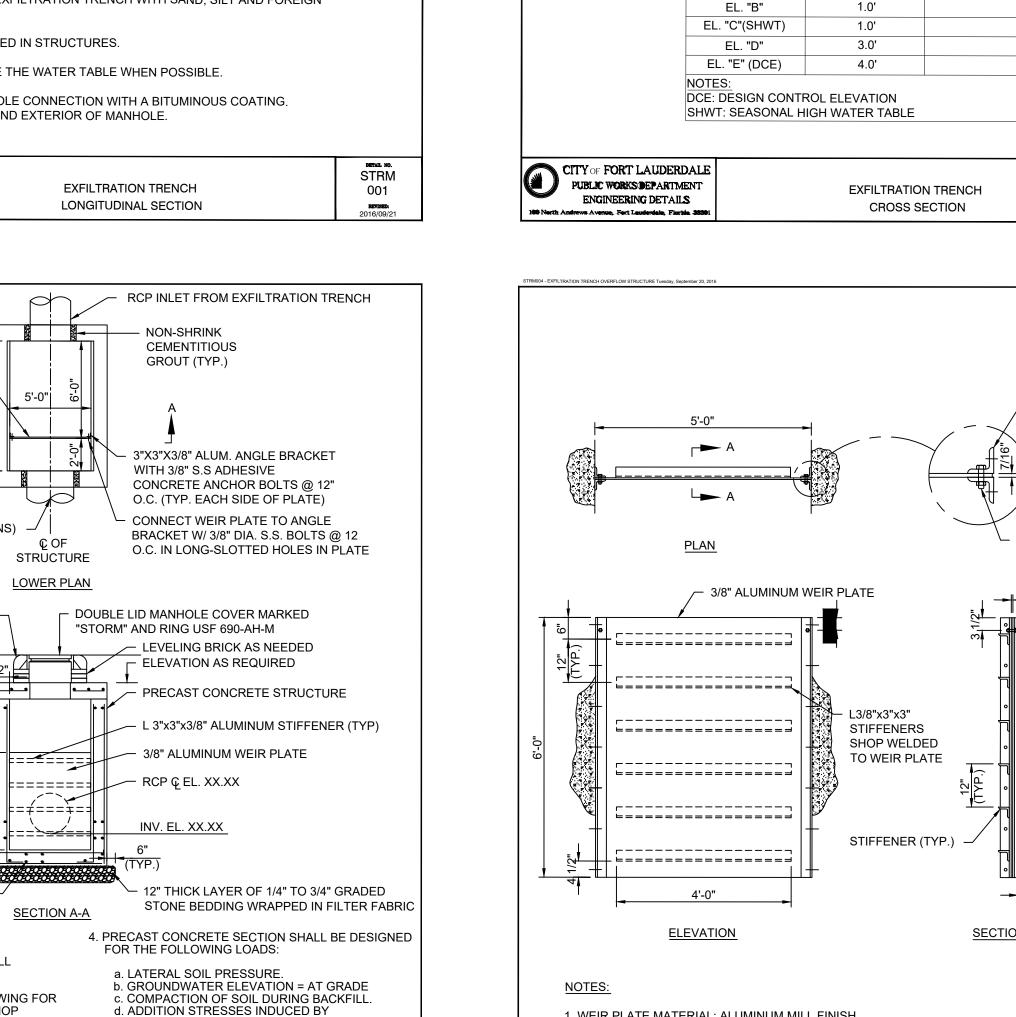
CITY OF FORT LAUDERDALE

ENGINEERING DETAILS

PUBLIC WORKSOEPARTMENT

160 North Andrews Avenue, Fort Lauderdele, Floride 38801

WELDED TO PLATE -



ENGINEERING DETAILS

100 North Andrews Avenue, Fort Lauderdale, Florida 3330

ROAD BASE

PERFORATED REINFORCED

PARAMETER

PIPE DIAMETER

Ds

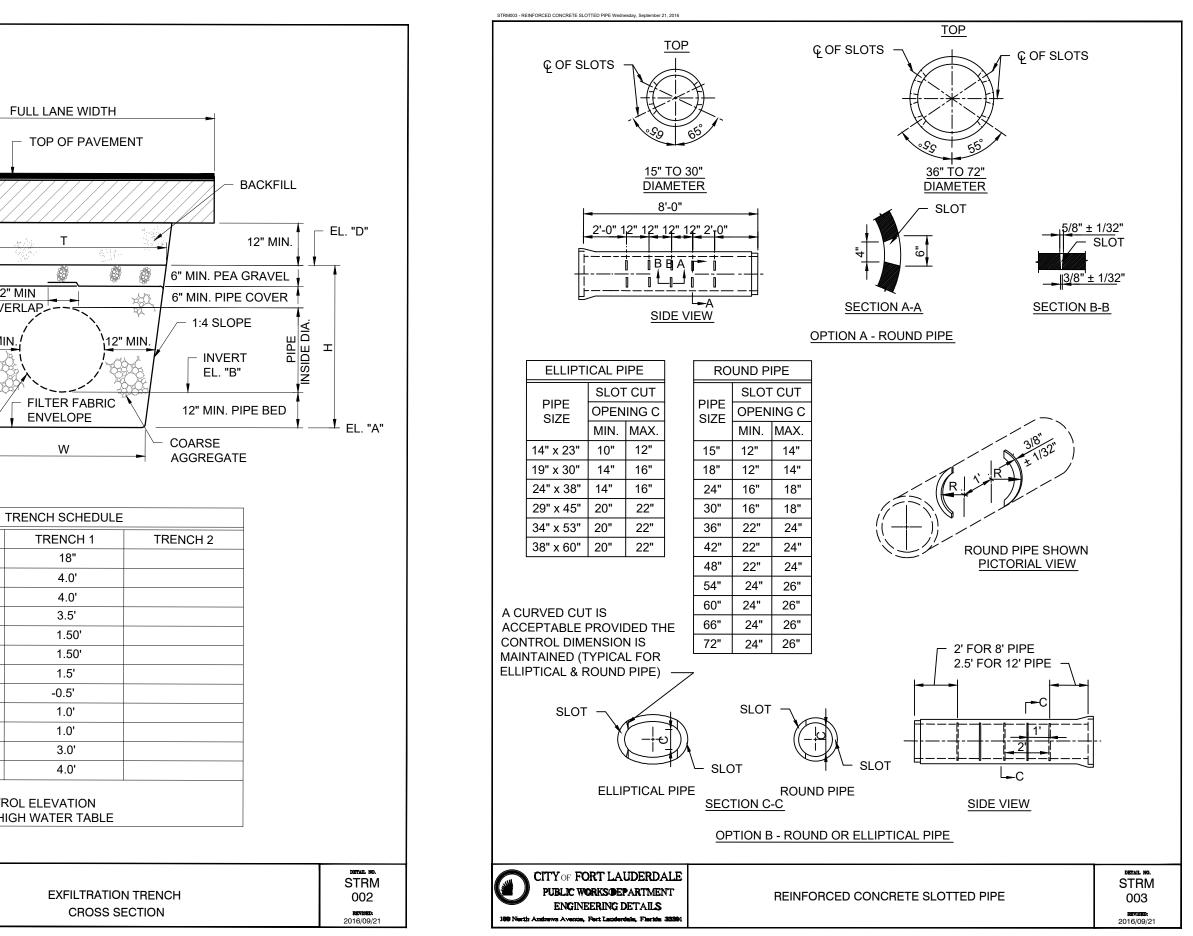
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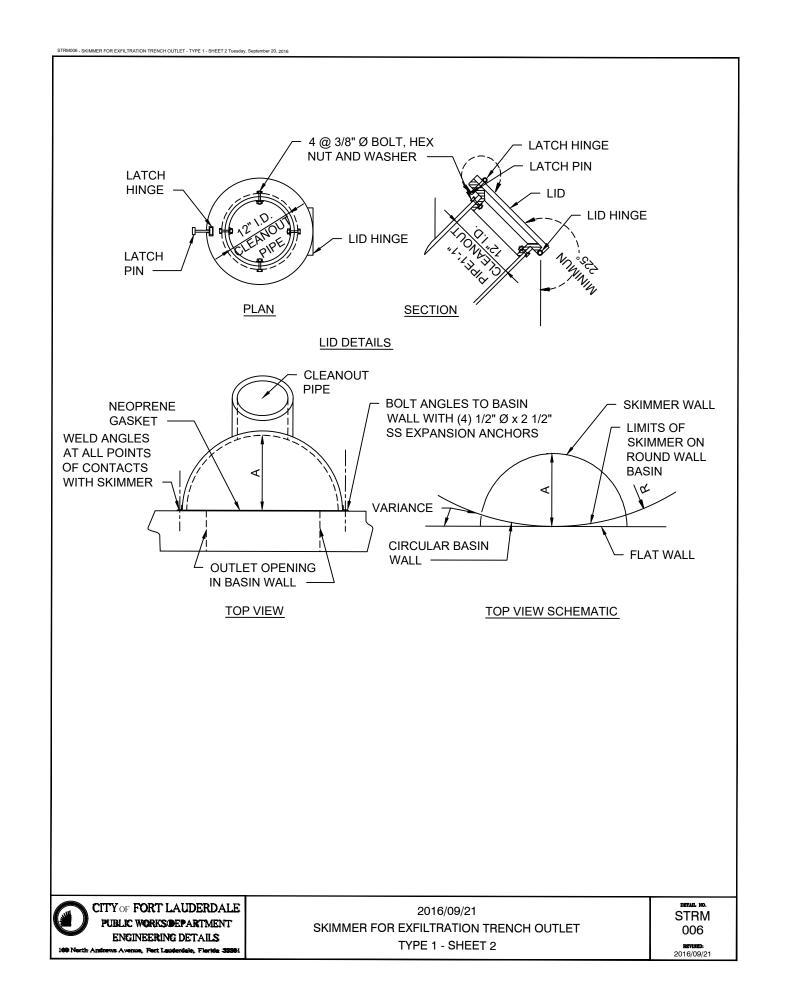
EL. "A"

CONCRETE PIPE -

**DESIGN CONTROL** 

ELEVATION = "E"





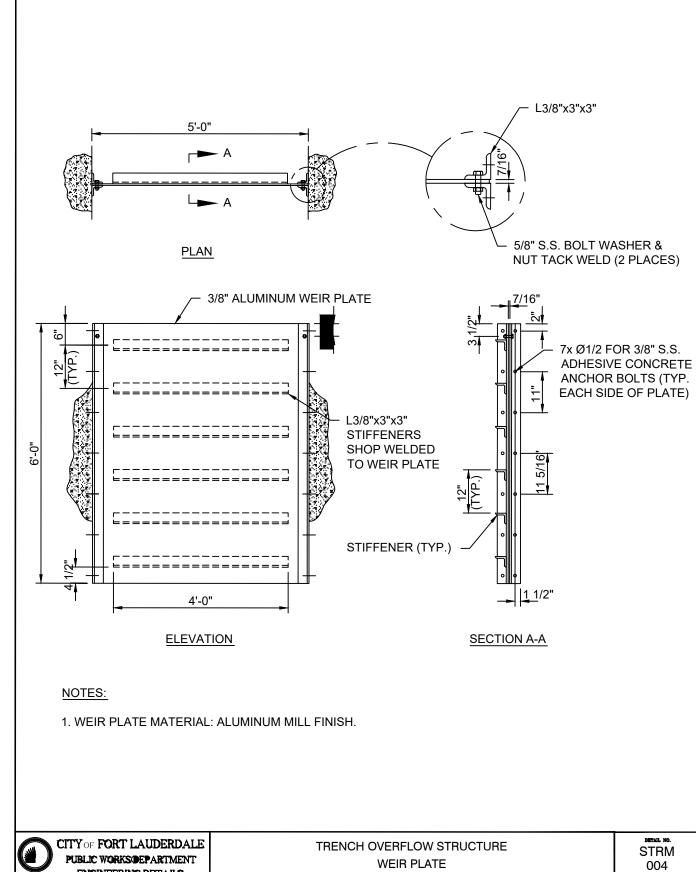


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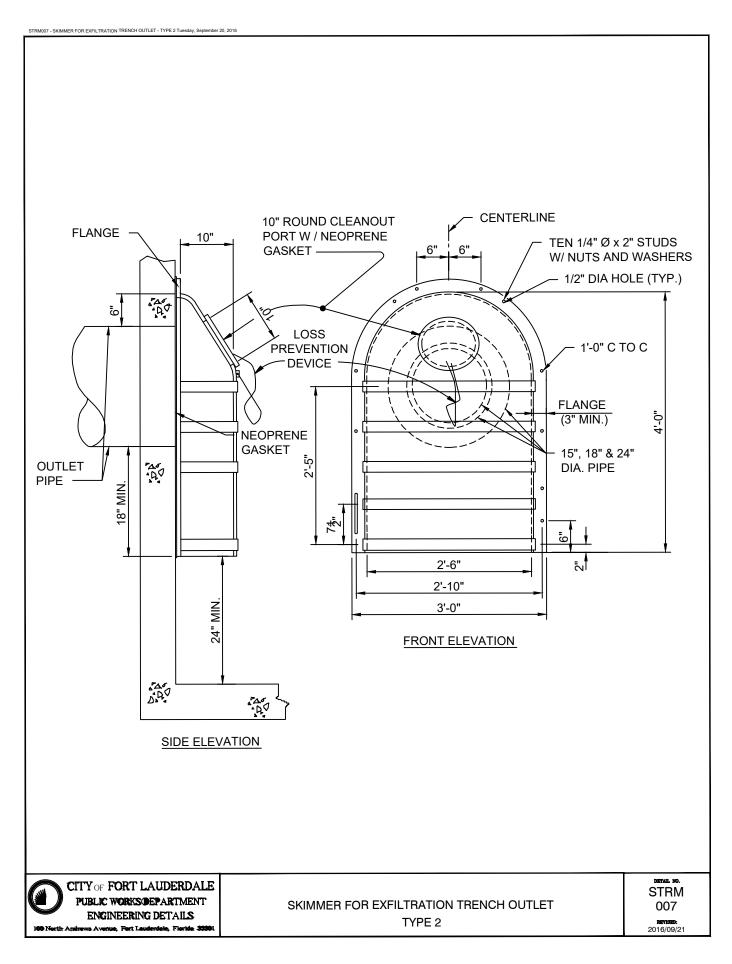
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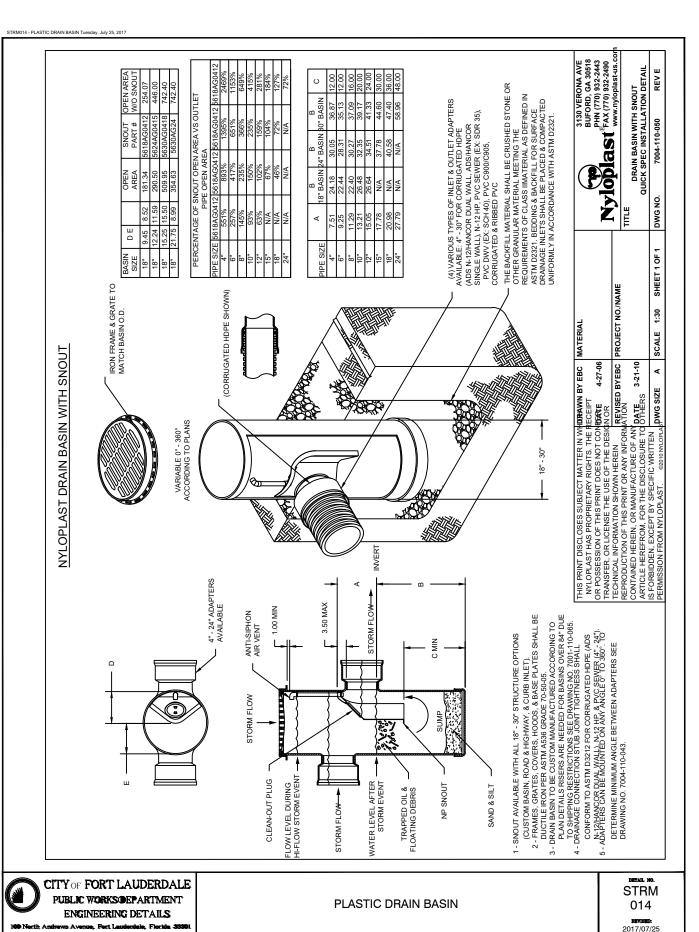
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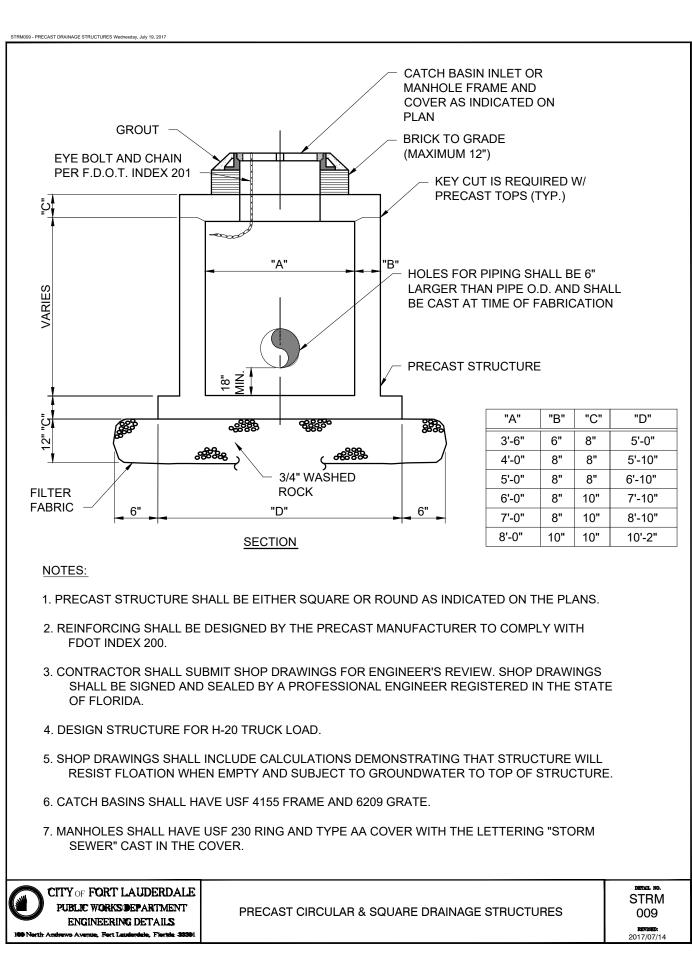
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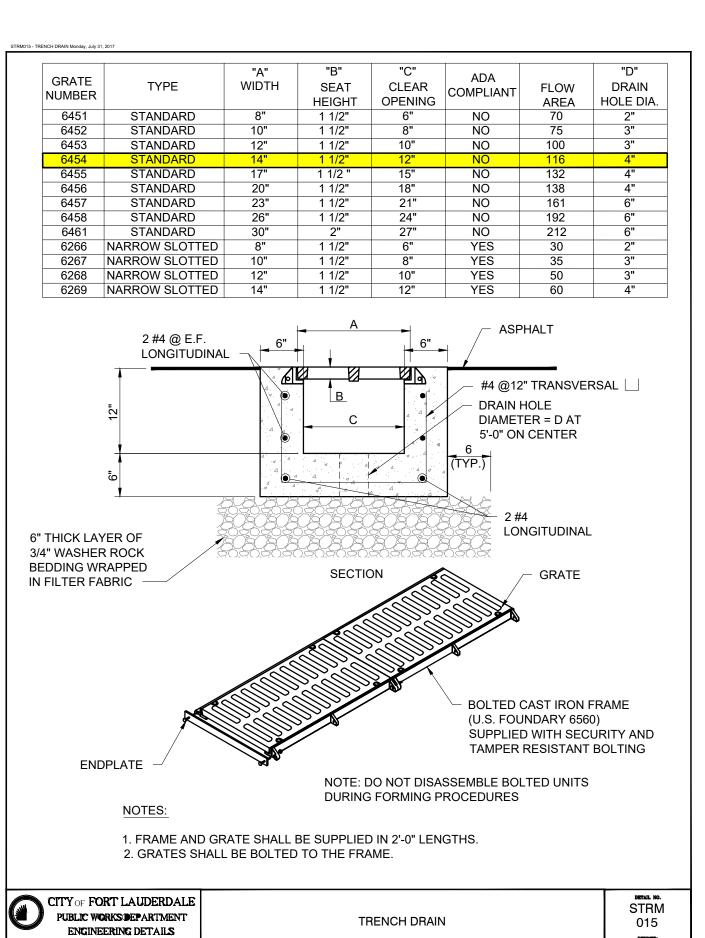


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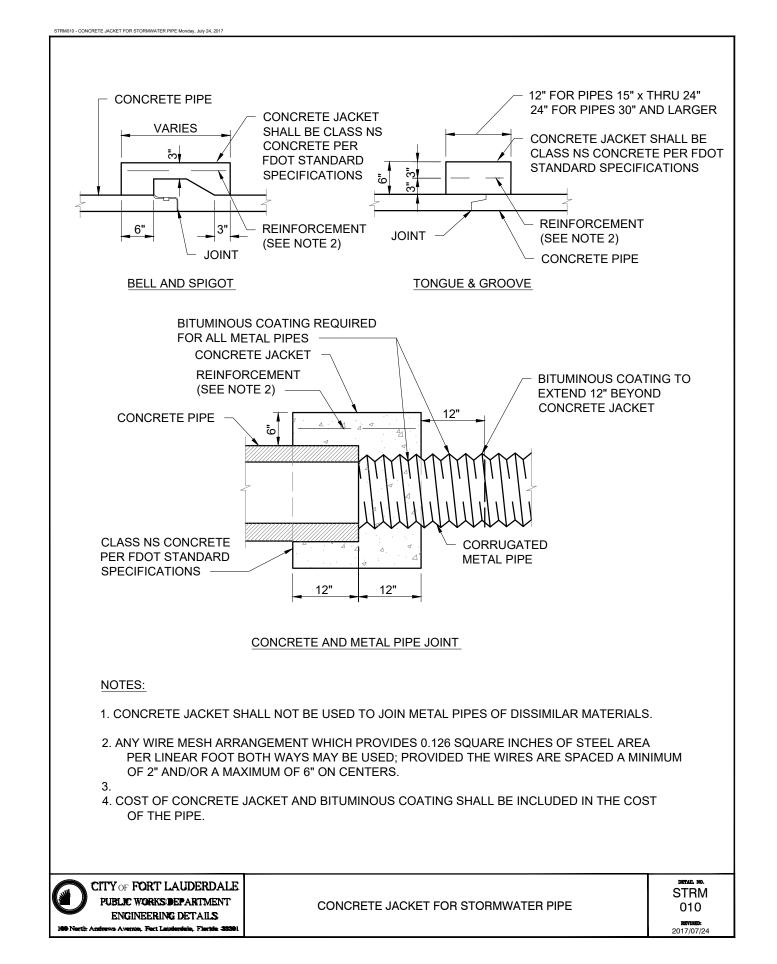


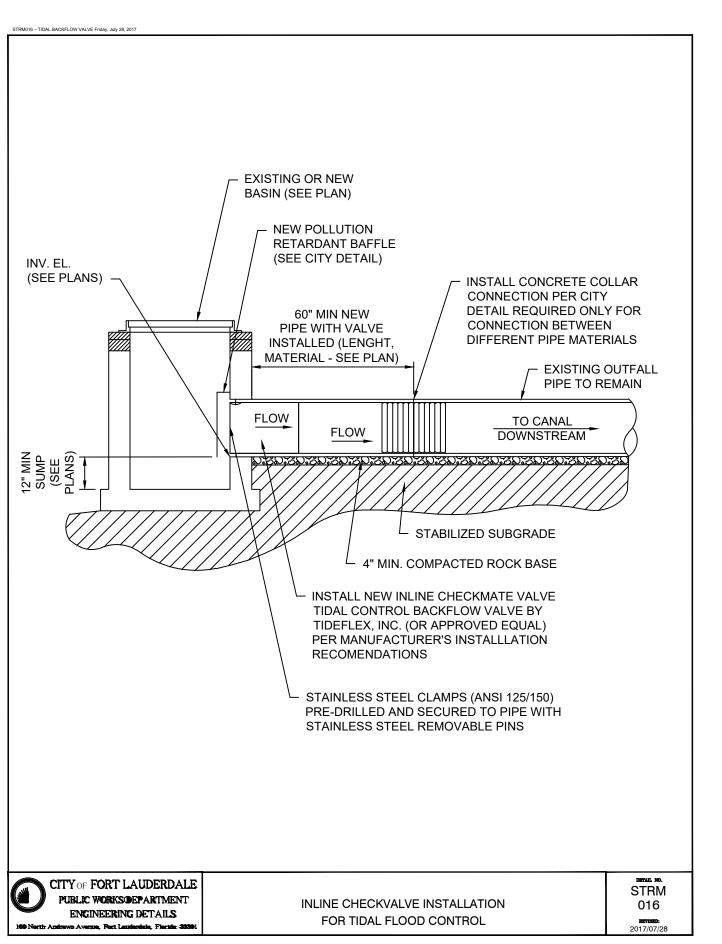






160 North Andrews Avenue, Fort Lauderdale, Florida 33301





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PHONE: 954-535-5100 FAX: 954-739-2247
WWW.KIMLEY-HORN.COM REGISTRY No. 696

KHA PROJECT

043797012

DATE

JAN 2024

SCALE AS SHOWN

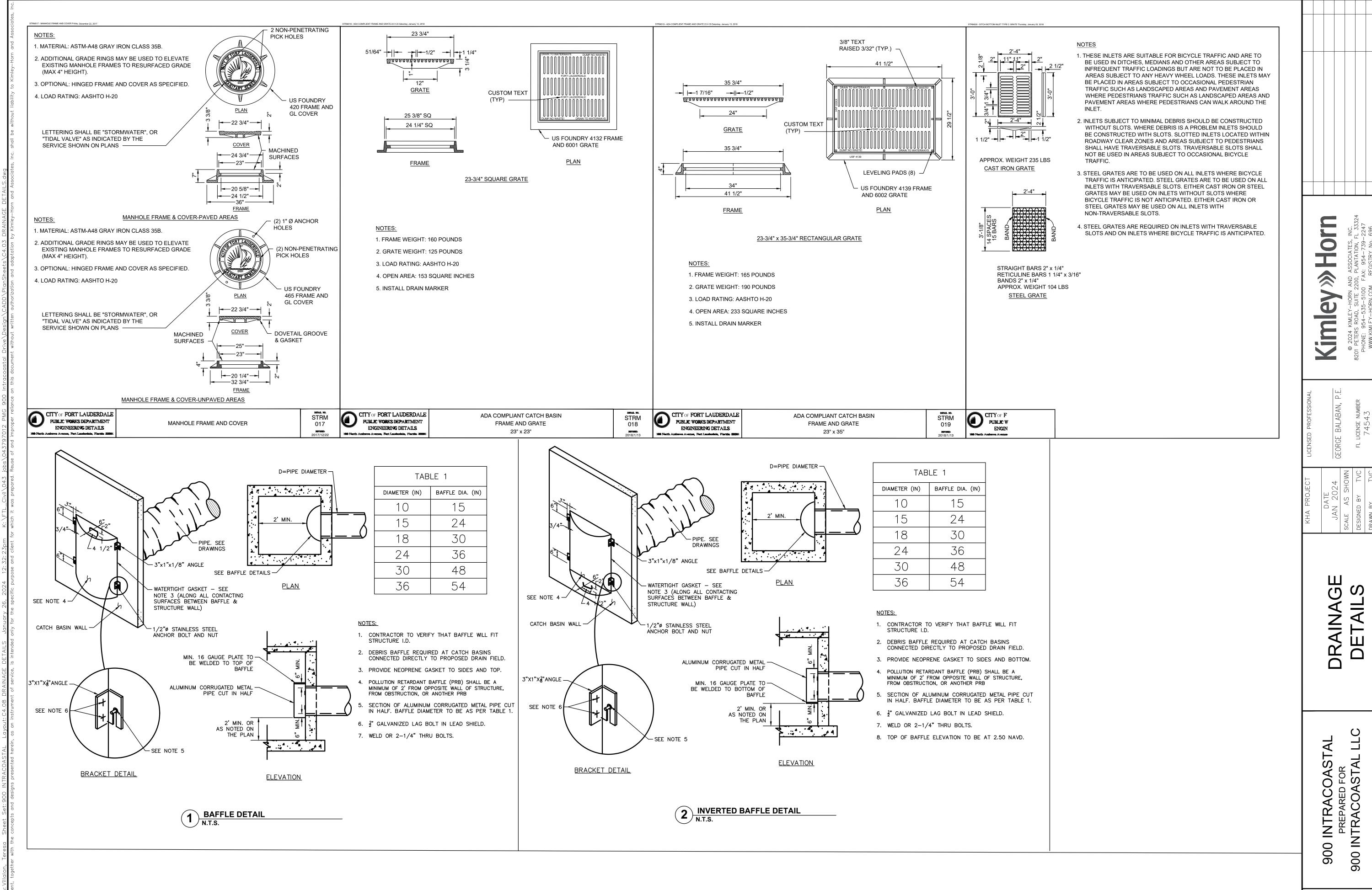
DESIGNED BY TVC

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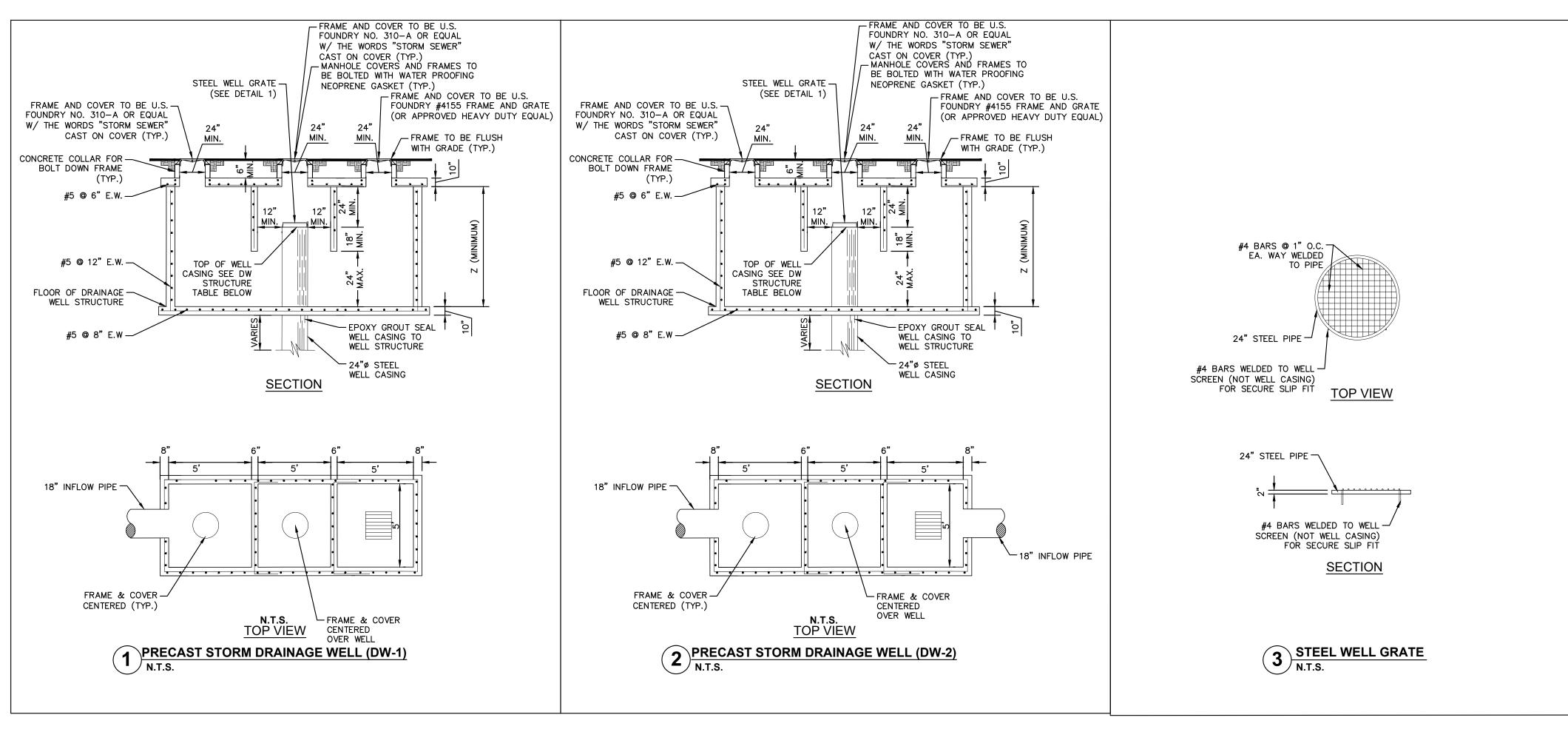
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DRAINAGE DETAILS

900 INTRACOASTAL
PREPARED FOR
900 INTRACOASTAL LLC



SHEET NUMBER C4.08



- 1. DEEP WELLS TO BE CONSTRUCTED PER DRAINAGE WELL SCHEDULE. CONTRACTOR IS TO VERIFY A MINIMUM FLOW RATE OF 140 GPM PER FOOT OF HEAD FOR EACH WELL, AND CONTACT ENGINEER OF RECORD IF SPECIFIC CAPACITIES ARE LOWER. CONTRACTOR MUST PROVIDE 60% CASED AND 40% OPEN WELL AT ANY DEPTH.
- 2. CONTRACTOR TO DRILL DRAINAGE WELLS 1 AND 2 AND PROVIDE FLOW RATES TO THE ENGINEER OF RECORD FOR REVIEW.
- 3. STEEL WELL GRATE TO BE INSTALLED OVER 24" WELL CASING. STEEL GRATE TO BE HOT DIPPED GALVANIZED AFTER FABRICATION. COST TO BE INCLUDED IN THE PRICE OF CASING.
- 4. DEVELOPER OF WELL TO ASSURE 1500 P.P.M. SALINITY. THE WELL CASING SHALL PENETRATE A ZONE CONTAINING A MINIMUM OF 10,000 mg/L OF TOTAL DISSOLVED SOLIDS (TDS) IN ACCORDANCE WITH RULE 62-528.200(6), FAC.
- 5. WELL TESTING TO COMPLY WITH ASTM D 5472-93 AND D-4050-96 AND BE PERFORMED BY A THIRD PARTY FLORIDA REGISTERED GEOLOGIST.
- 6. ALL DRAINAGE WELL BOXES SHALL BE WATER TIGHT. ALL WELL BOX CONSTRUCTION JOINTS SHALL BE WATER TIGHT. WELL BOX MUST BE DESIGNED FOR UPLIFT FORCES (MIN 3 PSI) AND SIGNED AND SEALED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- 7. CONTRACTOR TO SUBMIT SHOP DRAWING TO ENGINEER OF RECORD.

#### DRAINAGE WELL STRUCTURES STRUCTURAL NOTES:

- 1. <u>DESIGN CRITERIA:</u> DESIGN, FABRICATION AND ERECTION OF PRECAST CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-99 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND PCI DESIGN HANDBOOK. DESIGN OF CAST-IN-PLACE CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-99.
- 2. <u>DESIGN LIVE LOADS:</u> THE TOP SLAB OF DRAINAGE STRUCTURE SHALL BE DESIGNED TO CARRY TRAFFIC LOADS (HS
- 3. <u>GEOTECHNICAL CRITERIA:</u> SOIL BEARING PRESSURE UNDER STRUCTURE ASSUMED TO BE AT MINIMUM 2000 PSF. PRIOR TO INSTALLATION OF DRAINAGE STRUCTURE THE SOIL BEARING CAPACITY OF THE FOUNDATION MUST BE CONFIRMED BY THE CONTRACTOR, THROUGH A CERTIFIED GEOTECHNICAL LABORATORY.
- 4. <u>CONCRETE:</u> CONCRETE SHALL BE NORMAL WEIGHT, AND SHALL ATTAIN A 28, DAY COMPRESSIVE STRENGTH OF 4000 PSI AND SHALL MEET THE REQUIREMENT OF ASTM C478. CONCRETE COVER FOR REINFORCEMENT SHALL BE 2 INCHES EXCEPT FOOTING BOTTOM BARS SHALL HAVE 3" COVER.
- 5. <u>REINFORCING:</u> REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, AND SHALL BE OF U.S. MANUFACTURE.
- 6. <u>MORTAR:</u> MORTAR GROUT TO SEAL THE PIPE, TOP SLABS, AND LEVELING COURSE SHALL BE OF SUCH A MIX THAT SHRINKAGE WILL NOT CAUSE LEAKAGE INTO OR OUT OF THE UNIT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR MORTAR FOR ENGINEER REVIEW AND APPROVAL.
- 7. <u>SHOP DRAWINGS:</u> CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, SIGNED AND SEACOVER BY A FLORIDA LICENSED ENGINEER, FOR PRECAST STRUCTURES TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE CONSTRUCTION OF STRUCTURE.
- 8. MANHOLE RING & COVER: ALL MANHOLE RINGS AND COVERS, WITHIN PRIVATE PROPERTY, SHALL HAVE THE WORD "STORM SEWER" CAST ON COVER.

|                       |            |   |       |             |             | DRAINA    | GE WELL | STRUCTU                         | JRE TABLE                                      |                 |                |                                       |
|-----------------------|------------|---|-------|-------------|-------------|-----------|---------|---------------------------------|------------------------------------------------|-----------------|----------------|---------------------------------------|
| STRUCT. FRAME & COVER | FRAME &    |   | INVER | Т           |             | M.H. RIM  | CASING  | STRUCTURE<br>FLOOR<br>ELEVATION | HEIGHT OF WELL<br>STRUCTURE BOX<br>(Z) MINIMUM | LOCAT           |                |                                       |
|                       | COVER      | N | S     | Е           | W           | ELEVATION |         |                                 |                                                | LATITUDE        | LONGITUDE      | REMARKS                               |
| DW-1                  | SEE DETAIL | - | _     | _           | 1.00' (18") | 6.28      | 1.00'   | -1.5'                           | 6.00'                                          | N26° 08' 07.40" | W80° 06' 35.2" | 24" DIAMETER CASED<br>W/ BAFFLES (SEE |
| DW-2                  | SEE DETAIL | - | _     | 1.00' (18") | 1.00' (18") | 6.30'     | 1.00'   | -1.5'                           | 6.00'                                          | N26° 08' 06.10" | W80° 06' 35.5" | DRAINAGE WELL NOTES, THIS SHEET)      |

| #4 BARS @ 1" O.C. EA. WAY WELDED TO PIPE  24" STEEL PIPE  #4 BARS WELDED TO WELL SCREEN (NOT WELL CASING) FOR SECURE SLIP FIT  TOP VIEW |  |
|-----------------------------------------------------------------------------------------------------------------------------------------|--|
| #4 BARS WELDED TO WELL SCREEN (NOT WELL CASING) FOR SECURE SLIP FIT  SECTION                                                            |  |
| 3 STEEL WELL GRATE                                                                                                                      |  |

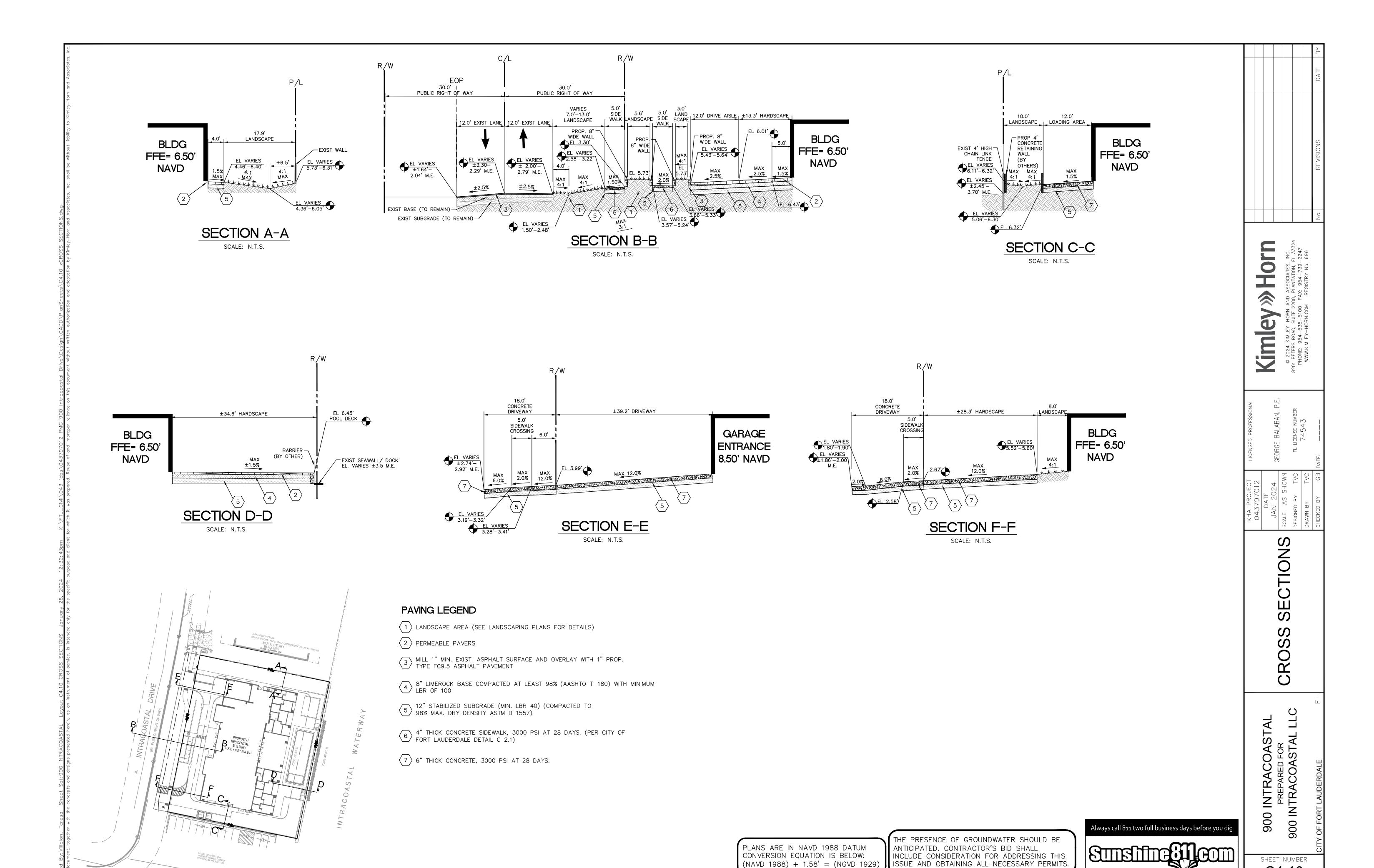
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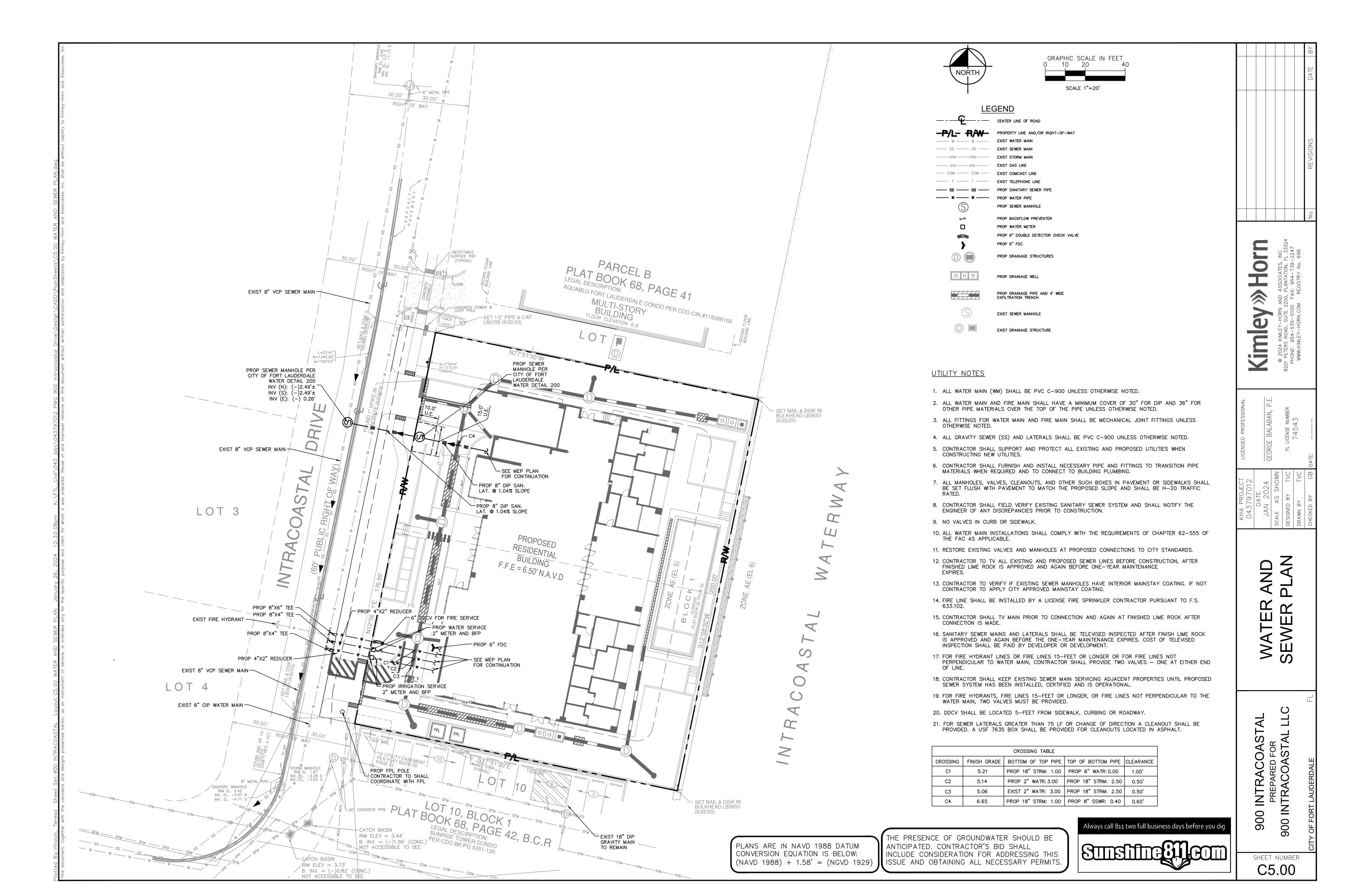
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SHEET NUMBER C4.09



(NAVD 1988) + 1.58' = (NGVD 1929)

C4.10



#### WATER AND SEWER GENERAL NOTES

#### DIDE D I I

- 1. DUCTILE IRON WATER MAIN PIPE SHALL CONFORM TO THE REQUIREMENTS OF A.N.S.I./ A.W.W.A. C-151/A 21.5-17 AND LINED AND COATED PER A.N.S.I./A.W.W.A. C-104/A-214-16. 20" AND SMALLER PIPE SHALL BE PRESSURE CLASS 350; 24" AND LARGER, PIPE SHALL BE PRESSURE CLASS 250.
- 2. ALL DIP SHALL HAVE ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION AND IT SHALL BE USED ONLY IF AS DETERMINED BY THE DESIGN ENGINEER, BASED ON FIELD CONDITIONS.
- 3. ALL DIP SHALL BE INSTALLED IN ACCORDANCE WITH A.N.S.I./A.W.W.A. C-600-17, OR LATEST REVISION.

#### PIPE P.V.

- 4. ALL P.V.C. MAINS SHALL BE SERIES 1120, CLASS 150 (DR 18) PRESSURE PIPE, CONFORMING TO A.N.S.I./A.W.W.A. C-900-16', OR LATEST REVISION, AND SHALL HAVE PUSH ON JOINTS, AND IRON PIPE
- 5. ALL P.V.C. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UNI-BELL PLASTIC PIPE ASSOCIATION'S "GUIDE FOR INSTALLATION OF P.V.C. PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEM". WATER DISTRIBUTION PIPE SHALL BE OF "BLUE" COLOR. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C. (FLORIDA ADMINISTRATIVE
- 6. DETECTOR TAPE ON ALL P.V.C. MAINS SHALL BE INSTALLED 18" ABOVE THE WATER MAIN.
- 7. ALL P.V.C. MAINS MUST HAVE #6 COPPER WIRE, SINGLE STRAND, PLACED ON TOP OF PIPE, SHALL BE ELECTRICALLY CONTINUOUS OVER THE ENTIRE LENGTH OF THE PIPE, AND FASTENED EVERY 10' WITH A #12 WIRE.

#### FITTING

- 8. FITTINGS SHALL BE DUCTILE IRON MEETING A.N.S.I./A.W.W.A. C153/21.00 AND SHALL BE COATED WITH 6 TO 8 MIL. THICKNESS COAL TAR EPOXY CONFORMING TO THE REQUIREMENTS OF A.N.S.I./A.W.W.A. C550-17 AND C116/A21.16.
- 9. RESTRAINED JOINT PIPE SHALL BE USED FOR ALL BENDS, TEES, CROSSES, PLUGS, AND FIRE HYDRANTS. THRUST BLOCKS SHALL NOT BE ALLOWED.
- 10. RETAINER GLANDS/MECHANICAL JOINT RESTRAINT SHALL BE USED ONLY IF AUTHORIZED BY THE ENGINEER AND SHALL CONFORM TO A.N.S.I./A.W.W.A. STANDARDS C 111/A-21.11-17, OR LATEST REVISION.
- 11. ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITER'S LABORATORY FOR 250 P.S.I. MINIMUM WATER PRESSURE RATING.
- 12. GLANDS SHALL BE CLOW CORPORATION MODEL F-1058, STANDARD FIRE PROTECTION EQUIPMENT COMPANY, OR APPROVED EQUAL.

#### VALVES

- 13. TAPPING VALVES SHALL BE MUELLER H667 OR APPROVED EQUAL.
- 14. TAPPING SLEEVES SHALL BE MUELLER H615 OR APPROVED EQUAL.
- 15. GATE VALVES 3" OR LESS SHALL BE NIBCO T-133 OR T-136 WITH MALLEABLE HAND WHEELS. NO SUBSTITUTIONS ALLOWED.
- 16. GATE VALVES 4" OR LARGER SHALL MEET A.W.W.A. C-500-09 SPECIFICATION (LATEST REVISION). VALVES SHALL BE MUELLER CO. OR APPROVED EQUAL.
- 17. ALL VALVES SHALL BE FURNISHED WITH EXTENSION TYPE CAST IRON VALVE BOXES OF PROPER LENGTH FOR PIPE DEPTH. ALL BOXES SHALL CONFORM WITH A.W.W.A. SPECIFICATIONS WITH A SHAFT OF NO LESS THAN 5 INCHES AND HAVE THE WORD "WATER" CAST IN THE COVER. BASE OF VALVE BOX SHALL HAVE A FLARED SECTION TO FIT OVER STUFFING BOX OF VALVE.

#### HYDRANT

- 18. FIRE HYDRANTS SHALL BE BREAKAWAY MUELLER CO. CENTURION MODEL #A-423, OR METROPOLITAN 250 EDDY COMPRESSION TYPE F.H. OR APPROVED EQUAL.
- 19. FIRE HYDRANTS SHALL BE INSTALLED WITH THE CENTER OF THE NOZZLE 18" ABOVE FINISHED GRADE. 20. FIRE HYDRANTS SHALL BE RED.
- 21. DEAD-END WATER MAINS 6" OR LARGER SHALL TERMINATE WITH A FIRE HYDRANT.

#### PLACEMENT

- 22. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM COVER OF 36" FOR P.V.C AND 30" FOR DIP EXCEPT WHERE SHOWN DIFFERENTLY ON PLANS.
- 23. A CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED. BACKFILL MATERIAL SHALL BE TAMPED IN LAYERS AROUND THE PIPE AS SHOWN ON THE PLANS AND/OR CITY OF FORT LAUDERDALE CONSTRUCTION STANDARDS AND SPECIFICATIONS, JANUARY 1982. ROCKS OR STONES LARGER THAN 3/4" DIAMETER FOUND IN THE TRENCH SHALL BE REMOVED FOR A DEPTH OF AT LEAST 6" BELOW THE BOTTOM OF THE
- 24. PIPE DEFLECTION SHALL NOT EXCEED 75% OF THE MAXIMUM DEFLECTION RECOMMENDED BY THE MANUFACTURER.

#### SEPARATION

- 25. SANITARY SEWER AND FORCE MAIN SHOULD CROSS UNDER WATER MAIN WHENEVER POSSIBLE. SANITARY SEWERS AND FORCE MAINS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18" BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHENEVER POSSIBLE.
- 26. WHERE SANITARY SEWER MAINS MUST CROSS UNDER A WATER MAIN WITH LESS THAN 18" VERTICAL SEPARATION, BOTH THE SEWER AND WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSINGS. SUFFICIENT LENGTH OF DIP MUST BE PROVIDED A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITH 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 12" MUST BE MAINTAINED AT ALL CROSSINGS.
- 27. A MINIMUM 10 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATION WHENEVER POSSIBLE.
- 28. THE PREFERRED SEPARATION BETWEEN WATER MAINS AND SEWER MAINS SHALL BE 10 FEET. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN, A 6 FOOT HORIZONTAL SEPARATION BETWEEN THE WATER MAINS AND THE SEWER MAINS, ONE OF THE FOLLOWING CONDITIONS MUST BE MET. THE MINIMUM SEPARATION BETWEEN WATER AN SEWER MAINS SHALL BE 3 FEET:
- 27.A THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF SEWER.

  27.B THE SEWER OR FORCE MAIN IS ENCASED IN CONCRETE OR A WATERTIGHT CARRIER PIPE.
- 27.B THE SEWER OR FORCE MAIN IS ENCASED IN CONCRETE OR A WATERTIGHT CARRIER PIPE.

  27.C BOTH THE SEWER AND THE WATER MAIN ARE CONSTRUCTED OF PRESSURE PIPE TESTED TO 150

  P.S.I.
- 29. WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18" IN PARALLEL INSTALLATION, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP, WITH A MINIMUM VERTICAL CLARENCE OF 12". THE WATER MAIN SHOULD BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR AS POSSIBLE FROM THE JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS)
- 30. ALL CROSSING SHALL NE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING)
- 31. WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN 18" VERTICAL CLEARANCE, THE NEW PIPE SHALL BE ARRANGED TO MEET THE CROSSING REQUIREMENTS ABOVE.

#### TESTING AND DISINFECTION

- 32. PIPE SHALL BE TESTED UNDER CONSTANT PRESSURE OF 150 P.S.I. FOR A MINIMUM TEST PERIOD OF 2 HOURS AND SHALL NOT EXCEED THE LEAKAGE REQUIREMENTS AS PER A.N.S.I./A.W.W.A. SPECIFICATIONS OF C-600-17 LEAKAGE FORMULA:
- $Q = \{SD[P^{(\frac{1}{2})}]\}/ 148,000$
- Q = QUANTITY OF MAKEUP WATER, (IN GALLONS PER HOUR)
- S = LENGTH OF PIPE SECTION BEING TESTED, (IN FEET).
- D = NOMINAL DIAMETER OF THE PIPE, (IN INCHES).
  P = AVERAGE TEST PRESSURE DURING THE HYDROSTATIC TEST, (IN POUNDS PER SQUARE INCH GAUGE).

EACH END. MAXIMUM SPACE BETWEEN SAMPLING POINTS IS 1200 FEET.

- 33. THE CITY OF FORT LAUDERDALE PUBLIC SERVICES DEPARTMENT WILL TAKE ALL BACTERIOLOGICAL TESTS, TO BE SCHEDULED VIA INSPECTOR. IF OTHERWISE SPECIFIED IN CONTRACT DETAILED SPECIFICATION AND/OR AUTHORIZED BY THE ENGINEER OF RECORD, BACTERIOLOGICAL TESTS MAY BE PERFORMED BY A CERTIFIED ENVIRONMENTAL TESTING LABORATORY.
- 34. DISINFECTION OF MAINS SHALL COMPLY WITH A.N.S.I./A.W.W.A. C651-14.STANDARD. BACTERIOLOGICAL SAMPLING POINTS SHALL BE DESIGNATED ON THE ENGINEERING PLANS. MINIMUM ONE SAMPLING POINT AT
- 35. CCTV TESTING AND EXFILTRATION TESTING OF PROPOSED SANITARY SEWER LATERALS TO BE PERFORMED BY CONTRACTOR OR AUTHORIZED INSPECTOR PRIOR TO PROJECT CLOSEOUT.

#### CONNECTION

- 36. ALL CONNECTIONS TO EXISTING MAINS SHALL BE MADE UNDER THE DIRECTION OF THE CITY OF FORT LAUDERDALE.
- 37. THERE SHALL BE NO CONNECTION TO AN EXISTING WATER MAIN UNTIL PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN CONDUCTED AND THE RESULTS ARE APPROVED AND ACCEPTED BY THE CITY OF FORT LAUDERDALE. ADDITIONALLY, THE PROJECT CANNOT BE PUT INTO SERVICE UNTIL THE PROJECT HAS BEEN CLEARED BY THE FLORIDA DEPARTMENT OF HEALTH IN BROWARD COUNTY (FDOH—BROWARD).

#### SERVICE CONNECTIONS

- 38. ALL METER SERVICE CONNECTIONS SHALL BE BRONZE FROM PLUG VALVE. NO GATE VALVES ARE TO BE USED (2" OR LESS). ADDITIONALLY, THE PROPOSED DEVELOPMENT CANNOT BE PUT INTO SERVICE UNTIL THE A CLARENCE IS OBTAINED FROM THE FLORIDA DEPARTMENT OF HEALTH IN BROWARD COUNTY (FDOH-BROWARD).
- 39. SERVICE SADDLES SHALL BE DUCTILE IRON WITH STAINLESS STEEL STRAPS. SADDLES SHALL BE DOUBLE STRAP TYPE. ALL SERVICE SADDLES SHALL CONFORM TO A.N.S.I./A.W.W.A. C 111/A-21.11-00 AND A.S.T.M. A588.
- 40. ALL SERVICE LINES SHALL BE COPPER TUBING, TYPE "K", OR PLASTICIZED POLYETHYLENE 3408, A.S.T.M. D-2737, S.D.R. 9, 200 P.S.I.

#### WATER MAIN AND SERVICE SPECIFICATIONS:

ALL NEW WATER MAINS SHALL BE INSTALLED, CLEANED, DISINFECTED AND BACTERIOLOGICALLY CLEARED FOR SERVICE IN ACCORDANCE WITH THE LATEST ANSI/AWWA C651-14 (OR LATEST REVISION) STANDARDS.
 DUCTILE IRON WATER MAINS 4" OR LARGER SHALL BE CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-17 AND BE CEMENT LINED AND SEAL

COATED PER ANSI/AWWA C104/A21.4-16, UNLESS OTHERWISE NOTED. PVC PIPE 6" OR LARGER SHALL

- BE DR 18 CONFORMING AWWA C-900-16.

  3. FITTINGS SHALL BE DUCTILE IRON MEETING ANSI/AWWA C153/A21.53-17 SPECIFICATIONS, WITH 250 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-16.
- 4. FOR METERS UP TO SIZE 2" THE SERVICE LINE AND SERVICE LINE FITTINGS SHALL BE SCHEDULE 80 PVC, SOLVENT WELD ONLY EXCEPT FOR THREADED NIPPLES AND BUSHINGS AND CONFORM TO THE SPECIFICATIONS AS SET FORTH IN ASTM D-1785 AND ASTM D-2467. FITTINGS MUST ALSO CARRY THE NATIONAL SANITARY FOUNDATION STANDARD 14 APPROVAL FOR POTABLE WATER, AS MANUFACTURED BY SPEARS, R.G. SLOAN, OR APPROVED EQUAL.
- GATE VALVES 4" AND LARGER SHALL BE RESILIENT SEATED OF THE MJ TYPE AND SHALL CONFORM TO THE STANDARDS OF ANSI/AWWA C509-15. ALL RESILIENT SEAT VALVES MUST BE BI-DIRECTIONAL.
   TAPPING VALVES 4" AND LARGER SHALL BE RESILIANT WEDGE TYPE MEETING ANSI/AWWA C509-15. ALL TAPPING VALVES MUST HAVE A CAST-IN ALIGNMENT RING AND BE CAPABLE OF ACCEPTING A FULL SIZE
- CUTTER. TAPPING VALVES SHALL BE CLOW OR AMERICAN DARLING ONLY.

  7. DRESSER COUPLINGS SHALL BE REGULAR BLACK COUPLINGS WITH PLAIN GASKETS FOR GALVANIZED STEEL PIPE AND P.V.C. THEY SHALL BE DRESSER STYLE 90 WITH NO SUBSTITUTIONS.
- 8. THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30", EXCEPT IN THE CASE OF PVC PIPE WHICH REQUIRES A MINIMUM COVER OF 36".
- 9. WHEN PVC PIPE IS USED, A METALLIZED MARKER TAPE SHALL BE INSTALLED CONTINUOUSLY 18" ABOVE THE PIPE. THE MARKER TAPE SHOULD BE IMPRINTED WITH A WARNING THAT THERE IS BURIED PIPE BELOW. THE TAPE SHALL BE MAGNA TEC, AS MANUFACTURED BY THOR ENTERPRISES INC. OR APPROVED FOUAL.
- 10. FIRE HYDRANTS SHALL BE INSTALLED WITH THE CENTER OF THE HOSE NOZZLE 18" ABOVE FINISHED GRADE, FACING THE STREET. CONTROL GATE VALVE SHALL BE USED FOR 1-1/2" AND 2" METERS INSTEAD OF CURB STOPS AND SHALL BE INSTALLED IN METER BOX. CONTROL GATE VALVE SHALL BE NIBCO-SCOTT T-133 OR T-136 WITH NO SUBSTITUTIONS ALLOWED.
- 11. ALL JOINTS SHALL BE RESTRAINED PER CITY OF FORT LAUDERDALE DETAILS.

# GENERAL NOTES & SPECIFICATIONS FOR WATER AND SEWER MAIN INSTALLATIONS:

- 1. THE CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO PERFORM THE WORK AND MAINTAIN SAFETY TO THE PUBLIC AND WORKERS, AND THE PROTECTION OF PROPERTY THROUGHOUT CONSTRUCTION. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA STANDARDS, AS APPLICABLE. CONTRACTOR MUST COMPLY WITH TRENCH SAFETY ACT.
- 2. ALL UTILITY CROSSING LINES IDENTIFIED ON PLANS AND PROFILES ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL VERIFY UTILITY INFORMATION WITH APPROPRIATE UTILITIES AND SUNSHINE STATE ONE CALL CENTER OF FLORIDA 811. CONTRACTOR TO INCLUDE ON AS—BUILT ACCURATE ELEVATION AND LOCATION OF ALL UTILITY CONFLICTS.
- 3. ALL UTILITIES DAMAGED BY CONSTRUCTION MUST BE PROMPTLY REPAIRED TO THE CONDITION EXISTING PRIOR TO THE DAMAGING OF THE UTILITY. REPAIRS ARE INCIDENTAL TO THE INSTALLATION OF THE MAIN AND EXTENSIONS AND SHALL BE REPAIRED AT NO COST TO THE OWNER.
- 4. ALL EXISTING MANHOLES, ELECTRIC BOXES, METER BOXES, AND VALVE BOXES SHALL BE ADJUSTED TO THE PROPOSED GRADE.
- 5. PROPERTY DAMAGE RESULTING FROM WORK REQUIRED BY THIS CONTRACT SHALL BE CLEANED UP, REPAIRED OR REPLACED AT NO COST TO OWNER.
- 6. CONTRACTOR SHALL PROVIDE ALL MAINS, ALL FITTINGS, ATTACHMENTS, AND EQUIPMENT REQUIRED TO PERFORM TESTING PER CITY OF FORT LAUDERDALE STANDARDS. PIPE AND FITTINGS SHALL BE RESTRAINED IN ACCORDANCE WITH CITY OF FORT LAUDERDALE STANDARD DETAILS.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR THE COST OF ALL INSPECTIONS.

# GENERAL NOTES & SPECIFICATIONS FOR WATER AND SEWER MAIN INSTALLATIONS (CONTINUED):

- 8. SURFACE RESTORATION, PAVEMENT REPLACEMENT, SIDEWALK REPLACEMENT, TRENCH BACKFILLING AND COMPACTION SHALL COMPLY WITH CITY OF FORT LAUDERDALE STANDARDS AND THE APPLICABLE CURRENT CITY OF FORT LAUDERDALE PUBLIC WORKS,BROWARD COUNTY, AND FDOT STANDARDS.
- 9. CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SEWER LATERALS PRIOR TO THE CONSTRUCTION OF THE SANITARY SEWER CONNECTIONS. CONTRACTOR SHALL ADJUST THE ALIGNMENT OF THE SEWER CONNECTION AND PROVIDE THE REQUIRED FITTINGS AND CLEANOUTS AS NEEDED. ALL MODIFICATIONS TO ALIGNMENT SHALL BE CLEARLY RECORDED IN THE AS—BUILT DOCUMENTS.
- 10. THE APPROXIMATE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS WERE PROVIDED BY THE RESPECTIVE UTILITY COMPANIES. THE EXACT HORIZONTAL AND VERTICAL LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING IF "OTHER" UTILITIES (NOT SHOWN IN THE PLANS) EXIST WITHIN THE AREA OF CONSTRUCTION. SHOULD THERE BE UTILITY CONFLICTS THAT WERE NOT ANTICIPATED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- 11. THE PERMITTEE WILL ENSURE THAT NO UNSAFE AREA(S) FOR PEDESTRIAN WILL REMAIN DURING ANY TIME OF CONSTRUCTION. PEDESTRIAN CONTROL FOR CLOSURE OF ROADS AND SIDEWALKS SHALL BE IN ACCORDANCE WITH THE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS INDEX SERIES 600.
- 12. ACCESS TO REMAIN OPEN AT ALL TIMES. THE PERMITTEE SHALL PROVIDE AND MAINTAIN SAFE TEMPORARY ACCESS TO ALL ADJACENT PROPERTY AT ALL TIMES AND SHALL MAINTAIN ACCOMMODATIONS FOR INTERSECTING AND CROSSING TRAFFIC WITHIN THE CONSTRUCTION ZONE. NO ROAD OR STREET CROSSING SHALL BE BLOCKED OR UNDULY RESTRICTED AS DETERMINED BY THE ENGINEER.
- 13. FOR SEWER CONNECTIONS TO V.C.P., THE CONTRACTOR SHALL TELEVISE THE V.C.P. PIPE BEFORE AND AFTER INSTALLATION.
- 14. ANY EXISTING PUBLIC WATER SERVICE WITHIN THE PROPERTY IN CONFLICT WITH THE PROPOSED DEVELOPMENT MUST BE REMOVED AFTER ANY ASSOCIATED EASEMENT IS CLOSED AND RELEASED (AS APPLICABLE).
- 15. INTERRUPTION OF SERVICE CANNOT EXCEED 4 HOURS AT ONE TIME.
- 16. LINE STOP LOCATION TO BE APPROVED BY CITY AND EOR PRIOR TO INSTALLATION/ ORDERING.

#### BROWARD COUNTY HEALTH DEPARTMENT NOTES:

- 1. REFERENCE TO PRESSURE TEST, TIME AND ALLOWABLE LEAKAGE FORMULA (AWWA C600-17 OR LATEST
- 2. REFERENCE TO COLOR CODING REQUIREMENTS AS PER RULE 62-555.320.
- 3. REFERENCE TO DISINFECTION SPECIFICATIONS AS PER AWWA C651-14.

#### NOIE

CONTRACTOR SHALL REFER TO CITY OF FORT LAUDERDALE DETAILS AND STANDARDS, AND SHALL ADHERE TO THE MOST STRINGENT REQUIREMENTS.

#### LOCATION OF PUBLIC WATER SYSYEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314

| Other Pipe                                                                                  | Horizontal Separation                          | Crossings (1)                                                                                                           | Joint Spacing @ Crossings (Full Joint Centered) |
|---------------------------------------------------------------------------------------------|------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------|
| Storm Sewer,<br>Stormwater Force Main,<br>Reclaimed Water (2)                               | Water Main  3 ft. minimum                      | Water Main  12 inches is the minimum, except for storm sewer, then 6 inches is the minimum and 12 inches is preferred   | Alternate 3 ft. minimum  Water Main             |
| Vacuum Sanitary Sewer                                                                       | Water Main  10 ft. preferred 3 ft. minimum     | Water Main  12 inches preferred 6 inches minimum                                                                        | Alternate 3 ft. minimum  Water Main             |
| Gravity or Pressure<br>Sanitary Sewer,<br>Sanitary Sewer Force Main,<br>Reclaimed Water (4) | Water Main  10 ft. preferred 6 ft. minimum (3) | Water Main  12 inches is the minimum, except for gravity sewer, then 6 inches is the minimum and 12 inches is preferred | Alternate 6 ft. minimum  Water Main             |
| On-Site Sewage Treatment & Disposal System                                                  | 10 ft. minimum                                 |                                                                                                                         |                                                 |

Disclaimer - This document is provided for your convenience only. Please refer to F.A.C. Rule 62-555.314 for additional construction requirements.

(3) 3 ft. for gravity sanitary sewer where the bottom of the water main is laid at least 6 inches above the top of the gravity sanitary sewer.

PLANS ARE IN NAVD 1988 DATUM CONVERSION EQUATION IS BELOW: (NAVD 1988) + 1.58' = (NGVD 1929)

(2) Reclaimed water regulated under Part III of Chapter 62-610, F.A.C.

(4) Reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.



No. REVISIONS DATE

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CO24

GEORGE BALABAN, P.E.

SHOWN

TVC

FL LICENSE NUMBER

74543

WATER AND SEWER NOTES

900 INTRACOASTAL
PREPARED FOR
00 INTRACOASTAL LLC

SHEET NUMBER

C5.01

**WATER SYSTEM NOTES:** 

PIPE D.I.P.

- 1. DUCTILE IRON WATER MAIN PIPE SHALL CONFORM TO THE REQUIREMENTS OF A.N.S.I./ A.W.W.A. C-151/A 21.51-02 AND LINED AND COATED PER A.N.S.I./A.W.W.A. C-104/A-214-03. 20" AND SMALLER PIPE SHALL BE PRESSURE CLASS 350; 24" AND LARGER, PIPE SHALL BE PRESSURE CLASS 250.
- 2. ALL DIP SHALL HAVE ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION AND IT SHALL BE USED ONLY IF AS DETERMINED BY THE DESIGN ENGINEER, BASED ON FIELD CONDITIONS.
- 3. ALL DIP SHALL BE INSTALLED IN ACCORDANCE WITH A.N.S.I./A.W.W.A. C-600-99, OR LATEST REVISION.

#### PIPE P.V.C.

- 4. ALL P.V.C. MAINS SHALL BE SERIES 1120, CLASS 150 (DR 18) PRESSURE PIPE, CONFORMING TO A.N.S.I./A.W.W.A. C-900-07', OR LATEST REVISION, AND SHALL HAVE PUSH ON JOINTS, AND IRON PIPE O.D.
- 5. ALL P.V.C. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UNI-BELL PLASTIC PIPE ASSOCIATION'S "GUIDE FOR INSTALLATION OF P.V.C. PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEM". WATER DISTRIBUTION PIPE SHALL BE OF "BLUE" COLOR. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320(21)(B)3 F.A.C. (FLORIDA ADMINISTRATIVE CODE).
- 6. DETECTOR TAPE ON ALL P.V.C. MAINS SHALL BE INSTALLED 18" ABOVE THE WATER MAIN.
- 7. ALL P.V.C. MAINS MUST HAVE #6 COPPER WIRE, SINGLE STRAND, PLACED ON TOP OF PIPE, SHALL BE ELECTRICALLY CONTINUOUS OVER THE ENTIRE LENGTH OF THE PIPE, AND FASTENED EVERY 10' WITH A #12 WIRE.

<u>FITTINGS</u>

- FITTINGS SHALL BE DUCTILE IRON MEETING A.N.S.I./A.W.W.A. C153/21.00 AND SHALL BE COATED WITH 6 TO 8 MIL. THICKNESS COAL TAR EPOXY CONFORMING TO THE REQUIREMENTS OF A.N.S.I./A.W.W.A. C550-05 AND C116/A21.03.
- RESTRAINED JOINT PIPE SHALL BE USED FOR ALL BENDS, TEES, CROSSES, PLUGS, AND FIRE HYDRANTS. THRUST BLOCKS SHALL NOT BE ALLOWED.
- 10. RETAINER GLANDS/MECHANICAL JOINT RESTRAINT SHALL BE USED ONLY IF AUTHORIZED BY THE ENGINEER AND SHALL CONFORM TO A.N.S.I./A.W.W.A. STANDARDS C 111/A-21.11-03, OR LATEST REVISION.
- 11. ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITER'S LABORATORY FOR 250 P.S.I. MINIMUM WATER PRESSURE RATING.
- 12. GLANDS SHALL BE CLOW CORPORATION MODEL F-1058, STANDARD FIRE PROTECTION EQUIPMENT COMPANY, OR APPROVED EQUAL.

<u>VALVES</u>

- 13. TAPPING VALVES SHALL BE MUELLER H667 OR APPROVED EQUAL.
- 14. TAPPING SLEEVES SHALL BE MUELLER H615 OR APPROVED EQUAL.
- 15. GATE VALVES 3" OR LESS SHALL BE NIBCO T-133 OR T-136 WITH MALLEABLE HAND WHEELS. NO SUBSTITUTIONS ALLOWED.
- 16. GATE VALVES 4" OR LARGER SHALL MEET A.W.W.A. C-500-02 SPECIFICATION (LATEST REVISION). VALVES SHALL BE MUELLER CO. OR APPROVED EQUAL.
- 17. ALL VALVES SHALL BE FURNISHED WITH EXTENSION TYPE CAST IRON VALVE BOXES OF PROPER LENGTH FOR PIPE DEPTH. ALL BOXES SHALL CONFORM WITH A.W.W.A. SPECIFICATIONS WITH A SHAFT OF NO LESS THAN 5 INCHES AND HAVE THE WORD "WATER" CAST IN THE COVER. BASE OF VALVE BOX SHALL HAVE A FLARED SECTION TO FIT OVER STUFFING BOX OF VALVE.

#### **HYDRANTS**

- FIRE HYDRANTS SHALL BE BREAKAWAY MUELLER SUPER CENTURION 250, US PIPE METROPOLITAN 250, AMERICAN DARLING B-84B, CLOW MEDALLION, OR APPROVED EQUAL.
- 19. FIRE HYDRANTS SHALL BE INSTALLED WITH THE CENTER OF THE NOZZLE 18" ABOVE FINISHED GRADE.
- 20. DEAD-END WATER MAINS 6" OR LARGER SHALL TERMINATE WITH A FIRE HYDRANT.

#### <u>PLACEMENT</u>

- 21. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM COVER OF 36" FOR P.V.C AND 30" FOR DIP EXCEPT WHERE SHOWN DIFFERENTLY ON PLANS.
- 22. A CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED. BACKFILL MATERIAL SHALL BE TAMPED IN LAYERS AROUND THE PIPE AS SHOWN ON THE PLANS AND/OR CITY OF FORT LAUDERDALE CONSTRUCTION STANDARDS AND SPECIFICATIONS, JANUARY 1982. ROCKS OR STONES LARGER THAN 3/4" DIAMETER FOUND IN THE TRENCH SHALL BE REMOVED FOR A DEPTH OF AT LEAST 6" BELOW THE BOTTOM OF THE PIPE.
- 23. PIPE DEFLECTION SHALL NOT EXCEED 75% OF THE MAXIMUM DEFLECTION RECOMMENDED BY THE MANUFACTURER.

#### **SEPARATION**

- 24. SANITARY SEWERS AND FORCE MAINS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS AND FORCE MAINS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18" BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHENEVER POSSIBLE.
- 25. WHERE SANITARY SEWER FORCE MAINS MUST CROSS A WATER MAIN WITH LESS THAN 18" VERTICAL SEPARATION, BOTH THE SEWER AND WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6" MUST BE MAINTAINED AT ALL CROSSINGS.
- A MINIMUM 10 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
- THE PREFERRED SEPARATION BETWEEN WATER MAINS AND SEWER MAINS SHALL BE 10 FEET. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 6 FOOT HORIZONTAL SEPARATION BETWEEN THE WATER MAINS AND SEWER MAINS, ONE OF THE FOLLOWING CONDITIONS MUST BE MET. THE MINIMUM SEPARATION BETWEEN WATER AND SEWER MAINS SHALL BE 3 FEET:

#### SEPARATION (CONT'D)

- 27.a THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
- 27.b THE SEWER OR FORCE MAIN IS ENCASED IN CONCRETE OR A WATERTIGHT CARRIER PIPE.
- 27.c BOTH THE SEWER AND THE WATER MAIN ARE CONSTRUCTED OF PRESSURE PIPE TESTED TO 150 P.S.I.
- WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18" IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP, WITH A MINIMUM VERTICAL CLEARANCE OF 6". THE WATER MAIN SHOULD BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM THE JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
- ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING).
- WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN 18" VERTICAL CLEARANCE, THE NEW PIPE SHALL BE ARRANGED TO MEET THE CROSSING REQUIREMENTS

#### TESTING, DISINFECTION

- PIPE SHALL BE TESTED UNDER CONSTANT PRESSURE OF 150 P.S.I. FOR A MINIMUM TEST PERIOD OF 2 HOURS AND SHALL NOT EXCEED THE LEAKAGE REQUIREMENTS AS PER A.N.S.I./A.W.W.A. SPECIFICATIONS OF C-600-05 LEAKAGE FORMULA:  $Q = (LD \sqrt{P})/$ 148,000
  - Q = QUANTITY OF MAKEUP WATER, (IN GALLONS PER HOUR)
  - L = LENGTH OF PIPE SECTION BEING TESTED, (IN FEET).
  - D = NOMINAL DIAMETER OF THE PIPE, (IN INCHES).
  - P = AVERAGE TEST PRESSURE DURING THE HYDROSTATIC TEST, (IN POUNDS PER SQUARE INCH GAUGE).
- THE CITY OF FORT LAUDERDALE PUBLIC SERVICES DEPARTMENT WILL TAKE ALL BACTERIOLOGICAL TESTS, TO BE SCHEDULED VIA INSPECTOR. IF OTHERWISE SPECIFIED IN CONTRACT DETAILED SPECIFICATION AND/OR AUTHORIZED BY THE ENGINEER OF RECORD, BACTERIOLOGICAL TESTS MAY BE PERFORMED BY A CERTIFIED ENVIRONMENTAL TESTING LABORATORY.
- DISINFECTION OF MAINS SHALL COMPLY WITH A.N.S.I./A.W.W.A. C-651-05 STANDARD. BACTERIOLOGICAL SAMPLING POINTS SHALL BE DESIGNATED ON THE ENGINEERING PLANS. MINIMUM ONE SAMPLING POINT AT EACH END. MAXIMUM SPACE BETWEEN SAMPLING POINTS IS 1200 FEET.

#### **CONNECTION**

- ALL CONNECTIONS TO EXISTING MAINS SHALL BE MADE UNDER THE DIRECTION OF THE CITY OF FORT LAUDERDALE.
- 35. THERE SHALL BE NO CONNECTION TO AN EXISTING WATER MAIN UNTIL PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN CONDUCTED AND THE RESULTS ARE APPROVED AND ACCEPTED BY THE CITY OF FORT LAUDERDALE.

#### SERVICE CONNECTIONS

- ALL METER SERVICE CONNECTIONS SHALL BE BRONZE FROM PLUG VALVE. NO GATE VALVES ARE TO BE USED (2" OR LESS).
- 37. SERVICE SADDLES SHALL BE DUCTILE IRON WITH STAINLESS STEEL STRAPS. SADDLES SHALL BE DOUBLE STRAP TYPE. ALL SERVICE SADDLES SHALL CONFORM TO A.N.S.I./A.W.W.A. C 111/A-21.11-00 AND A.S.T.M. A588.
- ALL SERVICE LINES SHALL BE COPPER TUBING, TYPE "K", OR PLASTICIZED POLYETHYLENE 3408, A.S.T.M. D-2737, S.D.R. 9, 200 P.S.I.

#### GENERAL NOTE:

ALL EXISTING 2" WATER MAINS ARE TO BE CAPPED AND ABANDONED IN PLACE. NEW WATER SERVICE LINES SHALL BE INSTALLED TO SERVICE THE EXISTING PROPERTIES.

> PLANS ARE IN NAVD 1988 DATUM CONVERSION EQUATION IS BELOW: (NAVD 1988) + 1.58' = (NGVD 1929)

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.



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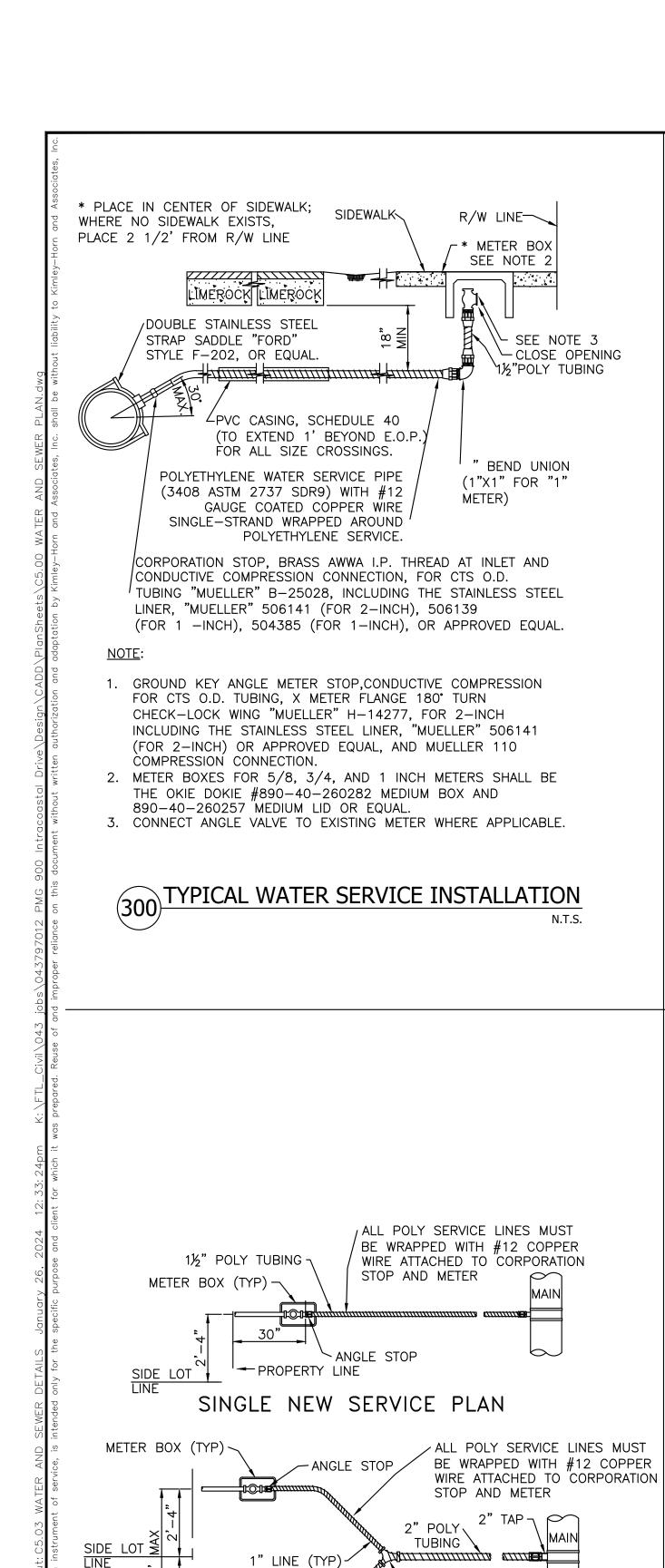
LICENSE 745

TAIL AND Ш WATE EWER I

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SHEET NUMBER C5.02

900



1. KEEP 1½" WYE AS CLOSE AS

POSSIBLE TO METER BOX.

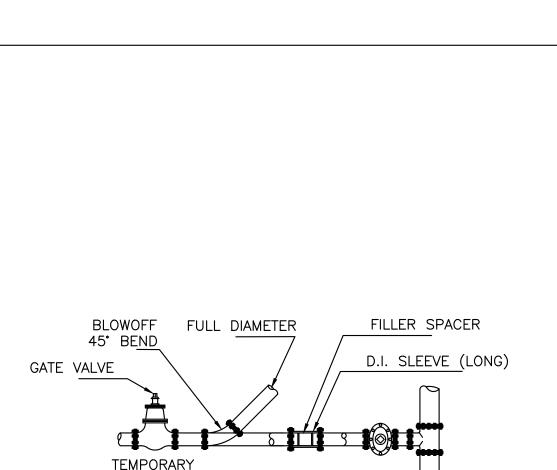
DOUBLE NEW SERVICE PLAN

TYPICAL WATER SERVICE

└ 2"X1"X1" COMPRESSION

COUPLING BRASS WYE

FOR WATER SERVICE LINE



5' SIDEWALK

6"GATE-

VALVE

FIRE HYDRANT PER-

(1) 4 1/2" N.S.T.

SPECIFICATION

SEE NOTE 2

ALL R.J. D.I. PIPE

ACTUAL LOCATION OF FIRE HYDRANT TO BE DECIDED IN THE

TYPICAL NEW FIRE HYDRANT

**ASSEMBLY INSTALLATION** 

Scale: 1" = 2'

**ELEVATION** 

2. KEEP VALVE AS CLOSE AS POSSIBLE TO THE HYDRANT.

-MECHANICAL

GRADE-

VALVE BOX-

FIELD WITH ENGINEER'S APPROVAL

6" GATE VALVE

R.J. TEE

FIRE HYDRANT

SPECIFICATION

-(2) 2 1/2" N.S.T.

1. UPON COMPLETION OF THE PIPE INSTALLATION FOR ANY SECTION, THE MAINS SHALL BE SWABBED AND FLUSHED TO REMOVE DIRT AND ANY OTHER FOREIGN MATTER BY ACHIEVING A MINIMUM VELOCITY OF 2.5 FEET PER SECOND IN THE PIPE. TEMPORARY FITTINGS, PIPE, ETC. MAY BE NEEDED TO FACILITATE FLUSHING.

ALL R.J. D.I. PIPE

**EXISTING** WATER MAIN

2. INSTALL A 45° BEND AND ASSOCIATED PIPING AS SHOWN TO DIRECT THE FLUSHING WATER AWAY FROM THE IMMEDIATE WORK AREA AND EXERCISE DUE CARE SO AS TO ENSURE THAT THE WATER USED IN FLUSHING DOES NOT CAUSE A NUISANCE OR INFLICT PROPERTY DAMAGE. 3. BENDS AND PIPING SHALL BE THE SAME SIZE AS THE LINE TO BE

FLUSHED. 4. PRIOR TO THE ACTUAL LINE FLUSHING OPERATION, THE CONTRACTOR

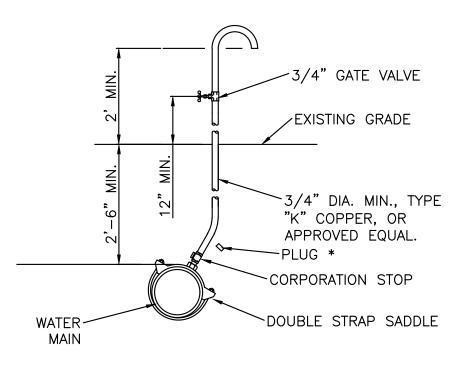
SHALL PROPERLY NOTIFY THE CITY INSPECTOR OF SUCH INTENDED WATER USE. 5. NO EXISTING VALVES SHALL BE TURNED ON OR OFF, EXCEPT BY

AUTHORIZED CITY PERSONNEL. 6. FLUSHING SHALL NOT BE ACCOMPLISHED WITHOUT THE ACTUAL PRESENCE OF THE CITY INSPECTOR.

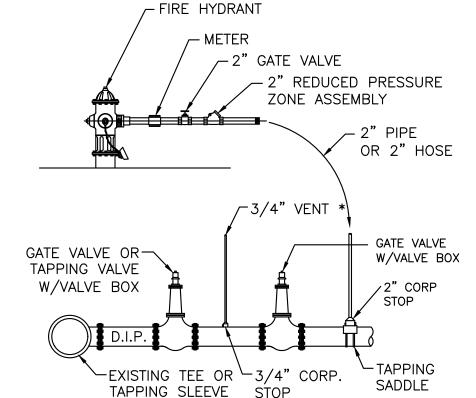
7. AFTER THE LINE UNDER CONSTRUCTION HAS BEEN SUCCESSFULLY FLUSHED THE CONTRACTOR SHALL REMOVE THE TEMPORARY PIPING ARRANGEMENT AND PROCEED WITH THE REMAINING CONSTRUCTION AS

8. THERE MAY BE SPECIAL REQUIREMENTS FOR FLUSHING PIPE LARGER THAN 12" DIAMETER.

FLUSHING CONNECTION AND BLOW OFF DETAIL Scale: 1'' = 2'

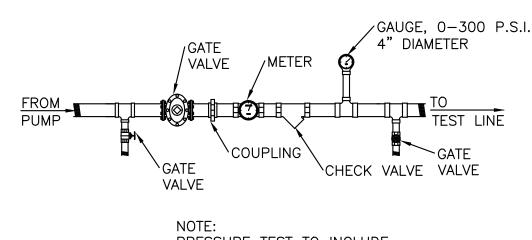


## TYPICAL BACTERIOLOGICAL SAMPLING POINT AT INTERMEDIATE POINTS



PIPE AND INSTALL PLUGS ON CORPORATION STOPS.





PRESSURE TEST DETAIL

PLANS ARE IN NAVD 1988 DATUM CONVERSION EQUATION IS BELOW: (NAVD 1988) + 1.58' = (NGVD 1929)

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∠6" PIPE NIPPLE 1" CAM LOCK ~3/4" HOSE BIB /-6"x 3"x 3/8" THICK 118" MAX ALUMINUM PLATE \_\_CONCRETE SLAB 0 3/8" STAINLESS STL. WEDGE TYPE CONC. EXPANSION ANCHOR (2 REQD.) PIPĖ SLEEVE 1 1/2" X 1" BUSHING Kim

1 STD. STAINLESS

WRAP PIPE W/

NEOPRENE AT "U"

STL. U-BOLT.

BOLTS (TYP.)

## REDUCED PRESSURE BACKFLOW PREVENTER WITH HOSE CONNECTION FOR LIFT STATION

WATTS 909 OR EQUAL,

REDUCED PRESSURE BACKFLOW -

PREVENTION DEVICE AND BALL

(TYP.)

A Command of the way

~1 1/2" BALL

1/2" POLYTUBING

VALVE W/ VALVE

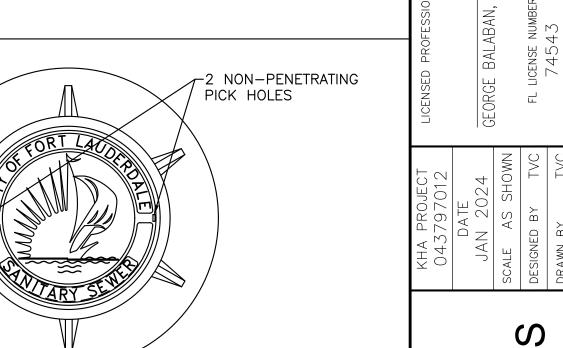
PIPE SUPPORT

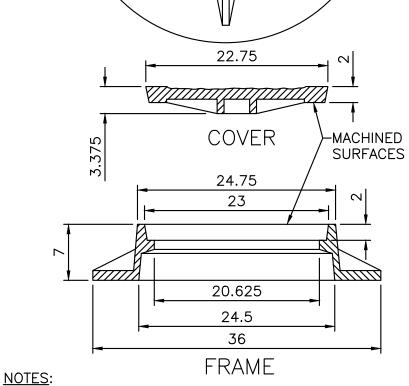
2"x 2"x 1/4"

ALUMINUM ANGLE

1" TYPE "K' COPPER PIPE~

COVER





1. MATERIAL: FRAME AND COVER AS SPECIFIED. 2. ADDITIONAL GRADE RINGS MAY BE USED TO ELEVATE EXISTING

3. ALL DIMENSIONS ARE NOMINAL. 4. OPTIONAL: HINGED FRAME AND COVER AS SPECIFIED.





OO INTRACOASTA PREPARED FOR INTRACOASTAL I 006 900

ER AND DETAIL

SHEET NUMBER C5.03

WATE! SEWER [ MANHOLE FRAMES TO RESURFACED GRADE (MAX. 4" HEIGHT).

N.T.S

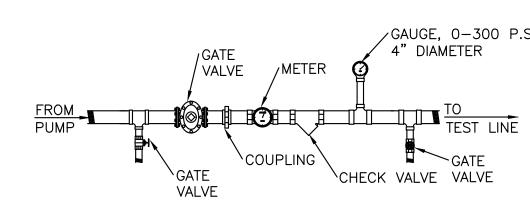


\* NOTE: AFTER TESTS REMOVE 3/4" TUBING AND INSTALL PLUG ON CORPORATION STOP.

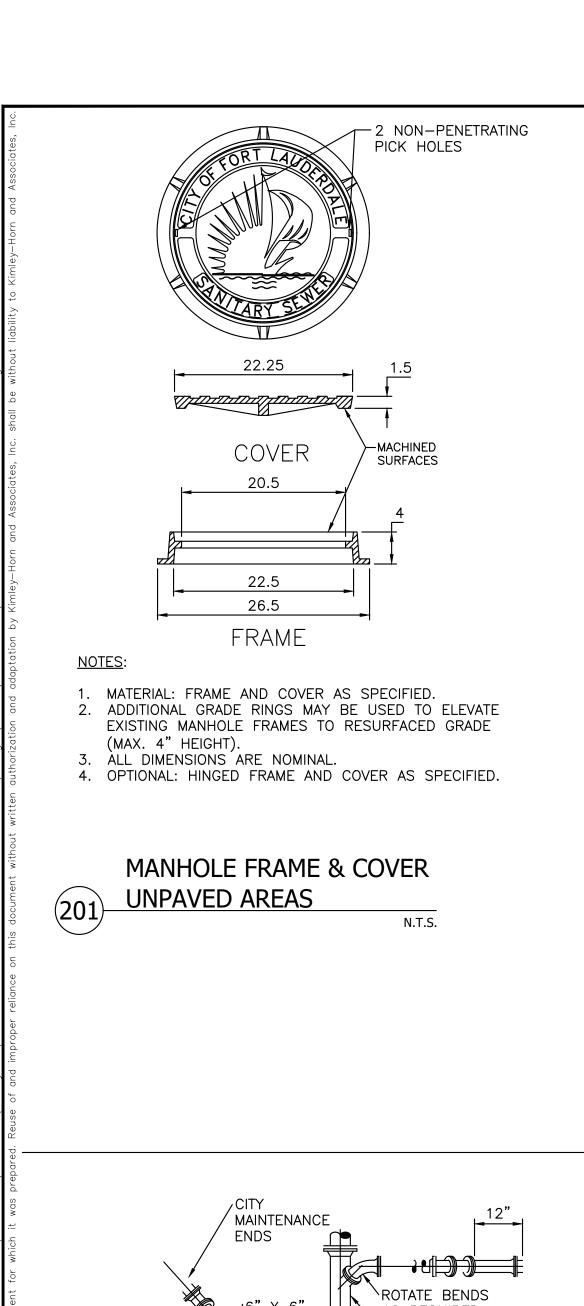
Scale: 1" = 2'

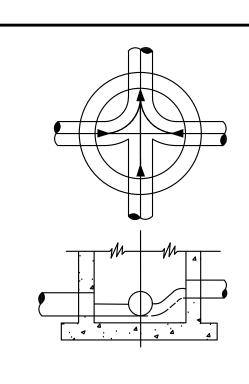
TAPPING SLEEVE STOP \* NOTE: AFTER TESTS REMOVE 3/4" TUBING AND 2" GALVANIZED





PRESSURE TEST TO INCLUDE SERVICES TO ANGLE STOP.



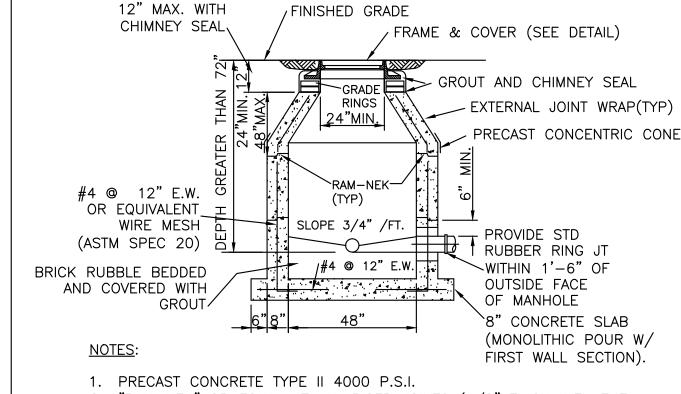


#### NOTE:

- . ALL INVERT CHANNELS ARE TO BE CONSTRUCTED FOR SMOOTH FLOW WITHOUT
- OBSTRUCTION. 2. PROPERLY SHAPED SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH
- DIFFERENT INVERT ELEVATIONS TO PROVIDE FOR SMOOTH FLOWS.

  3. SERVICE LATERALS SHALL NOT ENTER MANHOLES UNLESS SPECIFIED ON PLANS AND THEN MUST BE TREATED AS MAINS. (ELEVATIONS SHOWN, PRECAST HOLE, FLOW CHANNEL)
- 4. BRICK RUBBLE PERMITTED AS FLOW CHANNEL BUILDUP.
- 5. SIDEWALLS OF FLOW CHANNEL SHALL BE AT LEAST HALF OF PIPE HEIGHT AT ALL
- 6. NO INSIDE DROP LARGER THAN 6" SHALL BE ALLOWED WITH 3 OR 4 INVERTS AND MANHOLES WITH A CHANGE OF DIRECTION OF FLOW OF MORE THAN 45 DEGREES.



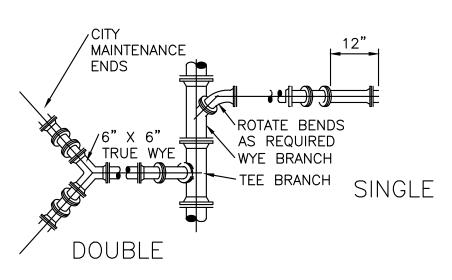


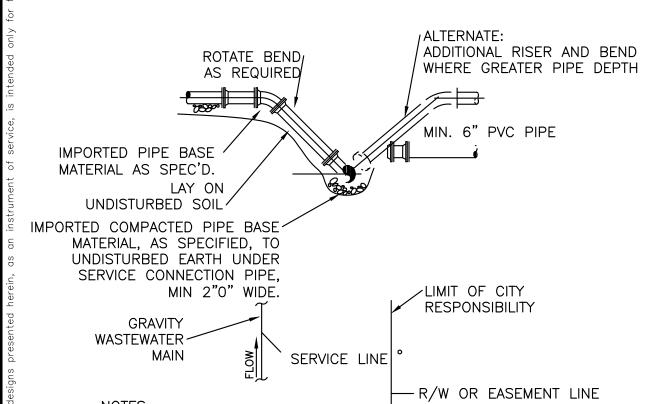
VARIES AS REQD

- 2. "RAM-NEK" OR EQUAL AT ALL RISER JOINTS (1/2" THICK WITH THE WIDTH AT LEAST 1/2 THE WALL THICKNESS).
- 3. ALL OPENINGS SHALL BE SEALED WITH A WATERPROOF NON-SHRINKING
- 4. FLOW CHANNELS SHALL BE CONSTRUCTED TO DIRECT INFLUENT INTO FLOW STREAM. (SEE DETAIL)
- 5. LIFT HOLES ARE PERMITTED.6. ALL PIPE HOLES SHALL BE PRECAST OR CORE DRILLED.
- A. FOR PVC PIPE ENTERING MANHOLE WITH PRECAST HOLES USE THE APPROVED NON-ASBESTOS PVC-MANHOLE ADAPTER OR PRECAST FLEXIBLE MANHOLE SLEEVE FOR THE APPROPRIATE PIPE DIAMETER AND DIMENSION RATIO. THE ADAPTER SHALL NOT EXTEND MORE THAN 1" INTO THE MANHOLE. DOUBLE BANDING IS REQUIRED FOR FLEXIBLE MANHOLE SLEEVE.
- B. CONNECTION TO A MANHOLE WITH A CORE DRILLED HOLE SHALL BE MADE USING A 5' MIN. DUCTILE IRON PIPE SECTION (EPOXY LINED) OR THE APPROVED PVC—MANHOLE ADAPTER.
- 7. INSIDE DROPS SHALL NOT BE DESIGNED TO EXCEED 1.80 FEET AND NOT CONSTRUCTED TO EXCEED 2.0 FEET. MAX. 6" INSIDE DROP IS PERMITTED FOR MANHOLES WITH 3 OR MORE INVERTS AND MANHOLES WITH A CHANGE IN FLOW DIRECTION OF MORE THAN 45 DEGREES.
- WITH A CHANGE IN FLOW DIRECTION OF MORE THAN 45 DEGREES.

  8. MANHOLE FABRICATION SHALL BE IN ACCORDANCE WITH ASTM C-478, LATEST STANDARD.
- 9. MINIMUM 5 FEET IS REQUIRED BETWEEN OUTSIDE OF MANHOLE AND SERVICE WYE.
- 10. MANHOLES TO BE PAINTED INSIDE AND OUTSIDE WITH 2 COATS OF AN APPROVED PROTECTIVE COATING. (ONE COAT RED, ONE COAT BLACK) MIN. 8-10 MILS D.F.T. PER COAT.
- 11. MANHOLE SHALL BE SET PLUMB TO LINE AND GRADE.



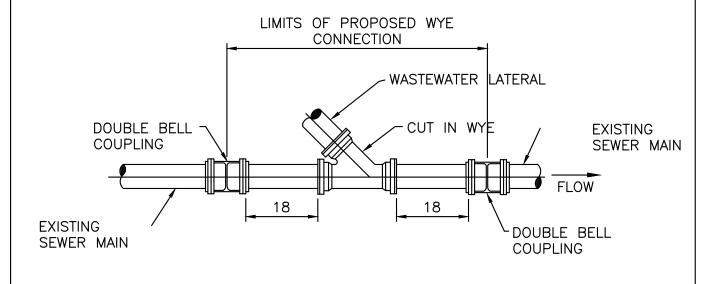




- 1. WASTEWATER MAIN WYE BRANCH TO MATCH MAIN PIPE
- MATERIAL.

  2. NO 90° BENDS SHALL BE USED FOR WASTEWATER SERVICE AND CLEANOUT INSTALLATIONS.
- 3. SERVICE LATERALS SHALL TERMINATE AT 12" INSIDE THE PROPERTY LINE AT A DEPTH OF 3 FEET EXCEPT WHERE A DEEPER INVERT IS REQUIRED BY EXISTING BUILDING CONDITIONS.

TYPICAL WASTEWATER SERVICE CONNECTION N.T.S.



NEW LATERAL ON EXISTING
GRAVITY WASTEWATER MAIN

PLANS ARE IN NAVD 1988 DATUM CONVERSION EQUATION IS BELOW: (NAVD 1988) + 1.58' = (NGVD 1929)

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.



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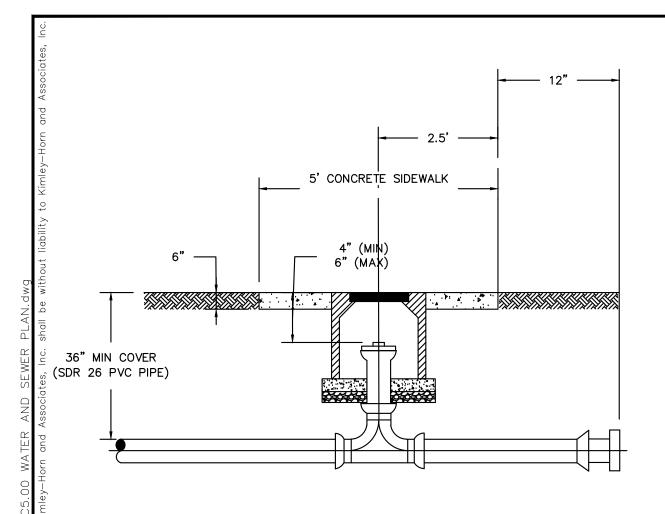
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WATER AND SEWER DETAILS

900 INTRACOASTAL
PREPARED FOR
900 INTRACOASTAL LLC

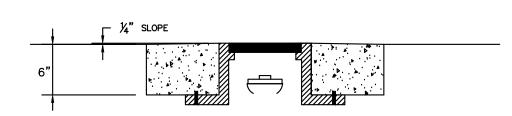
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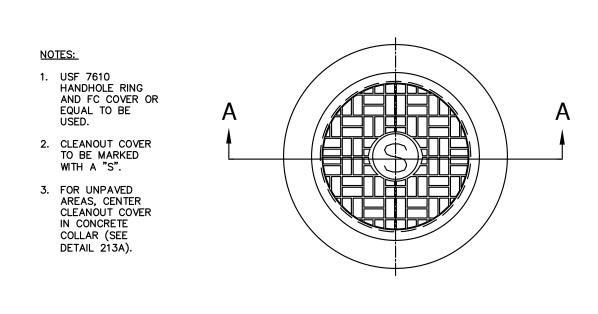


- 1. THE CLEAN OUT SHALL BE INSTALLED IN THE MIDDLE OF THE SIDEWALK. THIS DIMENSION WILL VARY DEPENDING UPON THE WIDTH OF THE SIDEWALK. 2.5' APPLIES TO 5' SIDEWALK WIDTH. IF SIDEWALKS DO NOT EXIST, THE CLEAN OUT SHALL BE INSTALLED 2.5' FROM THE RIGHT OF WAY LINE.
- 2. A NEW SECTION OF SIDEWALK SHALL BE POURED AROUND THE CLEAN-OUT BOX WHEN WORKING IN AN AREA WITH EXISTING SIDEWALKS. IF TRENCHLESS METHOD IS USED FOR CLEANOUT INSTALLATION, WHERE A PORTION OF THE CONCRETE SIDEWALK IS REMOVED BY CORE CUTTING, THE CIRCULAR CONCRETE CORE SURROUNDING THE CLEANOUT MAY BE RESTORED WITHOUT REPLACING THE ENTIRE SIDEWALK SLAB, AS LONG AS NO OTHER CRACKS AND/OR DEFECTS EXIST ON THE SLAB. IF CRACKS AND/OR DEFECTS EXIST ON THE SLAB, THE ENTIRE SLAB MUST BE REPLACED.
- 3. IN UNPAVED AREAS INSTALL 24-INCH-SQUARE OR 24-INCH-DIAMETER CONCRETE COLLAR (3,000 PSI AT 28 DAYS), FORMED UP TO AND AROUND THE CLEAN-OUT BOX AND HAVING A DEPTH OF 6-INCHES. THE COMPLETED CONCRETE COLLAR SHALL BE BROOM-FINISHED AND LEVEL WITH THE CLEAN-OUT BOX COVER AND FINISHED GRADE ELEVATION OF SURROUNDING GRASS, MULCH, GRAVEL, OR OTHER. SLOPE COLLAR FROM CENTER TO EDGE 1/4-INCH PER DETAIL S213A.
- 4. SEE DETAILS 213 THROUGH 216 FOR ADDITIONAL CLEANOUT DETAILS AND NOTES.

# SANITARY SERVICE CONNECTION AT PROPERTY LINE OR EASEMENT LINE



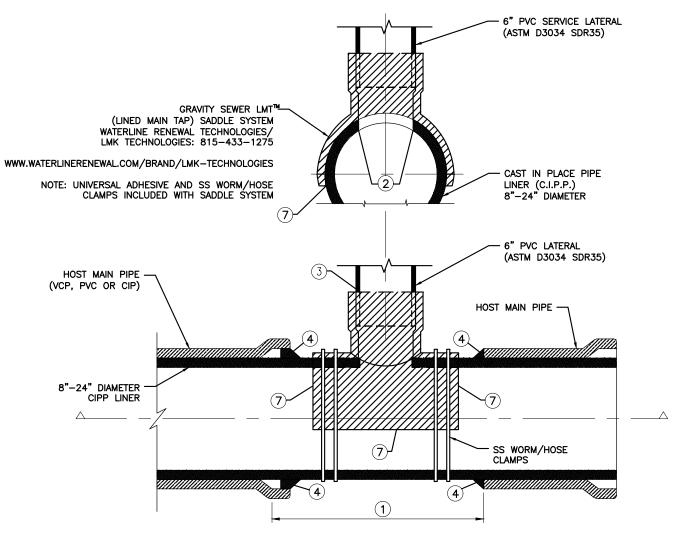
(213A) CONCRETE COLLAR FOR CLEANOUTS IN UNPAVED AREAS





# EXPANSION PLUG NOTES: 1. EXPANSION PLUG SHALL NOT INTERFERE WITH LID. 2. PLUG FLANGE SHALL BE LARGER THAN PIPE I.D. 3. THREADED COMPONENTS SHALL BE FLATTENED OR STAKED TO PREVENT DISASSEMBLY. FOR PAVED AREAS, MATCH EXISTING PAVING. FOR UNPAVED AREAS PLACE CONCRETE COLLAR AT GAR<del>DE PER DETAIL</del> S213A - REFER TO DETAIL 216 FOR CLEANOUT RING AND COVER PVC CLEANOUT PLUG. SET PVC PLUG NOT TO INTERFERE WITH COVER - PVC CLEANOUT ADAPTER SAND CUSHION TRAFFIC AR<del>EAS</del> PROVIDE 6" THICK CONCRETE PAD 20" DIAMETER (f'c=3000 PSI @ 28 DAYS). - SEE DETAILS 213 THROUGH 216 FOR ADDITIONAL CLEANOUT DETAILS AND NOTES. PVC CLEANOUT RISER — COMPACT 8" MIN. OF LBR 70 GRAVEL TO 98% AASHTO T-180-





# <u>LEGEND</u>

- 1 CUT & REMOVE SECTION OF HOST PIPE WHERE SERVICE CONNECTION IS TO BE MADE WITHOUT DAMAGING CIPP LINER. 2 CUT HOLE FOR LATERAL WITH DIAMETER EQUAL TO INSIDE DIAMETER OF THE PVC LATERAL IN MAIN SEWER LINER WITH POWER TOOL.
- (3) CONNECT 6" PVC SEWER LATERAL BY LMT™(LINED MAIN TAP) SADDLE SYSTEM.
- (4) SEAL THE PIPE CUTS WITH HYDRAULIC CEMENT.
- (5) IF NEW LATERAL SERVICE CONNECTION IS BEING CONSTRUCTED SEE TYPICAL WASTEWATER SERVICE CONNECTION DETAIL 208.
- 6 IF A NEW CLEAN-OUT COVER ASSEMBLY MUST BE INSTALLED SEE STANDARD DETAILS 213, 213A, 214, 215 AND 216 FOR REFERENCE
- 7 UNIVERSAL ADHESIVE TO BE ON THE INSIDE OF SADDLE TO FORM WATER TIGHT SEAL BETWEEN LINER AND HOST PIPE. SEE MANUFACTURE'S SPECIFICATIONS FOR MORE APPLICATION INSTRUCTIONS.

SADDLE TEE FASTENED TO LINED GRAVITY MAIN

PLANS ARE IN NAVD 1988 DATUM CONVERSION EQUATION IS BELOW: (NAVD 1988) + 1.58' = (NGVD 1929)

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.



FOR PAVED AREAS, MATCH EXISTING PAVING. FOR UNPAVED AREAS PLACE CONCRETE COLLAR AT GRADE PER DETAIL - REFER TO DETAIL 216 FOR CLEANOUT RING AND COVER GRAVEL REQUIREMENT SHOWN IN DETAIL 214 APPLY FOR TRENCHLESS CLEANOUT INSTALLATION METHOD INSTALL TRENCHLESS CLEANOUT
 SYSTEM IN ACCORDANCE TO
 MANUFACTURER RECOMMENDATIONS. 2. SEE DETAILS 213 THROUGH 216 FOR ADDITIONAL CLEANOUT MIN. 24" VACUUM EXCAVATION HOLE-DETAILS AND NOTES. BACKFILL WITH SUITABLE MATERIAL PVC SDR 26 CLEANOUT — SADDLE FOR EXISTING SERVICE CONNECTION TRENCHLESS CLEANOUT (SEE DETAIL 218) SEWER MAIN

TRENCHLESS CLEANOUT SYSTEM FOR INSTALLATION ON 215 4-INCH AND 6-INCH SANITARY SERVICE CONNECTIONS

DETAIL AND

LLC 900 INTRACOASTAL
PREPARED FOR
900 INTRACOASTAL LLC

SHEET NUMBER

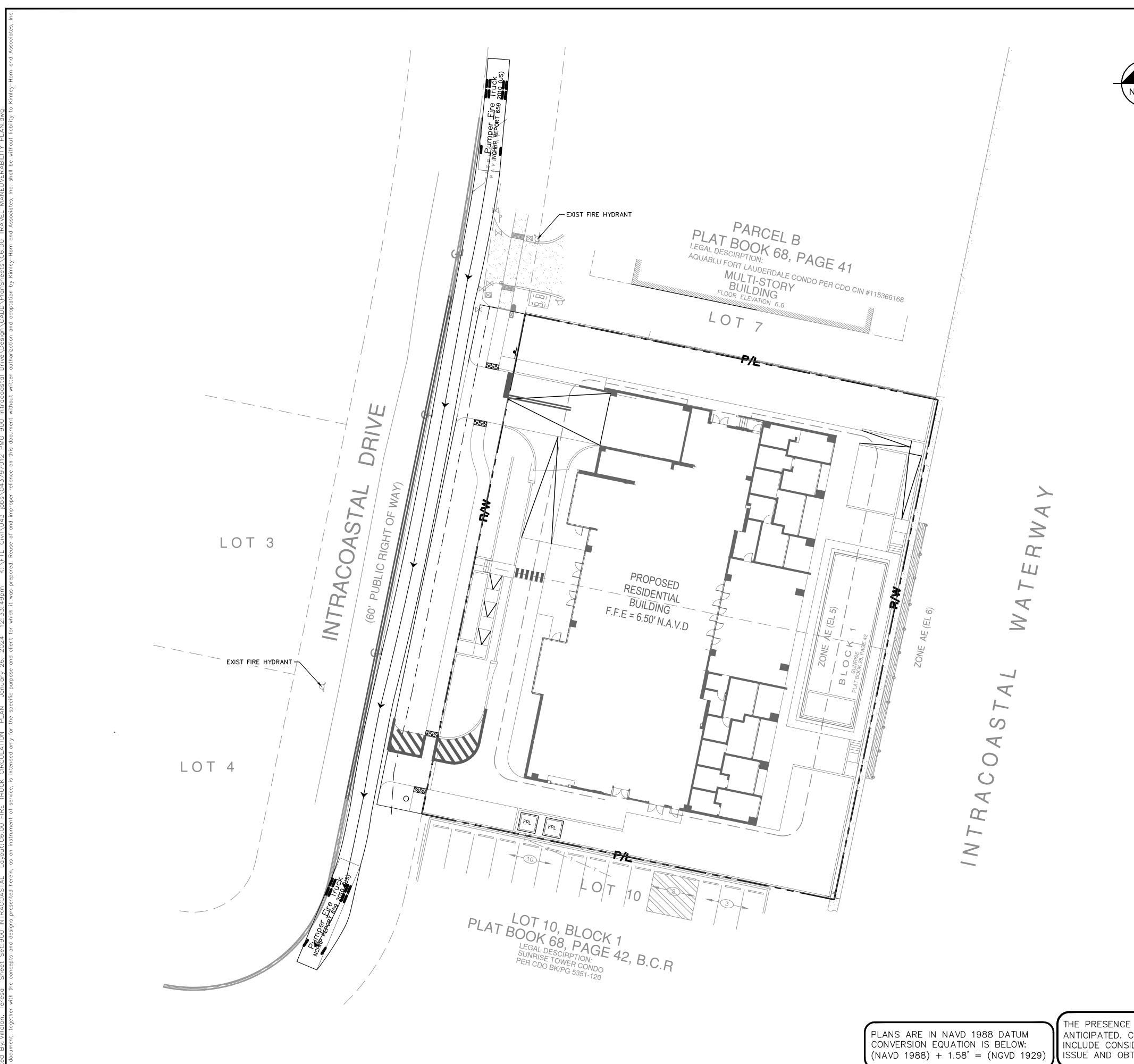
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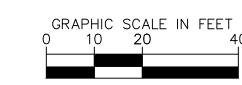
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# Pumper Fire Truck

FIRE TRUCK CIRCULATION PLAN

Kimley»Horn

GEORGE BALABAN, P.E.

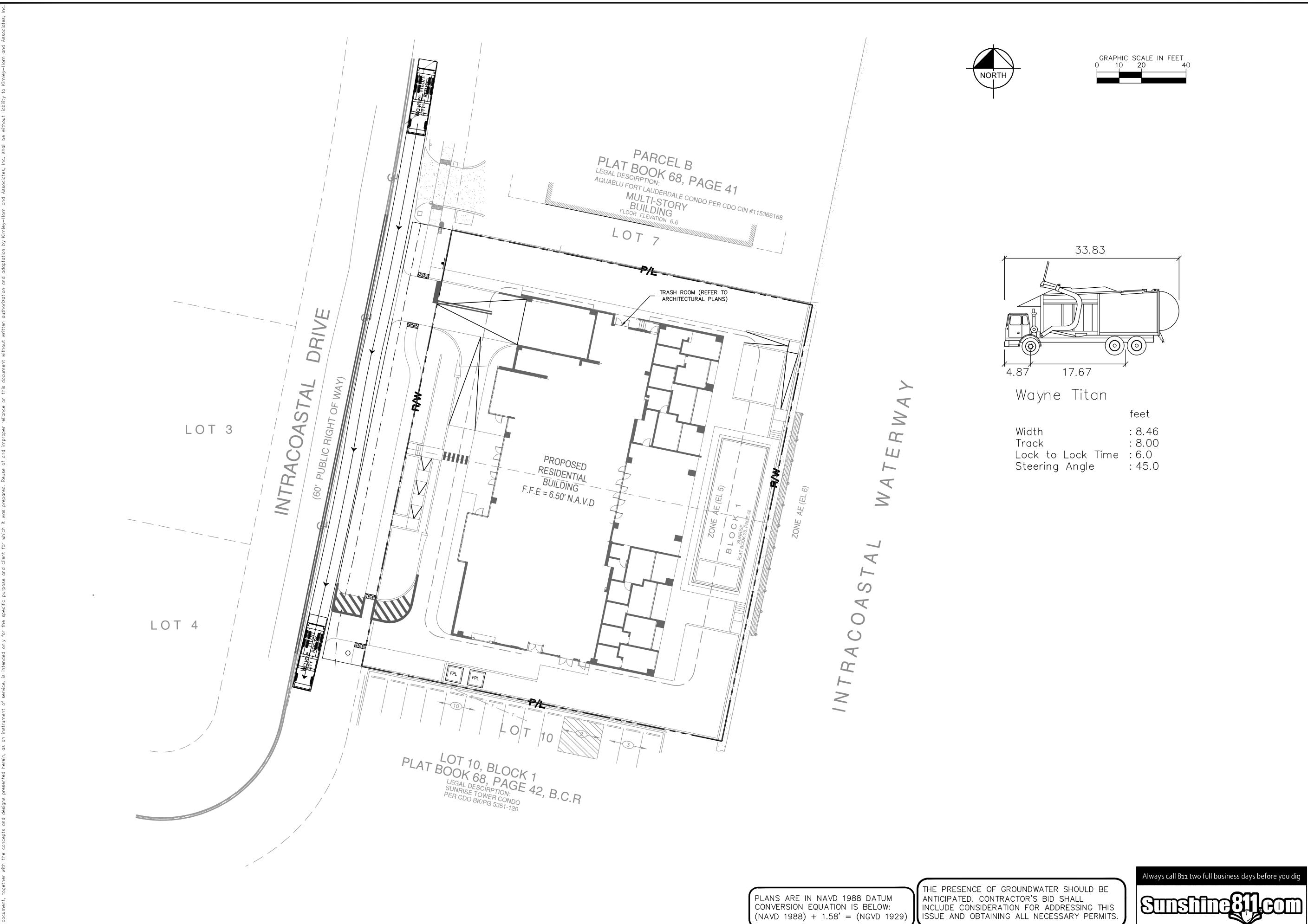
900 INTRACOASTAL
PREPARED FOR
900 INTRACOASTAL LLC

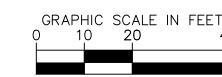
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THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.







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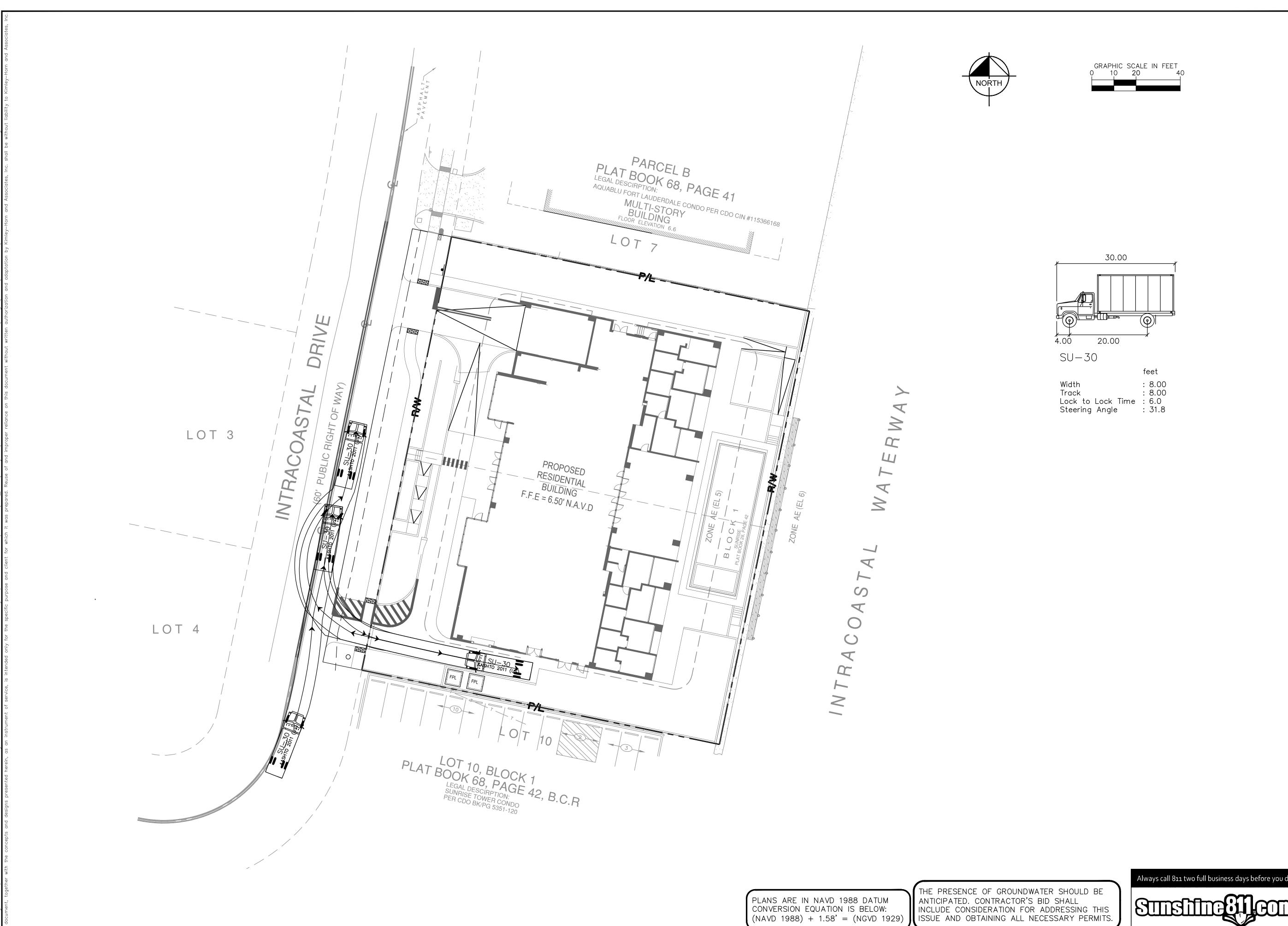
Kimley»Horn

GEORGE BALABAN, P.E.

LLC 900 INTRACOASTAL
PREPARED FOR
900 INTRACOASTAL LLC

SHEET NUMBER C6.01

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.



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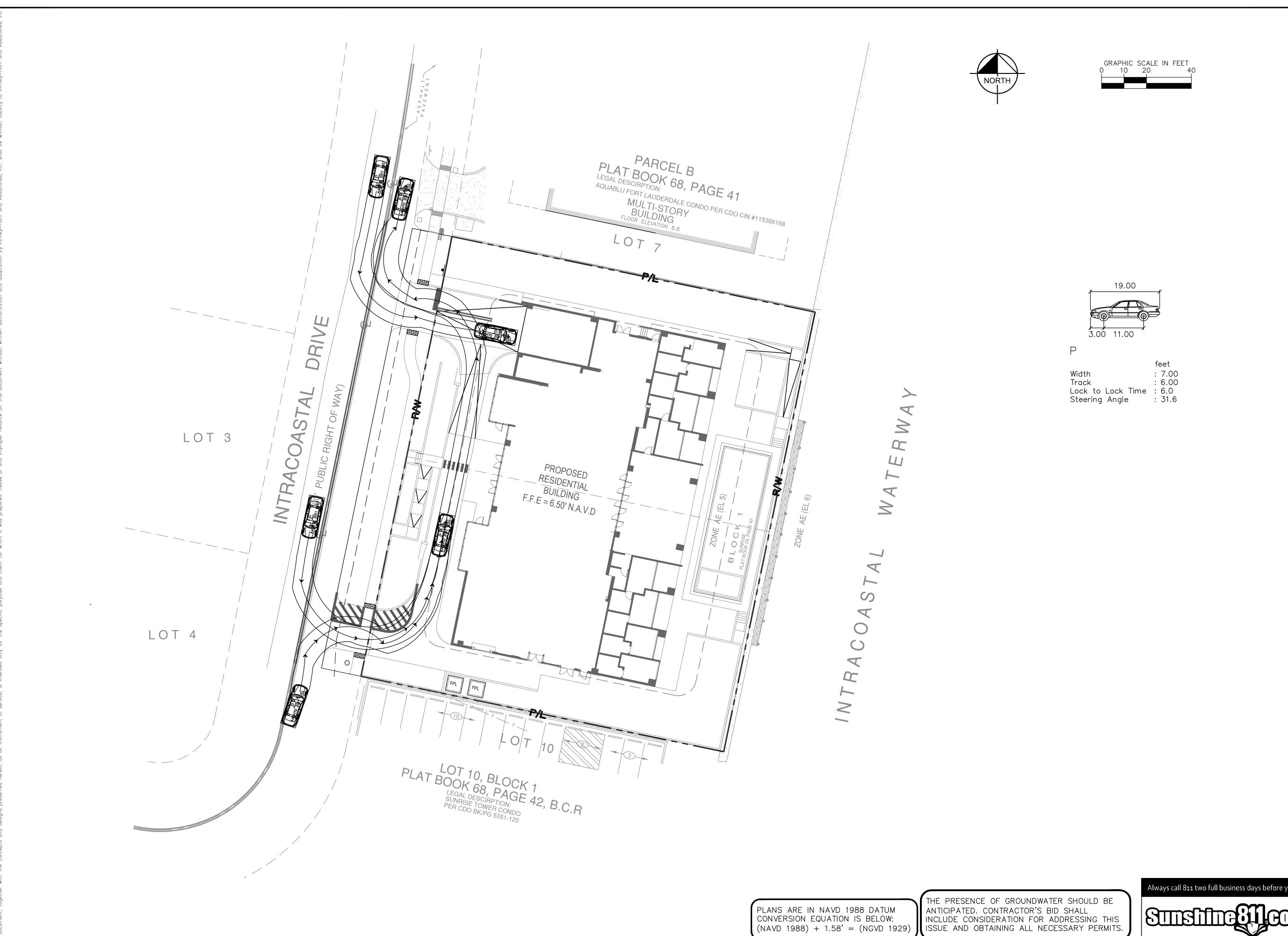
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SU-30 CIRCULATI PLAN

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SHEET NUMBER C6.03

900 INTRACOASTAL
PREPARED FOR
900 INTRACOASTAL LLC

Kimley»Horn

GEORGE BALABAN, P.E.

PASSENGER CIRCULATION PLAN



# DRC Narrative 900 Intracoastal

**Contents:** 

Section 1: Project Description.

Section 2: Comprehensive Plan Compliance.

Section 3: Sec. 47-5.2.A.10 Intent and Purpose of RMH-60 district.

Section 4: Sec. 47-5.21 Permitted and Conditional Uses.

Section 5: Sec. 47-5.38 Dimensional Requirements for RMH-60. Section 6: Sec. 47-24.3 Conditional use permit requirements. Section 7: Sec. 47-23.11 Modification of required yards.

Section 8: Sec. 47-25.3 Neighborhood Compatibility. Section 9: Sec. 47-25.2 Adequacy Requirements.

### Section 1: Project Description

900 Intracoastal is a proposed 44-unit residential building located at 900 Intracoastal Drive (the "Property"). The Property is located in the RHM-60 Zoning District in the City of Fort Lauderdale (the "City").

900 Intracoastal is designed to offer serene and picturesque residences on the City's beautiful Intracoastal. The design provides residents with a tranquil living experience with panoramic views of the waterway from the pool deck to the 16<sup>th</sup> floor. 900 Intracoastal's pool deck is designed with a luxurious amenity deck including stunning cabanas; a gorgeous waterfront pool; and a beautifully designed waterfront promenade on the Property.

As designed, 900 Intracoastal creates a sense of luxury and serenity along the Intracoastal which showcases stunning architectural design that blends seamlessly with the natural beauty of the waterway. 900 Intracoastal designed the double-height lobby with floor to ceiling windows providing a view straight to the Intracoastal.

The design provides a mix of architectural materials that help provide architectural movement throughout the building including glass, aluminum, perforated aluminum, wood cladding, etc., which as designed creates a visually striking and harmonious environment that compliments the Intracoastal.

# **Section 2: Comprehensive Plan Compliance**

As provided in the narrative below, 900 Intracoastal meets the goals, policies and objectives of the City's Comprehensive Plan (the "Plan") as articulated in part in the RMH 60 zoning district regulations set forth in Section 47-5 of the City's Unified Land Development Regulations (the "ULDR"). As discussed in detail below, 900 Intracoastal meets Goals 2,3, and 4 of the Urban Design Element and Goal 2 of the Florida Land Use Element sections of the Plan. Further, this application is also consistent with the spirit and intent set forth in the RMH-60 district as provided the ULDR.

# Section 3: Sec. 47-5.2.A.10, Intent and Purpose of RMH-60 district

Sec. 47-5.2.A.10 of the City's ULDR states:

RMH-60 district is intended for high-rise, high density multifamily residences and hotels. The RMH-60 district has a maximum density of 60 dwelling units per net acre and one hundred twenty (120) hotel/motel rooms per net acre, and eighty-seven (87) nursing home rooms per net acre which is consistent with the residential high category of the city's comprehensive plan.

<u>Response</u>: 900 Intracoastal meets the intent and purpose of the RMH-60 district – proposing a 16 story, 44-unit multi-family residential building on 0.75 acres where the maximum density is 60 units per net acre.

# Section 4: Sec. 47-5.21, Permitted and Conditional Uses

Pursuant to section 47-5.21.k of the ULDR, multifamily dwelling units are permitted in the RMH-60. Thus, the proposed 44-unit multi-family residential building is a permitted use. A conditional use permit is allowed for 150'-300' in height – 900 Intracoastal proposes 175'.

Section 5: Sec. 47-5.38, Dimensional Requirements RMH-60 District

|                                   | RMH-60 Zoning District                                                | Required                             | Proposed  |  |
|-----------------------------------|-----------------------------------------------------------------------|--------------------------------------|-----------|--|
| Maximum height (ft.) Note B       |                                                                       | 150' * up to 300'                    | 175'      |  |
| Minir                             | num lot size                                                          | 5,000 SF                             | 33,001 SF |  |
| Maxi                              | mum Density                                                           | 60                                   | 44 units  |  |
| Minir                             | mum Front Setback West (ft.):                                         | 25' min up to ½ the building height. | 25'       |  |
| Minimum Side Setback South (ft.): |                                                                       | 10' min up to ½ the building height. | 22'       |  |
| Minir                             | nimum Side Setback North (ft.):  10' min up to ½ the building height. |                                      | 22'       |  |
| Minimum Rear Setback East (ft.):  |                                                                       | 20' min up to ½ the building height. | 20'       |  |

Note B: Yard dimensions in this district are the minimum requirements. In no case shall the dimensional requirements be less than an amount equal to one-half ( $\frac{1}{2}$ ) the height of the building when this is greater than the above specified yard minimums. Modification of required yards may be permitted subject to the requirements of Section 47-23.11, Specific Location Requirements.

Note C: May be increased to 300 feet subject to criteria in Section 47-23.13.

\*Requires conditional use permit for heights greater than one hundred fifty (150) feet, up to 300 feet.

#### **Sec. 47-23.8. Waterway use.**

A. Buildings and land uses on parcels abutting waterways in nonresidential districts and in multifamily districts shall be designed to preserve the character of the city and neighborhood in which they are located, harmonize with other development in the area, and protect and enhance the scenic quality and tranquility of the waterways. Special provisions are needed to realize these objectives, which can be stated only in general terms, and at the same time permit a reasonable use of land and depend on details of design of the buildings, appurtenances, yards and landscaping and their relation to the waterway and other uses on the waterway.

Response: 900 Intracoastal is designed to meet the intent of Goal 4 in the City's Comprehensive Plan by enhancing the waterfront experience on the Intracoastal with high quality architectural design oriented toward the Intracoastal simultaneously providing human-scale pedestrian realms which preserve the character of the Intracoastal. The design team focused on Comp Plan Policy UD 4.1.3, balancing scale, density, and form to create expansive pedestrian walkways, which are designed to be consistent with our neighbors.

- B. For purposes of this Section 47-23.8, "on a waterway" means a development site which abuts a waterway. This section shall not apply to development within the downtown RAC, except for development within the RAC-RPO district, and shall not apply to the central beach area districts. Any proposed nonresidential or multifamily use on a waterway shall require a site plan level III development permit, as provided in Section 47-24, Development Permits and Procedures. The application shall include all elevations visible from the waterfront. A use on a waterway shall, in addition to all other requirements of the ULDR, meet the requirements as follows:
  - a. A twenty-foot landscaped yard is required adjacent to the existing bulkhead line. The required twenty-foot yard shall not be used or developed for any purpose other than landscaping and the minimum amount of driveways or walkways reasonably necessary to serve permitted nonresidential or multifamily waterfront uses, unless specifically approved by the planning and zoning board. The twenty-foot yard shall not apply to marinas or yacht clubs.

<u>Response</u>: 900 provides the required landscape yard with the mechanical accessories for the pool on the ground floor.

b. Review of Neighborhood Compatibility, Scale, Bulk and Mass, as provided in Section 47-25.3.A.3.e.i.

<u>Response</u>: 900 Intracoastal is designed to balance scale, bulk, and mass while orienting the building towards the Intracoastal as encouraged by the Comp Plan. 900 Intracoastal was designed with the neighboring properties to the north and south in mind with the goal of extending the wide sidewalk creating a cohesive pedestrian realm along Intracoastal Drive. For more information see Section 8 of this narrative.

C. Any property zoned B-2, B-3 or I which abuts a waterway shall be used for a marina, a hotel marina, or a shipyard, where such uses are permitted within the B-2, B-3 or I zoning districts.

Response: Not applicable, the Property is in the RMH-60 zoning district.

# Section 6: Sec. 47-24.3. Conditional use permit requirements.

- E. Criteria. The following review criteria shall be applied in considering an application for a conditional use permit:
- 1. Impact on abutting properties as evaluated under the Neighborhood Compatibility Requirements, Sec. 47-25.3.

<u>Response:</u> 900 Intracoastal is designed to have little to no impact on the abutting properties. See Section 8 of this narrative.

2. Access, traffic generation and road capacities. Consideration will be given to the design capacity of the adjacent roadways, the particular traffic generation characteristics of the proposed conditional use, including the type of vehicular traffic associated with such uses, and traffic generation characteristics of other uses permitted in particular zoning districts.

<u>Response:</u> A traffic impact statement was conducted and 900 Intracoastal produced fewer than 1000 trips, generating 1 new AM Peak Hour trip and 8 PM Peak Hour trips. For further analysis, the traffic impact statement is included in the DRC submission.

- 3. The applicant must show and it must be found by the reviewing body that the following have been met:
- a. The location of the use or structure is not in conflict with the city's comprehensive plan;

<u>Response</u>: The location of the proposed multi-family use is not in conflict with the comprehensive plan.

b. Off-site or on-site conditions exist which reduce any impact of permitting the use or structure:

<u>Response</u>: Permitting a multi-family residential building within the RMH-60 zoning district is permitted, consistent with abutting neighbors, and will not require off-site or on-site conditions to minimize impacts.

c. On-site improvements have been incorporated into the site plan which minimize any adverse impacts as a result of permitting the use or structure;

<u>Response</u>: 900 Intracoastal is a proposed multi-family residential tower that provides lush landscaping, world class architecture, and mixed materials — adverse impacts as a result of permitting the 44-unit residences are not anticipated.

d. The location of the use in proximity to a similar use does not impact the character of the zoning district in which the use is located;

<u>Response</u>: 900 Intracoastal is a proposed residential development which is consistent with the neighboring properties to the north and south therefore 900 Intracoastal as proposed does not impact the character of the RMH-60 zoning district.

e. There are no adverse impacts of the use which effect the health, safety and welfare of adjacent properties.

Response: The properties adjacent to the proposed 900 Intracoastal are residential towers that are oriented toward the Intracoastal with a pedestrian sidewalk connecting them along Intracoastal Drive. 900 Intracoastal is designed to nestle between the existing adjacent neighbors to the north and south while enhancing the sidewalk along Intracoastal Drive and conforming the lighting to our neighbors and the City's existing lighting without effecting the health, safety, and welfare of the adjacent properties.

# Section 7: Sec. 47-23.11. Modification of required yards.

- A. Criteria for modification of required yards. The planning and zoning board shall upon written application for site plan level III approval, as provided in <u>Section 47-24.2</u>, Development Permits and Procedures, consider a request to modify the required yards as specified in the Table of Dimensional Regulations within the RMM-25, RMH-25 and RMH-60 residential zoning districts, and may change such minimum yard requirements, provided, however, that the following additional criteria for such approval are met:
- 1. By adjusting the location of the structure on the site, an architectural and/or engineering study can graphically prove that a superior site development as relating to shadows will result from such adjustment; or

<u>Response</u>: With the modified yard, 900 Intracoastal provides a superior design which centers the building on the Property while providing lush landscape buffers between the neighbors to the north and south.

2. By adjusting the location of the structure on the site when the site abuts the Intracoastal Waterway or other permanent public open space, land or water and it is found that allowing a reduction is compatible with adjacent properties, as defined in this section; or

<u>Response</u>: The yard modification for 900 Intracoastal is compatible and consistent with the adjacent residential buildings. 900 Intracoastal is designed with reduced yards which allow for more landscaping and walkable space along the Intracoastal.

- 3. By adjustment of yards it is found that:
- a. There is continuity of yards between the proposed development and adjacent properties; and

<u>Response</u>: The request to modify the yard will allow 900 Intracoastal to be consistent with the yards between the adjacent properties.

b. There is continuity of architectural features with adjacent properties which encourages public pedestrian interaction between the proposed development and the public street; or instead of subsections A.3.a and b, it is found that;

<u>Response</u>: The modified yard allows 900 Intracoastal to assist fostering a sense of connectivity by continuing the sidewalk and lighting on Intracoastal Drive enhancing the pedestrian experience and comfortability. enhanced sidewalk and lighting along Intracoastal Drive.

c. There is continuity of architectural features with adjacent properties. Architectural features include but are not limited to those listed in subsection A.3.e; and

<u>Response</u>: Understood. 900 Intracoastal is designed to provide luxurious architecture that will not only enhance but flow seamlessly with any updated city lighting and the adjacent properties.

d. There is continuity of urban scale with adjacent properties. Urban scale includes height, proximity to street front and relationship of building size to the lot size;

<u>Response</u>: As proposed, 900 Intracoastal is designed at a height and scale that is in conformance with the existing residential towers to the north and south of the Property.

e. In addition to the reduction in minimum yards meeting subsections A.3.a and b or subsections A.3.c and d, the development includes a minimum of four (4) of the following architectural features: Terracing; variation in rooflines; cantilevering; angling; balconies; arcades; uniform cornice heights; color and material banding; building mass changes; courtyards; plazas and landscaped areas which encourage pedestrian interaction between the development site and a public street.

Response: 900 Intracoastal showcases pearlescent all glass balconies; a variety of architectural materials such as banding, wood, and aluminum finishes; an expertly designed landscape area along the Intracoastal which effectively acts as a private waterfront promenade for residents. Further, 900 Intracoastal's landscape design provides luscious landscaping in between the towers to the north and south creating a more cooling and welcome pedestrian realm.

4. In addition to subsection A.1, 2, or 3 the following shall be met:

a. The applicable minimums pertaining to all other zoning requirements applicable to the development are met.

Response: Understood. The application for 900 Intracoastal meets the applicable requirements.

b. A structure with a required yard proposed to be modified that is located on a development site abutting or separated only by a right-of-way from the Intracoastal Waterway or other permanent public open space, land or water shall not cast a shadow that exceeds fifty percent (50%) of such public water or land area at any time between the hours of 9:00 a.m. and 5:00 p.m. on March 21 (vernal equinox). For sites along the Atlantic Ocean, the public area subject to review shall be the sandy beach westward of the mean high water line as defined in Section 47-2, Measurements. The public open space, land or water as described in this section shall be measured by extending a line from the points where the property lines intersect at the corners of the development site abutting the public area or separated from the area by a right-of-way, and extending those lines across the public area perpendicular to the development site.

<u>Response</u>: Understood. See Sheet AR-003, which shows that 900 Intracoastal does not cast a shadow that exceeds 50% of the public water or land area during the vernal equinox.

c. That the intent and spirit of the dimensional regulations, of the applicable district concerning yards as relating to air, light and shadow is maintained.

<u>Response</u>: 900 Intracoastal was designed with neighborhood safety, pedestrian realm, light, air, and shadow in mind. As designed 900 Intracoastal meets the intent and spirit of the dimensional regulation applicable to RMH-60 and is consistent with our residential neighbors.

#### Section 8: Sec. 47-25.3, Neighborhood Compatibility.

- A. The neighborhood compatibility requirements are as follows:
- 1. Adequacy requirements. See Sec. 47-25.2. See Section 9 of this narrative.
- 2. Smoke, odor, emissions of particulate matter and noise.
  - a. Documentation from the Broward County Department of Natural Resource Protection (DNRP) or a report by a certified engineer, licensed in the State of Florida, that the proposed development will not exceed the maximum levels of smoke, odor, emissions of particulate matter and noise as regulated by Chapter 27, Pollution Control, of the Code of Broward County, and that a DNRP permit for such facility is not required.

Response: DNRP license is not required.

b. Where a DNRP license is required in accordance with Chapter 27, Pollution Control, of the Code of Broward County, all supporting documentation and information to obtain such permit shall be submitted to the DRC as part of a site plan review.

Response: Understood. DNRP license is not required.

c. Such DNRP licenses shall be required to be issued and copies provided to the city prior to the issuance of a building permit for the proposed development.

Response: Understood. DNRP license is not required.

- 3. Design and performance standards.
  - a. Lighting. No lighting shall be directed from a use which is subject to the requirements of this Sec. 47-25.3 in a manner which illuminates abutting residential property and no source of incandescent or mercury vapor illumination shall be directly visible from any abutting residential property. No neon lights inside or outside restaurants shall be visible from any abutting residential property.

<u>Response</u>: 900 Intracoastal does not propose installing lighting that will illuminate visibly from any abutting residential property.

i. Glare. Any nonresidential operation or activity producing glare shall be conducted so that direct or indirect illumination of light shall not cause illumination in excess of one (1) footcandle on any abutting residential property except as provided in subsection iii. of this subsection a.

<u>Response</u>: 900 Intracoastal will not cause illumination in excess of one footcandle on any abutting residential properties.

ii. Control of effects of lights from automobiles or other sources. Where the site plan indicates potential adverse effects of parking or of other sources on the lot on which the nonresidential use is to be located, such effects shall be eliminated or at a minimum prevented so that lights do not illuminate adjacent residential property below a height of five (5) feet at the residential lot line, or from shining into any residential window if there is to be nonresidential parking on the premises after dark.

<u>Response</u>: Understood, this is a residential development and all parking will be within an expertly screened garage.

iii. In addition to the above, parking lots and garages will be subject to the provisions of Sections 47-20.14 and if in conflict with the provisions of this section, the more restrictive provisions shall apply.

<u>Response</u>: Understood. The parking garage for 900 Intracoastal is screened with perforated aluminum and complies with 47-20.14.

b. Control of appearance. The following design standards are provided to protect the character of abutting residential areas from the visual impact which may result from a use which is subject to the requirements of this Sec. 47-25.3.

i. Architectural features. The facade of any side of a nonresidential building facing the residential property shall be constructed to compliment a residential restaurant and shall include the following:

Response: Not applicable – 900 Intracoastal is a residential building.

ii. Loading facilities. Loading and service facilities shall be screened so as not to be visible from abutting residential uses or vacant residential zoned property.

Response: Not applicable – 900 Intracoastal is a residential building.

iii. Screening of rooftop mechanical equipment. All rooftop mechanical equipment, stair and elevator towers shall be designed as an integral part of the building volume and/or adequately screened so that they are not visible from abutting residential uses or vacant residential zoned property.

<u>Response</u>: Any proposed rooftop mechanical equipment is designed pursuant to this section and will be adequately screened so the equipment is not visible from the abutting residential uses.

c. Setback regulations. When a nonresidential use which is subject to the requirements of this Sec. 47-25.3 is contiguous<sup>2</sup> to any residential property, there shall be an additional setback required for any yard of that use which is contiguous to the residential property, as follows:

Response: Not applicable – 900 Intracoastal is a residential building.

d. Bufferyard requirements. When a use which is subject to the requirements of this Sec. 47-25.3 is contiguous to any residential property, the property where the use is located shall be required to have a landscaped strip area and a physical barrier between it and the residential property. Such landscape strip shall meet the following requirements:

Response: Not applicable – 900 Intracoastal is a residential building.

- e. Neighborhood compatibility and preservation. In addition to the review requirements provided in subsections A.1, A.2 and A.3.a, b, c, and d, the following review criteria shall also apply as provided below:
  - i. All developments subject to this Sec. 47-25.3 shall comply with the following:
    - a) Development will be compatible with, and preserve the character and integrity of adjacent neighborhoods, the development shall include improvements or modifications either on-site or within the public rights-of-way to mitigate adverse impacts, such as traffic, noise, odors, shadow,

<sup>&</sup>lt;sup>1</sup> Building: A roofed and walled restaurant that is completely enclosed, except as otherwise provided in the ULDR, the use of which demands a permanent location on the land. Sec. 47-35, Definitions.

<sup>&</sup>lt;sup>2</sup> Contiguous: Contiguous shall be abutting or separated by no more than a twenty (20) foot wide right-of-way. Sec. 47-35, Definitions.

scale, visual nuisances, or other similar adverse effects to adjacent neighborhoods. These improvements or modifications may include, but shall not be limited to, the placement or orientation of buildings and entryways, parking areas, bufferyards, alteration of building mass, and the addition of landscaping, walls, or both, to ameliorate such impacts. Roadway adjustments, traffic control devices or mechanisms, and access restrictions may be required to control traffic flow or divert traffic as needed to reduce or eliminate development generated traffic on neighborhood streets.

<u>Response</u>: 900 Intracoastal as proposed is compatible with the character and integrity of the adjacent neighborhood with expertly designed landscaping on all sides and an architecturally screened parking garage. 900 Intracoastal is oriented similar to the surrounding buildings with the entrance facing west and the pool deck facing the Intracoastal.

b) Consideration shall be given to the recommendations of the adopted neighborhood master plan in which the proposed development is to be located, or which it abuts, although such neighborhood master plan shall not be considered to have the force and effect of law. When recommended improvements for the mitigation of impacts to any neighborhood, conflicts with any applicable ULDR provision, then the provisions of the ULDR shall prevail. In order to ensure that a development will be compatible with, and preserve the character and integrity of adjacent neighborhoods, the development shall include improvements or modifications either on-site or within the public rights-of-way to mitigate adverse impacts, such as traffic, noise, odors, shadow, scale, visual nuisances, or other similar adverse effects to adjacent neighborhoods. These improvements or modifications may include, but shall not be limited to, the placement or orientation of buildings and entryways, parking areas, bufferyards, alteration of building mass, and the addition of landscaping, walls, or both, to ameliorate such impacts. Roadway adjustments, traffic control devices or mechanisms, and access restrictions may be required to control traffic flow or divert traffic as needed to reduce or eliminate development generated traffic on neighborhood streets.

<u>Response</u>: 900 Intracoastal is designed to be compatible with the character and integrity of the surrounding neighborhood.

ii. All development within the RAC-TMU (RAC-EMU, RAC-SMU and RAC-WMU) district that is greater in density than twenty-five (25) dwelling units per net acre:

Response: Not applicable since the Property is located RMH-60.

iii. All development within any downtown RAC district that is within one hundred (100) feet of residential property that is located outside of any downtown RAC district and all development within the RAC-TMU (RAC-EMU, RAC-SMU and RAC-WMU) district; and all development that is located on land adjacent to the New River within the RAC-AS and RAC-CC which deviates from the New River corridor

requirements as provided in Section 47-13, Downtown Regional Activity Center:

<u>Response</u>: Not applicable since the Property is not located within 100' of any downtown RAC. Since the Property is not located within 100' of any downtown RAC, discussion on section 47-25.3.A.3.e.iii.a is omitted from this narrative.

iv. All development that is located on land within the CBA zoning districts;

AND

All development that is zoned RMM-25, RMH-25 and RMH-60 east of the Intracoastal Waterway;

AND

All nonresidential development lying east of the Intracoastal Waterway.

a) In addition to meeting the other applicable review requirements of this subsection 3., it shall be determined if a development meets the Design and Community Compatibility Criteria.

The purpose of the Community Compatibility Criteria is to define objectives for private sector development which either abuts or is readily visible from public corridors. The relationship between private and public sector development must be carefully planned to avoid negative impacts of one upon the other. The city's intent in implementing these objectives is to:

- i. Protect the investment of public funds in public corridor improvements.
- ii. Improve the visual and functional quality of both public and private development by coordinating the transition between these areas.
- iii. The ultimate goal of these objectives is to integrate buildings, vehicular circulation, pedestrian circulation, open space and site elements into a unique, pedestrian sensitive environment which stimulates revitalization.

<u>Response</u>: Not applicable. This Property is west of the Intracoastal within the RMH-60 zoning district and the proposed project is a residential development.

The Community Compatibility Criteria that are required to be met are as follows:

b) Bulk Controls:

Density: Building density should be consistent with the proposed use, adjacent development, and as required under the Central Beach Area, RMM-25, RMH-25 and RMH-60 zoning districts.

<u>Response</u>: 900 Intracoastal is within RMH-60 and the density is consistent with the proposed use and adjacent developments.

Floor Area Ratio:

Building floor area ratio (F.A.R.) should be consistent with the proposed use, and as required under the Central Beach Area.

Response: The Property is not located in the Central Beach Area.

Maximum Height:

Building height should be consistent with the proposed use, adjacent development, and as required under the Central Beach Area, and RMM-25, RMH-25 and RMH-60 zoning districts. No portion of a structure in excess of thirty-five (35) feet in height shall exceed the prescribed Beach Shadow Ordinance setback.

<u>Response</u>: 900 Intracoastal is within RMH-60 just west of the Intracoastal and requests the ability to exceed the permitted 150' height as allowed by the ULDR. This request is consistent with the multi-family residential building.

#### Yards:

Building yards should be consistent with the proposed use, adjacent development, and as required under the Central Beach Area, RMM-25, RMH-25 and RMH-60 zoning districts. Building yards are in addition to any easements or reserve right-of-way which may be required by the city, county or state. Portions of a structure, up to thirty-five (35) feet in height, may encroach within the A1A setback if the building's street level use is predominantly pedestrian active (pedestrian-oriented retail, sidewalk cafes, etc.). No portion of any structure is permitted to extend, however, into the future right-of-way.

In the PRD, ABA and SBMHA zoning districts, to insure continuity of the ocean front streetscape "edge" a minimum seventy-five (75%) percent of the northbound A1A frontage must be built to the setback line (or approved encroachment limit). In the Planned Resort Development (PRD) district the entire northbound A1A frontage should be built to the future right-of-way line unless otherwise approved under that district's community redevelopment plan.

Response: 900 Intracoastal is within RMH-60 with the adjacent developments.

c) Massing Guidelines:

# Overall Height:

Buildings should be encouraged to vary in overall height and not be contained in a single volume of continuous height.

Response: 900 Intracoastal is designed to vary overall height.

#### Vertical Plane Moderation:

Buildings exceeding thirty-five (35) feet in height should be encouraged to maintain no more than three (3) stories without horizontal moderation in vertical surface plane. This moderation should consist of a minimum four feet horizontal variation in surface plane such as brise soleil, balconies, building projections, etc. Repetitive moderations should be discouraged.

Response: 900 Intracoastal is consistent with this requirement.

#### Cornice Height:

All buildings should be encouraged to display a uniform cornice height of a maximum of thirty-five (35) feet in height. This cornice height should consist of a uniform alteration to the building massing for a minimum of twenty (20) feet perpendicular to the vertical surface.

Response: 900 Intracoastal is consistent with this requirement.

#### Facade Treatment:

The first thirty-five (35) feet of exterior facade vertical plane should be encouraged to enhance the pedestrian environment by incorporating appropriate architectural features. Such features include cornice detailing, belt courses, corbelling, molding, stringcourses, ornamentation, changes in material or color, and other sculpting of the architectural surface which add special interest and are compatible with public sector site elements.

<u>Response</u>: 900 Intracoastal is designed with enhanced façade treatment including cornice detailing, changes in material, and changes in color for this private residential development.

#### **Overstreet Connections:**

Connections between restaurants which pass over public right-of-way may be permitted providing those connections have secured legitimate air rights over the public corridor and meet all applicable codes. Connections over A1A to the beach should be limited to select locations where significant amounts of above grade pedestrian traffic will be generated. Where possible, overstreet connections should access the promenade/beach at or near major beach portal features. All overstreet connections should be of exceptional design, which enhances the visual and functional quality of the streetscape and should be compatible with public

sector site elements.

<u>Response</u>: Not applicable 900 does not offer a restaurant nor connections to A1A as the site is west of the Intracoastal.

d) Street Level Guidelines:

Active Use:

The first floor of all buildings, including restaurant parking, should be designed to encourage pedestrian scale activity. To stimulate pedestrian activity, buildings which front on A1A northbound should devote a majority of their first floor area to retail activities such as restaurants, shops, galleries and similar active uses. Street level retail uses should have direct access to the adjoining public sector sidewalk in addition to any other access which may be provided.

<u>Response</u>: 900 Intracoastal's design connects the existing sidewalk to the north and provides lush landscaping throughout the site.

Restaurant parking facilities should be designed with street level frontages consisting of either occupied retail space or an architecturally articulated facade which screens the parking area of the restaurant. Street level openings to parking restaurants should occur only on sidestreets and be minimized to accommodate necessary vehicle entrances and pedestrian access only.

Response: Not applicable 900 Intracoastal is a residential development.

Buildings which provide pedestrian active retail uses along a majority of their A1A northbound street level frontage may be permitted to exceed setbacks established under the Central Beach Area Zoning Districts (Section 47-12). In addition, street level retail and restaurant uses may be permitted to use a portion of the public sector sidewalk for sidewalk displays and/or outdoor dining areas. Private use of public sector sidewalks must be temporary only and subject to all applicable codes and lease arrangements. All displays, furnishings and other elements associated with these active street level uses should be designed and maintained to enhance the visual and functional quality of the streetscape and should be compatible with public sector site elements.

Response: Not applicable since the Property does not run along A1A.

#### Fenestration:

To complement pedestrian scale activity on A1A and all People Streets, a majority of the first floor facade on these frontages should be windows, doors or other transparent architectural features. Expanses of solid wall should be minimized. Reflective surfaces on

windows or doors should be discouraged. Street level windows and doors should be recessed or receive special design detailing which distinguish them from the building shaft and add variety to the streetscape.

Response: Not applicable since the Property is not located on People Streets or A1A.

#### Arcades/Canopies:

Buildings which border directly on A1A northbound or Las Olas Boulevard within the Planned Resort Development (PRD) district should incorporate an arcade or continuous architectural restaurant along these frontages, unless otherwise approved under a community redevelopment plan.

Response: Not applicable. The Property does not border A1A or Las Olas Boulevard.

Buildings in other districts should be encouraged to incorporate an arcade or continuous restaurant along their A1A northbound frontage providing the feature is consistent with the proposed use, adjacent development and meets all applicable codes. Arcades or continuous canopies should be a minimum of ten feet wide and maintain acceptable minimum clear height. Arcades and canopies should be designed as a fixed non-retractable element integral to the building's architectural mass and compatible with public sector site elements.

Response: The Property does not border A1A.

Non-continuous canopies, awnings and marquees should also be provided over street level window treatments and building entrances. Such features may be constructed of either rigid or flexible material but should complement the visual and functional quality of the streetscape and be compatible with public sector site elements. No arcade, restaurant, awning or marquee should extend into the future public right-of-way nor interfere with street light fixtures or the growth and maintenance of street trees.

Response: Awnings, canopies, and various fenestrations are provided.

# Trash/Loading Facilities:

All building facilities for loading, trash and service should be incorporated within building volume and screened so as not to be visible from the street and pedestrian circulation areas. Trash/loading facilities should be discouraged on A1A and People Street frontages. Where buildings are of inadequate volume to accommodate these facilities, trash/loading facilities should be architecturally treated as part of the building mass and screened by solid walls, fences, planting or architectural devices which are

compatible with public sector site elements. Trash/loading facilities must be of sufficient size and design to accommodate access by large vehicles.

Response: Trash facilities are designed to be on the Property. See site plan.

# e) Other Guidelines:

Energy Conservation:

Buildings should be oriented to take advantage of southeasterly breezes for summer cooling and interrupt occasionally strong northeasterly winds. Exterior glass surfaces should be shaded to improve energy efficiently. Roof and exterior wall finishes should be light in color to encourage maximum reflection/minimum transmission of heat loadings.

<u>Response</u>: 900 Intracoastal is oriented, and the color palate has been selected to take advantage of South Florida's natural shade and breeze.

**Building Separation:** 

Buildings should allow adequate space between structural masses for the pas900 of natural breezes. New building masses should be sited to the extent feasible so they maintain reasonable views to the ocean and Intracoastal Waterway from existing restaurants.

Response: 900 Intracoastal is proposing one building on the Property.

Rooftop Design:

Where possible, rooftops should be designed to accommodate various forms of human activity such as sun decks, tennis courts, outdoor cafes, etc. Roof surfaces not allocated to human activity should be finished with a surface material that does not effect the quality of views from surrounding buildings.

<u>Response</u>: 900 Intracoastal is designed to fit and enhance the quality of the Intracoastal by providing appropriate materials that enhance the natural beauty of the waterway while showcasing luxurious architecture and design.

All rooftop mechanical equipment, stair and elevator towers should be designed as an integral part of the building volume and/or adequately screened.

Response: Any rooftop mechanical equipment will be screened.

f) Vehicular Circulation:

Ingress/Egress:

For the CBA zoning districts, access drives to individual parcels should be limited to those necessary for the adequate function of the use contained therein. Direct vehicular access from A1A northbound should be discouraged unless otherwise approved under the Planned Resort Development (PRD) district community redevelopment plan. Direct vehicular access from A1A southbound should be limited to minimize traffic impacts on the state roadway. Direct vehicular access from sidestreets should be encouraged. Smaller parcels should be encouraged to share common access with adjacent parcels keeping curb cuts to a minimum.

Response: The Property is not located in the CBA zoning districts.

# Arrival/Drop-off Areas:

Major arrival/drop-off areas should only be encouraged along sidestreets, especially those designated as People Streets. Arrival/drop-off areas should be encouraged to provide sufficient room for vehicle stacking, loading, unloading, and other main entrance functions. Pedestrian entries for all residential, hotel and commercial restaurants should be located the maximum possible distance from loading and service areas.

Response: Arrival/Drop-off areas will be internal for the residents.

#### Other:

Individual parcels should be encouraged to accommodate transit stops for the county bus service, the proposed water taxi and other transit systems. Fire access lanes and other emergency vehicular accessways may be designated by the appropriate public agency. Uses that require service by large vehicles should be designed to allow large vehicle access without blockage of adjoining vehicular or pedestrian circulation.

<u>Response</u>: Understood. If necessary, fire access lanes and other emergency vehicular accessways will be provided.

#### g) Pedestrian Circulation:

Urban Open Spaces/Plazas:

Open spaces for public congregation and recreation should be encouraged to the extent that these spaces do not substantially interrupt the streetscape edge at the building line. Open spaces should be permitted both within and behind building yards in proportion to the bulk of the adjacent building. The streetscape edge should be maintained by architectural features (arcades) site furnishings (flagpoles, light standards) for landscape elements (palms, etc.) which provide continuity between the building line of adjoining restaurants. All urban open spaces should be accessible and visible from the adjoining public sector corridor while providing for the safety and security of patrons. Severe elevation change and walls should be discouraged between the adjoining public corridor and the open space. Entryways and steps to these open spaces

should be kept wide and welcoming in character. All urban open space must be kept handicap accessible.

The following amenities should be encouraged within urban open spaces: ornamental fountains, waterfalls, sculpture, trellises, arbors, seating facilities, landscape features, etc. Design features of these open spaces should serve to enhance the visual and functional quality of the adjoining corridor and be compatible with public sector site elements.

<u>Response</u>: 900 Intracoastal is a multifamily residential development which provides beautifully landscaped features including the pool deck on the ground floor which enhances the visual quality of the adjoining corridor.

#### Pedestrian Corridors:

Private sector pedestrian corridors, which supplement public sector pedestrian facilities and improve access to the beach and/or Intracoastal Waterway should be encouraged. These corridors should be of a width and design which encourages pedestrian use and whenever possible allows for emergency vehicle access. The corridors may pass through open air or enclosed portions of surrounding buildings providing the pedestrian experience is largely uninterrupted.

<u>Response</u>: 900 Intracoastal extends the existing sidewalk constructed on the property to the north along the Property line.

#### Parkina:

Parking should be provided consistent with the proposed use, adjacent development and as required under Section 47-20. Access drives to parking should be limited to those necessary for the function of the facility and comply with vehicular ingress/egress guidelines outlined herein. Direct backout or "head-in" parking should be expressly prohibited.

Response: 900 Intracoastal provides parking that is consistent with a residential use.

Parking facilities should be located in close proximity to the building they serve with direct pedestrian access from parking to building which does not impact public pedestrian facilities. Vehicular circulation within parking areas should remain internal to the parking facility and public roads should not be utilized as part of the parking circulation system. Restaurant parking should be encouraged subject to the street level building guidelines outlined herein. Covered parking should also be encouraged providing the overhead restaurants are compatible with adjoining architecture/ site elements and comply with the building rooftop design guidelines outlined herein. Grade level parking must be adequately

screened so parked cars are not visible from adjoining public corridors, and landscaped to moderate views from surrounding buildings.

Parking perimeters may incorporate walls, fencing, mounds and/or landscape treatments to meet the screening requirement providing these elements are compatible with adjoining public sector site elements and allow safe and secure use of parking facilities. Trash, storage and mechanical equipment located within parking facilities should also comply with the screening requirements outlined herein

<u>Response</u>: 900 Intracoastal provides an adequate number of parking spaces in a beautifully screened garage.

# h) Perimeter Treatments:

Screening:

All exterior trash, loading and equipment storage facilities should be screened so as not to be visible from adjoining public corridors and landscaped to moderate views from surrounding buildings. Mechanical equipment including all handling units, exhaust outlets, transformer boxes, electric switching units, etc. should be appropriately screened by planting and/or low walls wherever it cannot be concealed within the building volume.

Grade level parking lots should be appropriately screened from adjacent pedestrian areas with walls, fencing and/or planting. Shrubs surrounding ground level parking lots should be of sufficient height to hide automobile grill work. Landscape material used to meet the above requirements should provide 100% screening within one growing season, and must be provided with an automatic irrigation system.

<u>Response</u>: Trash and loading facilities are designed to be appropriately screened from the adjacent pedestrian facilities and located on the south to minimize any impact by their function.

#### Paving:

Public sector paving should be as shown on the approved Beach Revitalization streetscape plans or as specified in other sections of these guidelines. Paving systems used on private plazas and walkways should be compatible in pattern and scale to public sector paving. Private paving systems which immediately abut and are readily visible from adjoining public corridors should reflect the same color, material and texture as the public sector paving and provide a cohesive visual and functional transition without interruption.

While private paving systems should be of outstanding design and character, they should be encouraged to fit within the overall fabric of the streetscape and not dominate the visual experience. Private paving should be sensitive to the needs of the beach-going public

and be handicap accessible. Paving design, materials and maintenance should be compatible with public sector site elements.

<u>Response</u>: If any provided private paving system the team will coordinate with the public sector corridors.

#### Landscape:

Private sector landscape planting should be consistent with the proposed use, adjacent development, and as required under Section 47-12 of the ULDR. Existing trees should be preserved or otherwise mitigated as outlined in the ordinance. Plant material should be used in a contemporary urban context, acknowledging the limitations of the beach environment, and creating a lush tropical environment in keeping with the visual quality of the beach and adjoining public corridors. Plant massings should be rich in material, with special attention given to the ground plane treatment. Color should be used in bold, massive statements where appropriate.

Private sector plant material which immediately abuts and is readily visible from adjoining public corridors should reflect the species, size, and spacing of the public sector landscape and provide a cohesive visual and functional transition without interruption. Landscape design and maintenance should be compatible with public sector site elements. Private sector landscape planting should be consistent with the proposed use, adjacent development, and as required under Section 47-12. Existing trees should be preserved or otherwise mitigated as outlined in Section 47-12. Plant material should be used in a contemporary urban context, acknowledging the limitations of the beach environment, and creating a lush tropical environment in keeping with the visual quality of the beach and adjoining public corridors. Plant massings should be rich in material, with special attention given to the ground plane treatment. Color should be used in bold, massive statements at intersections and where appropriate.

Private sector plant material which immediately abuts and is readily visible from adjoining public corridors should reflect the species, size, and spacing of the public sector landscape and provide a cohesive visual and functional transition without interruption. This street frontage landscaping should not be blocked visually by fences or other architectural treatments. All street frontages should have palms and shade trees. One half of the trees on these frontages should be shade trees. Property abutting the Intracoastal Waterway should have trees and palms planted along this water frontage. Landscape design and maintenance should be compatible with public sector site elements.

Response: The landscape planting for 900 Intracoastal is designed to be consistent with the

proposed residential use, adjacent residences, and Section 47-12 of the ULDR. See landscape plan. The proposed landscaping is designed with special attention given to the ground floor treatment. The design provides luscious landscaping in between the 900 Intracoastal and it's neighbors, as well as a luxuriously designed pool deck which includes the planting of trees and palms.

# i) Site Furnishings:

Private sector site furnishings should be consistent with the proposed use, adjacent development, and as required by applicable codes. Site furnishings should be considered an integral component of the urban streetscape and designed/located accordingly. Emphasis should be given to maximizing passive relaxation opportunities in locations which allow varying degrees of interaction with adjacent pedestrian corridors. Visual clutter and haphazard distribution of site furnishings should be discouraged. Site furnishing design, materials, and maintenance should be compatible with public sector site elements.

Vending machines visible from public rights-of-way should be located and/or designed to be compatible with the adjacent development and public sector site elements. The location of these vending machines shall be compatible with adjacent architectural color and style; uniform in style, material, height and color when located next to other vending machines and must not interfere with public automobile or pedestrian access.

<u>Response</u>: Applicant intends to use site furnishings that will be consistent and compatible with the adjacent properties to the north and south of the Property and vending machines are not proposed.

# i) Signage:

Private sector signage should be consistent with the proposed use, adjacent development, and as required under Section 47-12. Signage should be considered an integral component of the urban streetscape and designed/located accordingly. Signage should be restrained in character and no larger than necessary for adequate identification. Wherever possible, signage should be integrated with the building architecture, arcades or canopies. Private signage which improves the pedestrian's orientation to adjoining pedestrian and vehicular circulation systems should be encouraged.

Building signage should be discouraged above the building's second floor elevation except on hotels which may be permitted to display a single discrete sign on both the north and south faces of the main building mass. Roof signs and billboards should be expressly prohibited. Freestanding signs should be located and sized so they do not obstruct views to/from adjoining parcels or impede clear view of pedestrian and vehicular traffic and traffic control devices.

The intensity and type of signage illumination should not be offensive to surrounding parcels or the uses therein. Signage style and character should enhance the visual and functional quality of the adjoining public corridor. Signage design, material and maintenance should be compatible with public sector site elements.

Response: Not applicable since signage is not proposed as part of the application

# k) Lighting:

Private sector site lighting should be consistent with the proposed use, adjacent development, and as required under applicable codes. Site lighting should be considered an integral component of the urban streetscape and designed/located accordingly. Emphasis should be placed on both the nighttime effects of illumination quality and the daytime impact of the standard's appearance.

Site lighting should be consistent with the theme of the immediate context and compatible with the lighting of adjacent parcels. Light distributions should be relatively uniform and appropriate footcandle levels should be provided for various uses. (Refer to adopted Public Sector Site Lighting Guidelines for average maintained foot-candle recommendations). All exterior private sector spaces should be sufficiently lit to allow police and citizen surveillance, enhance personal security, and discourage undesirable activities. Exterior lighting should be controlled by an automatic timer or photocell to insure regular activation.

<u>Response</u>: The exterior spaces will be sufficiently lit to allow police and citizen surveillance of Property as well as consistent with the adjacent developments.

#### I) Utilities:

Private sector utilities should be consistent with the proposed use, adjacent development, and as required under applicable codes. Above-grade utilities should be integrated with surrounding uses and carefully located to minimize visual and functional impact on the adjoining streetscape.

New development should be encouraged to provide underground utility lines. Existing or renovated development should be encouraged to relocate overhead utility lines underground.

Any above-grade utility elements should be consistent in placement, orientation, mounting and material. All above-grade utility elements should be painted one unobtrusive color which allows the elements to blend with their surroundings. All above-grade utilities should be screened by planting and/or low walls so they are not visible from the street and pedestrian circulation areas.

Response: Utility lines will be buried underground.

# m) Site Plan Objectives:

The following Site Plan Objectives shall be incorporated in all development proposals for the Central Beach Revitalization Area and RMM-25, RMH-25 and RMH-60 zoning districts. This section provides an outline on how and what outdoor spaces need to be provided as part of development proposals. The intent is to ensure that development is more than buildings and restaurants. The quality of the Central Beach Revitalization area will be enhanced with the addition of planned outdoor spaces.

<u>Response</u>: 900 Intracoastal's design provides a luxurious outdoor space for its residents which faces the Intracoastal waterway.

# n) Usable Outdoor Spaces:

Hotel and residential development shall provide usable outdoor recreation spaces designated to accommodate passive areas (sitting, etc.) and active areas (pools, etc.). Commercial development shall provide usable outdoor sitting and gathering spaces designed to furnish a place for pedestrians to view, use or consume the goods and services offered.

<u>Response</u>: 900 Intracoastal provides beautiful usable outdoor spaces for residents including luxurious cabanas, a private waterfront promenade and a pool deck.

There shall be a variety in the sizes of outdoor spaces and the level of detail shall be such as ornamental fountains, waterfalls, sculptures, trellises, arbors, seating facilities and landscape features.

<u>Response</u>: Outdoor spaces including seating and appropriate landscaping are proposed for the residents.

The total size required for the outdoor spaces will be evaluated on the size and use of the proposed development.

#### Response: Understood.

Pedestrian Accessible Spaces:

Hotel and commercial development shall provide direct access to adjoining public sidewalks in order to stimulate pedestrian activity. These spaces shall supplement public sector walkways and improve access to the beach and the Intracoastal Waterway, or both.

Response: 900 Intracoastal is a proposed residential building with no hotel or commercial development.

o) Defensible Space:

All projects shall promote a secure environment. This is to be accomplished by designing with CPTED (Crime Prevention Through Environmental Design) principles.

In addition to the above requirements, the following may be required based on the site specifics of each project:

Provide plant material in the adjacent right-of-way.

Provide foundation/entry plantings to the development.

All sites should exhibit lush tropical landscaping.

Provide large trees/shrubs (mature plantings). This may be required in order to mitigate certain objectionable uses or needed to assist in the neighborhood compatibility of the proposed development.

Preserve view corridors. The City recognizes that existing and new views to and from the Intracoastal Waterway, Atlantic Ocean, Bonnet House and public parks are important to maintain.

<u>Response</u>: 900 Intracoastal provides lush tropical landscaping on all sides of the residences. See Landscape Plan.

# Section 9: Sec. 47-25.2, Adequacy Requirements.

Applicability. The adequacy requirements set forth herein shall be used by the city to evaluate the demand created on public services and facilities created by a proposed development permit.

A. Communications network. Buildings and structures shall not interfere with the city's communication network. Developments shall be modified to accommodate the needs of the city's communication network, to eliminate any interference a development would create or otherwise accommodate the needs of the city's communication network within the development proposal.

Response: 900 Intracoastal is not anticipated to interfere with the city's communication network.

B. Drainage facilities. Adequacy of stormwater management facilities shall be evaluated based upon the adopted level of service requiring the retention of the first inch of runoff from the entire site or two and one-half (2 ½) inches of runoff from the impervious surface whichever is greater.

<u>Response</u>: Application will be made to Broward County and the applicant will satisfy all current criteria for surface water requirements and obtain all local and state licenses.

- C. Environmentally sensitive lands.
  - 1. In addition to a finding of adequacy, a development shall be reviewed pursuant to applicable federal, state, regional and local environmental regulations. Specifically, an

application for development shall be reviewed in accordance with the following Broward County Ordinances which address environmentally sensitive lands and well field protection which ordinances are incorporated herein by reference:

- a. Broward County Ordinance No. 89-6.
- b. Section 5-198(I), Chapter 5, Article IX of the Broward County Code of Ordinances.
- c. Broward County Ordinance No. 84-60.
- 2. The applicant must demonstrate that impacts of the proposed development to environmentally sensitive lands will be mitigated.

Response: There are no environmentally sensitive lands on the Property.

D. Fire Protection. Fire protection service shall be adequate to protect people and property in the proposed development. Adequate water supply, fire hydrants, fire apparatus and facilities shall be provided in accordance with the Florida Building Code, South Florida Fire Code and other accepted applicable fire and safety standards.

<u>Response</u>: Applicant will work with the City's Public Works Department to confirm that adequate fire protection is available.

- E. Parks and open space.
  - 1. The manner and amount of providing park and open space is as provided in Section 47-38A, Park Impact fees, of the ULDR.
  - 2. No building permit shall be issued until the park impact fee required by Section 47-38A of the ULDR has been paid in full by the applicant.

Response: Understood.

F. Police protection. Police protection service shall be adequate to protect people and property in the proposed development. The development shall provide improvements which are consistent with Crime Prevention through Environmental Design (CPTED) to minimize the risk to public safety and assure adequate police protection.

<u>Response</u>: 900 Intracoastal is designed to consider all the recommended CPTED principles and incorporate the appropriate improvements into the design.

- G. Potable water.
  - 1. Adequate potable water service shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements which may be needed for the installation and maintenance of potable water systems in accordance with city engineering standards, the Florida Building Code, and applicable health and environmental regulations. The existing water treatment facilities and systems shall have sufficient capacity to provide for the needs of the proposed development and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which potable water treatment capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the developer in accordance with Resolution 85-265, as it is amended from time to time. Improvements to the

potable water service and system shall be made in accordance with city engineering standards and other accepted applicable engineering standards.

#### 2. Potable water facilities

- a. If the system is tied into the city treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from design capacity. If there is available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department.
- b. If there is adequate capacity available in the city treatment plant to serve the proposed development, the city shall reserve the necessary capacity to serve the development.
- c. Where the county is the projected service provider, a similar written assurance will be required.

<u>Response</u>: Watermains exist adjacent to the site. The Applicant requested the capacity letter and will provide once received from the City.

#### H. Sanitary sewer.

- If the system is tied into the city treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from the design capacity. If there is available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department.
- 2. If there is adequate capacity available in the city treatment plant to serve the proposed development, the city shall reserve the necessary capacity to serve the proposed development.
- 3. Where the county is the projected service provider, a written assurance will be required.
- 4. Where septic tanks will be utilized, the applicant shall secure and submit to the city a certificate from the Broward County Health Unit that certifies that the site is or can be made suitable for an on-site sewage disposal system for the proposed use.

<u>Response</u>: Sanitary Sewer mains exist adjacent to the development site. The Applicant requested the capacity letter and will provide once received from the City.

1. Schools. For all residential plats, the applicant shall contribute to school facilities in accordance with the Broward County Land Development Code and shall provide documentation to the city that such contribution has been satisfied.

<u>Response</u>: 900 Intracoastal is a residential development and will provide the School Capacity Determination as soon as it is received from the Broward County School Board.

#### J. Solid waste.

 Adequate solid waste collection facilities and service shall be obtained by the applicant in connection with the proposed development and evidence shall be provided to the city demonstrating that all solid waste will be disposed of in a manner that complies with all governmental requirements. 2. Solid waste facilities. Where the city provides solid waste collection service and adequate service can be provided, an adequacy finding shall be issued. Where there is another service provider, a written assurance will be required. The impacts of the proposed development will be determined based on Table 4, Solid Waste, on file with the department.

Response: A private waste hauler will be contracted for 900 Intracoastal as is necessary.

K. Stormwater. Adequate stormwater facilities and systems shall be provided so that the removal of stormwater will not adversely affect adjacent streets and properties or the public stormwater facilities and systems in accordance with the Florida Building Code, city engineering standards and other accepted applicable engineering standards.

<u>Response</u>: 900 Intracoastal is designed with on-site storm water facilities. An application will be made to Broward County and the applicant will satisfy all current criteria for surface water requirements and obtain all local and state licenses.

- L. Transportation facilities.
  - 1. The capacity for transportation facilities shall be evaluated based on Table 1, Generalized Daily Level of Service Maximum Volumes, on file with the department. If a development is within a compact deferral area, the available traffic capacity shall be determined in accordance with Table 2, Flowchart, on file with the department.
  - 2. Regional transportation network. The regional transportation network shall have the adequate capacity, and safe and efficient traffic circulation to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the adopted traffic elements of the city and the county comprehensive plans, and accepted applicable traffic engineering standards. Site-specific traffic studies may be required to be made and paid for by the applicant when the city determines such a study is needed in order to evaluate the impacts of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit such a study to the city which will be considered by the DRC in its review. Roadway improvements needed to upgrade the regional transportation network shall be made in accordance with the city, the county, and Florida Department of Transportation traffic engineering standards and plans as applicable.
  - 3. Local streets. Local streets shall have adequate capacity, safe and efficient traffic circulation, and appropriate functional classification to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the city's comprehensive plan and accepted applicable traffic engineering standards. Site-specific traffic studies may be required to be made and paid for by the applicant when the city determines such a study is required in order to evaluate the impact of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit to the city such a study to be considered as part of the DRC review. Street improvements needed to upgrade the capacity or comply with the functional classification of local streets shall be made in accordance with the city engineering standards and acceptable applicable traffic engineering standards. Local streets are

those streets that are not classified as federal, state or county roadways on the functional classification map adopted by the State of Florida.

- 4. Traffic impact studies.
  - a. When the proposed development may generate over one thousand (1,000) daily trips; or
  - b. When the daily trip generation is less than one thousand (1,000) trips; and (1) when more than twenty percent (20%) of the total daily trips are anticipated to arrive or depart, or both, within one-half (1/2) hour; or (2) when the proposed use creates varying trip generation each day, but has the potential to place more than twenty percent (20%) of its maximum twenty-four (24) hour trip generation onto the adjacent transportation system within a one-half (1/2) hour period; the applicant shall submit to the city a traffic impact analysis prepared by the county or a registered Florida engineer experienced in traffic ways impact analysis which shall:
    - i. Provide an estimate of the number of average and peak hour trips per day generated and directions or routes of travel for all trips with an external end.
    - ii. Estimate how traffic from the proposed development will change traffic volumes, levels of service, and circulation on the existing and programmed traffic ways.
    - iii. If traffic generated by the proposed development requires any modification of existing or programmed components of the regional or local traffic ways, define what city, county or state agencies have programmed the necessary construction and how this programming relates to the proposed development.
    - iv. A further detailed analysis and any other information that the review committee considers relevant.
    - v. The traffic impact study may be reviewed by an independent licensed professional engineer contracted by the city to determine whether it adequately addresses the impact and the study supports its conclusions. The cost of review by city's consultant shall be reimbursed to the city by the applicant.
    - vi. When this subsection M.4.b. applies, the traffic study shall include an analysis of how the peak loading will affect the transportation system including, if necessary, an operational plan showing how the peak trips will be controlled and managed.

#### Response: See the traffic statement.

5. Dedications of rights-of-way. Property shall be conveyed to the public by plat, deed or grant of easement as needed in accordance with the Broward County Trafficways Plan, the city's comprehensive plan, subdivision regulations and accepted applicable traffic engineering standards.

Response: It is not anticipated that any additional right-of-way is required.

6. Pedestrian facilities. Sidewalks, pedestrian crossing and other pedestrian facilities shall be provided to encourage safe and adequate pedestrian movement on-site and

along roadways to adjacent properties. Transit service facilities shall be provided for as required by the city and Broward County Transit. Pedestrian facilities shall be designed and installed in accordance with city engineering standards and accepted applicable engineering standards.

<u>Response</u>: 900 Intracoastal provides sidewalks along the street frontage connecting with the building to the north.

7. Primary arterial street frontage. Where a proposed development abuts a primary arterial street either existing or proposed in the traffic ways plan, the development review committee (DRC) may require marginal access street, reverse frontage with screen planting contained in a nonaccess reservation along the rear property line, deep lots with or without rear service alleys, or such other treatment as may be necessary for adequate protection of residential properties and to assure separation of through and level traffic.

# Response: Acknowledged.

8. Other roadway improvements. Roadways adjustments, traffic control devices, mechanisms, and access restrictions may be required to control traffic flow or divert traffic, as needed to reduce or eliminate development generated traffic.

# Response: Acknowledged.

9. Street trees. In order to provide for adequate landscaping along streets within the city, street trees shall be required along the length of the property abutting a street. A minimum of fifty percent (50%) of the required street trees shall be shade trees, and the remaining street trees may be provided as flowering or palm trees. These percentages may be varied based on existing or proposed physical conditions which may prevent the ability to comply with the street tree requirements of this subsection. The street trees shall be planted at a minimum height and size in accordance with the requirements of Section 47-21, Landscape and Tree Preservation Requirements, except in the downtown RAC districts the requirements of Sec. 47-13.20.H.8 shall apply. The location and number of street trees shall be determined by the department based on the height, bulk, mass and design of the structures on the site and the proposed development's compatibility to surrounding properties. The requirements for street trees, as provided herein, may be located within the public right-of-way as approved by the entity with jurisdiction over the abutting right-of-way.

<u>Response</u>: 900 Intracoastal is designed with lush and tropical landscaping including necessary flowering, palm, and street trees.

# M. Wastewater.

1. Wastewater. Adequate wastewater services shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements which may be needed for the installation and maintenance of a wastewater and disposal system in accordance with applicable health, environmental and engineering regulations and standards. The existing wastewater treatment facilities and systems shall have adequate capacity to provide for the needs of the proposed development and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which wastewater treatment or disposal capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the developer in accordance with Resolution 85-265, as it is amended for time to time. Improvements to the wastewater facilities and system shall be made in accordance with the city engineering and accepted applicable engineering standards.

<u>Response</u>: Sanitary Sewer service will be provided by the City of Ft. Lauderdale. The Applicant requested the capacity letter and will provide once received from the City.

N. Trash management requirements. A trash management plan shall be required in connection with non-residential uses that provide prepackaged food or beverages for off-site consumption. Existing non-residential uses of this type shall adopt a trash management plan within six (6) months of the effective date of this provision.

Response: A trash management plan will be provided.

- O. Historic and archaeological resources.
  - 1. If a structure or site has been identified as having archaeological or historical significance by any entity within the State of Florida authorized by law to do same, the applicant shall be responsible for requesting this information from the state, county, local governmental or other entity with jurisdiction over historic or archaeological matters and submitting this information to the city at the time of, and together with, a development permit application. The reviewing entity shall include this information in its comments.

<u>Response</u>: Neither the property nor the existing structures have been designated historic.

Q. Hurricane evacuation. If a restaurant or site is located east of the Intracoastal Waterway, the applicant shall submit documentation from Broward County or such agency with jurisdiction over hurricane evacuation analysis either indicating that acceptable level of service of hurricane evacuation routes and hurricane emergency shelter capacity shall be maintained without impairment resulting from a proposed development or describing actions or development modifications necessary to be implemented in order to maintain level of service and capacity.

Response: 900 Intracoastal is not located east of the Intracoastal Waterway.



July 18, 2023

Mr. Benjamin Restrepo, P.E. City of Fort Lauderdale 700 NW 19<sup>th</sup> Avenue Fort Lauderdale, Florida 33301

Re: 900 Intracoastal Drive Fort Lauderdale, Florida Trip Generation Analysis

Dear Mr. Restrepo:

Kimley-Horn and Associates, Inc. has performed a trip generation analysis for the proposed redevelopment located at 900 Intracoastal Drive in Fort Lauderdale, Florida. The site proposed for redevelopment is currently occupied by 16 low-rise multifamily residential dwelling units. The proposed redevelopment consists of 44 high-rise multifamily residential dwelling units. A site plan is provided in Attachment A.

A trip generation analysis was conducted using the Institute of Transportation Engineers (ITE) *Trip Generation Manual*, 11<sup>th</sup> Edition for the existing development and proposed redevelopment. The trip generation for the existing development was determined using ITE Land Use Code (LUC) 220 (Multifamily Housing [Low-Rise]). The trip generation for the proposed redevelopment was determined LUC 222 (Multifamily Housing [High-Rise]).

A multimodal (public transit, bicycle, and pedestrian) factor based on US Census *Means of Transportation to Work* data was reviewed for the census tract in the vicinity of the redevelopment. The US Census data indicated that there is a 0.9 percent (0.9%) multimodal factor within the vicinity of the redevelopment. It is expected that a portion of employees, residents, and visitors will choose to walk, bike, or use public transit to and from the proposed redevelopment.

As shown in Table 1, the proposed redevelopment is expected to result in 361 net new daily trips, one (1) net new trip during the A.M. peak hour, and eight (8) net new trips during the P.M. peak hour. Detailed trip generation calculations are contained in Attachment B.

| Table 1: Proposed Net New Trip Generation |                   |                    |                     |                           |  |  |  |
|-------------------------------------------|-------------------|--------------------|---------------------|---------------------------|--|--|--|
| Daily (A.M. Peak Hour) [P.M. Peak Hour]   |                   |                    |                     |                           |  |  |  |
| Land Use (ITE Code)                       | Scale             | Entering<br>Trips  | Exiting<br>Trips    | Net New<br>External Trips |  |  |  |
| Existing Development                      |                   |                    |                     |                           |  |  |  |
| Multifamily Housing [Low-Rise] (220)      | 16 dwelling units | 88<br>(7)<br>[17]  | 88<br>(21)<br>[10]  | 176<br>(28)<br>[27]       |  |  |  |
| Proposed Redevelopment                    |                   |                    |                     |                           |  |  |  |
| Multifamily Housing [High-Rise] (222)     | 44 dwelling units | 269<br>(8)<br>[22] | 268<br>(21)<br>[13] | 537<br>(29)<br>[35]       |  |  |  |
| Net New Redevelopment                     |                   |                    |                     |                           |  |  |  |
| Net New Vehicle Tr                        | 181<br>(1)<br>[5] | 180<br>(0)<br>[3]  | 361<br>(1)<br>[8]   |                           |  |  |  |



The proposed development does not warrant further study as it generates less than 1,000 net new daily trips and less than 20.0 percent (20%) of the net new daily traffic is generated during each of the peak hours, which is below City of Fort Lauderdale traffic study requirements in accordance with Section 47-25-2.M.4.b of the *City of Fort Lauderdale's Unified Land Development Code*. If you have any questions regarding this analysis, please feel free to contact me.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

Elizabeth Perez, P.E.

Attachments

A - Site Plan

B - Trip Generation Calculations



Elizabeth Perez, P.E. Florida Registration Number 93227 Kimley-Horn and Associates, Inc. 8201 Peters Road Plantation, Florida 33324

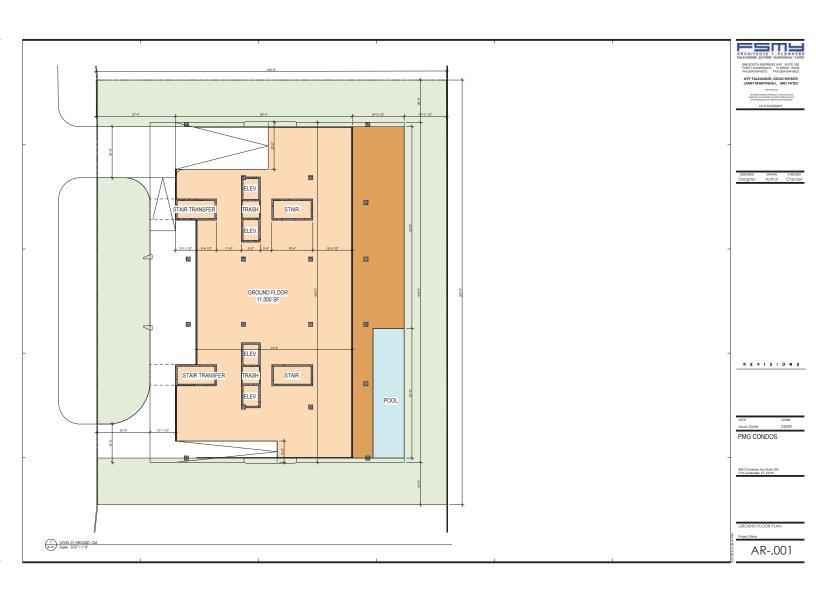
This item has been digitally signed and sealed by Elizabeth Perez, P.E. on July 18, 2023, using a Digital Signature.

Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

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# Attachment A

Site Plan



## **Attachment B**

**Trip Generation Calculations** 

#### **DAILY TRIP GENERATION COMPARISON**

#### EXISTING DAILY TRIP GENERATION

|     | ITE TRIP GENERATIO             | N CHAR  | ACTERIS | STICS      |              | DIREC<br>DISTRI | TIONAL<br>BUTION |    | BASELI<br>TRIPS |       | MULTII<br>REDU |             | G  | ROSS TRI | PS    |         | RNAL<br>TURE |          | EXTERN<br>HICLE 1 |       |         | S-BY<br>FURE | EX | NET NEW<br>TERNAL TE |       |
|-----|--------------------------------|---------|---------|------------|--------------|-----------------|------------------|----|-----------------|-------|----------------|-------------|----|----------|-------|---------|--------------|----------|-------------------|-------|---------|--------------|----|----------------------|-------|
|     | Land Use                       | ITE     | ITE     |            | ITE<br>Units |                 | cent             |    |                 | Total |                | MR<br>Trips |    | Out      |       |         | IC<br>Trips  |          |                   | Total |         | PB<br>Trips  | In |                      | Total |
| _   |                                | Edition |         | Scale      |              | In              | Out              | ın | Out             |       | Percent        | Trips       | In |          | Total | Percent | Trips        | In       | Out               |       | Percent | Trips        |    | Out                  |       |
| 1 4 | Multifamily Housing (Low-Rise) | 11      | 220     | 16         | du           | 50%             | 50%              | 89 | 89              | 178   | 0.9%           | 2           | 88 | 88       | 176   | 0.0%    | 0            | 88       | 88                | 176   | 0.0%    | 0            | 88 | 88                   | 176   |
|     | 2                              |         |         |            |              |                 |                  |    |                 |       |                |             |    |          |       |         |              |          |                   |       |         |              |    |                      | 1 1   |
| l F | 3                              |         |         |            |              |                 |                  |    |                 |       |                |             |    |          |       |         |              |          |                   |       |         |              |    |                      |       |
|     | 4                              |         |         |            |              |                 |                  |    |                 |       |                |             |    |          |       |         |              |          |                   |       |         |              |    |                      |       |
| G   | 5                              |         |         |            |              |                 |                  |    |                 |       |                |             |    |          |       |         |              |          |                   |       |         |              |    |                      |       |
| R   | 6                              |         |         |            |              |                 |                  |    |                 |       |                |             |    |          |       |         |              |          |                   |       |         |              |    |                      |       |
| 0   | 7                              |         |         |            |              |                 |                  |    |                 |       |                |             |    |          |       |         |              |          |                   |       |         |              |    |                      |       |
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| ۱ŏ⊦ | 0                              | _       |         |            |              |                 |                  |    |                 |       |                |             |    |          |       |         |              | <b>t</b> |                   |       | 1       |              |    |                      | -     |
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|     | 11                             |         |         |            |              |                 |                  |    |                 |       |                |             |    |          |       |         |              |          |                   |       |         |              |    |                      |       |
|     | 12                             |         |         |            |              |                 |                  |    |                 |       |                |             |    |          |       |         |              |          |                   |       |         |              |    |                      |       |
|     | 13                             |         |         |            |              |                 |                  |    |                 |       |                |             |    |          |       |         |              |          |                   |       |         |              |    |                      |       |
|     | 14                             |         |         |            |              |                 |                  |    |                 |       |                |             |    |          |       |         |              |          |                   |       |         |              |    |                      |       |
| l   | 15                             |         |         |            |              |                 |                  |    |                 |       |                |             |    |          |       |         |              |          |                   |       |         |              |    |                      |       |
|     | ITE Land Use Code              |         | Ra      | te or Equa | tion         | •               | Total:           | 89 | 89              | 178   | 0.9%           | 2           | 88 | 88       | 176   | 0.0%    | 0            | 88       | 88                | 176   | 0.0%    | 0            | 88 | 88                   | 176   |
|     | 220                            | _       |         | 6.41*(X)+7 |              |                 |                  |    |                 |       |                |             | •  |          |       |         |              |          |                   |       |         |              | •  |                      |       |

#### PROPOSED DAILY TRIP GENERATION

| ITE TRIP GENERATIO              | N CHAR                                                      | ACTERIS           | STICS                                                         |                                                                                                                                 | DIRECT                                              |          |                                                  | BASELI<br>TRIPS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              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                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
|                                 | Land Use Multifamily Housing (High-Rise)  ITE Land Use Code | ITE Land Use Code | Land Use Edition Code Multifamily Housing (High-Rise) 111 222 | Land Use         Edition         Code         Scale           Multifamily Housing (High-Rise)         11         222         44 | TE   Land Use   TE   Edition   Code   Scale   Units | Land Use | Land Use                                         | Claim   Clai | Land Use | Land Use       | Land Use | Land Use | Land Use  | Land Use | Land Use Edition Code Scale Units In Out Total Percent Trips In Out Total Multifamily Housing (High-Rise) 111 222 444 du 50% 55% 271 271 542 0.9% 5 269 268 537 | Land Use Edition   TE   Edition   Code   Scale   Use   Te   Percent   Nultifamily Housing (High-Rise)   11   222   44   du   50%   50%   271   271   542   0.9%   5   269   268   537   0.0%   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271   271 | Cand Use   File   Tele   Edition   Code   Scale   Use   Tele   Percent   Total   Percent   Total   Percent   Trips   In   Out   Trips   In   Out   Total   Percent   Trips   In   Out   Ou | Land Use   Fellon   Fellon | Clark   Fig.   Color   Color | Land Use Edition   Tele   Tel | Land Use Edition Code Scale Using High-Rise) 11 222 44 du 55% 55% 271 271 542 0.9% 5 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 0.0% 10 269 268 537 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Edition Code   Tele Edition | Land Use Edition Code Scale Usis In Out Total Percent Trips In Out In |

## AM PEAK HOUR TRIP GENERATION COMPARISON

#### EXISTING WEEKDAY AM PEAK HOUR TRIP GENERATION

|    |    | ITE TRIP GENERATIO             | N CHARA        | ACTERIS     | STICS      |              | DIREC*    | TIONAL<br>BUTION | E  | BASELIN<br>TRIPS |       | MULTII<br>REDU |             | GR | OSS TR | RIPS  | INTE    | RNAL<br>TURE |    | XTERN/ |       | PAS:<br>CAP |             |    | NET NEV<br>ERNAL T                               |          |
|----|----|--------------------------------|----------------|-------------|------------|--------------|-----------|------------------|----|------------------|-------|----------------|-------------|----|--------|-------|---------|--------------|----|--------|-------|-------------|-------------|----|--------------------------------------------------|----------|
|    |    | Land Use                       | ITE<br>Edition | ITE<br>Code | Scale      | ITE<br>Units | Per<br>In | cent<br>Out      | In | Out              | Total | Percent        | MR<br>Trips | In | Out    | Total | Percent | IC<br>Trips  | In | Out    | Total | Percent     | PB<br>Trips | ln | Out                                              | Total    |
|    | 1  | Multifamily Housing (Low-Rise) | 11             | 220         | 16         | du           | 24%       | 76%              | 7  | 21               | 28    | 0.9%           | 0           | 7  | 21     | 28    | 0.0%    | 0            | 7  | 21     | 28    | 0.0%        | 0           | 7  | 21                                               | 28       |
|    | 2  |                                |                |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |              |    |        |       |             |             |    |                                                  |          |
|    | 3  |                                | <u> </u>       |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |              |    |        |       |             |             |    | ــــــ                                           | ш        |
| ١. | 4  |                                | ļ              |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |              |    |        |       |             |             |    | —                                                | $\perp$  |
| G  | 5  |                                | -              |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |              |    |        |       |             |             |    |                                                  | -        |
| R  | 6  |                                |                |             |            | -            |           |                  |    |                  |       |                |             |    |        |       |         |              |    |        |       |             |             |    | ├                                                | -        |
| 0  | 8  |                                | -              |             |            | -            | -         | $\vdash$         |    | -                |       |                |             |    | -      | -     | -       |              |    | -      | -     | <b>—</b>    |             | -  | +                                                | $\vdash$ |
| L  | 9  |                                | <u> </u>       |             |            | <u> </u>     |           |                  |    |                  |       |                |             |    |        |       |         |              |    |        |       |             |             |    | <del>                                     </del> | $\vdash$ |
| Ι. | 10 |                                | 1              |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |              |    |        |       |             |             |    |                                                  | $\vdash$ |
| 1  | 11 |                                |                |             |            | t -          |           |                  |    |                  |       |                |             |    |        |       |         |              |    |        |       |             |             |    |                                                  | $\vdash$ |
|    | 12 |                                |                |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |              |    |        |       |             |             |    |                                                  |          |
|    | 13 |                                |                |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |              |    |        |       |             |             |    |                                                  |          |
|    | 14 |                                |                |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |              |    |        |       |             |             |    |                                                  |          |
|    | 15 |                                |                |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |              |    |        |       |             |             |    |                                                  |          |
|    |    | ITE Land Use Code              |                |             | te or Equa |              |           | Total:           | 7  | 21               | 28    | 0.9%           | 0           | 7  | 21     | 28    | 0.0%    | 0            | 7  | 21     | 28    | 0.0%        | 0           | 7  | 21                                               | 28       |
|    |    | 220                            |                | Y=(         | 0.31*(X)+2 | 2.85         |           |                  |    |                  |       |                |             |    |        |       |         |              |    |        |       |             |             |    |                                                  |          |

## PROPOSED WEEKDAY AM PEAK HOUR TRIP GENERATION

|   |    | ITE TRIP GENERATIO              | N CHARA        | ACTERIS     | STICS      |              | DIREC*    | TIONAL<br>BUTION | E  | BASELIN<br>TRIPS | E     | MULTIN<br>REDU |             | GR | OSS TR | RIPS  | INTE    |             |     | XTERNA<br>IICLE TI |       | PAS:<br>CAP |             |    | NET NEV       |       |
|---|----|---------------------------------|----------------|-------------|------------|--------------|-----------|------------------|----|------------------|-------|----------------|-------------|----|--------|-------|---------|-------------|-----|--------------------|-------|-------------|-------------|----|---------------|-------|
|   |    | Land Use                        | ITE<br>Edition | ITE<br>Code | Scale      | ITE<br>Units | Per<br>In | cent<br>Out      | In | Out              | Total | Percent        | MR<br>Trips | In | Out    | Total | Percent | IC<br>Trips | In  | Out                | Total | Percent     | PB<br>Trips | In | Out           | Total |
|   | 1  | Multifamily Housing (High-Rise) | 11             | 222         | 44         | du           | 26%       | 74%              | 8  | 21               | 29    | 0.9%           | 0           | 8  | 21     | 29    | 0.0%    | 0           | 8   | 21                 | 29    | 0.0%        | 0           | 8  | 21            | 29    |
|   | 2  | Waltiaring Floading (Figh-Ride) | <u> </u>       |             | - ''       | uu           | 2070      | 1 170            |    |                  | 23    | 0.070          | 0           | -  |        | 20    | 0.070   | -           | - ŭ |                    | 23    | 0.070       | -           | Ů  |               | -20   |
|   | 3  |                                 |                |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |             |     |                    |       |             |             |    | $\overline{}$ |       |
|   | 4  |                                 | 1              |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |             |     |                    |       |             |             |    | $\neg$        |       |
| G | 5  |                                 |                |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |             |     |                    |       |             |             |    | $\neg$        |       |
| R | 6  |                                 | 1              |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |             |     |                    |       |             |             |    | $\neg$        |       |
| 0 | 7  |                                 |                |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |             |     |                    |       |             |             |    | $\neg$        |       |
| U | 8  |                                 |                |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |             |     |                    |       |             |             |    | $\overline{}$ |       |
| Р | 9  |                                 |                |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |             |     |                    |       |             |             |    |               |       |
|   | 10 |                                 |                |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |             |     |                    |       |             |             |    | $\neg$        |       |
| 2 | 11 |                                 |                |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |             |     |                    |       |             |             |    |               |       |
|   | 12 |                                 |                |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |             |     |                    |       |             |             |    |               |       |
|   | 13 |                                 |                |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |             |     |                    |       |             |             |    |               |       |
|   | 14 |                                 |                |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |             |     |                    |       |             |             |    |               |       |
|   | 15 |                                 |                |             |            |              |           |                  |    |                  |       |                |             |    |        |       |         |             |     |                    |       |             |             |    | لــــــــا    |       |
|   |    | ITE Land Use Code               | _              |             | te or Equa |              | _         | Total:           | 8  | 21               | 29    | 0.9%           | 0           | 8  | 21     | 29    | 0.0%    | 0           | 8   | 21                 | 29    | 0.0%        | 0           | 8  | 21            | 29    |
|   |    | 222                             | _              | Y=(         | 0.22*(X)+1 | 8.85         | -         |                  |    |                  |       |                |             |    |        |       |         |             |     |                    |       |             |             |    |               |       |

| IN | OUT | TOTAL | NET NEW TRIPS | 1 | 0 | 1

## PM PEAK HOUR TRIP GENERATION COMPARISON

#### EXISTING WEEKDAY PM PEAK HOUR TRIP GENERATION

|     |    | ITE TRIP GENERATIO             | N CHARA        | ACTERIS     | STICS      |                                                  | DIREC     | TIONAL<br>BUTION | E  | BASELIN<br>TRIPS |       | MULTII<br>REDU |             | GR | OSS TR   | RIPS     | INTE    | RNAL<br>TURE |    | XTERN/ |       | PAS:<br>CAP |             |    | NET NEV  |          |
|-----|----|--------------------------------|----------------|-------------|------------|--------------------------------------------------|-----------|------------------|----|------------------|-------|----------------|-------------|----|----------|----------|---------|--------------|----|--------|-------|-------------|-------------|----|----------|----------|
|     |    | Land Use                       | ITE<br>Edition | ITE<br>Code | Scale      | ITE<br>Units                                     | Per<br>In | cent<br>Out      | In | Out              | Total | Percent        | MR<br>Trips | In | Out      | Total    | Percent | IC<br>Trips  | In | Out    | Total | Percent     | PB<br>Trips | ln | Out      | Total    |
|     | 1  | Multifamily Housing (Low-Rise) | 11             | 220         | 16         | du                                               | 63%       | 37%              | 17 | 10               | 27    | 0.9%           | 0           | 17 | 10       | 27       | 0.0%    | 0            | 17 | 10     | 27    | 0.0%        | 0           | 17 | 10       | 27       |
| 1   | 2  |                                |                |             |            |                                                  |           |                  |    |                  |       |                |             |    |          |          |         |              |    |        |       |             |             |    |          |          |
| 1   | 3  |                                |                |             |            |                                                  |           |                  |    |                  |       |                |             |    |          |          |         |              |    |        |       |             |             |    |          |          |
| Ι.  | 4  |                                |                |             |            |                                                  |           |                  |    |                  |       |                |             |    |          |          |         |              |    |        |       |             |             |    | Ь—       | $\Box$   |
| G   | 5  |                                | <u> </u>       |             |            |                                                  |           |                  |    |                  |       |                |             |    |          |          |         |              |    |        |       |             |             |    | <u> </u> | ш        |
| R   | 6  |                                | <b>!</b>       |             |            | ļ                                                | -         | _                |    | -                | _     |                |             |    | -        | -        | -       |              | -  | -      | -     |             |             | -  | <b>—</b> | $\vdash$ |
| 0   | 8  |                                | <u> </u>       |             |            | <u> </u>                                         |           |                  |    | -                |       |                |             |    |          |          |         |              |    |        |       |             |             |    | ├        | $\vdash$ |
| I b | 9  |                                | 1              |             |            | 1                                                |           |                  |    |                  |       |                |             |    | -        | -        |         |              |    |        |       |             |             |    | $\vdash$ | $\vdash$ |
| ľ   | 10 |                                |                |             |            |                                                  |           |                  |    |                  |       |                |             |    |          |          |         |              |    |        |       |             |             |    |          | $\vdash$ |
| 1   | 11 |                                | <b>-</b>       |             |            | <del>                                     </del> |           |                  |    |                  |       |                |             |    | <b>-</b> | <b>-</b> |         |              |    | -      |       |             |             |    |          | $\vdash$ |
| 1   | 12 |                                |                |             |            |                                                  |           |                  |    |                  |       |                |             |    |          |          |         |              |    |        |       |             |             |    |          |          |
|     | 13 |                                |                |             |            |                                                  |           |                  |    |                  |       |                |             |    |          |          |         |              |    |        |       |             |             |    |          |          |
| 1   | 14 |                                |                |             |            |                                                  |           |                  |    |                  |       |                |             |    |          |          |         |              |    |        |       |             |             |    |          |          |
|     | 15 |                                |                |             |            |                                                  |           |                  |    |                  |       |                |             |    |          |          |         |              |    |        |       |             |             |    |          |          |
|     |    | ITE Land Use Code              | _              |             | te or Equa |                                                  |           | Total:           | 17 | 10               | 27    | 0.0%           | 0           | 17 | 10       | 27       | 0.0%    | 0            | 17 | 10     | 27    | 0.0%        | 0           | 17 | 10       | 27       |
|     |    | 220                            |                | Y=(         | 0.43*(X)+2 | 0.55                                             |           | •                |    |                  |       |                | •           |    |          |          |         | •            |    |        |       |             |             |    |          |          |

#### PROPOSED WEEKDAY PM PEAK HOUR TRIP GENERATION

|   |    | ITE TRIP GENERATIO              | N CHAR         | ACTERIS     | STICS      |              | DIRECT    | TIONAL<br>BUTION | E    | BASELIN<br>TRIPS | E     | MULTI   |             | GR | OSS TR | RIPS  | INTE    |             |     | XTERNA<br>IICLE TI |       | PAS:<br>CAPT  |             |      | NET NEV |                                |
|---|----|---------------------------------|----------------|-------------|------------|--------------|-----------|------------------|------|------------------|-------|---------|-------------|----|--------|-------|---------|-------------|-----|--------------------|-------|---------------|-------------|------|---------|--------------------------------|
|   |    | Land Use                        | ITE<br>Edition | ITE<br>Code | Scale      | ITE<br>Units | Per<br>In | cent<br>Out      | In   | Out              | Total | Percent | MR<br>Trips | In | Out    | Total | Percent | IC<br>Trips | In  | Out                | Total | Percent       | PB<br>Trips | ln   | Out     | Total                          |
|   | 1  | Multifamily Housing (High-Rise) | 11             | 222         | 44         | du           | 62%       | 38%              | 22   | 13               | 35    | 0.9%    | 0           | 22 | 13     | 35    | 0.0%    | 0           | 22  | 13                 | 35    | 0.0%          | 0           | 22   | 13      | 35                             |
| 1 | 2  |                                 |                |             |            |              |           |                  |      |                  |       |         |             |    |        |       |         |             |     |                    |       |               |             |      |         |                                |
| 1 | 3  |                                 |                |             |            |              |           |                  |      |                  |       |         |             |    |        |       |         |             |     |                    |       |               |             |      |         |                                |
|   | 4  |                                 |                |             |            |              |           |                  |      |                  |       |         |             |    |        |       |         |             |     |                    |       |               |             |      |         |                                |
| G | 5  |                                 |                |             |            |              |           |                  |      |                  |       |         |             |    |        |       |         |             |     |                    |       |               |             |      |         |                                |
| R | 6  |                                 |                |             |            |              |           |                  |      |                  |       |         |             |    |        |       |         |             |     |                    |       |               |             |      |         |                                |
| 0 | 7  |                                 |                |             |            |              |           |                  |      |                  |       |         |             |    |        |       |         |             |     |                    |       |               |             |      |         |                                |
| U | 8  |                                 |                |             |            |              |           |                  |      |                  |       |         |             |    |        |       |         |             |     |                    |       |               |             |      |         |                                |
| Р | 9  |                                 |                |             |            |              |           |                  |      |                  |       |         |             |    |        |       |         |             |     |                    |       |               |             |      | ــــــ  | $\perp$                        |
|   | 10 |                                 |                |             |            |              |           |                  |      |                  |       |         |             |    |        |       |         |             |     |                    |       |               |             |      | ــــــ  | $oldsymbol{oldsymbol{\sqcup}}$ |
| 2 | 11 |                                 |                |             |            |              |           |                  |      |                  |       |         |             |    |        |       |         |             |     |                    |       |               |             |      | ـــــ   | oxdot                          |
|   | 12 |                                 | 1              |             |            |              |           |                  |      |                  |       |         |             |    |        |       |         |             |     |                    |       | $\overline{}$ |             |      |         |                                |
|   | 13 |                                 |                |             |            |              |           |                  |      |                  |       |         |             |    |        |       |         |             |     |                    |       | -             |             |      |         | -                              |
|   | 14 |                                 | -              |             | ļ          | -            |           |                  |      | -                |       |         |             |    |        |       |         |             |     |                    |       | $\vdash$      |             |      | ⊢—      | $\vdash$                       |
| ш | 15 | ITE L d LI Od-                  |                |             | <u> </u>   |              |           | Tatali           | - 00 | 40               | 25    | 0.00/   | _           | 00 | 40     | 25    | 0.00/   | _           | -00 | 40                 | 25    | 0.00/         | _           | - 00 | 40      | 25                             |
|   |    | ITE Land Use Code               | _              |             | te or Equa |              |           | Total:           | 22   | 13               | 35    | 0.0%    | 0           | 22 | 13     | 35    | 0.0%    | 0           | 22  | 13                 | 35    | 0.0%          | 0           | 22   | 13      | 35                             |
|   |    | 222                             |                | Y=(         | 0.26*(X)+2 | 3.12         |           |                  |      |                  |       |         |             |    |        |       |         |             |     |                    |       |               |             |      |         |                                |

| IN | OUT | TOTAL | NET NEW TRIPS | 5 | 3 | 8

## MEANS OF TRANSPORTATION TO WORK



Note: This is a modified view of the original table produced by the U.S. Census Bureau. This download or printed version may have missing information from the original table.

|                                                                 | Census Tract 406.01, Bro | ward County, Florida |
|-----------------------------------------------------------------|--------------------------|----------------------|
| Label                                                           | Estimate                 | Margin of Error      |
| ✓ Total:                                                        | 1,599                    | ±391                 |
| Car, truck, or van:                                             | 1,136                    | ±273                 |
| Drove alone                                                     | 1,088                    | ±265                 |
| Carpooled:                                                      | 48                       | ±59                  |
| In 2-person carpool                                             | 48                       | ±59                  |
| In 3-person carpool                                             | .0                       | ±14                  |
| In 4-person carpool                                             | 0                        | ±14                  |
| In 5- or 6-person carpool                                       | .0                       | ±14                  |
| In 7-or-more-person carpool                                     | 0                        | ±14                  |
| Public transportation (excluding taxicab):                      | 0                        | ±14                  |
| Bus                                                             | 0                        | ±14                  |
| Subway or elevated rail                                         | 0                        | ±14                  |
| Long-distance train or commuter rail                            | 0                        | ±14                  |
| Light rail, streetcar or trolley (carro público in Puerto Rico) | 0                        | ±14                  |
| Ferryboat                                                       | .0.                      | ±14                  |
| Taxicab                                                         | 0                        | ±14                  |
| Motorcycle                                                      | .0                       | ±14                  |
| Bicycle                                                         | 15                       | ±24                  |
| Walked                                                          | .0                       | ±14                  |
| Other means                                                     | 88                       | ±94                  |
| Worked from home                                                | 360                      | ±194                 |

Multimodal Reduction: (15)/1599 = 0.9%

## **Table Notes**

## MEANS OF TRANSPORTATION TO WORK

Survey/Program: American Community Survey

Universe: Workers 16 years and over

Year: 2021
Estimates: 5-Year
Table ID: B08301

Although the American Community Survey (ACS) produces population, demographic and housing unit estimates, it is the Census Bureau's Population Estimates Program that produces and disseminates the official estimates of the population for the nation, states, counties, cities, and towns and estimates of housing units for states and counties.

Supporting documentation on code lists, subject definitions, data accuracy, and statistical testing can be found on the American Community Survey website in the Technical Documentation section.

Sample size and data quality measures (including coverage rates, allocation rates, and response rates) can be found on the American Community Survey website in the Methodology section.

Source: U.S. Census Bureau, 2017-2021 American Community Survey 5-Year Estimates

Data are based on a sample and are subject to sampling variability. The degree of uncertainty for an estimate arising from sampling variability is represented through the use of a margin of error. The value shown here is the 90 percent margin of error. The margin of error can be interpreted roughly as providing a 90 percent probability that the interval defined by the estimate minus the margin of error and the estimate plus the margin of error (the lower and upper confidence bounds) contains the true value. In addition to sampling variability, the ACS estimates are subject to nonsampling error (for a discussion of nonsampling variability, see ACS Technical Documentation). The effect of nonsampling error is not represented in these tables.

Workers include members of the Armed Forces and civilians who were at work last week.

Several means of transportation to work categories were updated in 2019. For more information, see: Change to Means of Transportation.

The 2017-2021 American Community Survey (ACS) data generally reflect the March 2020 Office of Management and Budget (OMB) delineations of metropolitan and micropolitan statistical areas. In certain instances, the names, codes, and boundaries of the principal cities shown in ACS tables may differ from the OMB delineation lists due to differences in the effective dates of the geographic entities.

Estimates of urban and rural populations, housing units, and characteristics reflect boundaries of urban areas defined based on Census 2010 data. As a result, data for urban and rural areas from the ACS do not necessarily reflect the results of ongoing urbanization.

Explanation of Symbols:

\_

The estimate could not be computed because there were an insufficient number of sample observations. For a ratio of medians estimate, one or both of the median estimates falls in the lowest interval or highest interval of an open-ended distribution. For a 5-year median estimate, the margin of error associated with a median was larger than the median itself.

IN

The estimate or margin of error cannot be displayed because there were an insufficient number of sample cases in the selected geographic area.

(X)

The estimate or margin of error is not applicable or not available.

median-

The median falls in the lowest interval of an open-ended distribution (for example "2,500-")

median+

The median falls in the highest interval of an open-ended distribution (for example "250,000+").

The margin of error could not be computed because there were an insufficient number of sample observations.

---

The margin of error could not be computed because the median falls in the lowest interval or highest interval of an open-ended distribution.

\*\*\*\*

A margin of error is not appropriate because the corresponding estimate is controlled to an independent population or housing estimate. Effectively, the corresponding estimate has no sampling error and the margin of error may be treated as zero.



#### **DRC LETTER**

Date: 12/1/2023



Address: 900 Intracoastal Dr Fort Lauderdale, FL 33304

The project is composed of 44 units. The project will incorporate the use of Qty.1 waste chute and Qty.1 Bi-sorter recycling system. The chute will feed into Qty.1 Model 400 C5 compactors on the ground floor for waste, and Qty.1 - 2YD container for recycling.

The project is designed around the equipment and will accommodate the compactors: 2-yard containers for waste and 2-yard containers for recycling. The complex will be serviced 3 days a week for waste, Waste picked up is Qty.2 - 2yd compaction containers. Recycling will be serviced 1 time per week, pick up Qty.1 - 2 Yd. recycling containers. The equipment will meet the city recycling ordinance as well as handle the volume of solid waste for the project. (See ground floor drawing for equipment reference locations).

If you have any questions or concerns, please give me a call at (954) 342-4400.

Kareem Bayram
Senior Estimator & Architectural Design Consultant
kbayram@whrise.com
T (954) 342-4400
www.whrise.com

From: <u>fortlauderdale@enotify.visioninternet.com</u>

To: <u>Balaban, George</u>

Subject: Water and Wastewater Capacity Availability Request Form

**Date**: Tuesday, August 8, 2023 11:10:46 AM

You don't often get email from fortlauderdale@enotify.visioninternet.com. Learn why this is important

A new entry to a form/survey has been submitted.

**Form Name:** Water and Wastewater Capacity Availability Request Form

**Date & Time:** August 08, 2023 11:10 AM

**Response #:** 415 **Submitter ID:** 75542

**IP address:** 134.238.172.9 **Time to complete:** 23 min. , 25 sec.

#### **Survey Details**

#### Page 1

#### **CONTACT INFORMATION**

(O) Agent

Name George Balaban

**Email** george.balaban@kimley-horn.com

**Phone** (954) 319-6738

#### **PROJECT INFORMATION**

**Project Name** 900 Intracoastal Drive Condos

Project Folio Number504201RN0110-0160Project Address900 Intracoastal Drive

**Development Review** N/A

**Committee (DRC) Case** 

Number

Area/Zone for Pump A-2

Station

#### Provide a brief project description

There is existing 16 unit condo units on the subject parcel. This project proposes to remove those units and replace them with 44 new condo units.

### **ATTACHMENTS**

Site plan showing all Water and Sewer connections to water and Plan.pdf sewer utilities.

ERC Calculations based on Capital Expansion
City of Fort Lauderdale
"Guidelines for Calculation
Locked For

of Sanitary Sewer Connection Fees".

Website.xlsx

Thank you,

City of Fort Lauderdale, FL

This is an automated message generated by Granicus. Please do not reply directly to this email.



Department of State / Division of Corporations / Search Records / Search by Entity Name /

## **Detail by Entity Name**

Florida Not For Profit Corporation 900 INTRACOASTAL DRIVE, INC.

#### **Filing Information**

 Document Number
 763700

 FEI/EIN Number
 59-1411999

 Date Filed
 06/15/1982

State FL

Status ACTIVE

Last Event CANCEL ADM DISS/REV

Event Date Filed 10/31/2003

Event Effective Date NONE

#### **Principal Address**

900 Intracoastal Drive Fort Lauderdale, FL 33304

Changed: 03/15/2018

### **Mailing Address**

MG Property Managenet 3049 North Federal Highway Fort Lauderdale, FL 33306

Changed: 01/28/2020

#### Registered Agent Name & Address

MG Property Management MG Property Managenet 3049 North Federal Highway Fort Lauderdale, FL 33306

Name Changed: 01/28/2020

Address Changed: 01/28/2020

Officer/Director Detail
Name & Address

Title President

Hughes, Barry MG Property Managenet 3049 North Federal Highway Fort Lauderdale, FL 33306

Title VP

STAFFORD, Sandra MG Property Managenet 3049 North Federal Highway Fort Lauderdale, FL 33306

Title Secretary

Sims, Carolyn MG Property Managenet 3049 North Federal Highway Fort Lauderdale, FL 33306

Title Treasurer

Comfort, Peggy MG Property Managenet 3049 North Federal Highway Fort Lauderdale, FL 33306

Title Director

Stripling, Myrna MG Property Managenet 3049 North Federal Highway Fort Lauderdale, FL 33306

#### **Annual Reports**

| Report Year | Filed Date |
|-------------|------------|
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| 2022        | 01/25/2022 |
| 2023        | 01/24/2023 |

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Florida Department of State, Division of Corporations