



BOARD OF ADJUSTMENT MEETING NOTICE

Date: March 1st, 2024

A Public Hearing will be held before the Board of Adjustment on: **WEDNESDAY, MARCH 13TH, 2024 AT 6:00 P.M.**

This meeting will be held in-person at: Development Services Department (Lobby) 700 NW 19th Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA

CASE:	PLN-BOA-24010004
OWNER:	STELMAKH, IRINA
AGENT:	N/A
ADDRESS:	1400 SW 28 ST, FORT LAUDERDALE, FL 33315
LEGAL DESCRIPTION:	LOT 8, BLOCK 1, OF "HIBISCUS PARK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 23, AT PAGE 29, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (SEE SURVEY).
ZONING DISTRICT:	RS-8 - RESIDENTIAL SINGLE FAMILY/LOW MEDIUM DENSITY
COMMISSION DISTRICT:	4
REQUESTING:	<u>Sec. 47-5.31 - Table of dimensional requirements for the RS-8 district. (Note A).</u>

- Requesting a variance to add a new second floor structure to an existing non-conforming structure at a front yard setback of 20.75 feet, whereas the minimum code requirement is 25.00 feet, a total variance request of 4.25 feet.
- Requesting a variance to add a first-floor addition on the west side to match the existing non-conforming structure at a front yard setback of 20.75 feet, whereas the minimum code requirement is 25.00 feet, a total variance request of 4.25 feet.
- Requesting a variance to add a new attic structure to an existing non-conforming structure at a corner yard setback of 9.00 feet, whereas the minimum code requirement is 17.50 feet, a total variance request of 8.50 feet.

Sec. 47-19.2. Y.3 - Accessory buildings, structures, and equipment, general.

- Requesting a variance to allow the front porch to be open on only one side, whereas the code requires the front porch to be open on two sides.




PLN-BOA-24010004

LEGEND

-  Municipal Boundary
-  Subject Site

N



0 100 200
US Feet

Sec. 47-3.2. B.1- Continuation of a nonconforming structure.

- A nonconforming structure may not be enlarged or altered in a way which increases its nonconformity.

To watch and listen to the meeting, please visit:

<https://www.fortlauderdale.gov/government/BOA> OR
www.youtube.com/cityoffortlauderdale

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK
ZONING ADMINISTRATOR

Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.




PLN-BOA-24010004


LEGEND

-  Municipal Boundary
-  Subject Site

N



0 100 200 US Feet



CASE: PLN-BOA-24010004

Sec. 47-5.31- Table of dimensional requirements for the RS-8 district. (Note A).

Requirements	RS-8	RS-8A
Maximum density	8.0 du/net ac.	8.0 du/net ac.
Minimum lot size	6,000 sq. ft.	6,000 sq. ft.
Maximum structure height	35 ft.	28 ft.
Maximum structure length	None	None
Minimum lot width	50 ft. *75 ft. when abutting a waterway on any side	50 ft. *75 ft. when abutting a waterway on any side
Minimum floor area	1,000 sq. ft.	1,000 sq. ft.
Minimum front yard	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft.	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft.
Minimum corner yard	25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway	25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway
Minimum side yard	5 ft. - up to 22 ft. in height Where a building exceeds 22 ft. in height that	For a building with a height no greater than 12 ft.- 5 ft.

	<p>portion of the building above 22 ft. shall be set back an additional 1 foot per foot of additional height.</p> <p>25 ft. when abutting a waterway</p> <p>Special side yard setbacks 7.5 ft.:</p> <p>Coral Ridge Country Club Addition 4, P.B. 53 P. 29; Block G, Lots 1 thru 22; Block H, Lots 1 thru 10 and 16 thru 26; Block I; Block J.</p> <p>Gramercy Park, P.B. 57, P. 45, Block 1; and Block 2, Lots 1 thru 16.</p> <p>Coral Ridge Country Club Addition 3, P.B. 52 P. 14, Block A, Lots 1 thru 4; Block B, Lots 1 thru 4 and 7 thru 10; Block C, Lots 1 thru 4 and 7 thru 10; Block D, Lots 1 thru 8 and 11 thru 18; Block X, Lots 18 thru 20; Block J; Block K; Block L; Block M; Block N; Block O; Block P; Block Q; Block R; Block S; Block T.</p> <p>Golf Estates, P.B. 43, P. 26; Block 6; Block 7; Block 8; Block 9; Block 10; Block 11; Coral Ridge Country Club Subdivision P.B. 36 P. 30 Block F, Lots 1 thru 14; Block R, Lots 1 thru 8, 11 thru 18; Replat of Lots 11, 12, 13, 14 & 15 of Block H Coral Ridge Country Club Addition 4, P.B. 63 P. 31 Parcels A, B, C; Gramercy Park, PB 57 P. 45 Block 2, Lots 17 and 18; Coral Ridge Country Club Addition No. 2 P.B. 44 PG 21 Block F, Lots 2 thru 19; Block E, Lots 1 thru 6 and 10 thru 16; Block C, Lots 2 thru 11; Block D, Lots 2 thru 4; Block B, Lot 2 and Lots 15 thru 25, and Bermuda-Riviera Subdivision of Galt Ocean Mile, P.B. 38 P. 46; Blocks A, C, D, E, F, G & H; Bermuda-Riviera Subdivision of Galt Ocean, First Addition, P.B. 40 P.12: Blocks J, K, L & M.</p>	<p>For a building with a height greater than 12 ft. - 7.5 ft.</p> <p>That portion of a building exceeding 12 ft. in height shall be set back an additional 2 feet per 1 foot of additional height</p> <p>25 ft. when abutting a waterway</p> <p>Special side yard setbacks as provided in RS-8</p>
<p>Minimum rear yard</p>	<p>15 ft.</p> <p>25 ft. when abutting a waterway</p> <p>Special rear yard setbacks: 15 ft. abutting waterway in the following subdivisions:</p> <p>Coral Ridge Isles</p> <p>Flamingo Pk.—Section "C" & "D"</p> <p>Lakes Estates</p> <p>Golf Estates</p> <p>Imperial Pt.—4th Sec.</p>	<p>25 ft.</p> <p>25 ft. when abutting a waterway</p> <p>Special rear yard setbacks as provided in RS-8</p>

	The Landings Rio Nuevo Isle—Block 1				
Minimum distance between buildings	None				None
	<i>Lot Size</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>
	≤7,500 sf	50%	0.75	40%	0.55
Lot coverage and FAR	7,501—12,000 sf	45%	0.75	35%	0.55
	>12,000 sf	40%	0.60	30%	0.50

CASE: PLN-BOA-24010004

Sec. 47-19.2. Y.3 - Accessory buildings, structures, and equipment, general.

Y. Porch. A porch that is an accessory to a single family dwelling may be permitted to extend into the required front and corner yards in all residential zoning districts, subject to the following criteria:

1. When accessory to a standard single family dwelling, a porch shall have a minimum setback of seventeen (17) feet measured from the furthest extent of the roofline or overhang; or
2. When accessory to an attached single family dwelling a porch may encroach an additional three (3) feet into the required front or corner yard beyond the setback of the principal building, as measured from the furthest extent of the roofline or overhang.
3. The porch must be open on at least two (2) sides with no screen enclosure.

Sec. 47-3.2. B.1- Continuation of a nonconforming structure.

B. *Continuation of a nonconforming structure.* A nonconforming structure may continue in existence subject to the following:

1. A nonconforming structure may not be enlarged or altered in a way which increases its nonconformity, but a nonconforming structure may be altered to decrease its nonconformity.

Records

Showing 1-25 of 25

<input type="checkbox"/>	Record, Permit, or Account #	Record Description	Applicant Name	Record Type	Balance	Planner Name	Acreage	District	Street Name	Type	Unit # (start)	Status
<input type="checkbox"/>	PLN-BOA-24010004		April 12, 2023 Flood r mod l	Z- Board of Adjustm nt (BOA)	0		1400	SW	28	ST		Open
<input type="checkbox"/>	BLD-RADD-23120020	ADDITION TO KITCHEN, ADDING 2ND FLOOR	ADDITION TO KITCHEN, ADDING ...	R sid ntial Addition P rmit	0		1400	SW	28	ST		Awaiting C
<input type="checkbox"/>	CE23100191	Q-ALERT # 1124623 CONSTRUCTION DEBRIS		Cod Cas			1400	SW	28	ST		Closed
<input type="checkbox"/>	ELE-RES-21020084 e	El ctric M t r Box R pair e	El ctric M t r Box R pair e	El ctrical R sid ntial P rmit	0		1400	SW	28	ST		Awaiting C
<input type="checkbox"/>	BLD-FEN-21020056 e	F nc R pair e	F n c R pair e	F nc P rmit e	0		1400	SW	28	ST		Awaiting C
<input type="checkbox"/>	CE20090780	INSTALLING WOODEN FENCE WITHOUT PERMIT e		Cod Cas		Jorg Martin z e	1400	SW	28	ST		Compl d
<input type="checkbox"/>	CE18070803	9-280(H)(1)THE WOOD FENCE AT THE EASTERN SIDE OF,... e	TROCOLLI,MICHAEL A & THERESAA	Cod Cas e			1400	SW	28	ST		Closed
<input type="checkbox"/>	VIO-CE18070803_1	ROUTINE INSPECTION OF THIS PROPERTY DISCOVERED THE	TROCOLLI,MICHAEL A & THERESAA	Violation-CODE H aring e	0		1400	SW	28	ST		Closed
<input type="checkbox"/>	VIO-CE18070803_2 e	ROUTINE INSPECTION OF THIS PROPERTY DISCOVERED THE	TROCOLLI,MICHAEL A & THERESAA	Violation-CODE H aring	0		1400	SW	28	ST		Closed
<input type="checkbox"/>	VIO-CE18070803_3	ROUTINE INSPECTION OF THIS PROPERTY DISCOVERED THE	TROCOLLI,MICHAEL A & THERESAA	Violation-CODE H aring	0 e		1400	SW	28 e	ST e		Closed e
<input type="checkbox"/>	VIO-CE18070803_4 e	ROUTINE INSPECTION OF THIS PROPERTY DISCOVERED THE	TROCOLLI,MICHAEL A & THERESAA	Violation-CODE H aring e	0		1400	SW	28	ST		Closed
<input type="checkbox"/>	CE16041951	EDGEWOOD - BULK TRASH PILE WAS FOUND ON THE SWALE... e	TROCOLLI,MICHAEL A & THERESAA	Bulk Trash Cas			1400	SW	28	ST		Closed
<input type="checkbox"/>	VIO-CE16041951_1 e	EDGEWOOD - BULK TRASH PILE WAS FOUND ON THE SWALE e	TROCOLLI,MICHAEL A & THERESAA e	Bulk Trash Cas			1400	SW	28	ST		Closed
<input type="checkbox"/>	PM-10041400	SEPTIC TO SEWER	SEPTIC TO SEWER	Plumbing S w r Cap P rmit e	0		1400	SW	28	ST		Compl t
<input type="checkbox"/>	CE09070909 e	NOT CONNECTED TO THE CITY'S SANITARY SEWER SYSTEM.	DAVIDSON,GARY	Cod Cas e			1400	SW	28	ST		Open
<input type="checkbox"/>	VIO-CE09070909_1 e	NOT CONNECTED TO THE CITY'S SANITARY SEWER SYSTEM.	DAVIDSON,GARY	Violation-CODE H aring	0		1400	SW	28	ST		Open
<input type="checkbox"/>	PM-04121250	PAVERS ON DRIVEWAY/FRONT ENTR/PATIO -601SF	PAVERS ON DRIVEWAY/FRONT ENT...	R sid ntial Paving P rmit	0		1400 e	SWe	28 e	STe		Compl t
<input type="checkbox"/>	PM-04120642	NEW RACEWAY FROM MAIN TO PANEL	NEW RACEWAY FROM MAIN TO PANEL	El ctrical R sid ntial P rmit	0		1400	SW	28	ST		Compl t
<input type="checkbox"/>	PM-01111402	INSTALL NEW POOL (DECK BY OTHERS)	INSTALL NEW POOL (DECK BY OT...	R sid ntial Pool-Spa-Fountain P rmit e	0		1400	SW	28	ST		Compl t
<input type="checkbox"/>	PM-01111403	HOOK UP POOL	HOOK UP POOL	Plumbing R sid ntial P rmit	0 e		1400	SW	28	ST		Compl t
<input type="checkbox"/>	PM-01111404	ELECTRIC FOR POOL	ELECTRIC FOR POOL	El ctrical R sid ntial P rmit	0		1400	SW	28	ST		Compl te
<input type="checkbox"/>	PM-01111405	PAVER DECK AROUND POOL 700SF	PAVER DECK AROUND POOL 700SF	R sid ntial Paving P rmit	0		1400	SW	28	ST		Compl t
<input type="checkbox"/>	PM-01070121	INSTALL WATER SERVICE 1"	INSTALL WATER SERVICE 1"	Plumbing M t r Install P rmit	0		1400	SW	28	ST		Compl t
<input type="checkbox"/>	PM-01030180	INSTALL WOOD STOCKADE FENCE 6'X 300' FOR SFR e	INSTALL WOOD STOCKADE FENCE ... e	F nc P rmit	0		1400	SW	28	ST		Compl t e
<input type="checkbox"/>	CE98041137	DV TOWED 3/24/98	ORR,WILLIAM J JR	Cod Cas			1400 e	SWe	28 e	ST e		Closed



CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: MARCH 13TH, 2024

TIME: 6:00 PM

CASE: PLN-BOA-24010004

Sec. 47-5.31- Table of dimensional requirements for the RS-8 district. (Note A).

- Requesting a variance to add a new second floor structure to an existing non-conforming structure at a front yard setback of 20.75 feet, whereas the minimum code requirement is 25.00 feet, a total variance request of 4.25 feet.
- Requesting a variance to add a first-floor addition on the west side to match the existing non-conforming structure at a front yard setback of 20.75 feet, whereas the minimum code requirement is 25.00 feet, a total variance request of 4.25 feet.
- Requesting a variance to add a new attic structure to an existing non-conforming structure at a corner yard setback of 9.00 feet, whereas the minimum code requirement is 17.50 feet, a total variance request of 8.50 feet.

**LOCATION: CITY COMMISSION CHAMBERS
CITY HALL, 100 N ANDREWS AVENUE**

**INFORMATION: CONTACT (954) 828-6506
<http://www.fortlauderdale.gov>**

This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a





CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: MARCH 13TH, 2024

TIME: 6:00 PM

CASE: PLN-BOA-24010004

Sec. 47-19.2. Y.3 - Accessory buildings, structures, and equipment, general.

- Requesting a variance to allow the front porch to be open on only one side, whereas the code requires the front porch to be open on two sides.

Sec. 47-3.2. B.1- Continuation of a nonconforming structure.

- A nonconforming structure may not be enlarged or altered in a way which increases its nonconformity.

**LOCATION: CITY COMMISSION CHAMBERS
CITY HALL, 100 N ANDREWS AVENUE**

**INFORMATION: CONTACT (954) 828-6506
<http://www.fortlauderdale.gov>**



This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a



SIGN NOTICE

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. PLN-BOA-24010004

APPLICANT: Irina S Stelmakh

PROPERTY: 1400 SW 28th Street, Fort Lauderdale

PUBLIC HEARING DATE: March 13th, 2024

BEFORE ME, the undersigned authority, personally appeared Irina S Stelmakh, who upon being duly sworn and cautioned, under oath deposes and says:

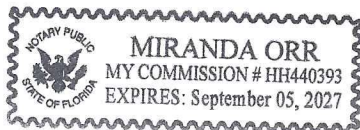
1. Affiant is the Applicant in the above cited City of Fort Lauderdale **Board or Commission** Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the **Board or Commission**.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least **fifteen (15)** days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the **Board or Commission. Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.**
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division **five (5)** calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2. of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. ISS (initial here)

Affiant [Signature]

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 1 day of February, 2024

(SEAL)



[Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES: SEP. 05, 2027

Page 5: Technical Specifications

A. SITE PLAN

1. Title Block including project name and design professional's address and phone number
2. Scale (1" = 30' min., must be engineer's scale)
3. North indicator
4. Location map showing relationship to major arterials
5. Drawing and revision dates, as applicable
6. Full legal description
7. Site Plan Data Table
 - Current use of property
 - Land Use designation
 - Zoning designation
 - Site area (sq. ft. and acres)
 - Setback table (required vs. provided)
 - Open space
8. Site Plan Features (graphically indicated)
 - Setbacks and building separations (dimensioned)
 - Project signage (if applicable)
 - Easements (as applicable)

(Please note additional site plan information may be necessary to fully address the requested variance)

B. BUILDING ELEVATIONS (as applicable)

1. All building facades with directional labels (i.e. North, South) and building names if more than one building
2. Dimensions, including height and width of all structures
3. Dimensions of setbacks and required setbacks from property lines
4. Dimension grade at crown of road, at curb, sidewalk, building entrance, and finished floor
5. Include proposed signage



PUBLIC NOTICE
BOARD OF ADJUSTMENT MEETING
DATE: 08/26/2024
TIME: 7:00 PM
LOCATION: 1000 W. ...
AGENDA:
1. ...
2. ...
3. ...

PUBLIC NOTICE
BOARD OF ADJUSTMENT MEETING
DATE: 08/26/2024
TIME: 7:00 PM
LOCATION: 1000 W. ...
AGENDA:
1. ...
2. ...
3. ...





PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING
DATE: 08/26/2024 TIME: 10:00 AM
LOCATION: 400 S.W. 10th Avenue, Pompano Beach, FL 33062
AGENDA: 1. Review and Report on the Application for a Special Use Permit for a Mobile Home on a Residential Zoned Lot.

PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING
DATE: 08/26/2024 TIME: 10:00 AM
LOCATION: 400 S.W. 10th Avenue, Pompano Beach, FL 33062
AGENDA: 1. Review and Report on the Application for a Special Use Permit for a Mobile Home on a Residential Zoned Lot.

BOARD OF ADJUSTMENT (BOA) APPLICATION FORM

REV: 10/26/2023 APPLICATION FORM: BOA



GENERAL INFORMATION
BOARD OF ADJUSTMENT REVIEW PROCESS AND APPLICATION SUBMITTAL

BOARD OF ADJUSTMENT MEETING REQUIREMENTS: Prior to the submittal of the Board of Adjustment application, applicants are required to schedule a meeting request with Zoning and Landscaping Division staff to obtain feedback regarding the proposed variance, special exception, or other applications. The meeting includes general guidance on the submittal and process for the application type. To request a meeting with staff, [email request to the Board of Adjustment](#).

APPLICATION DEADLINE: Submittals must be received by 5:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail if application, survey, plans and other documentation do not meet the submittal requirements and if changes are required. The applicable [Meeting Dates and Deadlines](#) can be found on the City's website at the Board of Adjustment webpage. Staff will provide guidance once an application has been submitted to the City.

HOW TO SUBMIT AN APPLICATION: Submittals must be conducted through the [City's online citizen access portal and payment of fees \(LauderBuild\)](#). [LauderBuild](#) requires the creation of an online account to submit a complete application. To access submittal requirements and standards please visit the [LauderBuild Plan Room](#). Staff will provide guidance once an application has been submitted to the City.

DETERMINATION OF COMPLETENESS: Submittals are reviewed for completeness to ensure the application submittal contains all the required information including plans, survey, proof of ownership, narratives, and other pertinent documentation. The City will notify the applicant within five (5) business days from submittal with a determination of completeness. The notification will be sent via email and will indicate application completeness or incompleteness with required changes. [BOA Flow Chart](#).

FEES AND COSTS: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit. Applicants will receive invoices electronically indicating the applicable fee(s). Note, there are fees at various stages of review depending on application type. Fees are paid online.

NOTICE TO ADJUDICATE: Board of Adjustment (BOA) application, and certain applications are subject to public sign notice. Affidavits must be completed and submitted to the city stated compliance that such has been completed. The affidavit form can be found in this package on page 4 and on the City's website.

BOARD OF ADJUSTMENT (BOA) AGENDAS, CASE PACKUPS, MINUTES AND RESULTS:
Click to access the Board of Adjustment (BOA) page to view previous [Board of Adjustment \(BOA\) agendas, case packups, minutes and results](#).

QUESTIONS: Questions regarding the Board of Adjustment process or [LauderBuild](#), contact us by phone or email at: boardofadjustment@fortlauderdale.gov
Phone: 954-828-6520, Option 5

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The Board of Adjustment application form must be filled out accurately and all applicable sections must be completed. Complete the sections indicated for application type. Type N/A for those section items not applicable. Select the application type below and complete entire application form.

Application Type	(Select the application type from the list below and complete pages 1-4 of the application)	FEES
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation (Before)	\$2,332
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation (After)	\$2,966
<input checked="" type="radio"/>	Requesting Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (Before)	\$689
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (After)	\$901
<input type="radio"/>	Request for Continuance	\$954
<input type="radio"/>	Request for Rehearing	\$318
<input type="radio"/>	Rehearing Request before the board	\$1,219

Page 1: BOA - Applicant Information Sheet

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance(s) and/or special exception(s) requested. The application form must be filled out accurately and all applicable sections must be completed. Please print or type and answer all questions. Do Not leave any sections Blank. Indicate N/A if a question does not apply.

Case Number	PLN-BOA-24010004
Date of complete submital	January 31, 2024

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**.

Property Owner's Name	Irina S. Stelmakh
Property Owner's Signature	<i>[Signature]</i> <small>If a notarized letter is provided, no signature is required on the application by the owner.</small>
Address, City, State, Zip	1400 SW 28th street Fort Lauderdale, FL 33315
E-mail Address	flopresto0318@gmail.com
Phone Number	727-656-2654
Proof of Ownership	<input checked="" type="checkbox"/> Warranty Deed or <input type="checkbox"/> Tax Record

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent's Name	
Applicant / Agent's Signature	
Address, City, State, Zip	
E-mail Address	
Phone Number	
Agent Authorization Form Submitted	<input type="checkbox"/>

Permit/code case related to variance(s)	
Existing / New	Existing: <input type="checkbox"/> New: <input checked="" type="checkbox"/>
Project Address	Address: 1400 SW 28th street Fort Lauderdale, FL 33315
Legal Description	Hibiscus Park 23-29 B LOT 8 BLK1
Tax ID Folio Numbers <small>(For all parcels in development)</small>	504221130080
Variance/Special Exception Request <small>(Provide a brief description of your request)</small>	Asking for variance North Front and East Side
Applicable ULDR Sections <small>(Include all code sections)</small>	S [redacted] Sec 47-5.31 S [redacted] Sec 47-3.2.B.1 Sec 47-19.2.Y.3

Current Land Use Designation	RS-8
Current Zoning Designation	RS-8 Residential Single Family/Low Medium Density
Current Use of Property	LOW-MEDIUM
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Setbacks (indicate direction N, S, E, W)			Required	Proposed
Front	1	N	25'-0"	20' 27"
Side	1	E	17'-5"	19' 7 3/8"
Side	0	W	5'	5'
Rear				

Answer All questions on this page and attach narrative. If additional space is needed, attach additional page(s).

: State the specific request according to the ULDR or other provisions of the Code.

: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12, A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

Due to the house's existing footprint, the extension of the front & side walls is necessary to add extra living space.

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

There have been similar properties on our street that have been allowed to expand without the additional setbacks. (Example: 1230 SW 28th St., Fort Lauderdale, FL 33315)

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

No profits are being sought after.

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

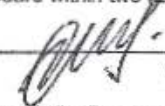
The unique hardship was not self-created but was caused by the Fort Lauderdale Flood of April 12th, 2023. Revisions are necessary and would be beneficial to improve the property and living conditions.

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

The variants are the minimum required to extend the existing wall and not protrude further into the setback. The current facade is in line with neighbors, and altering it would disrupt the overall harmonious line of the street. We are requesting to keep a visual continuity with the neighbors.

: Irina S Stelmakh the Owner/Agent of said property ATTEST that I am aware of the following:

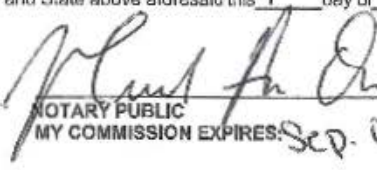
1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

 _____
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 1 day of February, 2024

(SEAL)



 _____
NOTARY PUBLIC
MY COMMISSION EXPIRES: SEP. 05, 2027

Page 3: Checklist for submittal and completeness:

- Board of Adjustment Application Form** (the Board of Application form must be complete with the applicable information, signatures, and notarizations). *Complete and submit this entire application form with your submittal.
 - Proof of Ownership** (warranty deed or tax record including corporation documents and Sunbiz verification name).
 - Authorization Form** (Property owner(s) original notarized signature(s) is required (if applicable)).
 - Narrative** (include the applicable ULDR code sections, Date, specific request and criteria as described in the specifications for submittal by application. The narrative must be titled "Narrative" and indicate the author).
 - Color Photographs** (Color photos of the entire property and all surrounding properties dated and labeled and identified as to orientation).
 - Survey** (The survey of the property must be digitally signed and sealed, showing existing conditions; survey must be As Built with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of land(s) not included in the proposed project unless specifically requested by the city). *The date on the Survey should not exceed one (1) year.
 - Site Plan** (A full set of plans must be submitted a survey may be substituted if the requested variance is clearly indicated) Cover sheet on plan set to state project name and table of contents.
 - Elevations**
 - Landscape Plans**
 - Additional Plans**
 - Mail Notification Documents**
- **MAIL NOTICE:** Mail notice shall be given to owners of land within three hundred (300) feet of the subject site ten (10) days prior to the date set for the public hearing.
- **TAX MAP:** Applicant shall provide a tax map from the Broward County Property Appraiser of all property within a three hundred (300) foot radius, with each property clearly shown and delineated. Each property within the notice area must be numbered (by Folio ID) on the map to cross-reference with property owners notice list.
 - **PROPERTY OWNERS NOTICE LIST:** Applicant shall provide a property owner notice list with the names, property control numbers (Folio ID) and complete addresses for all property owners within the required three hundred (300) foot radius. The list shall also include all homeowners' associations, condominium associations, municipalities and counties noticed, as indicated on the tax roll.
 - **ENVELOPES:** The applicant shall provide business size (#10) envelopes with first class postage attached (stamps only, metered mail will not be accepted). Envelopes must be addressed to all property owners within the required three hundred (300) foot radius, and mailing addresses must be typed or labeled; no handwritten addresses will be accepted. The return address shall be listed on all envelopes as follows:
City of Fort Lauderdale- Zoning & Landscaping Division -BOA
700 N.W. 19th Avenue
Fort Lauderdale, Florida 33311

How to Order a Tax Map and Notice List.

To order a tax map and notice list, please Contact Heather Hanson at hhanson@bcopa.net or call 954-357-6855 OR Kenny Gibbs at kgibbs@bcopa.net or call 954-357-5503.

DISTRIBUTION: The City of Fort Lauderdale, Zoning & Landscaping Division will mail all notices prior to the public hearing meeting date, as outlined in Section 47-27.

Submittals must be conducted through the cityofonline.citizenaccess.net/fil/lauderbuild. No hardcopy application submittals are accepted. Information and items listed on the above checklist are important submittal requirements that applicants must follow and submit online to be deemed complete. View all plan and document requirements at lauderbuild.planroom.

- Uploading Entire Submittal upload all documents at time the application is submitted to prevent delays in processing.
- [File Naming Convention file names must adhere to the City's File Naming Convention.](#)
- Reduce File Size plan sets, and other large files must be merged or flattened to reduce file size.
- Plan Sets plan sets like site plans, plats, etc. must be submitted as a single pdf file. Staff will instruct when otherwise.
- Document Categories choose the correct document category when uploading.

14 copy sets of each item listed on the checklist will be due **AFTER** the Application submittal has been Deemed Complete.

All 14 copy sets must be clear and legible. The survey and plans must be at half-size scale 11X17" and all non-plan documents should be 8 1/2" x 11".

SIGN NOTICE

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. _____

APPLICANT: Irina S Stelmakh

PROPERTY: 1400 SW 28th Street, Fort Lauderdale

PUBLIC HEARING DATE: March 13th, 2024

BEFORE ME, the undersigned authority, personally appeared Irina S Stelmakh, who upon being duly sworn and cautioned, under oath deposes and says:

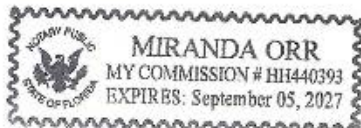
1. Affiant is the Applicant in the above cited City of Fort Lauderdale **Board or Commission** Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the **Board or Commission**.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least **fifteen (15)** days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the **Board or Commission**. **Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.**
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division **five (5)** calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2. of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. ISS (Initial here)

Affiant [Signature]

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 1 day of February, 2024

(SEAL)



[Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES: SEP. 05, 2027

Page 5: Technical Specifications

A. SITE PLAN

1. Title Block including project name and design professional's address and phone number
2. Scale (1" = 30' min., must be engineer's scale)
3. North indicator
4. Location map showing relationship to major arterials
5. Drawing and revision dates, as applicable
6. Full legal description
7. Site Plan Data Table
 - Current use of property
 - Land Use designation
 - Zoning designation
 - Site area (sq. ft. and acres)
 - Setback table (required vs. provided)
 - Open space
8. Site Plan Features (graphically indicated)
 - Setbacks and building separations (dimensioned)
 - Project signage (if applicable)
 - Easements (as applicable)

(Please note additional site plan information may be necessary to fully address the requested variance)

B. BUILDING ELEVATIONS (as applicable)

1. All building facades with directional labels (i.e. North, South) and building names if more than one building
2. Dimensions, including height and width of all structures
3. Dimensions of setbacks and required setbacks from property lines
4. Dimension grade at crown of road, at curb, sidewalk, building entrance, and finished floor
5. Include proposed signage

This Instrument prepared by:
Philippe Revah, Esq.
Edelboim Lieberman Revah Oshinsky PLLC
20200 W Dixie Hwy, Suite 905
Miami FL 33180
**This deed is prepared without the benefit of
a title search pursuant to the request of the
parties**

(Space Reserved for Recording Purposes)

QUITCLAIM DEED

THIS QUIT CLAIM DEED, made this 24th day of January, 2019, between **Irina Stelmakh, a single person, and Iuliia Stelmakh and Sergey Stelmakh, husband and wife, joint tenants with rights of survivorship** ("Grantors"), whose post office address is 1400 SW 28 Street, Fort Lauderdale FL 33315 and **Irina Stelmakh, a single person** whose post office address is 1400 SW 28 Street, Fort Lauderdale FL 33315 ("Grantee").

(Whenever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

WITNESSETH

That the Grantor, for an in consideration of the sum of TEN AND NP/100 DOLLARS (\$10.00) and other good and valuable consideration in hand paid by the said Grantee, the receipt whereof is hereby acknowledged, does hereby remise, release, and quitclaim to the said Grantee, and Grantee's heirs and assigns forever, all the right, title, interest, claim and demand which Grantor has in and to the following described land, situate, lying and being in Broward, Florida, to wit:

Lot 8, Block 1, Hibiscus Park, according to the plat thereof, as recorded in Plat Book 23, Page 29, of the Public Records of Broward County, Florida.

Parcel Identification Number: 504221-13-0080

Subject to taxes for 2019 and subsequent years; covenants, conditions, restrictions, easements, reservations, and limitations of record, if any.

TO HAVE AND TO HOLD, the same together with all and singular the appurtenances thereto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of Grantors, either in law or equity, for the use, benefit and profit of the said Grantee forever.



I hereby certify this document to be a true, correct and complete copy of the record filed in my office.
Dated this 01 day of February, 2024 County Administrator.
By: Broward County Deputy Clerk
1567b73c-c835-43b2-bee4-db348dd005c6 Page 1 of 2

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

As to both Grantors:

Andree Quaresima
Witness Name: ANDREE QUARESIMA

Tanner Bandono
Witness Name: Tanner Bandono

[Signature]
Grantor: Yrina Stelmakh

[Signature]
Grantor: Iuliia Stelmakh

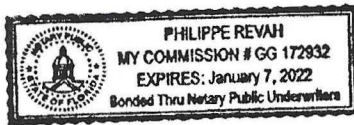
[Signature]
Grantor: Sergcy Stelmakh

STATE OF FLORIDA
COUNTY OF Miami-Dade

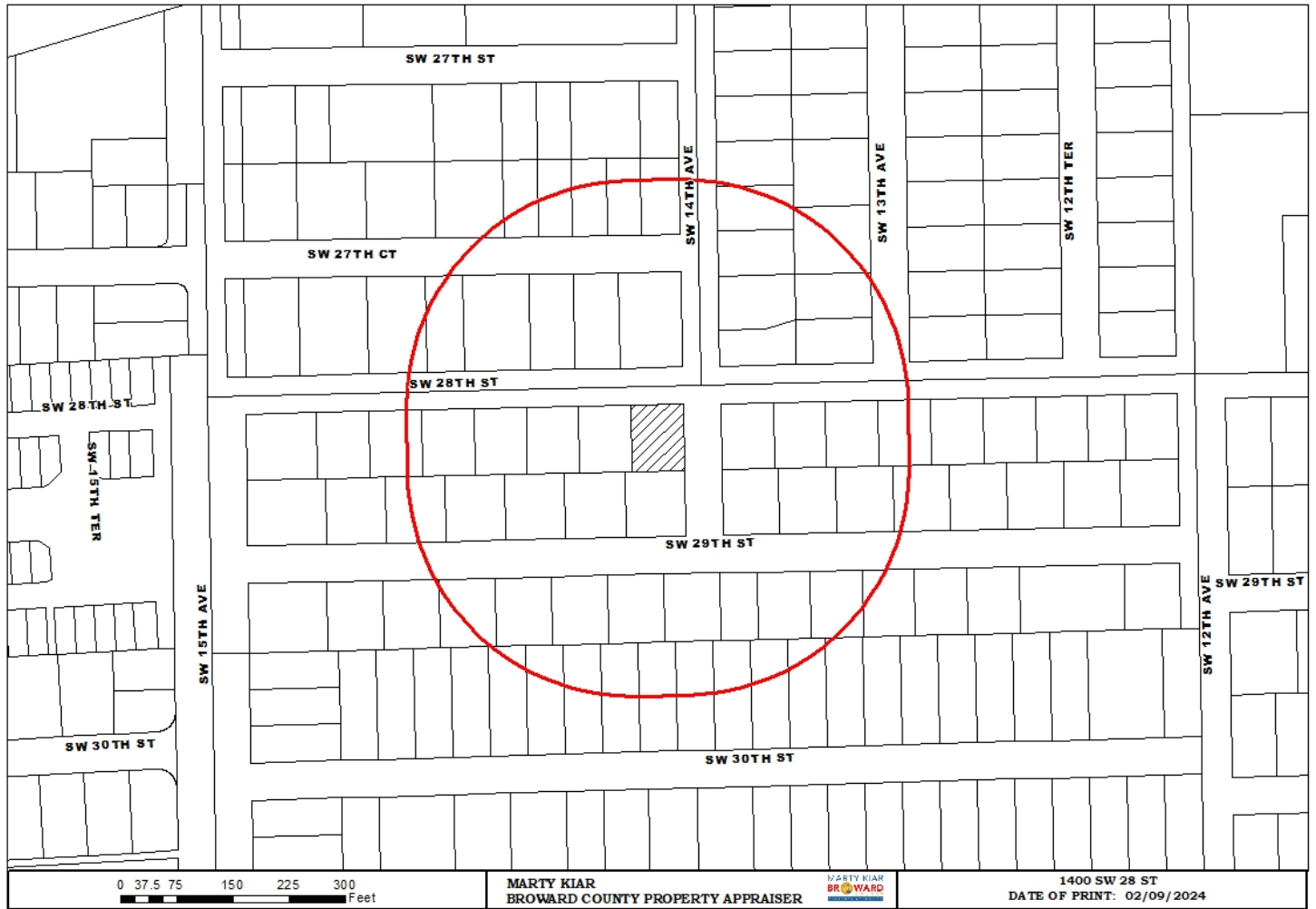
The foregoing instrument was acknowledged before me this 24th day of January 2019 by Grantors, who [] are personally known to me or [] have produced FL DLs and _____ as identification.

Dated: January 24, 2019.

Notary Public, State of Florida
Commission No. _____
My Commission Expires: _____



I hereby certify this document to be a true, correct and complete copy of the record filed in my office.
Dated this 01 day of February, 2024 County Administrator.
By: Broward County Deputy Clerk
1567b73c-c835-43b2-bee4-db348dd005c6 Page 2 of 2



FOLIO_NUMB	NAME_LINE_	NAME_LINE1	ADDRESS_LI	CITY	STATE	ZIP
504221060010	BUNDOC-BROUGHTON,DIANA		1401 SW 28 ST	FORT LAUDERDALE	FL	33315
504221060011	GIL,LUIS & GLADYS N		PO BOX 15983	PLANTATION	FL	33318
504221060020	ANCA,ESTEFANIA H/E	ANCA,ROBERTO	1414 SW 27 CT	FORT LAUDERDALE	FL	33315
504221060040	MAYS 12 LLC		10401 NW 53 ST	SUNRISE	FL	33351
504221060041	L RENTALS LLC		300 W STATE ROAD 84	FORT LAUDERDALE	FL	33315
504221060050	VERKEY,LISA & JOHN		1451 SW 28 ST	FORT LAUDERDALE	FL	33315
504221060080	COLE,CELETRA		1403 SW 27 CT	FORT LAUDERDALE	FL	33315
504221060090	ARGUETA,OSCAR H PORTILLO		1407 SW 27 CT	FORT LAUDERDALE	FL	33315
504221060100	RASHTCHY,FLORA V	RASHTCHY,ROHAM	1411 SW 27 CT	FORT LAUDERDALE	FL	33315
504221060110	SENCLER,CARLOS DANIEL		1415 SW 27 CT	FORT LAUDERDALE	FL	33315
504221060111	HEALY,ERIC	VERA,NIZA	1417 SW 27 CT	FORT LAUDERDALE	FL	33315
504221060120	RANDELL,CAROLYN		1421 SW 27 CT	FORT LAUDERDALE	FL	33315
504221090320	MARINAMILE TR	ACEVEDO,GRISelda TRSTEE	6137 SW 20 CT	MIRAMAR	FL	33023
504221090330	COX,DOROTHEA E		1423 SW 30 ST	FORT LAUDERDALE	FL	33315
504221090340	HEARN,WILLIAM JR & TAMMY D		6543 IRON LIEGE TRL	TALLAHASSEE	FL	32309
504221090350	HOLLAND,ANDREW		1348 SW 30 ST	FORT LAUDERDALE	FL	33315
504221090360	BOTTINO,GEORGE J & LOLENIA		1349 SW 30 ST	FORT LAUDERDALE	FL	33315
504221090370	HOLLAND,ANDREW		1348 SW 30 ST	FORT LAUDERDALE	FL	33315
504221090380	FERNANDES,ROSS M & MARIA H		6221 SW 3 ST	PLANTATION	FL	33317
504221090390	FULTON,ERIC S		1343 SW 30 ST	FORT LAUDERDALE	FL	33315
504221090400	TREU,NORMAN B		1341 SW 30 ST	FORT LAUDERDALE	FL	33315
504221090410	CLANCY,BRIAN		1339 SW 30 ST	FORT LAUDERDALE	FL	33315
504221110050	BUSTA PROPERTIES LLC		2701 SW 13 AVE #2	FORT LAUDERDALE	FL	33315
504221110060	NICHOLSON,CURTIS B		1301 SW 28 ST	FORT LAUDERDALE	FL	33315
504221110061	KYRON-ADMA INVESTMENTS INC		PO BOX 16703	FORT LAUDERDALE	FL	33318
504221110062	NICHOLSON,CURTIS B		1301 SW 28 ST	FORT LAUDERDALE	FL	33315
504221110063	ALONSO,NADINE H/E	HENAO,SEBASTIAN	2720 SW 14 AVE	FORT LAUDERDALE	FL	33315
504221110070	UZANS LLC		8788 SW 57 ST	COOPER CITY	FL	33328
504221110080	NONOG,JOSE N & PATROCINIO P		2644 SW 14 AVE	FORT LAUDERDALE	FL	33315
504221110090	FIGUEROA,ANGELITO & HONORATA		7460 SW 18 ST	PLANTATION	FL	33317
504221110430	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL	33301
504221130030	SIMIONESCU,DANIELA		13570 LAKE SHORE DR NW	POULSBO	WA	98370
504221130040	HEADRICK,CLAIRE BETH H/E	HEADRICK,BRUCE FRANCIS	1440 SW 28 ST	FORT LAUDERDALE	FL	33315

504221130050	BALCAZAR ROJAS,PEDRO SAMUEL	BALCAZAR,SHEAMELL SAMANTHA	1430 SW 28 ST	FORT LAUDERDALE	FL	33315
504221130060	STAFFORD,STEWART FRANK	STEWART FRANK STAFFORD REV TR	1420 SW 28 ST	FORT LAUDERDALE	FL	33315
504221130070	ZELAYA,SAUL		1410 SW 28 ST	FORT LAUDERDALE	FL	33315
504221130080	STELMAKH,IRINA		1400 SW 28 ST	FORT LAUDERDALE	FL	33315
504221130090	LONGSON,CARISSA	MARKS,BRANDON	1401 SW 29 ST	FORT LAUDERDALE	FL	33315
504221130100	ANTEZANA,KATHLEEN		1411 SW 29 ST	FORT LAUDERDALE	FL	33315
504221130110	FERNANDEZ,DAVID A &	ALVAREZ,JACINTA	1421 SW 29 ST	FORT LAUDERDALE	FL	33315
504221130120	VILLALBA VALDALISO,MELISSA	BRAVO VALDALISO,YAILEN	1431 SW 29 ST	FORT LAUDERDALE	FL	33315
504221130130	SANTIAGO,SARA NOHEMI		1441 SW 29 ST	FORT LAUDERDALE	FL	33315
504221130160	KANG,KULJINDER S		1320 SW 28 ST	FORT LAUDERDALE	FL	33315
504221130170	BROER,CAROLE		PO BOX 901	EXETER	NH	03833
504221130180	SCHUELER,RICHARD		1300 SW 28 ST	FORT LAUDERDALE	FL	33315
504221130190	OP INVESTMENT PROPERTIES LLC		2019 SW 20 ST #223	FORT LAUDERDALE	FL	33315
504221130290	HERNANDEZ,LEYZER	RODRIGUEZ DE HERNANDEZ,MELISSA	1241 SW 29TH ST	FORT LAUDERDALE	FL	33315
504221130300	STR HOMES LLC		9162 BOUQUET ROAD	LAKE WORTH	FL	33467
504221130310	MATERO,JAMIE MARIE		1261 SW 29 ST	FORT LAUDERDALE	FL	33315
504221130320	VAN DER WESTHUIZEN,WILLEM H	FORMOSO,MANDI VITTORIA	1271 SW 29 ST	FORT LAUDERDALE	FL	33315
504221130350	NOYES,ELIZ		1450 SW 29 ST	FORT LAUDERDALE	FL	33315
504221130360	JONES,ARDI M		900 RIVER REACH DR	FORT LAUDERDALE	FL	33315
504221130370	PEREZ,JACQUELINE		1430 SW 29 ST	FORT LAUDERDALE	FL	33315
504221130380	LLOYD,KATHRYN L		1420 SW 29 ST	FORT LAUDERDALE	FL	33315
504221130390	NARANJO ROSENZWEIG,JACK M		1410 SW 29 ST	FORT LAUDERDALE	FL	33315
504221130400	DIAS,SHAREL E		1400 SW 29 ST	FORT LAUDERDALE	FL	33315
504221130410	DELUCA,ALLISON G		1280 SW 29 ST	FORT LAUDERDALE	FL	33315
504221130420	LAS PROPIEDADES LLC		16445 SW 80 AVE	PALMETTO BAY	FL	33157
504221130430	DARLEY,ALICE R		1260 SW 29 ST	FORT LAUDERDALE	FL	33315
504221130440	MORRIS,DENISE R		1250 SW 29 ST	FORT LAUDERDALE	FL	33315
504221130500	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL	33301









Narrative**Fort Lauderdale Building Department**

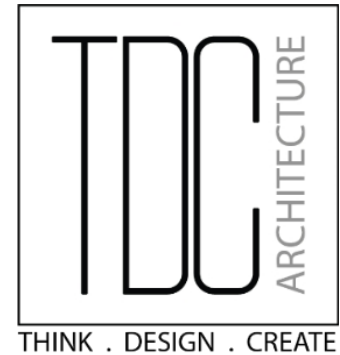
700 NW 19TH Avenue
Fort Lauderdale FL, 33311

Re: Private Residence

1400 SW 28TH Street
Fort Lauderdale, FL 33315

Permit No. BLD-RADD-23120020

Subject: Modification to the front yard setback on the second level



February 2, 2024

Dear Building Officials and Plan Reviewers,

During a recent review for the extension of this existing single-story residence to become a 2-story residence, it was brought to our attention by the reviewer that the proposed second floor could not encroach the new front yard setback as established by the city. There are similar properties on 28th street that have been allowed to expand to the existing façade. Possible examples are 1230 , 1237 , 1300 & 1400 SW 28th St)

The existing footprint of the building sits at 20.75' from the front property line. We propose to extend the second story on top of the existing first floor wall. We also propose to extend the front façade to the 5' side yard setback as to not create an oddity in the front façade. We were under the impression that there was no issue if we extended the existing walls.

It is to be noted that all residences along Southwest 28th Street have a continuous front yard setback to match the existing setback of this residence. (see image attached to this letter with a red line illustrating the front of the adjacent structures). The original front yard setback was 20.0'. Therefore we proposed to keep the visual continuity with the neighbors.

The unique hardship that requires this variance is the Fort Lauderdale Flood of April 12, 2023. The damage was significant enough to have to bring the existing structure up to code resulting in the requirement to raise the FFE and raise the height of the roof system. The existing footprint was built as a nonconforming structure according to the setbacks stated in Sec-47-5.31. The current façade is in line with the neighbors, and we would like extend this to keep the visual continuity of the street.

ULDR Sec 47-5.31 (Note A) Table of dimensional requirements for district RS-8

The second floor structure encroaches into the 25' front yard setback. The kitchen corner extension encroaches on the 5' side yard setback. The attic above the storage area encroaches into the 17.5' corner yard setback.

ULDR Sec 47-3.2.B.1 Nonconforming Structure.

A nonconforming structure may not be enlarged or altered in a way which increases its nonconformity. We need to raise the floor and roof of the existing building.

ULDR Sec 47-19.2.Y.3 Accessory buildings, structures and equipment.

The front porch is proposed to have a trellis-like structure on the sides to allow protection from the sun and weather. The front of the porch will be fully open and the back will abut the home.

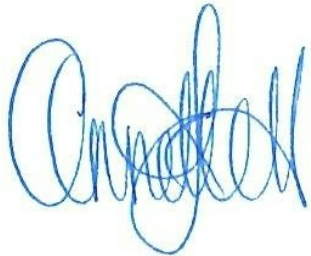
THINK . DESIGN . CREATE . ARCHITECTURE

TDC Architecture | License No. AR99677 | 954 . 918 . 7251 | www.TDCArchitecture.com

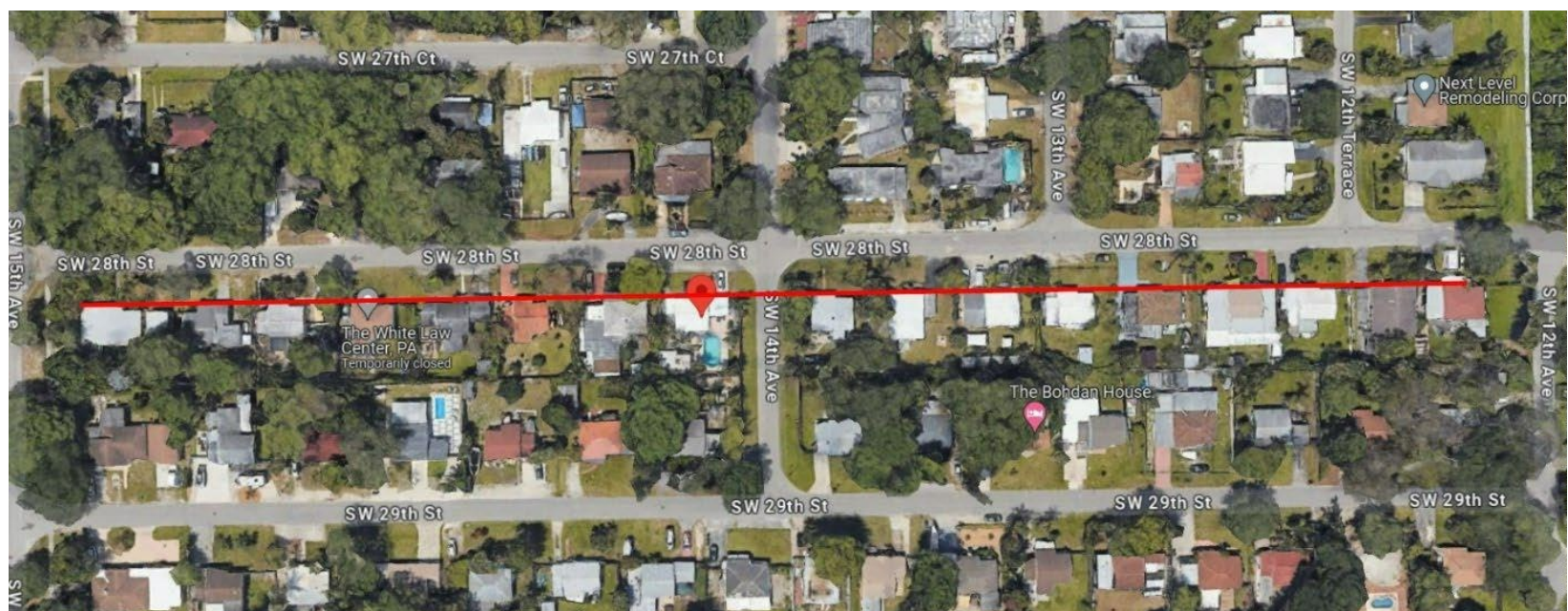
Therefore, we would like to request a 4.25' variance measured from the 25'-0 setback. This will make the new front yard setback 20.75' on both the first and second floors to match the existing footprint.

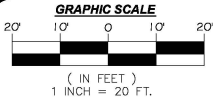
Thank You for your attention to this matter. Please contact me directly with any questions or further concerns. Please add this letter to the permanent record for the job.

Best Regards,



Annette J. Hatchard
Architect- AR99677





MAP OF BOUNDARY SURVEY

LOCATION MAP
SECTION 21, TOWNSHIP 50 SOUTH, RANGE 42 EAST
LYING AND BEING IN BROWARD COUNTY FLORIDA
(NOT TO SCALE)



LB No. 7633
PROFESSIONAL SURVEYORS AND MAPPERS
8632 SW 8 STREET, SUITE "282"
MIA, FL 33144
PHONE: (305) 556-4002 FAX: (305) 556-4003
WWW.LANDMARK-INC.COM
EMAIL: BLS@LANDMARKSURVEYING.COM

ABBREVIATIONS AND LEGEND:

A/C	=DENOTES AIR CONDITIONING UNIT
B.B.	=DENOTES BASIS OF BEARINGS
ASPH.	=DENOTES ASPHALT
P.	=DENOTES PROPERTY LINE
B.E.L.	=DENOTES BUILDING BASE LINE
B.M.	=DENOTES BENCH MARK
C.B.S.	=DENOTES CONCRETE BLOCK STUCCO
CONC.	=DENOTES CONCRETE
L.P.	=DENOTES LIGHT POLE
CB	=DENOTES CATCH BASIN
C	=DENOTES CENTERLINE
M	=DENOTES MONUMENT LINE
L.M.E.	=DENOTES LAKE & MAINTENANCE EASEMENT
D.E.	=DENOTES DRAINAGE EASEMENT
D.H.	=DENOTES DRIVE HOLE
M	=DENOTES MEASURE
WSP	=DENOTES WOOD POWER POLE
U.E.	=DENOTES UTILITY EASEMENT
P.B.	=DENOTES PLAT BOOK
P.C.P.	=DENOTES PERMANENT CONTROL POINT
P.B.B.	=DENOTES POINT OF BEGINNING
TYP	=DENOTES TYPICAL
M.H.W.	=DENOTES MEAN HIGH WATER LINE
F.F.E.	=DENOTES FINISH FLOOR ELEVATION
W.M.	=DENOTES WATER METER
CAN-TV	=DENOTES CABLE TELEVISION
W.C.	=DENOTES WASTE CONNECTION
S.M.	=DENOTES SANITARY MANHOLE
W.S.	=DENOTES WASTE
HYD.	=DENOTES HYDRANT
---	=DENOTES WOOD FENCE
---	=DENOTES CHAIN LINK FENCE
---	=DENOTES IRON FENCE
---	=DENOTES FOUND IRON PIPE (NO ID.)
---	=DENOTES FOUND NAIL AND DODG
---	=DENOTES ASPHALT PAVEMENT
X.XX	=DENOTES ELEVATIONS
---	=DENOTES BRICK
---	=DENOTES CONCRETE PAD

LEGAL DESCRIPTION:
LOT 8, BLOCK 1, OF "HIBISCUS PARK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 23, AT PAGE 29, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PROPERTY ADDRESS:
FOLIO NO. 5042-21-13-0080
1400 SW 28th STREET,
FORT LAUDERDALE, FL 33315

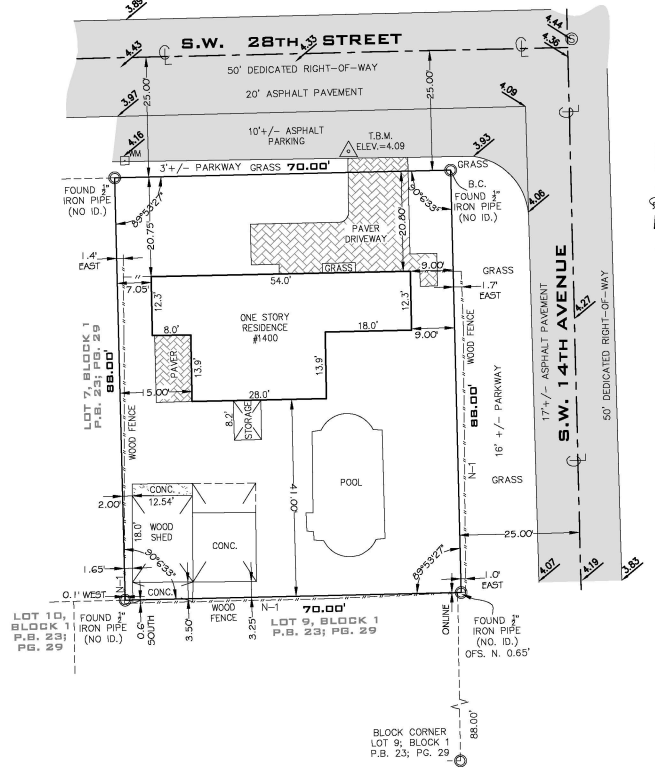
AREA OF PROPERTY: 6,160 SQUARE FEET AND/OR 0.141 ACRES MORE OR LESS.

CERTIFIED TO:
THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAME HEREON. THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.

— STELMAGH, IRINA.

SURVEYOR'S NOTES:

- 1.) THE ABOVE CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE ABOVE LEGAL DESCRIPTION PROVIDED BY CLIENT.
- 2.) THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED. IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED.
- 3.) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS BOUNDARY SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF HIS COUNTY. EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY AFFECTING THIS PROPERTY.
- 4.) ACCURACY: THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN FLORIDA MINIMUM TECHNICAL STANDARDS (GJ-17-51FAC), IS "RESIDENTIAL". THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.
- 5.) FOUNDATIONS AND/OR FOOTINGS THAT MAY CROSS BEYOND THE BOUNDARY LINES OF THE PARCEL HEREON DESCRIBED ARE NOT SHOWN.
- 6.) TYPE OF SURVEY: BOUNDARY SURVEY.
- 7.) ELEVATIONS SHOWN HEREON ARE BASED ON TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.88).
- 8.) ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD U.S. FOOT.
- 9.) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK ON THE HEREON DESCRIBED PARCEL FOR BUILDING AND ZONING INFORMATION.
- 10.) UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON. CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREON DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
- 11.) ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 12.) THE WRITTEN CONSENT OF LANDMARK SURVEYING & ASSOCIATES, INC. UNDERGROUND PORTIONS OF FOOTING, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 13.) ONLY VISIBLE AND ABOVE GROUND ENCROACHMENTS LOCATED.
- 14.) WALL TIES ARE TO THE FACE OF THE WALL.
- 15.) FENCE OWNERSHIP NOT DETERMINED.
- 16.) BASIS OF BEARINGS REFERENCED TO LINE NOTED AS B.B.
- 17.) BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD.
- 18.) NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- 19.) THE SOURCES OF DATA USED FOR THE PREPARATION OF THIS BOUNDARY SURVEY IS "HIBISCUS PARK" RECORDED IN PLAT BOOK 23, AT PAGE 29.
- 20.) THIS MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT A SCALE OF ONE INCH EQUALS 20 FEET OR SMALLER.



NOTES:
N-1= A PORTION OF THE WOOD FENCE ALONG THE WEST, SOUTH AND EAST BOUNDARY LINE, FALLS OUTSIDE THE PROPERTY LINE.

SURVEYOR'S CERTIFICATION:
I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS "MAP OF BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION, THAT IT MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.050 THROUGH 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, PURSUANT TO CHAPTER 42.02, FLORIDA STATUTE.

Digitally signed by Arturo Menéndez
Date: 2024.02.08 15:59:49-07' FOR THE FIRM
ARTURO MENENDEZ, P.S.M. P.S.M. No. 5844-STATE OF FLORIDA
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES AND/OR NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL.

MAP OF BOUNDARY SURVEY

FLOOD ZONE:	AH
ELEVATION:	6.0
COMMUNITY:	125105
PANEL:	12011C0558
DATE OF FIRM:	08/18/2014
SUFFIX:	H
ORIGINAL FIELD WORK SURVEY DATE:	05/14/2020
BENCH MARK:	N/A
ELEVATION:	N/A
DATE:	05/18/2020
DRAWN BY:	M.G.
SCALE:	1"=20'
REVISION / UPDATE OF SURVEY	
DATE:	02/01/2024
DRAWN BY:	Q DIAZ
UPDATE:	
JOB No.	2005.0076-01

BUILDING INFORMATION

CROSS LOT AREA:	6,160 S.F.	FRONT YARD SETBACK:	25.00'
STRUCTURE HEIGHT:	35 FEET	EXISTING FRONT YARD SETBACK:	20.75'
LOT WIDTH:	50 FEET	PROPOSED FRONT YARD SETBACK*	25.00'
FLOOR AREA:	1,000 S.F.		
FIRST FLOOR A/C AREA:	1,101.3 S.F.	CORNER YARD SETBACK:	25% OF LOT WIDTH BUT NOT GREATER THAN 25 FEET (70 FEET X 25% = 17.5' REQUIRED)
FIRST FLOOR A/C AREA:	47 S.F.	EXISTING CORNER YARD SETBACK:	9.00'
D TOTAL FIRST FLOOR A/C AREA:	1,070 S.F.	PROPOSED CORNER YARD SETBACK:	9.00' (NO CHANGE)
D SECOND FLOOR A/C AREA:	831 S.F.	MINIMUM SIDE YARD SETBACK:	5 FEET UP TO 22' IN HEIGHT
A/C AREA:	1,901 S.F.	EXISTING SIDE YARD SETBACK:	7.07'
FIRST FLOOR STORAGE AREA:	137 S.F.	PROPOSED SIDE YARD SETBACK:	5.00'
FIRST FLOOR COVERAGE:	1,207 S.F.		
D BUILDING COVERAGE:		MINIMUM REAR YARD SETBACK:	15.00'
/ 6,160 S.F. =	19.6%	EXISTING REAR YARD SETBACK:	41.08'
AREA RATIO		PROPOSED REAR YARD SETBACK:	41.17'
/ 6,160 S.F. =	0.31 FAR		
F.A.R. =	0.75		
BUILDING HEIGHT:	35'-0"		
D BUILDING HEIGHT:	24'-6"		

**PRIVATE RESIDENCE
RESIDENTIAL ADDITION**
1400 SW 28th STREET
FORT LAUDERDALE, FLORIDA 33315

LEGAL DESCRIPTION

FOLIO No. 5042-21-13-0080
LOT 8, BLOCK 1, OF "HIBISCUS PARK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 23, AT PAGE 29, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

INDEX OF DRAWINGS

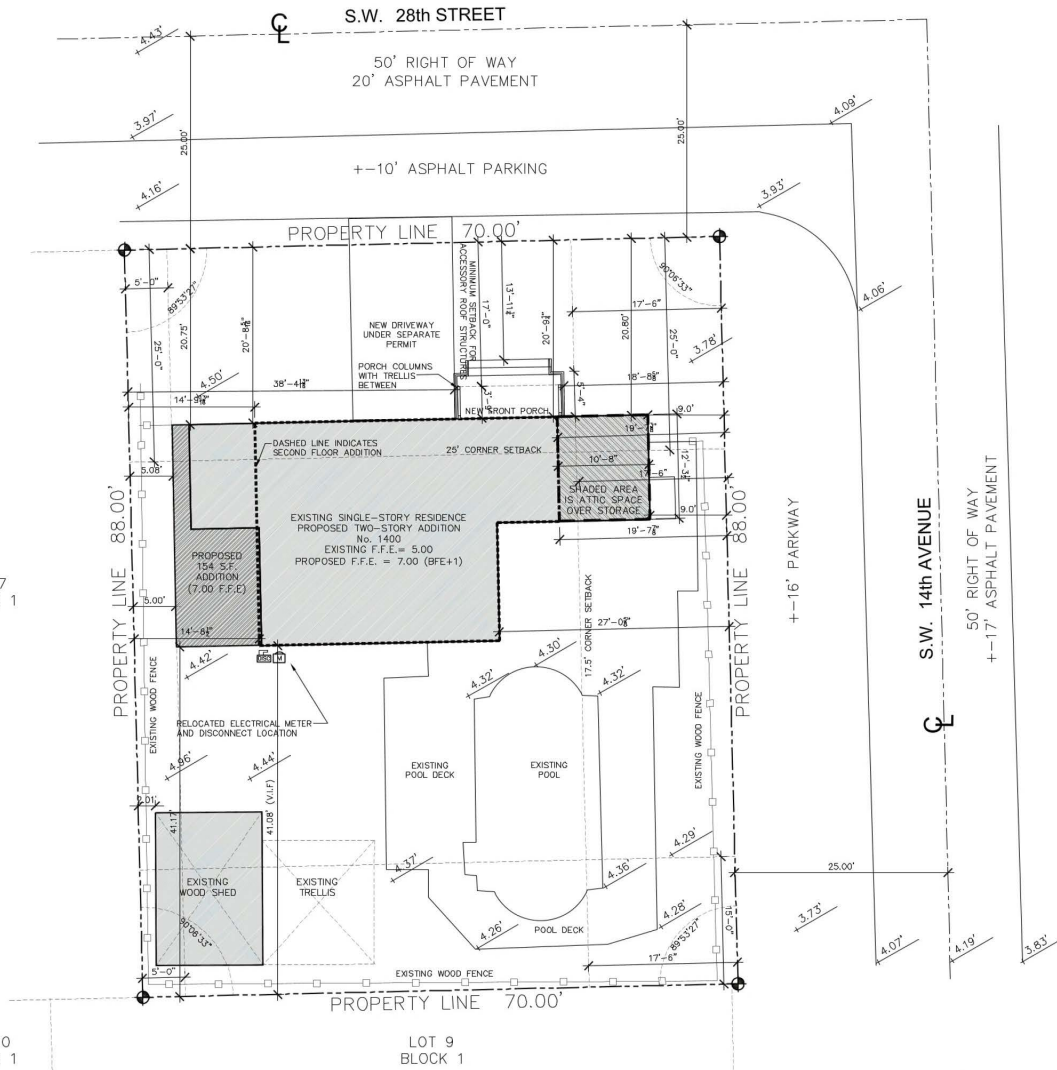
- T-1 TITLE PAGE, LOCATION MAP AND NOTES
- SITE PLAN AND NOTES
- SP-1 GRADING AND DRAINAGE PLAN AND NOTES
- SP-2 POLLUTION PREVENTION PLAN AND DETAILS
- SP-3 SITE PLAN DETAILS
- D-1 DEMOLITION PLAN AND NOTES
- A-1 PROPOSED 1ST AND 2ND FLOOR PLANS
- A-2 PROPOSED ROOF PLAN
- A-3 EXISTING ELEVATIONS
- A-4 PROPOSED ELEVATIONS
- A-5 TYPICAL WALL SECTION
- A-6 DOOR & WINDOW SCHEDULE AND NOTES
- A-7 ENLARGED BATHROOM PLANS
- A-8 ENLARGED STAIR PLANS
- M-1 MECHANICAL PLAN AND NOTES
- M-2 MECHANICAL SCHEDULES AND NOTES
- E-1 ELECTRICAL PLAN AND NOTES
- E-2 ELECTRICAL SCHEDULES, RISERS AND NOTES
- P-1 PROPOSED PLUMBING PLAN - SANITARY
- P-2 PROPOSED PLUMBING PLAN - SUPPLY
- P-3 PROPOSED PLUMBING DETAILS & NOTES

GENERAL CONSTRUCTION NOTES

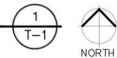
- 1. INCLUDE ALL ITEMS (BUILDING AND SITE) AS INDICATED ON THIS SET UNLESS NOTED OTHERWISE.
- 2. FEES: DEPOSITS FOR UTILITIES INCLUDING WATER METER, TELEPHONE AND CABLE SERVICE TO BE MADE BY THE GENERAL CONTRACTOR. PERMIT FEES, SHALL BE PAID BY THE CONTRACTOR FOR THAT PORTION OF THE PROJECT.
- 3. THE CONTRACTOR SHALL MAINTAIN TEMPORARY ELECTRICAL, WATER, AND SEWER LINES AS REQUIRED FOR THE DURATION OF CONSTRUCTION.
- 4. STARTING WORK, THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY REVISIONS IN THE PLANS. WRITTEN FIGURES INDICATING DIMENSIONS SHALL BE USED INSTEAD OF SCALING THE DRAWINGS. MEASUREMENTS BY SCALING ARE USED AS DIMENSIONS TO WORK BY. FIELD MEASUREMENTS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. SHOP DRAWINGS MUST BE FIELD CHECKED BY THE GENERAL CONTRACTOR.
- 5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL CODES, RULES AND REGULATIONS OF THE CITY OF FORT LAUDERDALE, FLORIDA, AND ANY RESTRICTIONS HAVING JURISDICTION. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT UPON THE OBSERVANCE OF ANY VIOLATION OF ANY APPLICABLE CODES AND ORDINANCES.
- 6. PROTECTION MATERIALS SHALL BE NEW AND SHALL BEAR UNDERWRITER'S LABELS WHERE APPLICABLE.
- 7. SUPPORTS, SHELVING, FOUNDATIONS, ANCHOR BOLTS, HANGERS, WHICH ARE NOT TO BE SUPPLIED BY A SUBCONTRACTOR FOR THE SUPPORT OR HANGING OF THEIR OWN WEIGHT SHALL BE SUPPLIED BY THE CONTRACTOR REQUIRING SAME.
- 8. ALL MATERIALS IN DESCRIPTION & AS A STANDARD FOR GRADE, TYPE, QUALITY AND CHARACTERISTICS. PROPRIETARY NAMES ARE INCLUDED WITH BRAND NAMES. THIS DOES NOT IMPLY ANY PREFERENCE TO A PARTICULAR BRAND, BUT MINIMUM REQUIREMENTS, WITH FINAL DECISIONS BEING MADE BY THE ARCHITECT AND ARCHITECT.
- 9. A SUITABLE STORAGE SPACE FOR MATERIALS TO PREVENT INCLUSION OF OILS, GREASES AND DEBRIS AT SUCH TIMES AS NOT TO INTERFERE WITH OTHERS. MATERIALS ON SITE SHALL BE KEPT IN UNOPENED, ORIGINAL OR PACKAGES THAT BEAR IDENTIFYING LABELS WHICH ARE NOT TO BE REMOVED UNTIL THEIR IMMEDIATE USE. PROTECT ALL MATERIALS FROM MINOR DAMAGE AND HANDLE MASONRY PRODUCTS WITH CARE TO PREVENT CHIPPING.
- 10. CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS FROM THE SITE AND LEAVE BUILDING BROOM CLEAN. ALL GLASS SHALL BE THOROUGHLY CLEANED. COMPLETION OF WORK. ANY PAINT BROCKS & OTHER CONSTRUCTION DEBRIS TO BE REMOVED FROM ALL FINISHED SURFACES.
- 11. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP TO BE DEFECT-FREE FOR A PERIOD OF NOT LESS THAN (1) YEAR FROM THE DATE OF COMPLETION. CORRECTION OF DEFECTS SHALL BE COMPLETED IN A TIMELY MANNER WITHOUT ADDITIONAL CHARGE. THIS SHALL INCLUDE ELEMENTS WHICH ARE SAID DEFECTS.
- 12. ALL WORK SHALL BE DOUGLAS FIR WITH A MINIMUM FIBER STRESS OF 1,000 PSI, UNLESS OTHERWISE NOTED OTHERWISE. ALL LUMBER IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
- 13. ALL WELDING FOR CONNECTING WOOD MEMBERS SHALL BE GALVANIZED. ALL OTHER METAL CONNECTORS SHALL BE GALVANIZED OR SHALL BE NON-RESISTANT.

GENERAL NOTES

- 1. CODE: FLORIDA BUILDING CODE 2020.
- 2. WIND LOADS: 7-10 FOR WIND LOADS, (170 MPH WIDESPREAD EXPOSURE "C")
- 3. STANDARDS: REFERENCE TO ASTM AND OTHER STANDARDS SHALL BE THE LATEST EDITION IN EFFECT ON THE BID DATE OR DATE OF OWNER AGREEMENT UNLESS NOTED IN THESE DOCUMENTS OR DESIGNATED DRAWING CODE.
- 4. PRIORITY: PRIORITY ON THE INDIVIDUAL STRUCTURAL DRAWINGS SHALL TAKE PRIORITY OVER GENERAL NOTES ON THIS SHEET.
- 5. REFERENCES: REFER TO THE SPECIFICATIONS FOR INFORMATION IN ADDITION TO THESE NOTES AND THE STRUCTURAL DRAWINGS.
- 6. ALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ELEVATIONS, FINISHES, NON-BEARING WALLS, CURTAIN WALLS, ELEVATORS, STAIRS, RISERS, DRAINAGE, DEPRESSIONS, RAILINGS, WATERPROOFING, FINISHES, ETC.
- 7. DISCREPANCIES: IN CASE OF DISCREPANCIES BETWEEN THE PLANS, SPECIFICATIONS, STANDARDS & GOVERNING CODE, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN. IN ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- 8. VERIFICATION: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND FINISHES BEFORE STARTING WORK, AND THE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES. IN NO CASE SHALL THE CONTRACTOR BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON THE STRUCTURAL DRAWINGS.
- 9. CONFLICTS: IN CASE OF OMISSIONS AND CONFLICTS BETWEEN THE PLANS, SPECIFICATIONS AND SITE CONDITIONS, THE ARCHITECT SHALL BE NOTIFIED BEFORE PROCEEDING WITH THE WORK.
- 10. RESPONSIBILITIES: THE CONTRACTOR IS RESPONSIBLE FOR SAFETY AND FOR THE STRENGTH AND STABILITY OF ALL PARTIALLY COMPLETED WORK.
- 11. LOADS: LOADS ON THE STRUCTURE SHALL NOT EXCEED THE DESIGN LOADS AND DESIGN CRITERIA.
- 12. TESTS: WHERE SHOP DRAWINGS, MILL TESTS, OR OTHER ITEMS ARE REQUESTED, THE CONTRACTOR SHALL MAKE THE TESTS AND REPORT THE RESULTS TO THE ARCHITECT PRIOR TO FABRICATION OF THE STRUCTURE, UNLESS SPECIFICALLY NOTED.
- 13. ALTERNATES: ALTERNATES FOR SPECIFIED ITEMS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. CONTRACTOR SHALL BUDGET FOR ARCHITECTURAL/ENGINEERING FEES ASSOCIATED WITH THE REVIEW OF THESE MATERIALS.



PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



SCOPE OF WORK

THE SCOPE OF WORK FOR THIS CONTRACT IS FOR AN INTERIOR RENOVATION AND ADDITION TO THE EXISTING SINGLE STORY SINGLE FAMILY RESIDENCE.

A NEW SECOND STORY ADDITION IS PROPOSED ON TOP OF THE EXISTING FIRST FLOOR FOOTPRINT AS SHOWN ON THE PLANS. THE FINISHED FLOOR SHALL BE RAISED TO +1' BFE.

THE INTERIOR OF THE EXISTING RESIDENCE SHALL BE DEMOLISHED BACK TO THE EXISTING MASONRY WALLS.

NEW AIR CONDITIONING UNITS AND DUCTWORK IS PROPOSED.

THE EXISTING ELECTRICAL MAIN, METER AND DISCONNECT SHALL BE REPLACED AND RELOCATED WITH NEW WIRING THROUGHOUT.

THE PLUMBING WORK CONSISTS OF ADDING NEW BATHROOMS AND RELOCATING THE KITCHEN SINK. THE NEW PLUMBING LINES SHALL CONNECT TO EXISTING SANITARY WASTE LINE.

GOVERNING CODES

- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH AN APPLICABLE CODES HAVING JURISDICTION INCLUDING BUT NOT LIMITED TO:
- FLORIDA BUILDING CODE 2020 7TH EDITION
 - FLORIDA BUILDING CODE 2020 EXISTING BUILDING
 - NFPA NATIONAL ELECTRICAL CODE
 - NFPA 101 LIFE SAFETY CODE

OCCUPANCY CLASSIFICATION

OCCUPANCY TYPE - RESIDENTIAL SINGLE FAMILY

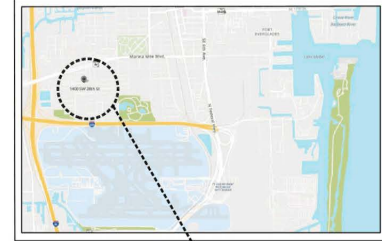
TYPE OF CONSTRUCTION

TYPE V - UNPROTECTED

EQUIPMENT NOTE

NEW ELECTRICAL OR MECHANICAL EQUIPMENT IS REQUIRED TO BE ELEVATED AT A MINIMUM OF (1) FOOT ABOVE THE FEMA BASE FLOOD ELEVATION (BFE).

LOCATION MAP



LOCATION OF EXISTING PROPERTY

TDC ARCHITECTURE
ANNETTE J. HATCHARD, ARCHITECT
STATE OF FLORIDA
REGISTRATION No. A699677

2306

THINK DESIGN CREATE

PRIVATE RESIDENCE
RESIDENTIAL ADDITION

THINK DESIGN CREATE

Drawn By: A J H
Scale: SHOWN
Date: 1
2306
Sheet:

T -



WALL LEGEND

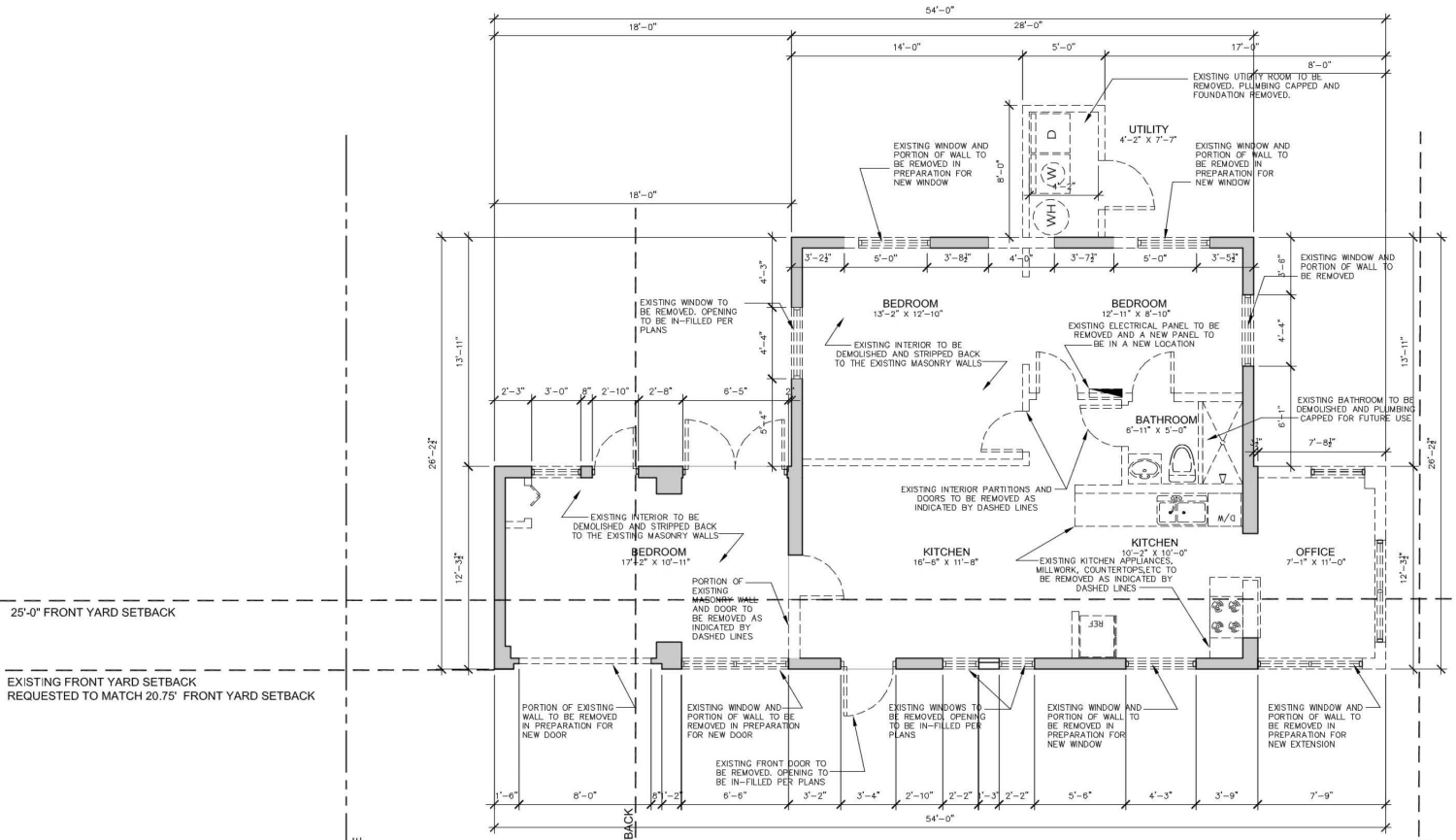
- EXISTING MASONRY WALL OR DEMISING PARTITION
- EXISTING INTERIOR PARTITION TO REMAIN
- INDICATES DEMOLITION

DEMOLITION NOTES

- CONTRACTOR SHALL BE FULLY LICENSED AND INSURED AND IN COMPLIANCE WITH ALL O.S.H.A. AND OTHER APPLICABLE STANDARDS.
- CONTRACTOR SHALL MAINTAIN STRICT COMPLIANCE WITH ALL REGULATIONS GOVERNING THE DISPOSAL OF CONSTRUCTION DEBRIS.
- CONTRACTOR SHALL MAINTAIN STRICT ADHERENCE WITH THE A.S.C. RULES FOR CONSTRUCTION TIMES AND PROCEDURES AND PROCEDURES FOR REMOVAL OF CONSTRUCTION DEBRIS.
- CONTRACTOR SHALL MAINTAIN STRICT COMPLIANCE WITH ALL CITY PROTOCOLS APPLICABLE TO DEMOLITION WORK WITHIN THE JURISDICTION AND SPECIFICALLY AT THIS SITE.
- CONTRACTOR SHALL MAINTAIN STRICT ADHERENCE WITH THE A.S.C. RULES FOR CONSTRUCTION TIMES AND PROCEDURES AND PROCEDURES FOR REMOVAL OF CONSTRUCTION DEBRIS.
- IF KNOWN HAZARDOUS MATERIALS BE DETECTED WITHIN THE DEMOLITION WORK SHALL STOP AND THE CONTRACTOR SHALL REQUEST FOR INFORMATION WITH THE ARCHITECT. WORK RESUME UNTIL WRITTEN INSTRUCTIONS ARE PROVIDED.
- IF THERE IS ANY DOUBT AS TO WHETHER A COMPONENT IS OR NON-STRUCTURAL, DEMOLITION WORK SHALL STOP AND CONTRACTOR SHALL FILE AN RFI (REQUEST FOR INFORMATION) WITH THE ARCHITECT. DEMOLITION WORK SHALL RESUME PURSUANT TO THE WRITTEN INSTRUCTIONS TO PROCEED.
- IF THE DEMOLITION OF ANY NON-STRUCTURAL COMPONENT WOULD AFFECT THE INTEGRITY OF ANY STRUCTURAL COMPONENT, DEMOLITION WORK SHALL STOP AND THE CONTRACTOR SHALL FILE AN RFI (REQUEST FOR INFORMATION) WITH THE ARCHITECT. DEMOLITION WORK SHALL NOT RESUME UNTIL WRITTEN INSTRUCTIONS ARE PROVIDED.
- FINISHES IN ALL INDICATED AREAS. STRIP AWAY ALL BACKING AND FINISHES, EXPOSING STRUCTURE BENEATH IN ALL AREAS.
- LOAD-BEARING INTERIOR PARTITIONS ONLY AS INDICATED ON THIS PLAN. REMOVE ALL RELATED CONSTRUCTION (DOORS, BUILT-INS, MILLWORK, AND SOFFITS).
- LOAD-BEARING CEILING AS INDICATED ON THIS PLAN AND REMOVE UNDERLYING STRUCTURE.
- INDICATED PLUMBING FIXTURES AND RELATED PIPING, BOTH ABOVE AND BELOW SLAB. CAP ALL EXISTING PIPING.
- REMOVE ALL ELECTRICAL COMPONENTS, WIRING, CONDUITS, PANELS, JUNCTION BOXES, ELECTRICAL FIXTURES, & RELATED DEVICES WITHIN EXISTING BUILDING ELEMENTS TO BE DEMOLISHED. CAP ALL PIPING AND CONDUITS BELOW SLAB.

DEMOLITION NOTE

PREVIOUSLY HAD A FIRE AND ALL DRYWALL AND FIXTURES WERE REMOVED. THIS DRAWING IS TO SHOW THE LOCATION OF EXISTING FIXTURES TO BE REMOVED AS WELL AS THE EXISTING WALL LOCATIONS. DASHED LINES INDICATE THE LOCATION TO THE PLAN WITH DEMOLITION NECESSARY AND PROPOSED RMT.



DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

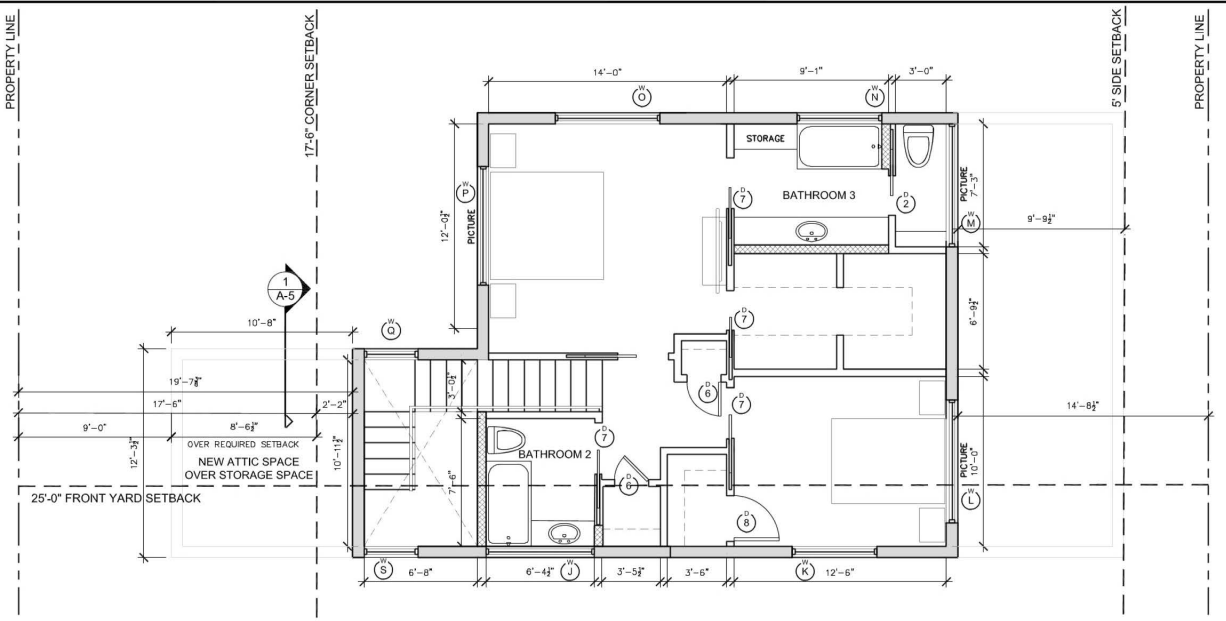


PROPERTY LINE

17'-6" CORNER SETBACK

5' SIDE SETBACK

PROPERTY LINE



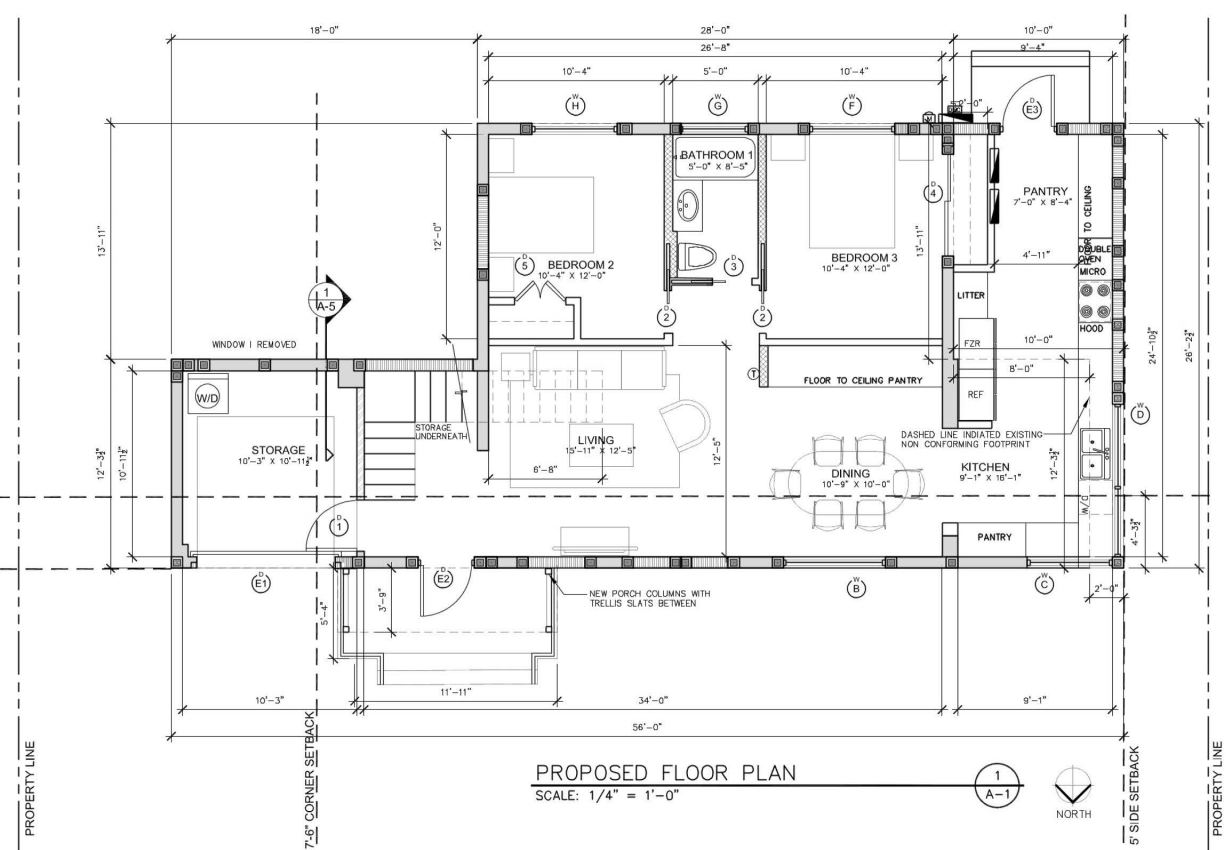
PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

2
A-1

WALL LEGEND

- EXISTING MASONRY CMU BLOCK WALL reinforced WITH FILLED CELLS PER STRUCTURAL DRAWINGS
- WALL TYPE 1 - TYPICAL MASONRY CMU BLOCK WALL WITH FILLED CELLS PER STRUCTURAL DRAWINGS
- TYPICAL INTERIOR FINISH: A MINIMUM R-4.1 FOIL BACKED INSULATION AT ALL EXTERIOR WALLS, 1/2" GYPSUM BOARD ON 1" X 3" WOOD FLOORING STRIPS AT 16" CENTERS AFFIXED WITH 1/4" X 1-1/2" WOOD SCREWS AT 24" CENTERS MAXIMUM SPACING
- TYPICAL EXTERIOR FINISH: 3/4" (3-COATS) STUCCO FINISH SMOOTH AND PAINTED WITH 2 COATS PRIMER, 2 COATS EXTERIOR PAINT (SHERWIN WILLIAMS OR APPROVED EQUAL)
- WALL TYPE 2 - GARAGE PARTITION WALL PER DETAIL 3/A-6
- 3-1/2" WOOD STUD WALL AT 16" CENTERS MAX. 5/8" GYPSUM WALLBOARD ON INTERIOR SIDE AND 5/8" GYPSUM WALLBOARD AT GARAGE SIDE
- MINIMUM WALL INSULATION SHALL BE R-15 BETWEEN GARAGE AND INTERIOR SPACE
- WALL TYPE 3 - TYPICAL PLUMBING CHASE WALL PER DETAIL 3/A-6
- 5-1/2" WOOD STUD WALL AT 16" CENTERS MAX. 1/2" GYPSUM WALLBOARD EACH SIDE
- WALL TYPE 4 - TYPICAL INTERIOR PARTITION WALL PER DETAIL 3/A-6
- 3-1/2" WOOD STUD WALL AT 16" CENTERS MAX. 1/2" GYPSUM WALLBOARD EACH SIDE



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

1
A-1



TDC ARCHITECTURE
ANNETTE J. HATCHARD, ARCHITECT
STATE OF FLORIDA
REGISTRATION NO. AR99677

2306

PRIVATE RESIDENCE
RESIDENTIAL ADDITION

REVISIONS:
1-11-24 OWNERS RELOCATED WORK

THINK DESIGN CREATE

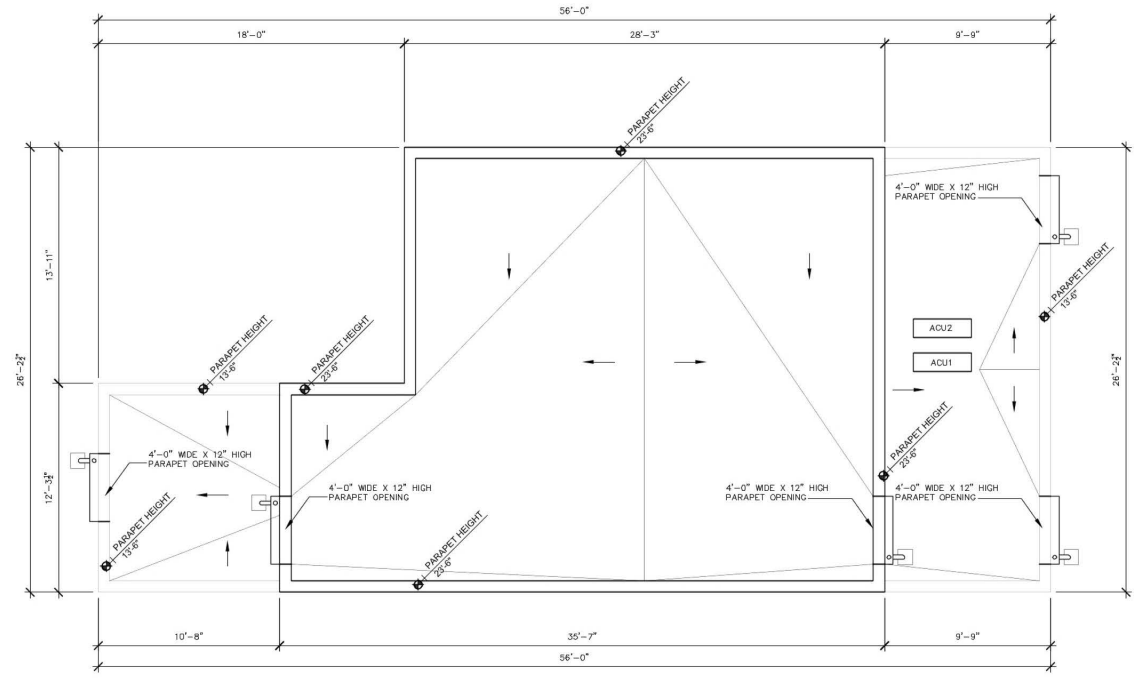
Drawn By: A J H
Scale: SHOWN
Date: 1

2306

Sheet:

A-

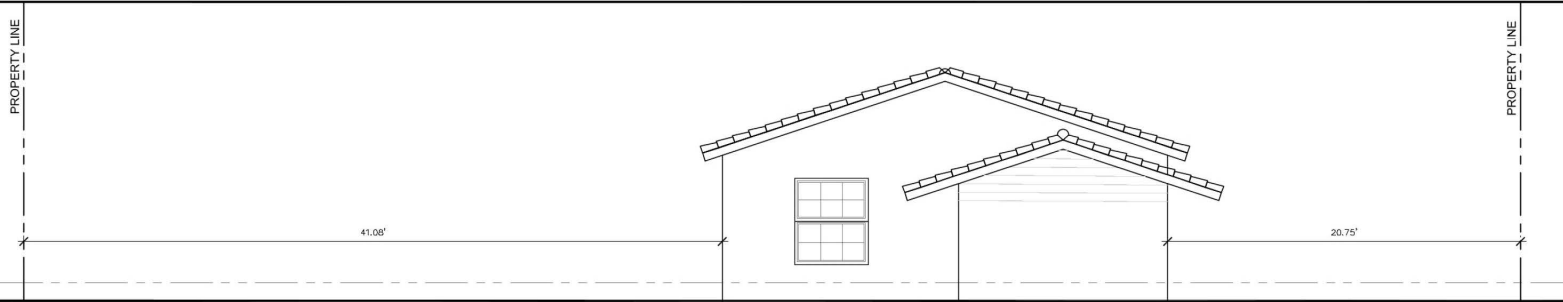
- △
- △
- △
- △
- △



PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

1
A-2





EXISTING EAST ELEVATION (SIDE)

EXISTING EAST ELEVATION (SIDE)

SCALE: 1/4" = 1'-0"

3
A-3

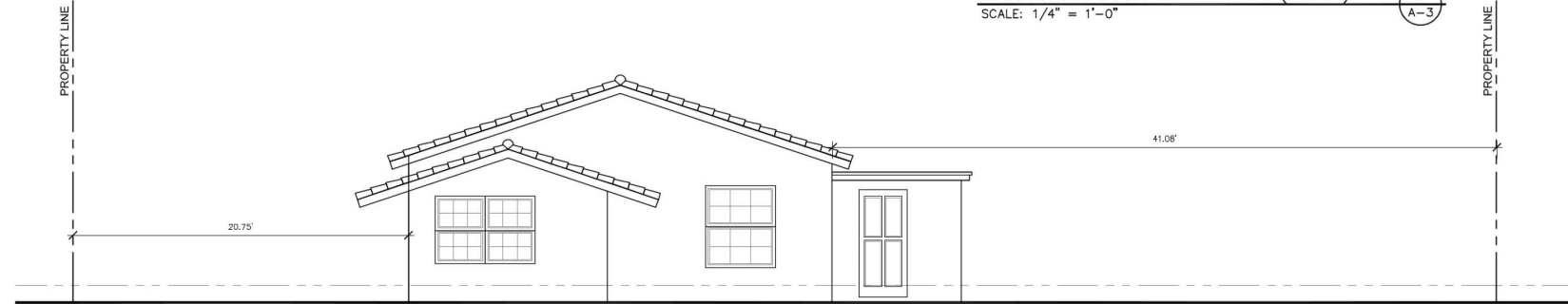


EXISTING SOUTH ELEVATION (REAR)

EXISTING SOUTH ELEVATION (REAR)

SCALE: 1/4" = 1'-0"

3
A-3



EXISTING WEST ELEVATION (SIDE)

SCALE: 1/4" = 1'-0"

2
A-3

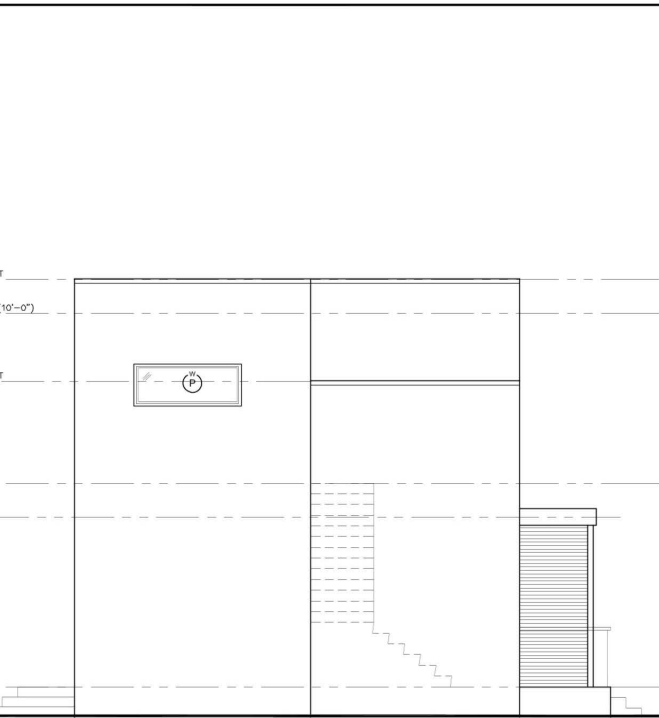


EXISTING NORTH ELEVATION (FRONT)

SCALE: 1/4" = 1'-0"

1
A-3

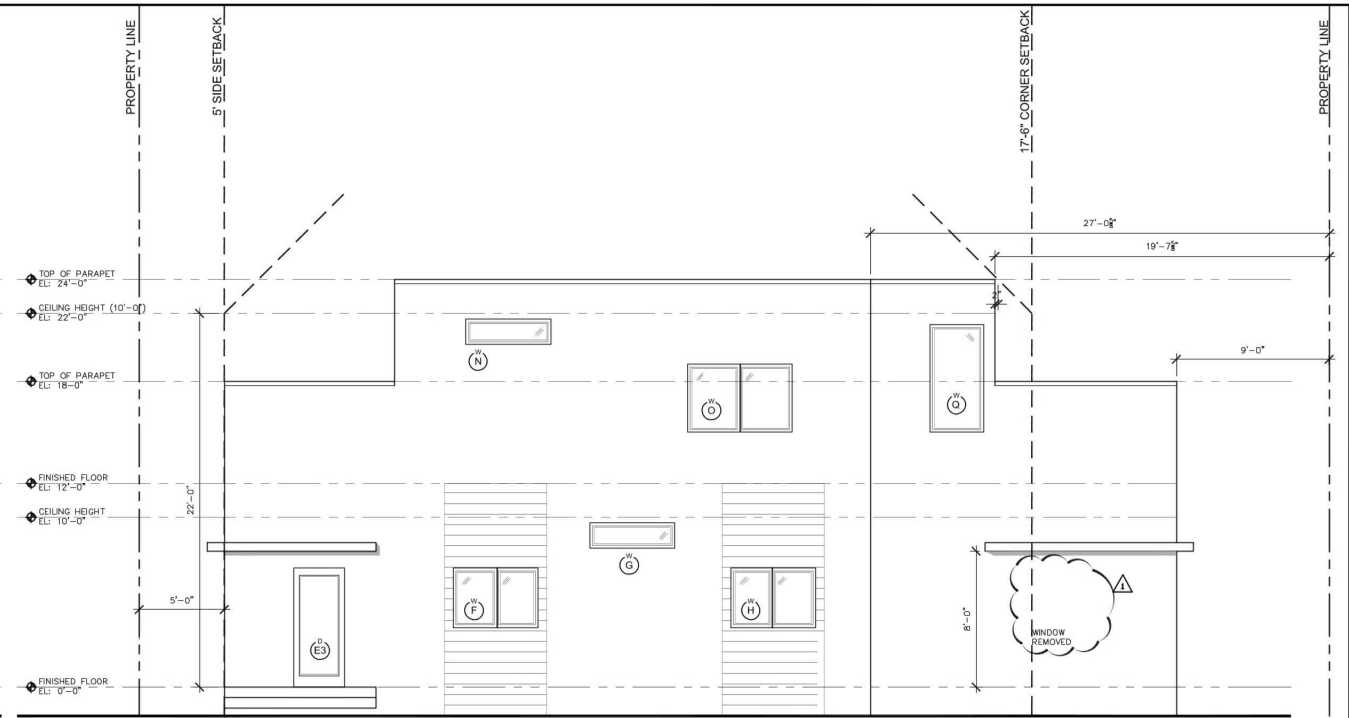
- △
- △
- △
- △
- △



PROPOSED EAST ELEVATION (SIDE)

SCALE: 1/4" = 1'-0"

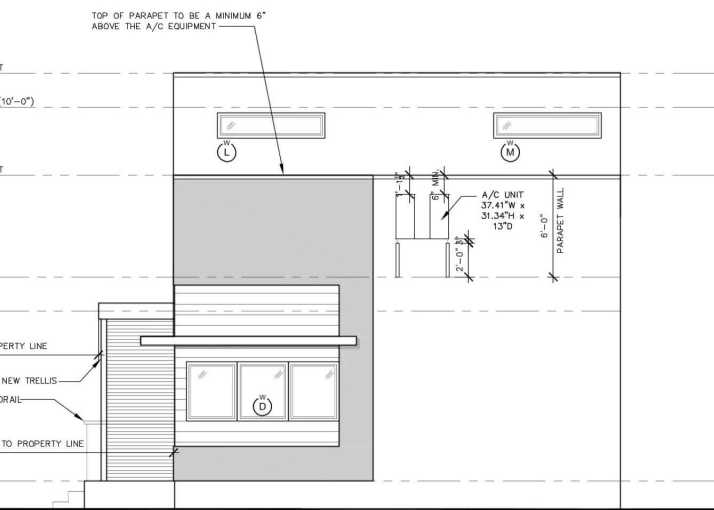
4
A-4



PROPOSED SOUTH ELEVATION (REAR)

SCALE: 1/4" = 1'-0"

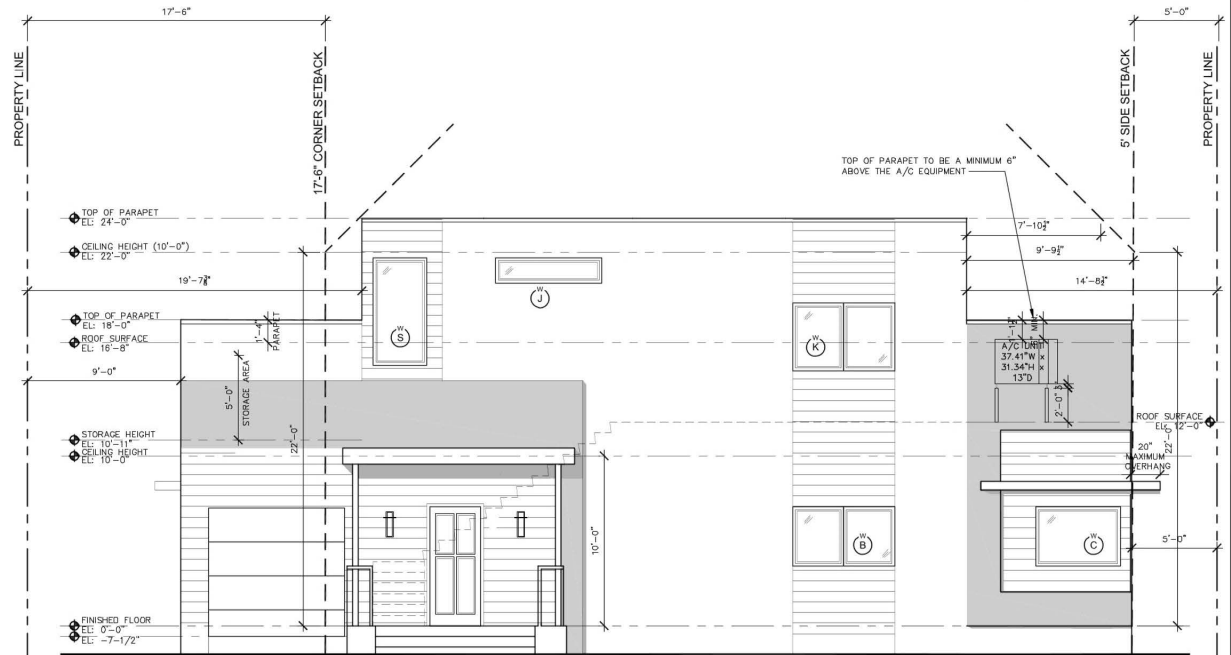
3
A-4



PROPOSED WEST ELEVATION (SIDE)

SCALE: 1/4" = 1'-0"

2
A-4



PROPOSED NORTH ELEVATION (FRONT)

SCALE: 1/4" = 1'-0"

1
A-4

TDC ARCHITECTURE
ANNETTE J. HATCHARD, ARCHITECT
STATE OF FLORIDA
REGISTRATION NO. AR99677

2306

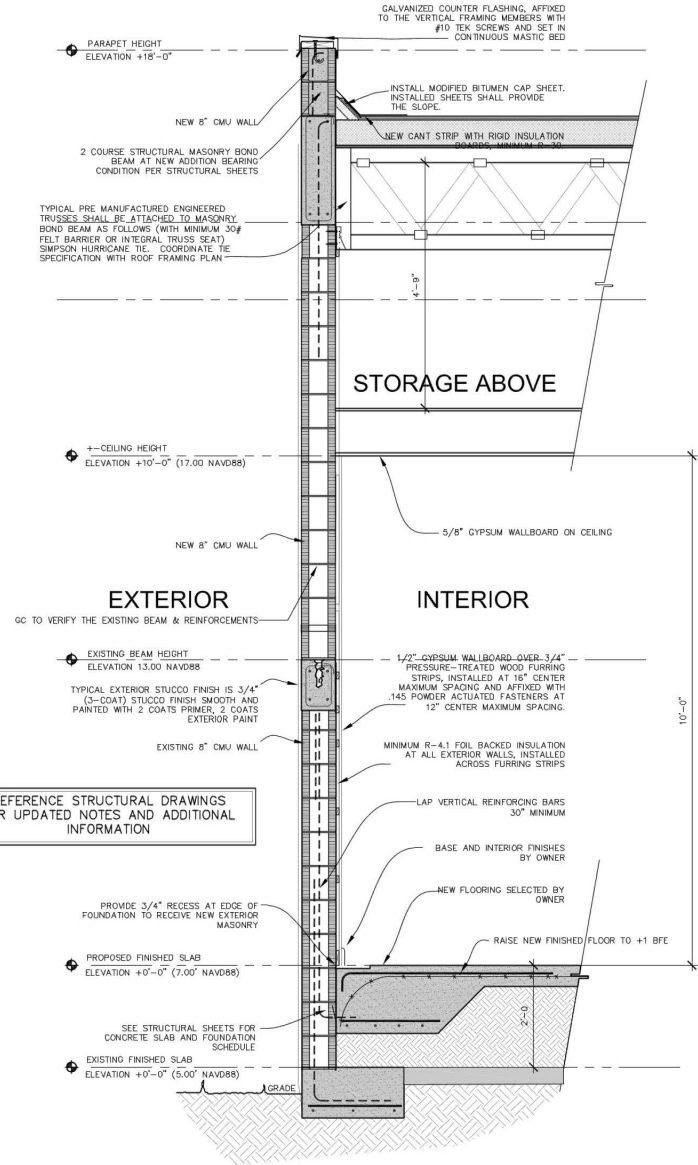
PRIVATE RESIDENCE
RESIDENTIAL ADDITION

THINK DESIGN CREATE

Drawn By: A J H
Scale: SHOWN
Date: 1

2306

Sheet: A-4



REFERENCE STRUCTURAL DRAWINGS FOR UPDATED NOTES AND ADDITIONAL INFORMATION

TYPICAL SECTION A
SCALE: 3/4" = 1'-0"

1
A-5

- ▲
- ▲
- ▲
- ▲
- ▲