



# DEVELOPMENT APPLICATION FORM

Application Form: All Applications | Rev. 01/24/2023

**INSTRUCTIONS:** The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The development application form must be filled out accurately and all applicable sections must be completed. Only complete the sections indicated for application type with N/A for those section items not applicable. Refer to "Specifications for Plan Submittal" by application type for information requirements for submittal. Select the application type and approval level in **SECTION A** and complete the sections specified.

**A APPLICATION TYPE AND APPROVAL LEVEL** Select the application type from the list below and check the applicable type.

<input type="checkbox"/> <b>LEVEL I</b> <b>ADMINISTRATIVE REVIEW COMMITTEE (ADMIN)</b> New nonresidential less than 5,000 square feet Change of use (same impact or less than existing use) Plat note/Nonvehicular access line amendment Administrative site plan Amendment to site plan* Property and right-of-way applications (MOTs, construction staging) Parking Agreements (separate from site plans) <hr/> <b>COMPLETE SECTIONS</b> B, C, D, G	<input type="checkbox"/> <b>LEVEL II</b> <b>DEVELOPMENT REVIEW COMMITTEE (DRC)</b> New Nonresidential 5,000 square feet or greater Residential 5 units or more Nonresidential use within 100 feet of residential property Redevelopment proposals Change in use (if great impact than existing use) Development in Regional Activity Centers (RAC)* Development in Uptown Project Area* Regional Activity Center Signage Design Review Team (DRT) Affordable Housing (≥10%) <hr/> <b>COMPLETE SECTIONS</b> B, C, D, E, F	<input checked="" type="checkbox"/> <b>LEVEL III</b> <b>PLANNING AND ZONING BOARD (PZB)</b> Conditional Use Parking Reduction Flex Allocation Cluster / Zero Lot Line Modification of Yards* Waterway Use Mixed Use Development Community Residences* Social Service Residential Facility (SSRF) Medical Cannabis Dispensing Facility* Community Business District for uses greater than 10,000 square feet <hr/> <b>COMPLETE SECTIONS</b> B, C, D, E, F	<input type="checkbox"/> <b>LEVEL IV</b> <b>CITY COMMISSION (CC)</b> Land Use Amendment Rezoning Plat Public Purpose Use Central Beach Development of Significant Impact* Vacation of Right-of-Way  City Commission Review Only <i>(review not required by PZB)</i> Vacation of Easement* <hr/> <b>COMPLETE SECTIONS</b> B, C, D, E, F
<input type="checkbox"/> <b>EXTENSION</b> Request to extend approval date for a previously approved application <hr/> <b>COMPLETE SECTIONS</b> B, C, H	<input type="checkbox"/> <b>DEFERRAL</b> Request to defer after an application is scheduled for public hearing <hr/> <b>COMPLETE SECTIONS</b> B, C, H	<input type="checkbox"/> <b>APPEAL/DE NOVO</b> Appeal decision by approving body De Novo hearing items <hr/> <b>COMPLETE SECTIONS</b> B, C, H	<input type="checkbox"/> <b>PROPERTY AND ROW ITEM</b> Road closures Construction staging plan Revocable licenses <hr/> <b>COMPLETE SECTIONS</b> B, C, E

\*Application is subject to specific review and approval process. Levels III and IV are reviewed by Development Review Committee unless otherwise noted.

**B APPLICANT INFORMATION** If applicant is the business operator, complete the agent column and provide property owner authorization.

<b>Applicant/Property Owner</b>	Ocean View Boruj LLC	<b>Authorized Agent</b>	Abe Borujerdi
<b>Address</b>	1842 East Oakland Park Blvd	<b>Address</b>	1842 East Oakland Park Blvd
<b>City, State, Zip</b>	Oakland Park, FL 33306	<b>City, State, Zip</b>	Oakland Park, FL 33306
<b>Phone</b>	954-739-5099	<b>Phone</b>	954-739-5099
<b>Email</b>	Info@AbelIncUsa.com	<b>Email</b>	ABorujerdi@AbelIncUsa.com
<b>Proof of Ownership</b>	Warranty Deed	<b>Authorization Letter</b>	
<b>Applicant Signature:</b>		<b>Agent Signature:</b>	

**C PARCEL INFORMATION**

<b>Address/General Location</b>	2888 East Oakland Park Blvd
<b>Folio Number(s)</b>	4942 2506 0140
<b>Legal Description (Brief)</b>	Oakland Ocean Mile 28-45 B Lot 9
<b>City Commission District</b>	
<b>Civic Association</b>	

**D LAND USE INFORMATION**

<b>Existing Use</b>	mix : 1 commercial / 6 residential
<b>Land Use</b>	Commercial
<b>Zoning</b>	CB
<b>Proposed</b>	<i>Applications requesting land use amendments and rezonings.</i>
<b>Proposed Land Use</b>	mix : 1 commercial / 6 residential
<b>Proposed Zoning</b>	CB

**E PROJECT INFORMATION** Provide project information. Circle yes or no where noted. If item is not applicable, indicate N/A.

<b>Project Name</b>	Ocean View Boruj LLC							
<b>Project Description</b> <i>(Describe in detail)</i>	Mixed Use: 1 story commercial and 6 stories residential							
<b>Estimated Project Cost</b>	\$	2,740,000	<i>(Estimated total project cost including land costs for all new development applications only)</i>					
<b>Affordable Housing</b>		30%	50%	60%	80%	100%	120%	140%
<b>Number of Units</b>								



<b>Requested Extension</b> <i>(No more than 24 months)</i>
<b>Code Enforcement</b> <i>(Applicant Obtain by Code Compliance Division)</i>

<b>Justification Letter Provided</b>
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<b>Indicate Approving Body Appealing</b>
<b>De Novo Hearing Due to City Commission Call-Up</b>

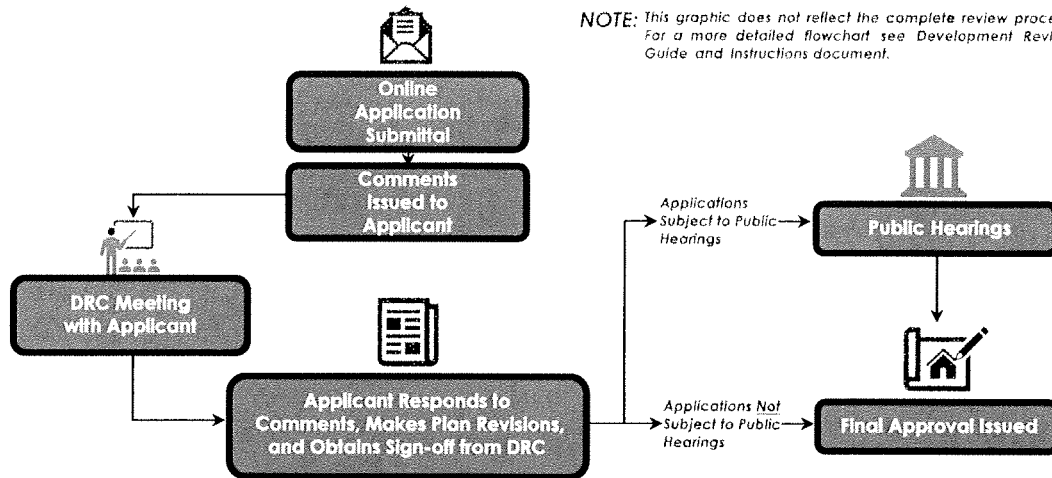
**CHECKLIST FOR SUBMITTAL AND COMPLETENESS:** The following checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide this information will result in your application being deemed **incomplete**.

- Preliminary Development Meeting** completed on the following date: 9-07-23 PROVIDE DATE
- Development Application Form** completed with the applicable information including signatures.
- Proof of Ownership** warranty deed or tax record including corporation documents and SunBiz verification name.
- Address Verification Form** applicant contact David Goodrum at 954-828-5976 or [DGGoodrum@fortlauderdale.gov](mailto:DGGoodrum@fortlauderdale.gov)
- Project and Unified Land Development Code Narratives** project narrative and the applicable ULDR sections and criteria as described in the specifications for submittal by application type.
- Electronic Files, File Naming, and Documents** consistent with the applicable specifications for application type, consistent with the online submittal requirements including file naming convention, plan sets uploaded as single pdf.
- Traffic Study or Statement** submittal of a traffic study or traffic statement.
- Stormwater Calculations** signed and sealed by a Florida registered professional engineer consistent with calculations as described in the specifications for plan submittal for site plan applications.
- Water and Wastewater Capacity Request** copy of email to Public Works requesting the capacity letter.

**OVERVIEW FOR ONLINE SUBMITTAL REQUIREMENTS:** Submittals must be conducted through the City's online citizen access portal [LauderBuild](#). No hardcopy application submittals are accepted. Below only highlights the important submittal requirements that applicants must follow to submit online and be deemed complete. View all the requirements at [LauderBuild Plan Room](#).

- **Uploading Entire Submittal** upload all documents at time the application is submitted to prevent delays in processing.
- **File Naming Convention** file names must adhere to the City's [File Naming Convention](#).
- **Reduce file size** plan sets and other large files must be merged or flattened to reduce file size.
- **Plan Sets** plan sets like site plans, plats, etc. must be submitted as a single pdf file. Staff will instruct when otherwise.
- **Document Categories** choose the correct document category when uploading.

**DRC PROCESS OVERVIEW:** The entire development review process flowchart can be found in the [Development Application Guide and Instructions](#) document. Below is a quick reference flowchart with key steps in the process to guide applicants.



**NOTE:** This graphic does not reflect the complete review process. For a more detailed flowchart see [Development Review Guide and Instructions](#) document.

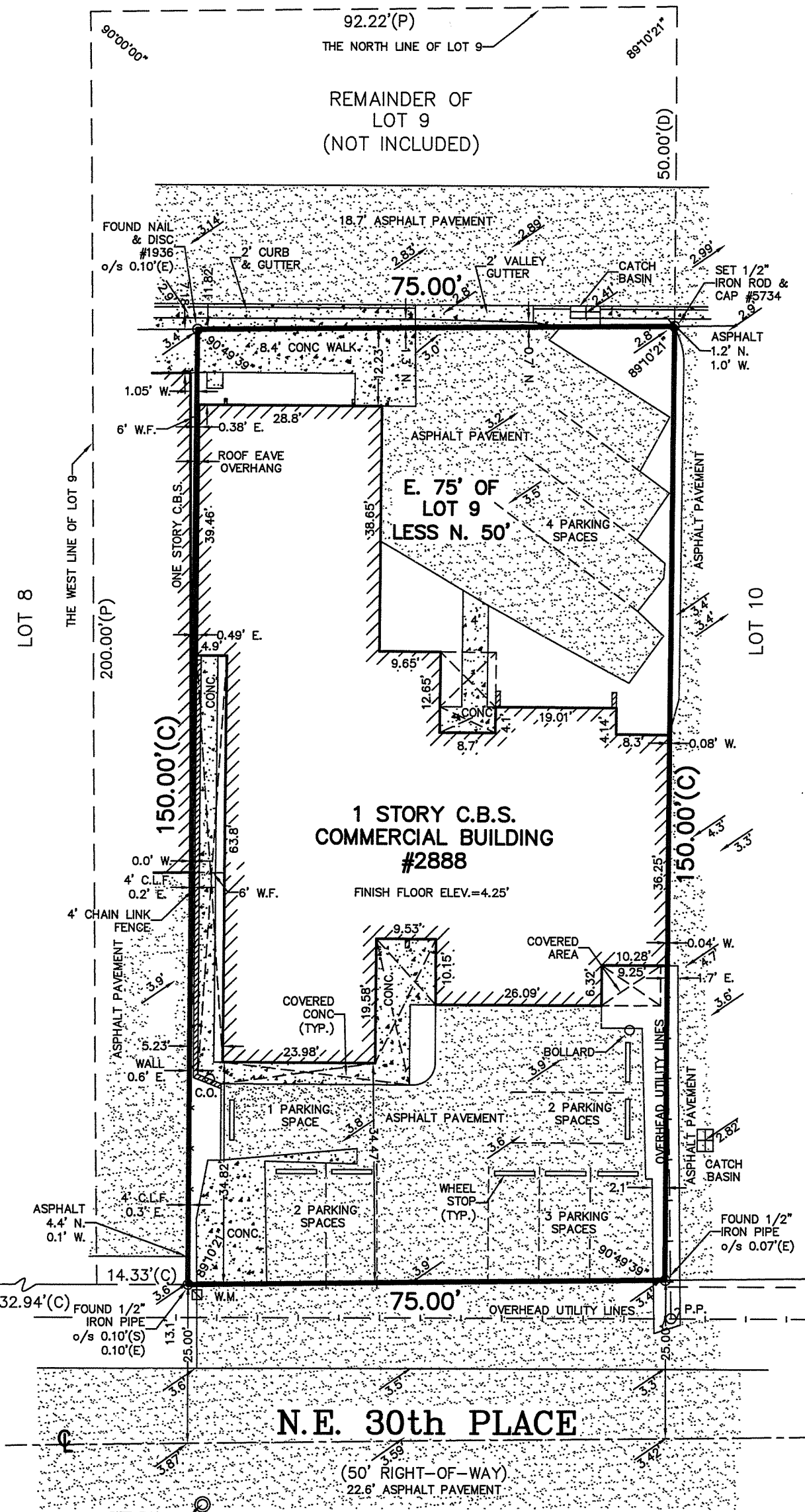
**CONTACT INFORMATION:** Questions regarding the development process or [LauderBuild](#), see contact information below.

GENERAL URBAN DESIGN AND PLANNING QUESTIONS
Planning Counter 954-828-6520, Option 5 <a href="mailto:planning@fortlauderdale.gov">planning@fortlauderdale.gov</a>

LAUDERBUILD ASSISTANCE AND QUESTIONS
DSD Customer Service 954-828-6520, Option 1 <a href="mailto:lauderbuild@fortlauderdale.gov">lauderbuild@fortlauderdale.gov</a>

# E. OAKLAND PARK BOULEVARD

(200' RIGHT-OF-WAY)



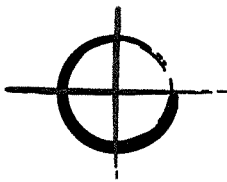
**BAYVIEW DRIVE**

## N.E. 30th PLACE

(50' RIGHT-OF-WAY)  
22.6' ASPHALT PAVEMENT

SITE B.M.  
SET NAIL  
ELEV.=3.66'

SCALE: 1" = 20'	SKETCH NO.: 23-0600
DRAWN BY: S.P.	SIDE 2 OF 2



# PINNELL SURVEY, INC.

5300 W. HILLSBORO BLVD., SUITE 215-A COCONUT CREEK, FLORIDA 33073  
PHONE(954)418-4940 FAX(954)418-4941 EMAIL: order@sfland.net  
CERTIFICATE NO.: LB6857

**SURVEY ADDRESS:**

2888 E. OAKLAND PARK BOULEVARD  
FORT LAUDERDALE, FLORIDA 33306

**CERTIFY TO:**

1. OCEAN VIEW BORUJ LLC

**FLOOD ZONE & ELEVATIONS:**

FLOOD ZONE: AE  
BASE FLOOD ELEVATION: 5'  
CONTROL PANEL NO.: 125105-0386-H  
DATE OF FIRM INDEX: 08/18/14

REFERENCE BENCHMARK:  
CITY OF FORT LAUDERDALE B.M. @  
N.E. 33RD COURT & 45 FEET EAST OF  
WEST BUILDING LINE #2841  
ELEVATION = 5.636' (NGVD 1929)  
ELEVATION = 4.051' (NAVD 1988)

**POTENTIAL ENCROACHMENTS:**

1. CONCRETE CROSSES OVER THE EASTERLY PROPERTY LINE.
2. ASPHALT PAVEMENT CROSSES OVER THE EASTERLY PROPERTY LINE.
3. 6 FOOT WOOD FENCE CROSSES OVER THE WESTERLY PROPERTY LINE.
4. 8.4 FOOT CONCRETE WALK CROSSES OVER THE WESTERLY PROPERTY LINE.

**LEGAL DESCRIPTION:**

THE EAST 75 FEET OF LOT 9, OF "OAKLAND OCEAN MILE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 28, AT PAGE 45, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS THE NORTH 50 FEET THEREOF.

**LEGEND & ABBREVIATIONS:**


A = ARC	D.E. = DRAINAGE EASEMENT	P.C. = POINT OF CURVATURE
A/C = AIR CONDITIONER	ELEV. = ELEVATION	P.E. = POOL EQUIPMENT
A.E. = ANCHOR EASEMENT	E.S. = ELECTRIC SERVICE	P.I. = POINT OF INTERSECTION
B.M. = BENCHMARK	F.P. & L. = FLORIDA POWER & LIGHT	P.R.C. = POINT OF REVERSE CURVE
B.C.R. = BROWARD COUNTY RECORDS	L.B. = LICENSED BUSINESS	P.O.B. = POINT OF BEGINNING
C.B.S. = CONCRETE BLOCK STRUCTURE	L.P. = LIGHT POLE	P.O.C. = POINT OF COMMENCEMENT
CHATT. = CHATTAHOOCHEE	M.H. = MANHOLE	P.P. = POWER POLE
C.O. = CLEANOUT	(M) = MEASURED	R = RADIUS
CONC. = CONCRETE	NAVD = NORTH AMERICAN VERTICAL DATUM	R/W = RIGHT-OF-WAY
C.L.F. = CHAIN LINK FENCE	NGVD = NATIONAL GEODETIC VERTICAL DATUM	T = TANGENT
C.L.P. = CONCRETE LIGHT POLE	NO. = NUMBER	(TYP.) = TYPICAL
(C) = CALCULATED	O.H. = OVERHANG	U.E. = UTILITY EASEMENT
C.B. = CHORD BEARING	O.R.B. = OFFICIAL RECORDS BOOK	W.F. = WOOD FENCE
C.R. = CABLE RISER	O/S = OFFSET	W.M. = WATER METER
(D) = DEED	(P) = PLAT	Δ = DELTA OR CENTRAL ANGLE
D.B. = DEED BOOK	P.B.C.R. = PALM BEACH COUNTY RECORDS	⊕ = CENTERLINE
M-D.C.R. = MIAMI-DADE COUNTY RECORDS	P.B. = PLAT BOOK	⊕ <sub>82</sub> = ELEVATION

**GENERAL NOTES:**

1. TYPE OF SURVEY: BOUNDARY
2. IF THIS SURVEY HAS BEEN REVISED AS INDICATED IN THE REVISION BOX SHOWN HEREON, THEN ANY AND ALL PREVIOUS VERSIONS OF THIS SURVEY PREPARED BY PINNELL SURVEY, INC. ARE NULL & VOID.
3. THE PROPERTY SHOWN HEREON WAS NOT ABSTRACTED FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS OF RECORD BY PINNELL SURVEY, INC. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT DEPICTED ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE COUNTY, FOR WHICH THE SUBJECT PROPERTY IS LOCATED IN.
4. UNLESS OTHERWISE NOTED, FIELD MEASUREMENTS ARE IN AGREEMENT WITH RECORD MEASUREMENTS.
5. ELEVATIONS SHOWN HEREON (IF ANY) ARE RELATIVE TO NAVD 1988, UNLESS OTHERWISE NOTED.
6. UNDERGROUND IMPROVEMENTS AND UTILITIES ARE NOT LOCATED.
7. FENCE AND WALL OWNERSHIP IS NOT DETERMINED.
8. THIS DRAWING IS THE PROPERTY OF PINNELL SURVEY, INC. AND SHALL NOT BE USED OR REPRODUCED, WHOLE OR IN PART WITHOUT WRITTEN PERMISSION & AUTHORIZATION FROM PINNELL SURVEY, INC.
9. ALL EASEMENTS SHOWN ON THE ATTACHED DRAWING ARE PER THE RECORD PLAT (UNLESS OTHERWISE NOTED).
10. REFERENCE BENCHMARK ELEVATION DATUM WAS CONVERTED FROM NGVD 1929 TO NAVD 1988 USING CORPSCON 6.0.1.

**CERTIFICATION:**

THIS IS TO CERTIFY THAT I HAVE RECENTLY SURVEYED THE PROPERTY DESCRIBED IN THE FOREGOING TITLE CAPTION AND HAVE SET OR FOUND MONUMENTS AS INDICATED ON THIS SKETCH AND THAT SAID ABOVE GROUND SURVEY AND SKETCH ARE ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE UNDER RULE 5J-17, FLORIDA ADMINISTRATIVE CODE, ADOPTED BY THE FLORIDA STATE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS. THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.



10/25/23  
JASON H. PINNELL  
PROFESSIONAL SURVEYOR & MAPPER  
LICENSE NO. 5734, STATE OF FLORIDA

**SKETCH NO.:** 23-0600**DATE OF SURVEY:** 04/11/23**CHECKED BY:** S.A.**FIELD BOOK/PAGE:** FILE**SIDE 1 OF 2**

REVISIONS	DATE	CHK'D BY
ADD SITE ELEVATIONS (23-1794)	10/23/23	K.M.
UPDATE "CERTIFY TO" PARTIES ONLY	09/11/23	





**DRC DOCUMENT SET**

- CV COVER SHEET
- SP-1 SITE PLAN
- SP-2 GENERAL NOTES
- SP-3 SITE SURROUNDINGS
- SP-4 STAGING PLAN
- SP-5 SITE DETAILS
- C-1 PAVING, GRADING, DRAINAGE PLAN
- C-2 DRAINAGE DETAILS
- C-3 DRAINAGE DETAILS
- C-3-A DRAINAGE DETAILS
- C-4 DRAINAGE DETAILS
- C-5 BEST MANAGEMENT PRACTICE
- C-6 UTILITY PLAN
- C-7 DRAINAGE NOTES AND DETAILS
- A-1.1 FIRST FLOOR PLAN
- A-1.2 SECOND FLOOR PLAN (UNITS 1,2,3)
- A-1.3 THIRD AND FOURTH FLOOR PLANS
- A-1.4 FIFTH FLOOR PLAN
- A-1.5 SIXTH FLOOR PLAN
- A-1.6 MAIN BUILDING ROOF PLAN
- A-1.7 CABANA ROOF PLAN
- A-1.8 FLOOR SAMPLE (UNITS 1,2,3,4,5,6,7,8)
- A-1.9 FLOOR SAMPLE (UNITS 9,10)
- A-1.10 FLOOR SAMPLE ( UNIT 11)
- A-2.1 NORTH / SOUTH ELEVATIONS
- A-2.2 EAST / WEST ELEVATIONS
- A-2.3 ARCHITECTURAL RENDERINGS
- A-2.4 BUILDING SECTIONS

**LANDSCAPE PLAN**

- L-1 LANDSCAPE PLAN
- L-2 EXISTING TREE DISPOSITION PLAN
- L-3 LANDSCAPE DETAILS / SPECIFICATIONS
- IR-1 IRRIGATION PLAN
- IR-2 IRRIGATION DETAILS / SPECIFICATIONS

PERMIT ISSUE:	
REVISIONS:	DATE:
1.	/
2.	/
3.	/
4.	/
5.	/



**AMERICAN BUILDING ENGINEERS**

1842 East Oakland Park Blvd.  
Fort Lauderdale, Florida 33306  
Miami: 305.681.5563  
Fort Lauderdale: 954.739.5099  
Palm Beach: 561.243.3939

Certificate of Authorization # 4732

2015 THESE PLANS AND THE INFORMATION SHOWN HEREIN ARE THE PROPERTY OF A.B.E. INC. ANY REPRODUCTION, DISCLOSURES OR USE THERE OF IN WHOLE OR PART IS EXPRESSLY PROHIBITED WITHOUT WRITTEN PERMISSION

DRAWINGS FOR:  
**OCEAN VIEW BORUJ**

**ABE BORUJERDI, P.E.**  
P.E. 38553  
PHONE: (954) 739-5099  
APPROVED SEAL/SIGNATURE

**COVER SHEET**  
2888 EAST OAKLAND PARK BLVD  
FORT LAUDERDALE, 33306

PROJECT # 23.016

SHEET #

**CV**

PRINT DATE: 11-07-2023

**OCEAN VIEW BORUJ BUILDING NARRATIVE**

OCEAN VIEW BORUJ IS A 6-STORY CONTEMPORARY RESIDENTIAL BUILDING LOCATED AT 2888 EAST OAKLAND PARK BLVD., FORT LAUDERDALE, FLORIDA 33006.

THE DESIGN UTILIZES BOTH OAKLAND FRONTAGE ROAD AND N.E 30th PL. TO GENERATE HIGH VISIBILITY. LARGE DOORS AND WINDOWS ACCOMMODATE ELEVEN (11) UNITS WITH OPEN BALCONIES, AS WELL AS HIGH CEILING COMMERCIAL SPACE. BEAUTIFUL LANDSCAPING IS PROVIDED AT FRONT, BACK AND SIDE AREAS IN ORDER TO MAINTAIN A SAFE AND COMFORTABLE ENVIRONMENT WHETHER TENANTS AND CLIENTS ARRIVE BY CAR OR FOOT.

BUILDING'S SECURITY IS ENSURED BY APPROPRIATE LOCKING DEVICES AND ADEQUATE LIGHTING. THIS ALLOWS TOTAL SITE VISIBILITY WITHIN CEPTED REQUIREMENTS.

"OCEAN VIEW BORUJ" IS DESIGNED TO OFFER COMMERCIAL SPACE AS WELL AS ALSO AFFORDABLE AND LUXURY RESIDENTIAL SPACES .

**OCEAN VIE BORUJ ADEQUACY REQUIREMENTS**

1. THIS STRUCTURE WILL NOT INTERFERE WITH THE CITY'S COMMUNICATION NETWORK.
2. ADEQUATE STORM WATER ENGINEERING IS PROVIDED.
3. THIS PROPERTY DOES NOT CONTAIN ANY ENVIRONMENTALLY SENSITIVE LANDS.
4. BUILDING IS DESIGNED WITH SPRINKLER SYSTEM AND FIRE EXTINGUISHERS.
5. CRIME PROTECTION CONSIDERATIONS ARE INCORPORATED ON SITE AND BUILDING PLANNING. LIGHTING IS 100% VISIBLE DURING EVENING HOURS. WAVE LANDING DESIGN DOES NOT HAVE HIDDEN SPOTS, AND WILL BE FULLY SECURED FROM THE EXTERIOR.
6. PORTABLE WATER AND SANITARY SEWER SERVICES ARE AVAILABLE FROM THE CITY OF FORT LAUDERDALE.
7. SOLID WASTE CONTAINMENT AREA, "DUMPSTER" IS PROVIDED.
8. BUILDING DOES NOT CREATE EXCESSIVE ROAD IMPACT ON EITHER FRONTAGE ROAD OAKLAND, NOR N.E 30th PL.

**OCEAN VIEW BORUJ**

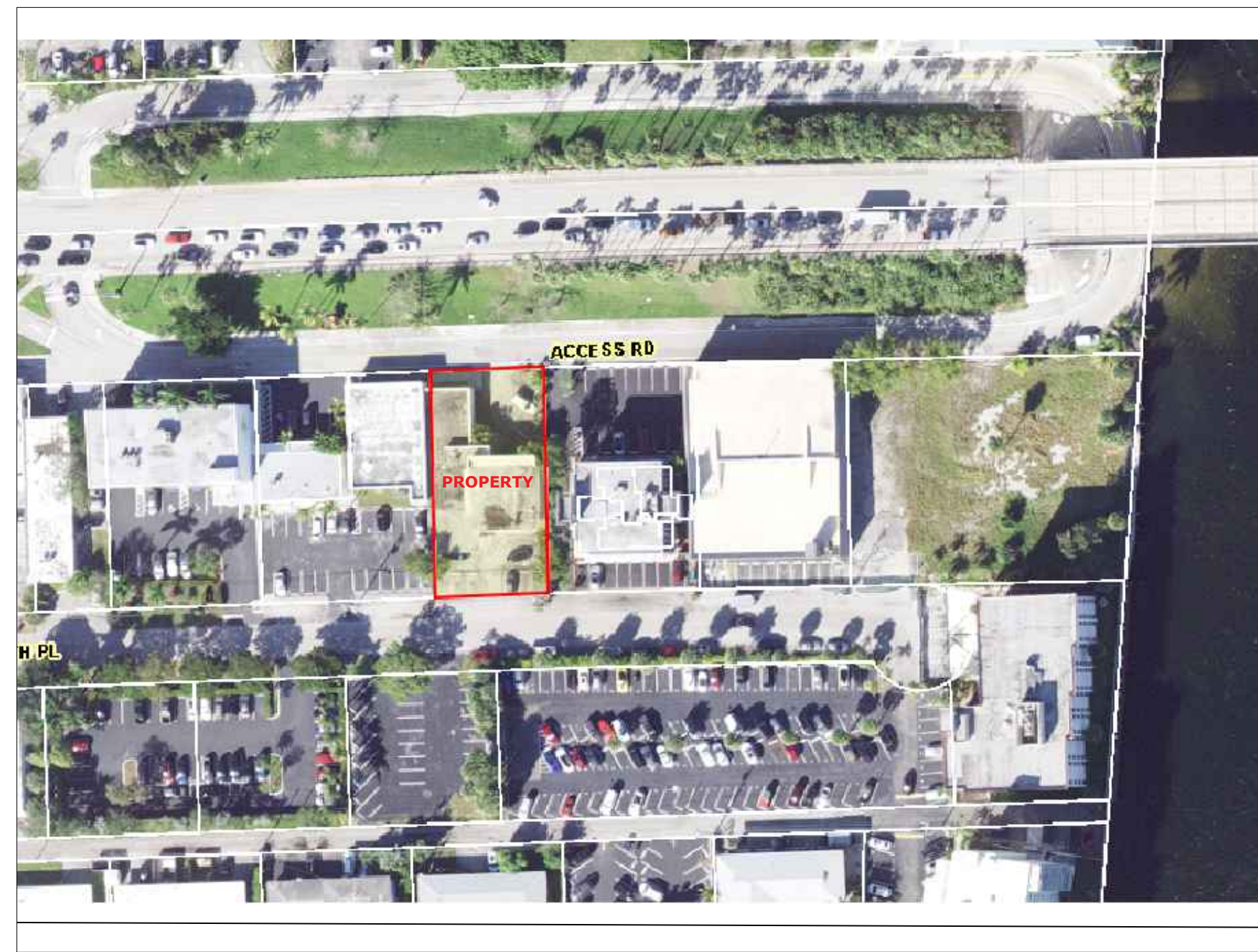
2888 EAST OAKLAND PARK BLVD  
FORT LAUDERDALE, 33306

**GENERAL NOTES**

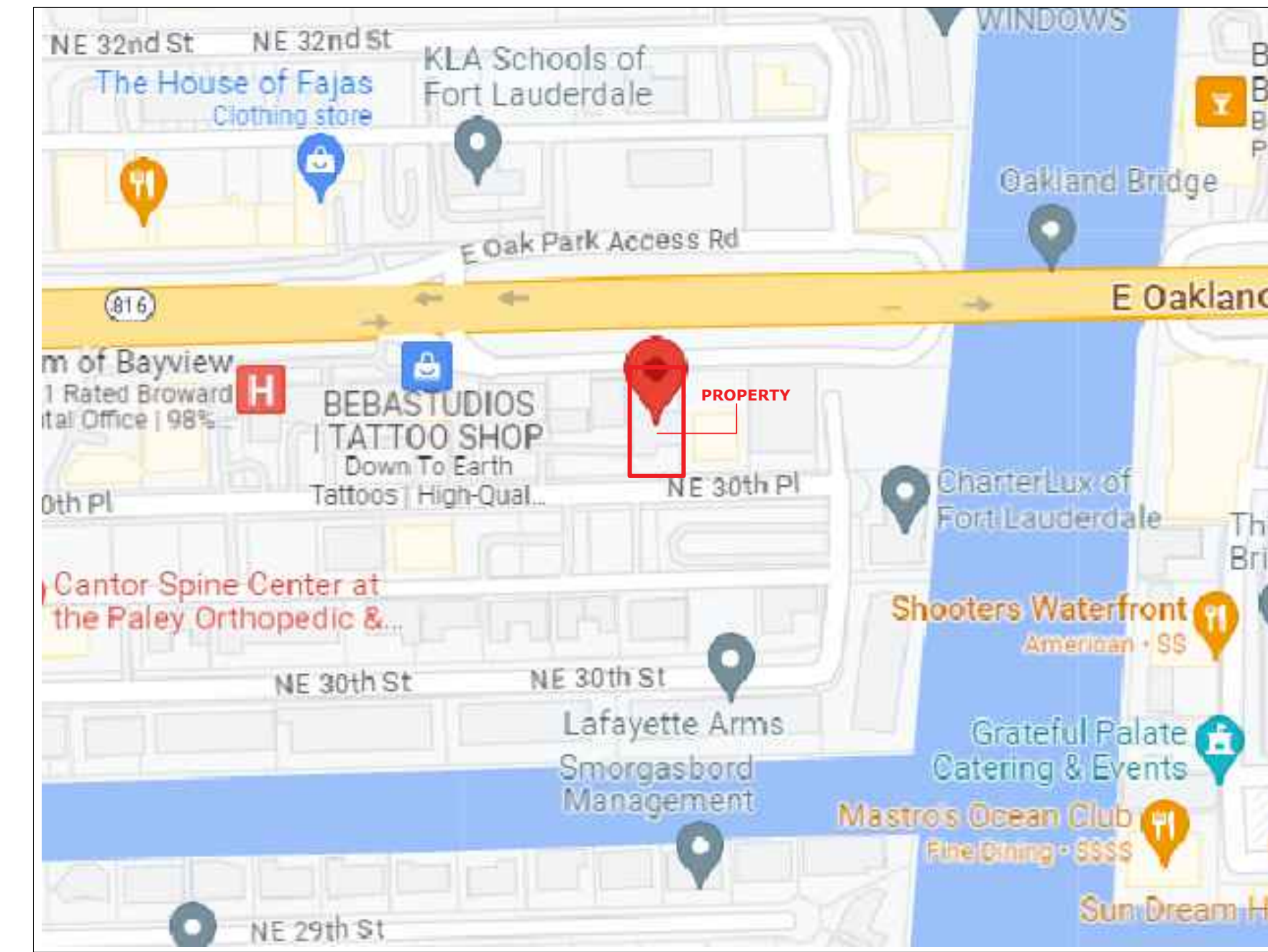
1. THE PROPOSED WORK HAS BEEN DESIGNED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY AND CITY CODES AND REGULATIONS HAVING JURISDICTION. IF ANY DISCREPANCIES EXIST BETWEEN THE PLANS/SPECIFICATIONS PREPARED BY THE DESIGNER AND THE CITY CODE AND/ OF THE CITY STANDARD DETAILS, THE LATER SHALL GOVERN OR THE MOST STRINGENT.
2. ALL VEGETATION, MUCK, AND ANY DELETERIOUS MATERIAL WITHIN THE ROW LIMITS OF ALL STREETS AND ALLEYS AND REQUIRED OFF-STREET PARKING AREAS MUST BE REMOVED AND REPLACED WITH CLEAN FILL MATERIAL, FREE OF STUMPS, LARGE ROOTS OR OTHER MATTER NOT SUITABLE FOR INCLUSION IN ROADWAY FILL.
3. ALL APPLICABLE FEDERAL, STATE, COUNTY, DRAINAGE DISTRICT AND CITY PERMITS FOR CONSTRUCTION OF PAVING, GRADING, DRAINAGE, WATER, AND SANITARY SEWER SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
4. OWNERSHIP AND MAINTENANCE OF SANITARY SYSTEM BY THE CITY IS LIMITED TO THE MAINS FROM MANHOLE TO MANHOLE AND EXPRESSLY EXCLUDES SEWER LATERAL SERVICES. THE SEWER LATERAL SERVICE FROM GRAVITY MAIN INTO THE BUILDING IS TO BE MAINTAINED BY THE PROPERTY OWNER.
5. THE FINISH SURFACE OF BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 0.04 FOOT FROM THE APPROVED GRADING PLAN (TEMPLATE) AND ALL AREAS SHALL BE GRADED TO DRAIN. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
6. THE ASPHALT SURFACE COURSE SHALL NOT BE PLACED UNTIL AS-BUILT DRAWING OF THE LIMEROCK BASE HAVE BEEN SUBMITTED AND APPROVED BY THE EOR AND THE CITY ENGINEER OR DESIGNEE.



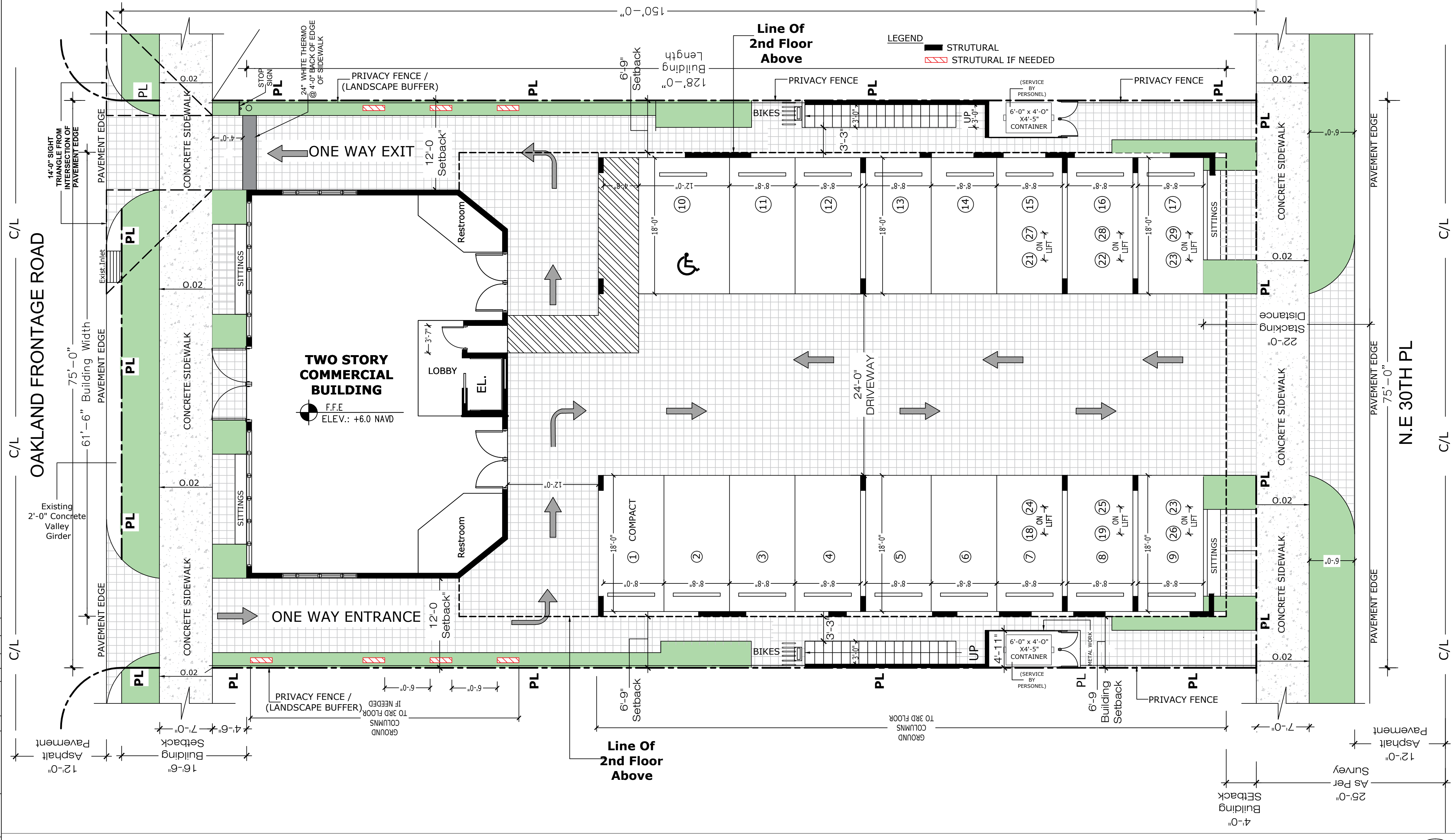
<b>LEGAL DESCRIPTION :</b>		
OAKLAND OCEAN MILE 28-45 B LOT 9 E 75 LESS N 50 FOR ST RD		
FLOOD ZONE : AE		
BASE FLOOD ELEVATION 5.00'		
OCCUPANCY :		
GROUP 'B' & 'R' MIXED USE		
CONSTRUCTION TYPE		
TYPE II * SPRINKLERED		
<b>ZONING : CB LAND USE : MI</b>		
(MIXED USE)		
<b>FOLIO NUMBR : 4942 25 06 0140</b>		
<b>BUILDING CODE:</b>		
FLORIDA BUILDING CODE 2020 (7TH EDITION) AND ASCE 7-16.		
OTHER APPLICABLE CODES		
A. 2020 FLORIDA PLUMBING CODE (7th EDITION)		
B. 2020 FLORIDA MECHANICAL CODE (7th EDITION)		
C. 2020 TEST PROTOCOLS FOR HIGH VELOCITY HURRICANE ZONES (7th EDITION)		
D. 2020 NFPA 70 NATIONAL ELECTRIC CODE (7th EDITION)		
E. FLORIDA STATE ENERGY CODE		
F. 2020 FLORIDA STATE ACCESSIBILITY CODE FOR BUILDING CONST. (7th EDITION)		
G. 2020 NFPA 101 LIFE SAFETY CODE AND ADOPTED STANDARDS (6TH EDITION)		
H. 2020 FFPC NATIONAL FIRE PREVENTION CODE (6TH EDITION)		
K. 2020 NFPA 220 STANDARD ON TYPES OF BUILDING CONSTRUCTION		
<b>SITE STATISTICS</b>		<b>DENSITY</b>
SITE: 0.25 ACRE (11,250 SQ. FT.)		DENSITY RESIDENTIAL 11/0.25 =44
LOT WIDTH : 75'-0"		DENSITY COMMERCIAL 1/0.25 =4
LOT LENGTH: 150'-0"		TOTAL DENSITY =48
BUILDING LENGTH: 129'-6"		BUILDING WIDTH :61'-6"
<b>COMMERCIAL BUILDING COVERAGE</b>		
REQUIRED	PROVIDED	
50% Ground Floor : 5,625 Sq.Ft (Excluding Ingress And Egress)	1,588 Sq.Ft (Provided only on Ground, and not including Lobby as well as Elevator area)	
Ingress and Egress Driveway : 4,023 Sq.Ft		
Ingress and Egress Staircase : 160 Sq.Ft		
Total Ingress and Egress : 4,183 Sq.Ft		
OVERALL BUILDING COVERAGE	7,983.00 SQ.FT	70.96% (F.A.R. : 0.70)
PAVERS	2,237.00 SQ.FT	19.88%
LANDSCAPE / NATURAL	1,030.00 SQ. FT.	9.16%
TOTAL	11,250.00 SQ. FT.	100%
LANDSCAPE / ROOF TOP /ARTIFICIAL	2,612.00 SQ. FT.	23.21%
<b>SETBACKS:</b>		
REQUIRED	PROVIDED	
NORTH	5'-0"*	16'-6"
SOUTH	0'-0"	4'-0"
EAST	0'-0"	6'-9" (RESIDENTIAL) 12'-0" (COMMERCIAL)
WEST	0'-0"	6'-9" (RESIDENTIAL) 12'-0" (COMMERCIAL)
* When the height of a building exceeds 9'-0" in height from the ground, that portion of the building may extend into the front yard area		
<b>PERVIOUS / IMPERVIOUS</b>		
REQUIRED	PROVIDED	
PERVIOUS	9.16% (1,030 SQ. FT.)	
IMPERVIOUS	90.84% (10,220 SQ. FT.)	
OPEN SPACE (With Sidewalk & Green Areas)	1,400 SQ.FT	
<b>BUILDING RESIDENTIAL</b>		
BUILDING HEIGHT REQUIRED : 150 FT. PROVIDED: TOP OF HIGHEST FLAT ROOF 73'-8"		
RESIDENTIAL :	4 UNITS@1,560	6,240 SQ. FT. A/C
	4 UNITS@1,650	6,600 SQ. FT. A/C
	1 UNIT @3,306	3,306 SQ. FT. A/C
	1 UNIT @3,286	3,286 SQ. FT. A/C
	1 UNIT @7,251	7,251 SQ. FT. A/C
COMMON AREA -CLUBHOUSE -AMENITIES-CABANA	8,946 SQ. FT. A/C	
BALCONIES & OPEN SPACES	2,208 SQ. FT. NON A/C	
TOTAL RESIDENTIAL BUILDING SQ.FT	37,837 SQ. FT. A/C & NON A/C	
<b>TOTAL RESIDENTIAL &amp; COMMERCIAL</b>	39,425 SQ. FT. A/C & NON A/C	
<b>PARKING</b>		
11 UNITS * B.R.	PROVIDED	
PROVIDED RESIDENTIAL PARKING	17 SPACES ON GROUND + 5.2 ON LIFT	
REQUIRED PARKING COMMERCIAL : 1 PER 800 SQ.FT / 1,588 SQ.FT	1.9 SPACES	
PROVIDED PARKING COMMERCIAL ON LIFT	6.8 SPACES	
TOTAL VEHICULAR PARKING PROVIDED ON SITE:	29 SPACES	
Lift Parking Service To Be Provided By Vallet		
<b>PARKING CALCULATIONS</b>		
REQUIRED	PROVIDED	
FLOOR 3 : 2 AFFORDABLE UNITS.	1 Per Unit	2 SPACES
FLOOR 3 & 4 : 6 MULTI FAMILY @3 B.R Each	2.1/3 B.R	12.6 SPACES
FLOOR 5 : 2 MULTI FAMILY UNITS @ 4 B.R Each.	2.2/4 B.R	4.4 SPACES
FLOOR 6 : 1 MULTI FAMILY UNIT @ 4 B.R Each	2.2/4 B.R	2.2 SPACES
TOTAL RESIDENTIAL VEHICULAR PARKING REQUIRED ON SITE:	21.2 SPACES	
TOTAL RESIDENTIAL VEHICULAR PARKING PROVIDED ON SITE:	22.2 SPACES	
(21.2 + 1 HANDICAP SPACES)		
TOTAL PARKING PROVIDED ON SITE FOR COMMERCIAL SPACE:	6.8 SPACES	
<b>TOTAL RESIDENTIAL AND COMMERCIAL PARKING PROVIDED</b>	29 SPACES	



**LOCATION MAP**  
SCALE: N.T.S.



**CONTEXTUAL MAP**  
SCALE: N.T.S.



**SITE PLAN**  
SCALE: 1/8" = 1'-0"  
1 SP-1

PERMIT ISSUE:	
REVISIONS:	DATE:
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5.	/
<b>ABE</b>	
<b>AMERICAN BUILDING ENGINEERS</b>	
1842 East Oakland Park Blvd. Fort Lauderdale, Florida 33306	
Miami:	305.681.5563
Fort Lauderdale:	954.739.5099
Palm Beach:	561.243.3939
Certificate of Authorization # 4732	
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DRAWINGS FOR: <b>OCEAN VIEW BORU</b>	
<b>ABE BORUJERDI, P.E.</b> P.E. 38553 PHONE: (954) 739-5099 APPROVED SEAL/SIGNATURE	
<b>SITE PLAN</b> 2888 EAST OAKLAND PARK BLVD FORT LAUDERDALE, 33306	
PROJECT #:	23.016
SHEET #:	SP-1
PRINT DATE:	11-07-2023



GENERAL CONSTRUCTION NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL CODES, RULES, REGULATIONS AND RESTRICTIONS OF CITY OF FORT LAUDERDALE.
2. WORK SHALL INCLUDE ALL ITEMS (TENANT IMPROVEMENT) INDICATED ON THESE DRAWINGS, UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. AMERICAN BUILDING ENGINEERS INC. (ABE) SHALL BE NOTIFIED OF ANY DEVIATION FROM THE PLANS PRIOR TO CONSTRUCTION. DRAWINGS SHALL NOT BE SCALED AND WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. CONTRACTOR SHALL MAINTAIN TEMPORARY ELECTRICAL, WATER, AND SANITARY FACILITIES FOR THE DURATION OF THE CONSTRUCTION.
5. CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS FROM THE JOBSITE AND LEAVE THE BUILDING BROOM CLEAN. ALL GLASS SHALL BE THOROUGHLY CLEANED AT THE COMPLETION OF CONSTRUCTION. ALL PAINT SPECKS AND ANY OTHER CONSTRUCTION MARKS SHALL BE REMOVED BY THE CONTRACTOR.
6. CONTRACTORS SHALL ACQUAINT THEMSELVES WITH THE SITE AND SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO ACTUAL CONSTRUCTION. ANY DEVIATION FROM THE CONSTRUCTION DOCUMENTS DISCOVERED AT THE TIME SHALL BE REPORTED BY THE CONTRACTOR IMMEDIATELY TO THE AMERICAN BUILDING ENGINEERS INC
7. ALL WORKMANSHIP SHALL BE NEAT, CLEAN, TRUE AND CORRECT.
8. FIXED GLASS, GLASS DOORS AND ALL GLASS SHALL BE TEMPERED SAFETY GLASS.

GENERAL ELECTRICAL NOTES

1. THESE PLANS AND SPECIFICATIONS MAY NOT SHOW EVERY MINOR DETAIL FOR A COMPLETE INSTALLATION BUT THEY SHOW THE INTENT OF A COMPLETE AND OPERATING ELECTRICAL SYSTEM. ANY DISCREPANCIES ON THE BID DOCUMENTS SHALL BE CALLED TO THE GENERAL CONTRACTOR OR ELECTRICAL ENGINEER'S ATTENTION FIVE DAYS PRIOR TO BID OPENING OR COMMENCEMENT OF WORK. DO NOT SCALE ELECTRICAL DRAWINGS.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL CODES, REGULATIONS AND RESTRICTIONS HAVING JURISDICTION.
3. MINIMUM WIRE SIZE SHALL BE NO. 14 A.W.G. (RESIDENTIAL) & NO. 12 A.W.G. (COMMERCIAL), EXCLUDING CONTROL WIRING. ALL CONDUCTORS SHALL BE COPPER WITH TW INSULATION FOR NO. 6 AND SMALLER, U.N.O. ALL CONDUCTORS NO. 10 AND SMALLER MAY BE SOLID, ALL THOSE 8 AND LARGER SHALL BE STRANDED. ROMEX SHALL BE ACCEPTABLE WHERE PERMITTED BY CODE.
4. ALL RACEWAYS UNDERGROUND AND/OR LARGER THAN 2" IN DIAMETER SHALL BE GALVANIZED RIGID STEEL CONDUIT OR SCHEDULE 40 P.V.C...ALL OTHER RACEWAYS SHALL COMPLY WITH GOVERNING CODES. ALL P.V.C. SHALL CONTAIN N.E.C. EQUIPMENT GROUND WIRE.
5. ALL RACEWAYS AND PIPES SPACED IN OR THROUGH ANY CONCRETE SLAB SHALL BE SPACED A MINIMUM OF 3 DIAMETERS OF THE LARGEST RACEWAY.
6. DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY, QUICK MADE, QUICK BREAK ENCLOSURES AS REQUIRED BY EXPOSURE.
7. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS. CAST ALOY WITH THREADED HUBS IN WET AND DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED LOCATIONS.
8. MOTOR STARTERS SHALL BE MANUAL OR MAGNETIC WITH OVERLOAD RELAYS IN EACH HOT LEG.
9. ELECTRICAL SYSTEM SHALL BE GROUNDED. PROVIDE PROPER SIZES AND TYPE OF PROTECTION DEVICES TO MATCH EQUIPMENT BEING SERVED.
10. LOAD DATA IS BASED ON INFORMATION GIVEN TO ARCHITECT/ENGINEER AT TIME OF DESIGN. VERIFY ALL EQUIPMENT AND PANEL SIZES PRIOR TO ORDERING.
11. ALL MATERIALS SHALL BE NEW AND BEAR U.L. AND UNION LABELS, WHERE APPLICABLE.
12. ALL WORK SHALL BE DONE BY A LICENCED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNOR. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE AND ACCEPTABLE TO THE ENGINEER/ARCHITECT.
13. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH PROGRESS OF CONSTRUCTION.
14. CONTRACTOR SHALL GUARANTEE ALL MATERIAL AND WORKMANSHIP FREE OF DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE. CORRECTIONS OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGES AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
15. CONTRACTOR SHALL PROVIDE REQUIRED INSURANCE FOR THE PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK
16. CONTRACTOR SHALL PAY ALL PERMITS, FEES, INSPECTIONS AND TESTING.
17. THE ELECTRICAL INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF FLORIDA POWER & LIGHT CORP. AND LOCAL TELEPHONE COMPANY.
18. CIRCUITS SHOWN ON PLANS ARE TO DETERMINE LOAD DATA AND PANEL SIZES. THE CONTRACTOR SHALL PROVIDE CIRCUITS AND REQUIRED ROUTING OF CONDUITS TO SUIT JOB CONDITIONS AND BALANCE LOADS.
19. FURNISH AND INSTALL FIXTURES AS CALLED FOR ON PLANS OR AS SELECTED BY OWNER.
20. FURNISH AND INSTALL DISCONNECT SWITCHES, WIRING AND CONNECTIONS ON MECHANICAL SYSTEMS SHOWN ON PLANS. CONTROLS ARE TO BE SUPPLIED BY MECHANICAL CONTRACTOR AND CONNECTED BY ELECTRICAL CONTRACTOR.
21. CHECK FOR ANY OTHER ELECTRICAL INFORMATION THAT MAY BE COVERED ON OTHER DRAWINGS OF THIS SET OF PLANS.
22. GROUND FAULT CIRCUIT PROTECTION: ALL 120V SINGLE PHASE, 15 AND 20 AMP OUTLETS INSTALLED OUTDOORS, KITCHENS, BATHROOMS AND GARAGE SHALL HAVE GROUND FAULT CIRCUIT INTERRUPTER CIRCUIT BREAKER OR RECEPTACLES.
23. ALL DISTRIBUTION EQUIPMENT SHALL HAVE A.I.C. RATING TO WITHSTAND THE AVAILABLE FAULT CURRENT SUPPLIED TO THE PROJECT.
24. INSTALL FACILITIES FOR TEMPORARY POWER FOR CONSTRUCTION AS REQUIRED.
25. ELECTRICAL CONTRACTOR SHALL NOTIFY ENGINEER/ARCHITECT IN WRITING OF ANY CONFLICT AND/OR DISCREPANCIES FOUND WITH WORK AS SHOWN, SPECIFIED OR IMPLIED ON THESE PLANS, PRIOR TO PROCEEDING WITH WORK IN QUESTION.
26. ELECTRICAL CONTRACTOR SHALL SUBMIT (4) COPIES OF LIGHTING CUT SHEETS TO OWNER FOR GENERAL REVIEW PRIOR TO ORDERING SAID FIXTURES AND EQUIPMENT
27. ELECTRICAL PANELS MUST HAVE CLEARANCE PER NEC 110.26
28. ALL RECEPTACLES THAT SERVE COUNTERTOP SURFACES IN THE KITCHEN SHALL BE GFCI PROTECTED NEC 210.8.A.6
29. ALL ELECTRICAL & MECHANICAL EQUIPMENT IS SUBJECT TO THE REQUIREMENTS OF CITY ORDINANCE CHAPTER 17 FOR NOISE CONTROL.
30. TWO SMALL APPLIANCE BRANCH CIRCUITS REQUIRED TO SUPPLY KITCHEN COUNTERTOPS NEC 210-52.B.3
31. OVERHEAD CONDUCTORS INCLUDING BROADBAND MUST MEET MINIMUM CLEARANCE REQUIREMENTS NEC 680.0
32. ARC FAULT BREAKERS REQUIRED FOR 15 OR 20 AMP CIRCUITS PER NEC ARTICLE 210.12 (A) (B)
33. RESIDENTIAL ELECTRICAL POWER & LIGHTING SYSTEMS 404.1 LIGHTING EQUIPMENT. A MINIMUM OF 75%OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICANCY LAMPS.

GENERAL PLUMBING NOTES

1. FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED FOR THE COMPLETION OF THE SOIL, WASTE, VENT, DOMESTIC WATER HEATERS PLUMBING FIXTURES AND ALL OTHER SYSTEMS AS INDICATED ON THE DRAWINGS.
2. ALL WORK AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH ALL LOCAL CODES, RULES AND ORDINANCES HAVING JURISDICTION.
3. ALL WORK SHALL BE PERFORMED BY LICENCED PLUMBING CONTRACTOR IN A FIRST CLASS WORKMAN LIKE MANNER AND MAKE THE COMPLETED SYSTEM FULLY OPERATIVE.
4. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION.
5. ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
6. CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTION, TESTS AND FURNISH AND INSTALL WATER METER.
7. ALL MATERIALS SHALL BE NEW AND SHALL BEAR UNDERWRITERS' AND UNION LABELS WHERE REQUIRED.
8. ALL WATER PIPE TO BE TYPE "L" HARD COPPER TOGETHER WITH WROUGHT COPPER SOLDER FITTINGS, OR POLYBUTYL.
9. VALVES SHALL BE SOLDER TYPE RISING STEM 135#. ALL FIXTURES TO HAVE ACCESSIBLE VALVES. PROVIDE AIR CHAMBERS AT EACH FIXTURE GROUP.
10. ALL PIPING SHALL BE SUPPORTED IN APPROVED MANNER FROM BUILDING STRUCTURE. HANGERS FOR COPPER PIPING SHALL BE COPPER OR COPPER PLATED.
11. INSTALL APPROVED DIELECTRIC UNION AT LOCATIONS WHERE DISSIMILAR PIPING IS CONNECTED TO STEEL, ETC. ALL WATER SERVICE PIPING FROM METER TO BUILDING SHALL BE OF THE SAME MATERIAL.
12. HOSE BIBBS SHALL BE FURNISHED WITH WATTS #8A VACUUM BREAKERS.
13. FURNISH AND INSTALL CONDENSATE DRAIN PIPING.
14. FURNISH AND INSTALL PRESSURE RELIEF VALVE LINE AND TERMINATE AT A LOCATION TO PROVIDE READY, VISUAL FLOW INDICATION.
15. PLUMBING FIXTURES, TRIM, ACCESSORIES AND COLORS SHALL BE AS SELECTED BY OWNER, U.N.O.
16. TEST ALL SOIL, WASTE AND VENT PIPING WITH 20' HEAD OF WATER. IF WATER LEVEL REMAINS UNCHANGED FOF A 2 HOUR PERIOD WITH SOURCES DISCONNECTED, THE SYSTEM SHALL BE CONSIDERED TIGHT.
17. TEST ALL WATER PIPING UNDER A 150# HYDROSTATIC TEST FOR A MINIMUM PERIOD OF 2 HOURS.
18. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE. CORRECTIONS OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE.
19. THE CONTRACTOR SHALL COMPLETELY FAMILIARIZE HIMSELF/HERSELF WITH ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT AND/OR ENGINEER OF ANY CHANGES REQUIRED DUE TO SUCH CONDITIONS, BEFORE PROCEEDING WITH THE WORK.
20. CUT ALL OPENINGS AND CHASES REQUIRED TO ACCOMMODATE THE WORK REQUIRED AND REPAIR ALL FLOORS, WALLS, ETC. DAMAGED BY CUTTINGS. ALL WORK DONE UNDER THIS HEADING MUST CONFORM IN EVERY RESPECT TO FINISH AND QUALITY OF MATERIALS AND WORKMANSHIP UNDER APPROPRIATE SECTIONS OF THE BUILDING.
21. VERIFY ALL DIMENSIONS WITH STRUCTURE PRIOR TO ANY FABRICATION.

PERMIT ISSUE:	
REVISIONS:	DATE:
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**AMERICAN BUILDING ENGINEERS**

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Fort Lauderdale, Florida 33306  
Miami: 305.681.5563  
Fort Lauderdale: 954.739.5099  
Palm Beach: 561.243.3939

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DRAWINGS FOR:  
**OCEAN VIEW  
BORU**

**ABE BORUJERDI, P.E.**  
P.E. 38553  
PHONE: (954) 739-5099  
APPROVED SEAL/SIGNATURE

**GENERAL NOTES**

**2888 EAST OAKLAND PARK BLVD  
FORT LAUDERDALE, 33306**

PROJECT #: 23.016

SHEET #:

**SP-2**

PRINT DATE: 11-07-2023

**GENERAL NOTES**

1  
SP-2



PERMIT ISSUE:	
REVISIONS:	DATE:
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DRAWINGS FOR:  
 OCEAN VIEW  
 BORU

**ABE BORUJERDI, P.E.**  
 P.E. 38553  
 PHONE: (954) 739-5099  
 APPROVED SEAL/SIGNATURE

SITE SURROUNDINGS  
 2888 EAST OAKLAND PARK BLVD  
 FORT LAUDERDALE, 33306

PROJECT #: 23.016

SHEET #:

SITE SURROUNDINGS  
 N.T.S. 3  
SP-3

**SP-3**

PRINT DATE: 11-07-2023



# GENERAL NOTES ALL PHASES:

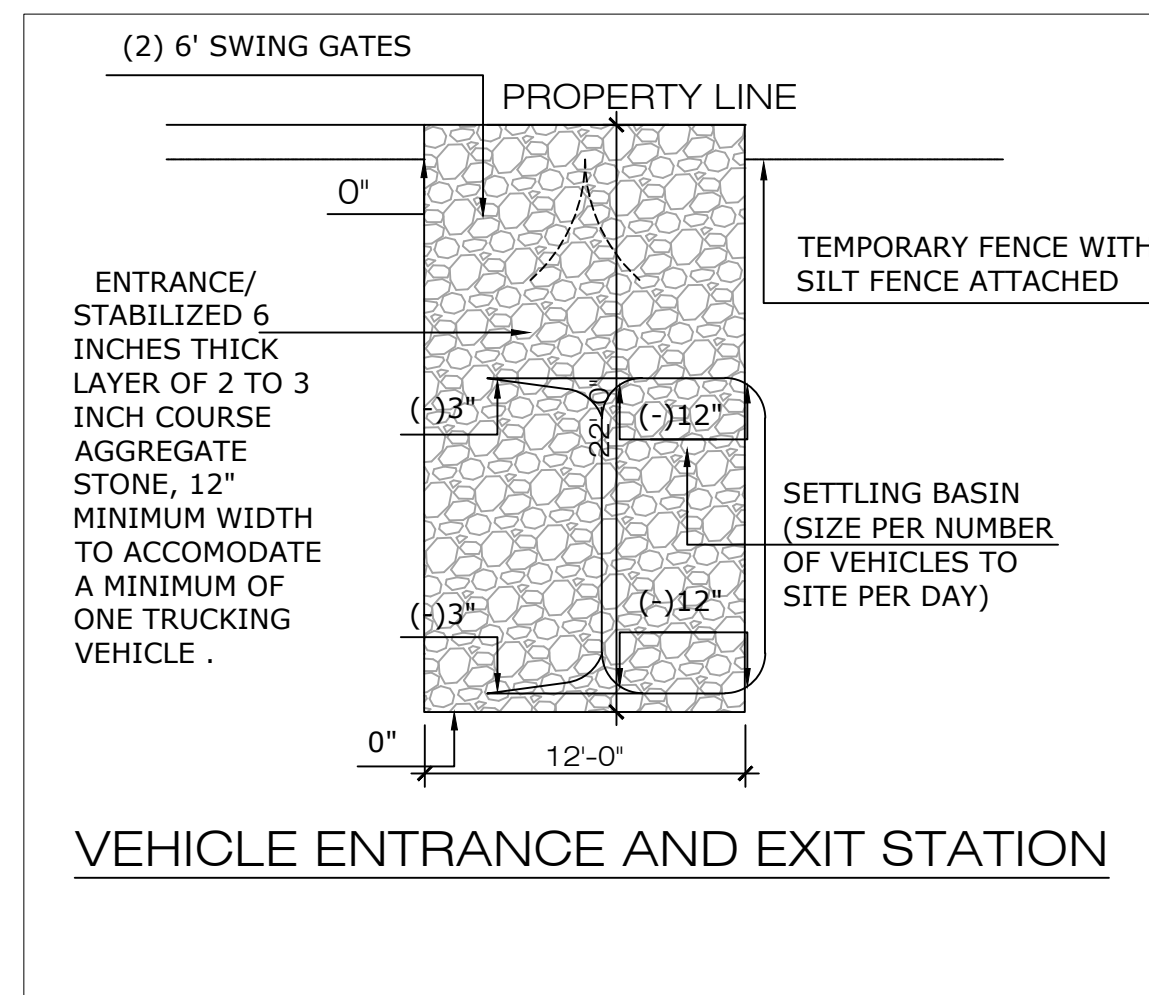
1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO MAINTAIN MINIMUM LIFE SAFETY REQUIREMENTS THROUGH-OUT ALL PHASES OF THE DEMOLITION AND WORK.
2. PROVIDE AND MAINTAIN ADEQUATE UNOBSTRUCTED EXITS FROM THE STRUCTURES AND PROPERTY DURING DEMOLITION AND CONSTRUCTION OF THE BUILDINGS.
3. PROVIDE ADEQUATE FIRE EXTINGUISHERS THAT ARE TAGGED AND CERTIFIED ON SITE.
4. EMERGENCY CONTACT, ADDRESS AND PHONE NUMBERS SHALL BE POSTED.
5. ALL UTILITIES TO BE TURNED OFF AND ABANDONED PRIOR TO WORK.
6. ROLLING GATES TO REMAIN OPEN DURING HOURS OF BUSINESS OR CONSTRUCTION.

# PLAN 1 NOTES :

1. PROVIDE TEMPORARY 6 FT. HIGH SEMI-OPAQUE CHAIN LINK FENCING AROUND FRONT OF SITE DURING CONSTRUCTION AND DEMOLITION TO KEEP THE GENERAL PUBLIC FROM CONSTRUCTION AREA. PROVIDE 14 FT. SWINGING GATE @ INGRESS AND EGRESS LOCATIONS AS SHOWN.
2. RELOCATE OR DEMOLISH EXISTING TREES AND PALMS PER LANDSCAPE REQUIREMENTS.
3. DEMOLISH ALL HARD SURFACES IN LOT 9
4. INSTALL 24" HIGH FILTER FABRIC SILT FENCE AROUND ENTIRE PERIMETER FOR EROSION CONTROL.
5. INSTALL FILTER FABRIC TUBES AT ALL ROW CATCH BASINS AND STORM INLET COVERS PER FIELD CONDITIONS.
6. PROVIDE TEMPORARY POWER, ELECTRIC AND TOILET FACILITIES .
7. SET UP TEMPORARY GRAVEL AREA'S W/ POSITIVE DRAINAGE FOR STAGING AREA AND VEHICLE WASH OFF AREA.
8. SET UP A NEW 12' X 56' CONSTRUCTION TRAILER.
9. ENTIRE NORTH SIDE OF LOT 9 TO BE USED FOR STAGING AND STORAGE DURING CONSTRUCTION OF NEW SIX (6) STORY RESIDENCE.
10. SET UP PORTABLE RESTROOMS FOR MEN AND WOMEN.
11. SET UP TRASH CONTAINERS FOR CONSTRUCTION DEBRIS.

# PLAN 2 NOTES :

1. ALL UTILITIES FOR STRUCTURES 2888 EAST OAKLAND PARK TO BE TURNED OFF AND ABANDONED.
2. RELOCATE OR DEMOLISH EXISTING TREES OR PALMS PER LANDSCAPE REQUIREMENTS.
3. INITIATE CONSTRUCTION OF THE SIX (6) STORY RESIDENTIAL BUILDING .
4. WHEN AVAILABLE ABONDON LARGER TRASH CONTAINER AND SURFACE PARKING AREA WESTERN PORTION OF LOT 9.
5. CONCRETE TRUCK STAGING TO BE ON 2888 EAST OAKLAND PARK ADJ. TO SITE FOR MULTIPLE POURS USES.



# POLLUTION PREVENTION NOTES

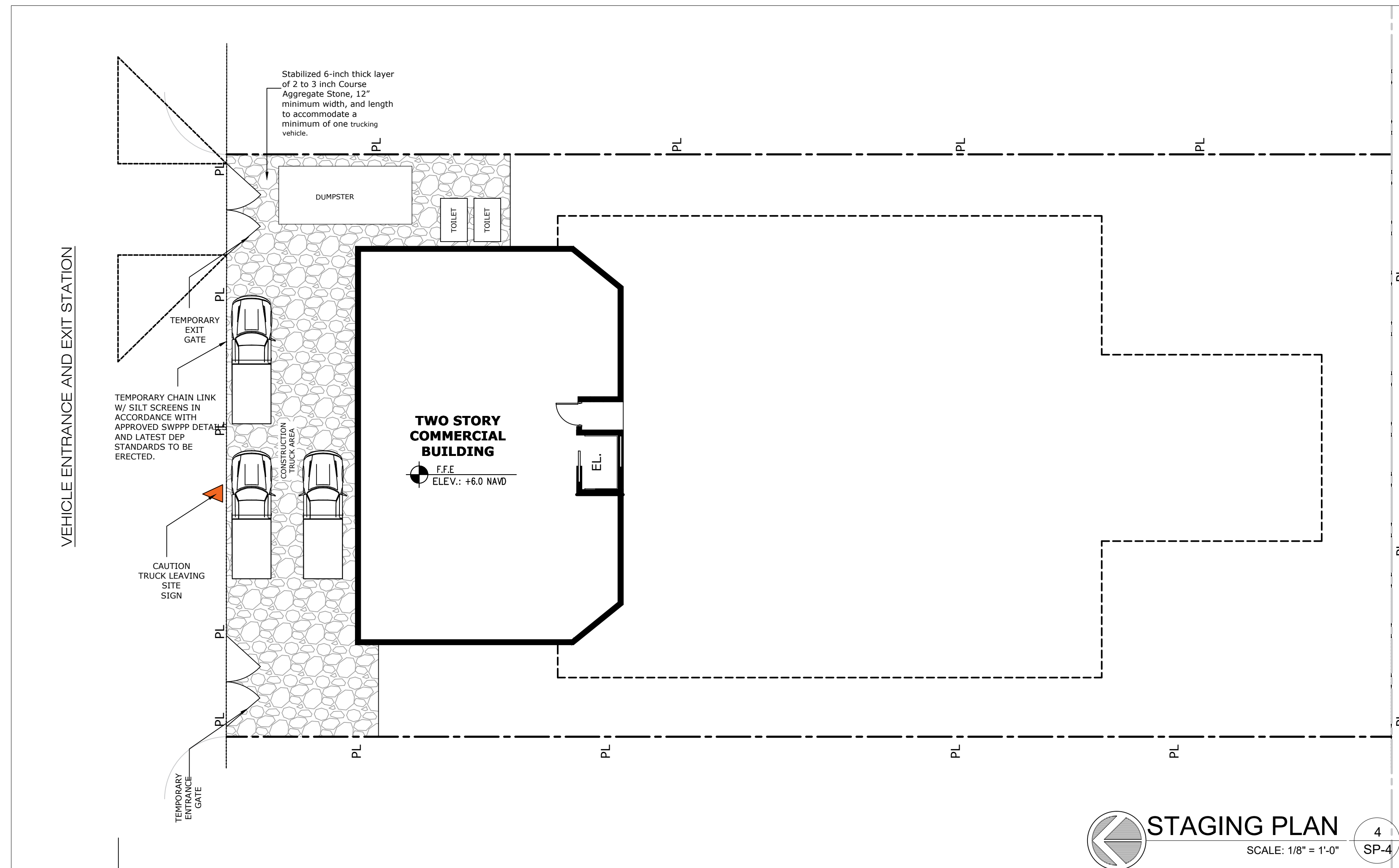
1. Contractor shall adhere to of the National Pollution Discharge Elimination System (NPDES) requirements. The contractor shall institute Best Management Practices (BMPs) to ensure compliance with the NPDES program and to minimize the impact to public stormwater facilities. A Notice of Intent (NOI) shall be filed prior to start construction activities.
2. Prior to demolition activities, a silt fence in accordance with the approved SWPPP details and latest DEP standards shall be erected around the site property lines. all public inlets surrounding the site to be protected by the installation of filter fabric into the frame and grate or other approved BMPS to protect against storm runoff.
3. Pollution control installations, as approved and shown in the SWPPP, will be maintained throughout demolition and construction periods until the project is completed and approved by city engineering inspector or project engineer.
4. Contractor to inspect the pollution control devices daily for signs of malfunction, failure, or needed repairs, and to make remedial actions immediately upon discovery.
5. Existing stormwater inlets, catch basins, or manholes, onsite and offsite, shall be protected from sediment storm runoff from the proposed demolitions and construction activities
6. Contractor shall immediately remove all mud, dirt, or other materials tracked or spilled onto existing roads and facilities due to demolition or construction activities from the proposed development.
7. In order to minimize the amount of sediments, mud, and dust transported onto public roadways by the construction vehicles or runoff, the contractor to install stabilized temporary construction entrance(s) from the construction site as recommended by FDEP. each temporary construction entrance is a stabilized 6-inch thick layer of 2 to 3 inch course aggregate stone, 12" minimum width, and length to accommodate a minimum of one trucking vehicle.
  - the entrance shall be maintained periodically as conditions demand in a condition that will prevent tracking or flowing of sediments onto public rights of way. sediment shall be trapped in cleanout areas and properly handled as onsite debris per applicable state regulations.
  - when necessary, vehicle wheels shall be cleaned prior to entrance onto public right-of-way.
  - all materials spilled, dropped, washed or tracked from vehicles onto roadways or into public storm drains must be removed by the contractor immediately.
  - trucks shall not 'cut corners' where the construction exit meets the roadways.
  - sweeping of public roadways shall be done periodically as condition demand

8. Contractor shall provide an erosion and sedimentation control inspector to inspect all points of discharge into nearby waterbodies to record the condition of discharge points, integrity of silt fence and pollution control devices, dust control measures, vehicular traffic and construction material storage and disposal. Written record of all inspections shall be stored by the contractor during demolition and construction periods and shall be submitted to City inspectors upon request.

The inspection report shall include at a minimum the following information:

- i. Name of inspector and his/her qualifications in erosion and sedimentation control
- ii. Date of the inspection
- iii. Rainfall rate
- iv. Observations about the SWPP
- v. Actions taken by contractor for all incidents of noncompliance with permit(s)
- vi. Certification that the facility is in compliance with the SWPP and permit(s)

If dewatering activities are anticipated, a notarized City dewatering affidavit shall be filed at City's building department when submitting a demolition or foundation permit along with any applicable dewatering permit from regulatory agencies such as the South Florida Water Management District or Broward County Department of Environmental Protection.



**STAGING PLAN**  
SCALE: 1/8" = 1'-0"  
4  
SP-4

PERMIT ISSUE:	
REVISIONS:	DATE:
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**AMERICAN BUILDING ENGINEERS**  
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APPROVED SEAL/SIGNATURE

**STAGING PLAN**  
2888 EAST OAKLAND PARK BLVD  
FORT LAAUDERDALE, 33306

PROJECT #: 23.016

SHEET #:

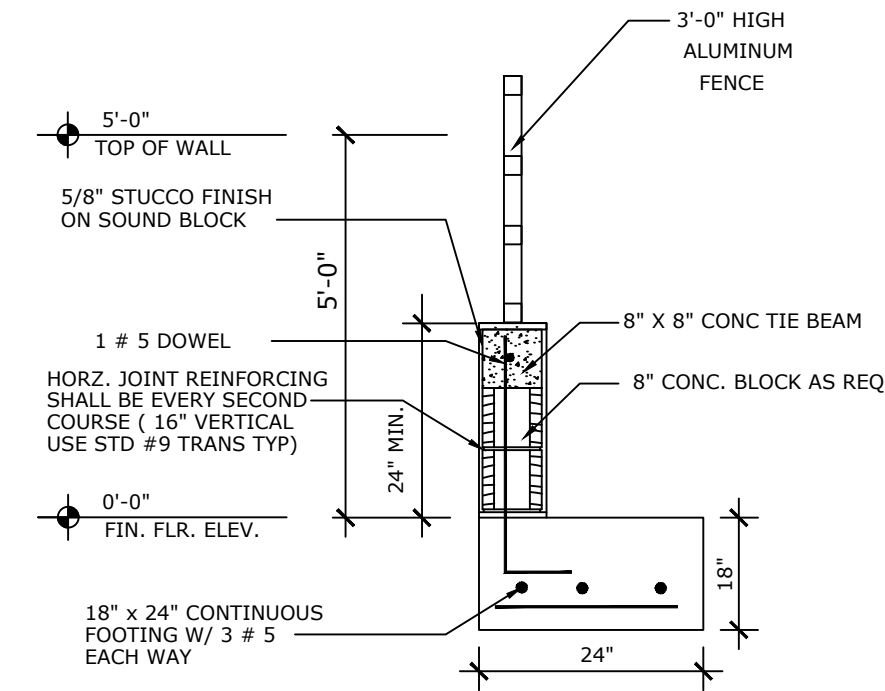
**SP-4**

PRINT DATE: 11-07-2023



ON SITE PARKING						
PARKING						
REGULAR	HANDI-CAP	MOTORCYCLE	ELECTRIC	BICYCLE	PARALELL	COMMERCIAL
8	1	0	8	0	0	12

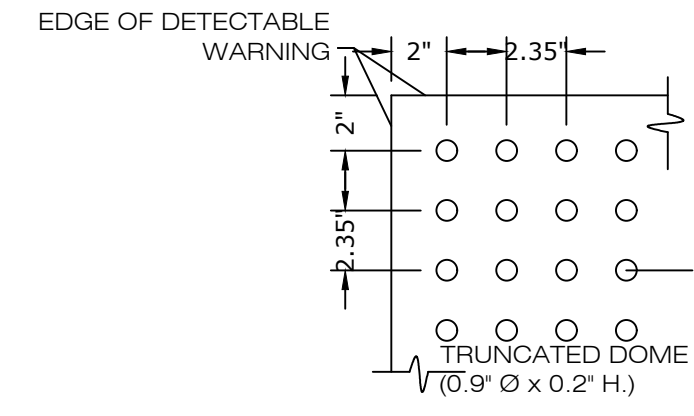
OFF SITE PARKING						
REGULAR	HANDI-CAP	MOTORCYCLE	ELECTRIC	BICYCLE	PARALELL	COMMERCIAL
0	0	0	0	0	0	0



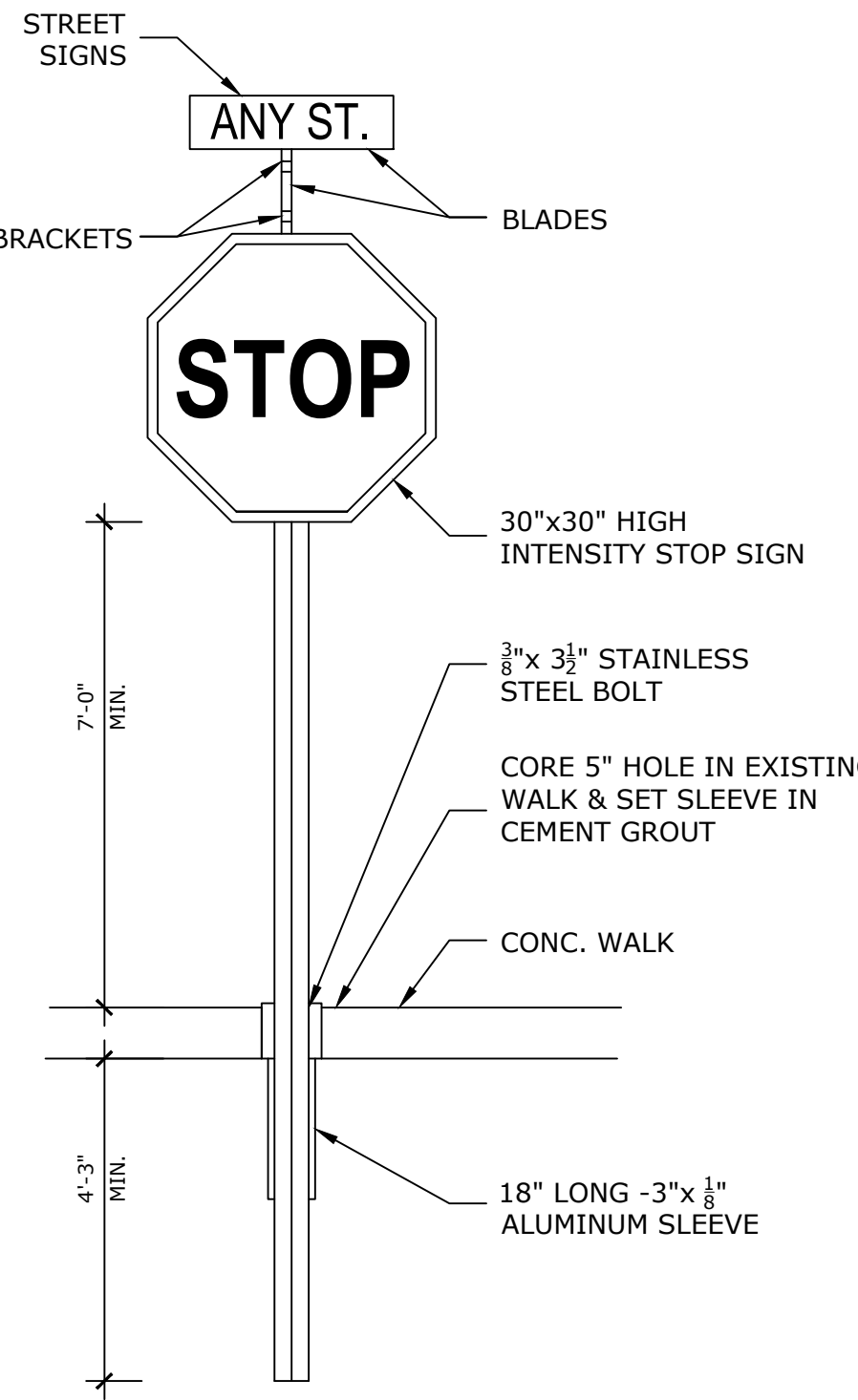
NOTE : FOOTING TO BE ENTIRELY WITHIN PROPERTY LIMITS

### PRIVACY FENCE

NTS



### DETECTABLE WARNING SURFACE



### STOP SIGN AND STOP BAR

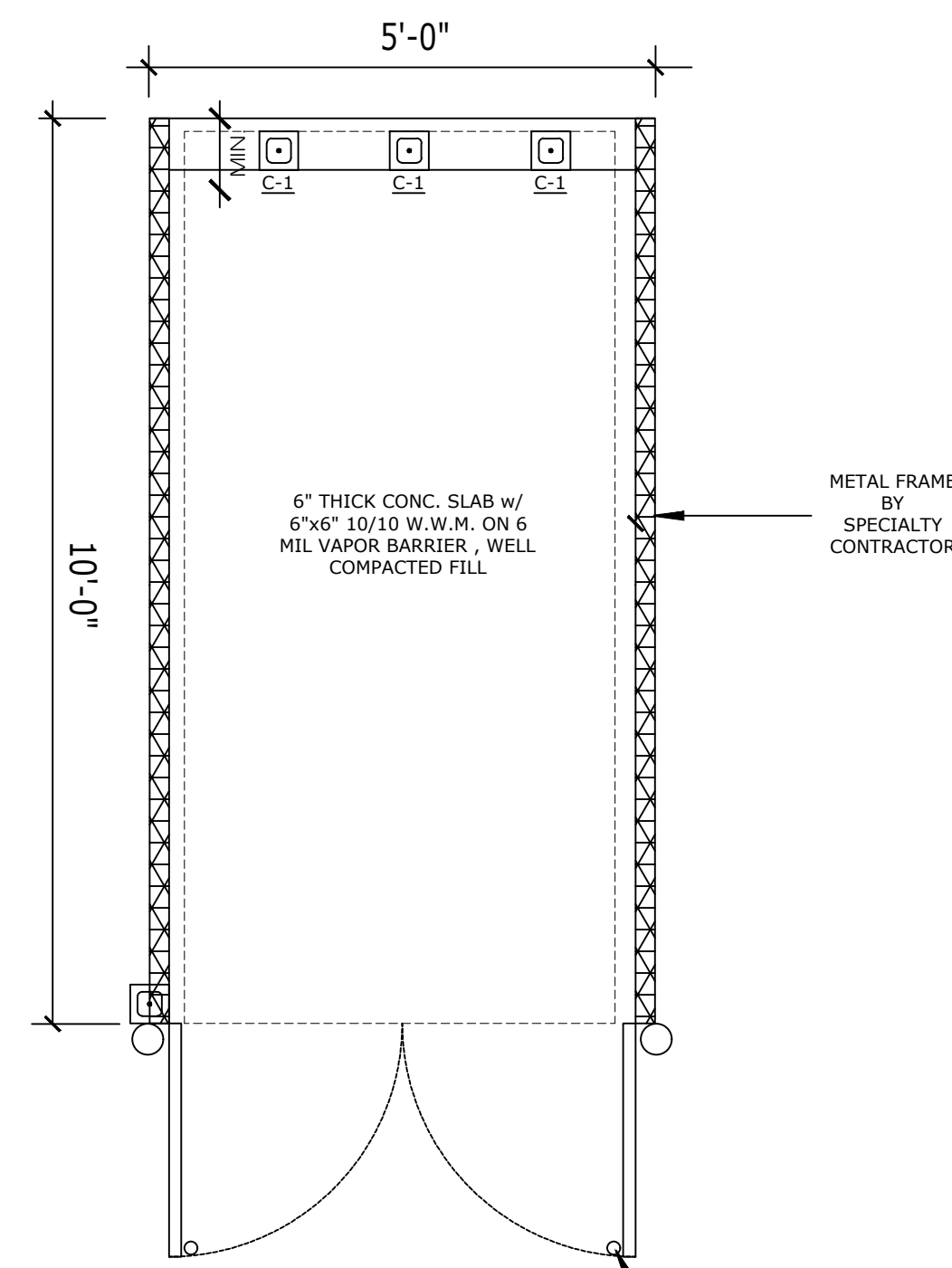
N.T.S.

#### NOTES:

- STOP SIGN PLACEMENT SHALL BE AT RADIUS, WHEN POSSIBLE (6' MIN/30' MAX FROM THOROUGHFARE).
- AT CURBED LOCATIONS, SIGN SHALL BE 2' FROM EDGE OF SIGN FACE OF CURB. AT UNCURBED LOCATIONS, SIGN SHALL BE 6" TO 12" FROM EDGE OF PAVEMENT. WHERE SIDEWALK ABUTS CURB, SIGN SHALL BE PLACED IN SIDEWALK AS SHOWN.
- STOP BAR AND STOP SIGN SHALL BE PLACED ADJACENT TO EACH OTHER, WHEN POSSIBLE. WHEN A CROSSWALK IS PRESENT, THE STOP BAR SHALL BE PLACED 4" CLEAR FROM CROSSWALK STRIPING.
- FLAT BLADE: ALCOA #85054.6063-T6 ALLOY ETCHED. DEGREASED WITH #1200 ALODINE FINISH WITH #3877 GREEN HIGH INTENSITY BACKGROUND AND EQUAL DIMENSIONS - 9" & 12" MIN. H, 24", 30" OR 36" L.
- LETTERS: NAME-6" & 9" SERIES 'B' #3870 HIGH INTENSITY (SILVER) OR EQUAL - SUFFIX-4.5" SERIES AS ABOVE.
- 9" BLADES WITH 6" LETTERS FOR TWO LANE ROADS WITH A SPEED LIMIT UNDER 45 MPH.
- 12" BLADES WITH 9" LETTERS:
  - THOROUGHFARE ROADS FOUR LANES OR WIDER.
  - TWO LANE ROADS WITH A POSTED SPEED LIMIT OF 45 MPH OR MORE.
  - ONLY ONE BLADE WILL USED INDICATING THE SIDE STREET NAME.

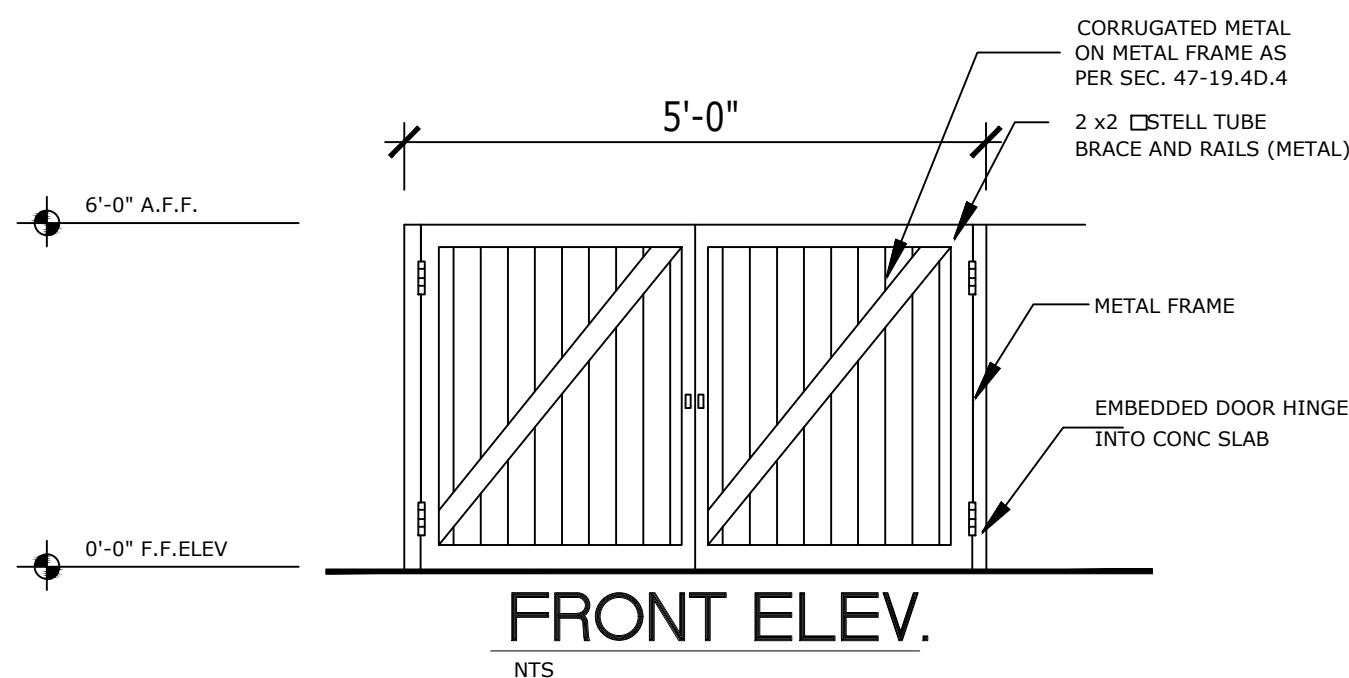
DUMPSTER CONCRETE COLUMN				
COLUMN	SIZE	VERT. REINF.	TIES	REMARKS
C-1	8"x8"	1 # 6		EVERY 24" OR AS SHOWN (TYP) ON CONCRETE WALL ONLY

COLUMN DETAIL



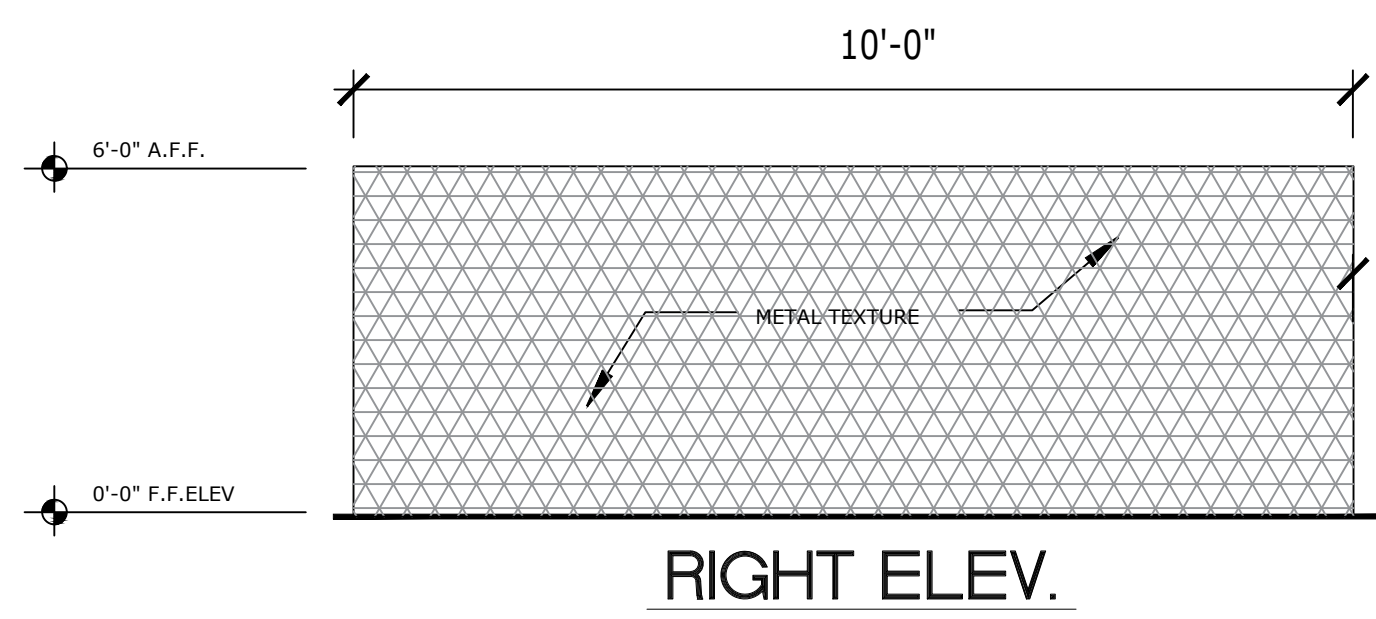
### DUMPSTER ENCLOSURE PLAN

NTS



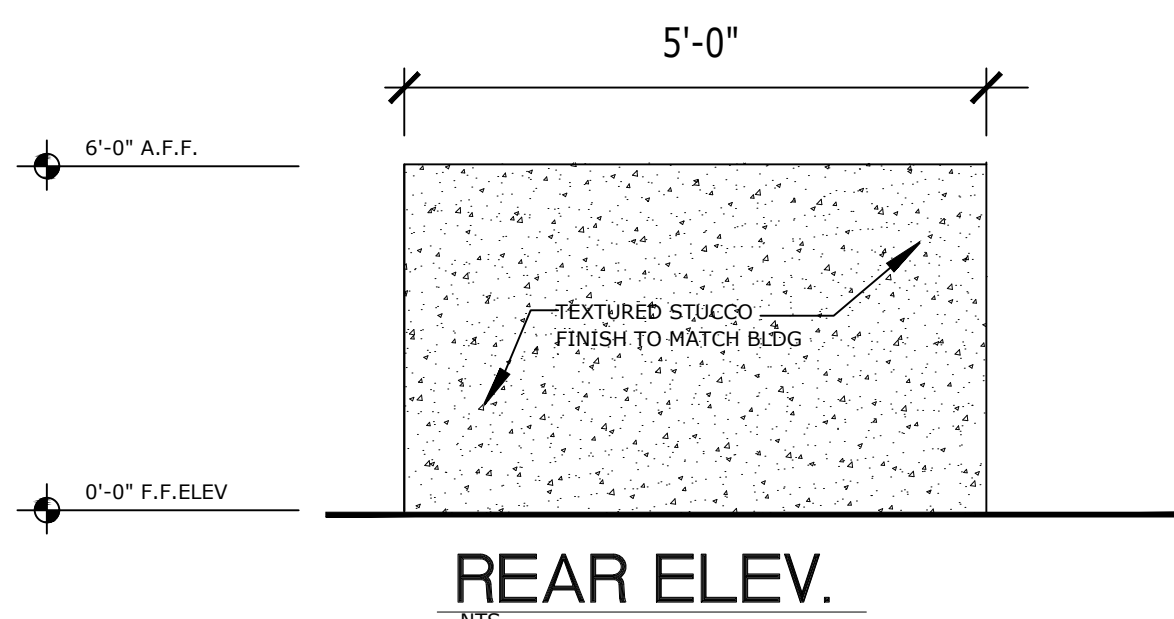
### FRONT ELEV.

NTS



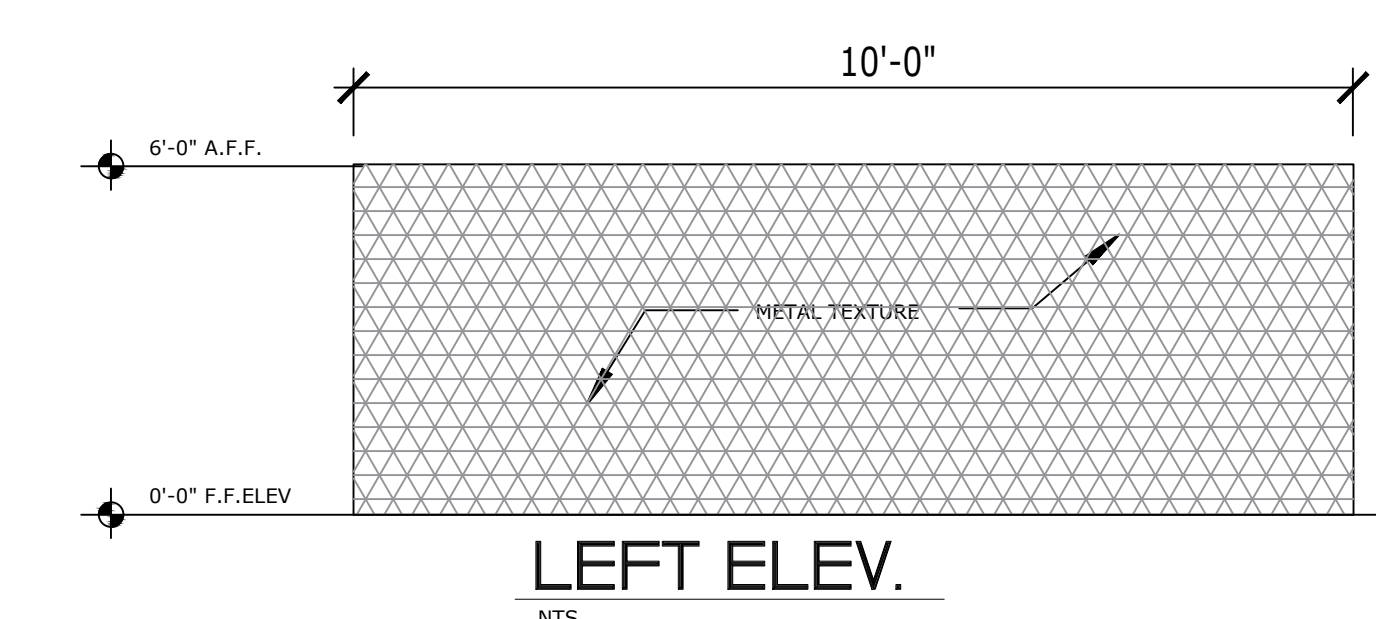
### RIGHT ELEV.

NTS



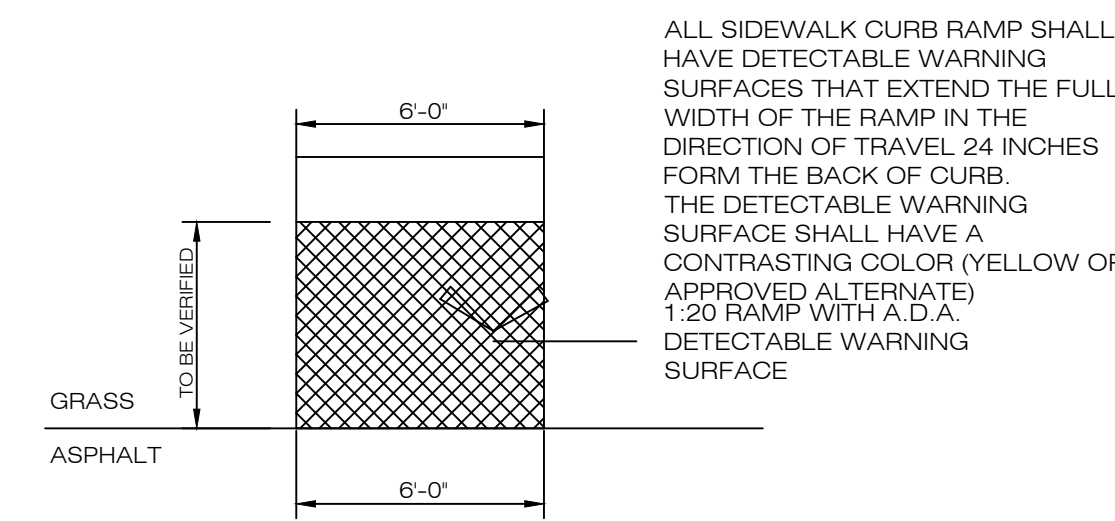
### REAR ELEV.

NTS



### LEFT ELEV.

NTS

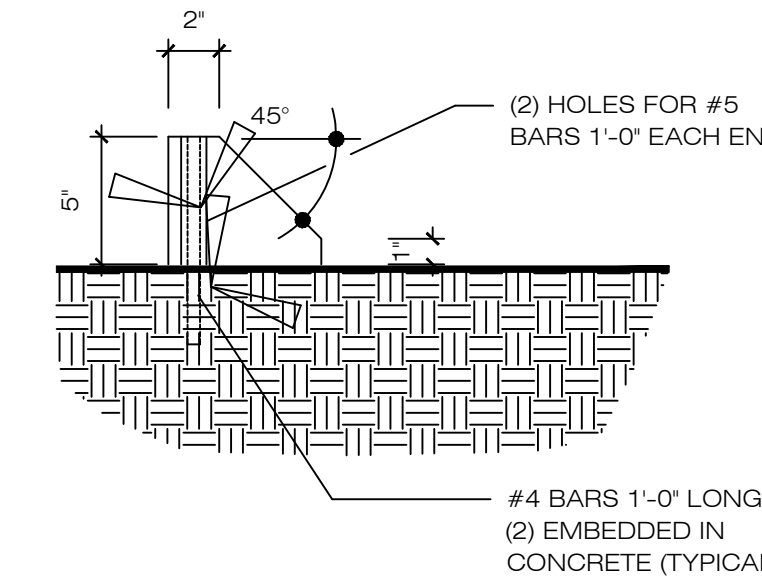
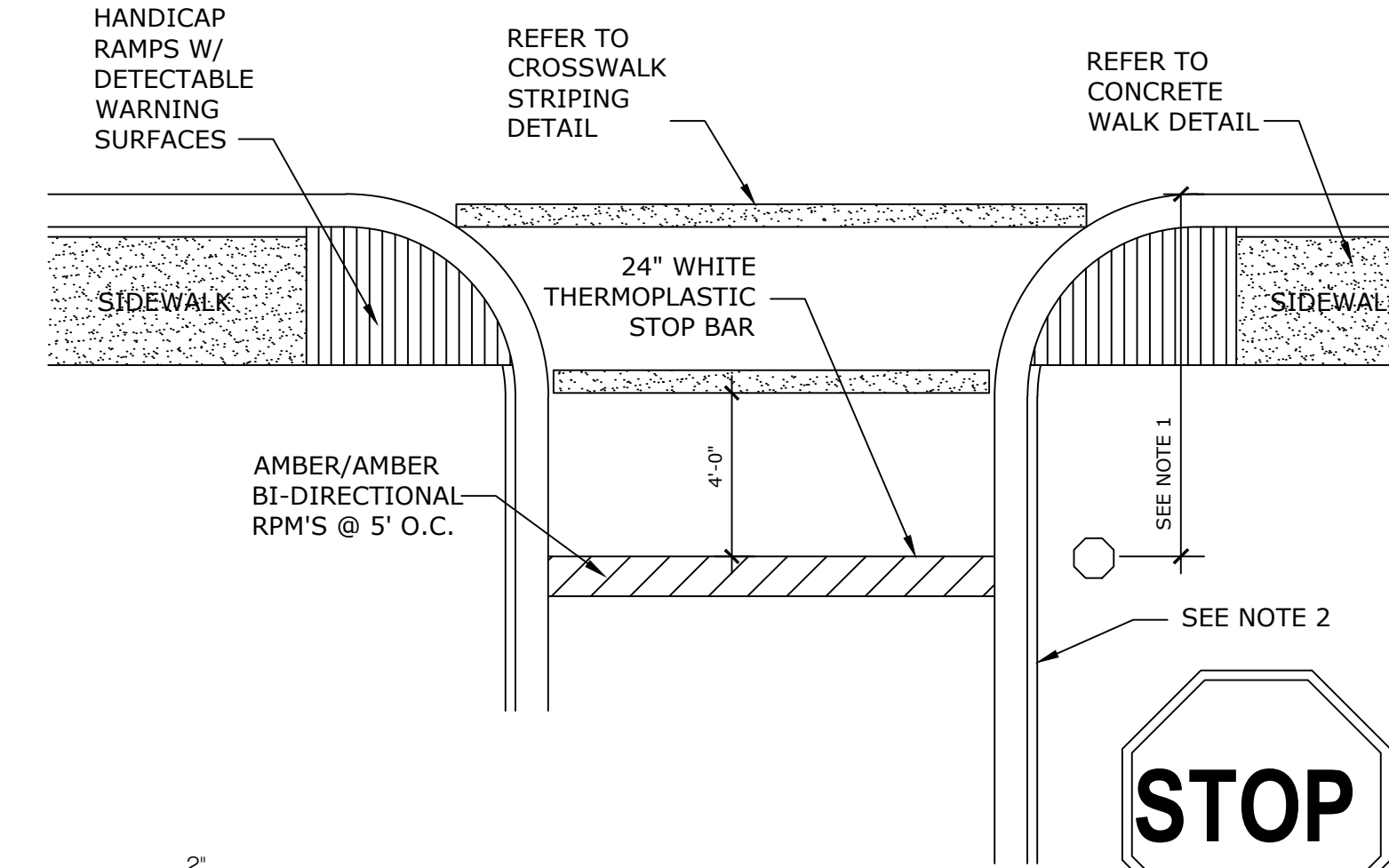


### TYPICAL RAMP DETAIL

DETECTABLE WARNING TEXTURES ON WALKING SURFACES SHALL CONSIST OF EXPOSED AGGREGATE CONCRETE & SHALL COMPLY W/ F.A.C.B.C. ITEM 4-29-2

### TOWING SIGN

CLIENT TO EXECUTE A CONTRACT WITH TOWING COMPANY AS PER CITY OF FORT LAUDERDALE REQUIREMENTS.



### WHEEL STOP

NTS



STOP SIGN  
R1-1 MUTCD - 30"x30" (HIGH INTENSITY)

REVISIONS:		DATE:
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## AMERICAN BUILDING ENGINEERS

1842 East Oakland Park Blvd.  
Fort Lauderdale, Florida 33306  
Miami: 305.681.5563  
Fort Lauderdale: 954.739.5099  
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DRAWINGS FOR:  
OCEAN VIEW  
BORU

ABE BORUJERDI, P.E.  
P.E. 38553  
PHONE: (954) 739-5099  
APPROVED SEAL/SIGNATURE

### GENERAL NOTES

2888 EAST OAKLAND PARK BLVD  
FORT LAUDERDALE, 33306

PROJECT #: 23.016

SHEET #:

SP-5

PRINT DATE: 11-07-2023

### PROPOSED SITE DETAILS

N.T.S.

5

SP-5



**DRAINAGE CALCULATION:**

**EXISTING CONDITIONS:**

SITE AREA =  
 PERVIOUS AREA =  
 IMPERVIOUS AREA =

**PROPOSED SITE DISTRIBUTION:**

SITE AREA = 11,250 SF.  
 PERVIOUS AREA = 1,030 SF. (9.16 %)  
 IMPERVIOUS AREA = 10,220 SF. (90.84%)

**REQUIRED STORAGE:**

RAINFALL AMOUNT (P) = 3.3 INCHES (5-yr/1-hr)  
 COMPACTED SOIL STORAGE = 8.18" (SFWMD)

**EXISTING CONDITIONS:**

$S = (\text{PERVIOUS/SITE}) * (\text{COMPACTED SOIL STORAGE}) =$   
 $= (1,030 / 11,250) * (8.18) =$   
 $S(\text{EXIST.}) = 2.23"$   
 $\text{RUNOFF}(R) = (P - 0.2S) \wedge 2 / (P + 0.8S) = 1.60"$   
 $\text{VOLUME OF RUNOFF}(V) = A * R / 12$   
 $= 11,250 * 1.60 / 12$   
 $=$

**PROPOSED CONDITIONS:**

$S = (\text{PERVIOUS/SITE}) * (\text{COMPACTED SOIL STORAGE}) =$   
 $= (1,030 / 11,250) * (8.18) =$   
 $S(\text{PROP.}) = 3.13"$   
 $\text{RUNOFF}(R) = (P - 0.2S) \wedge 2 / (P + 0.8S) = 1.23"$   
 $\text{VOLUME OF RUNOFF}(V) = A * R / 12$   
 $= 11,250 * 1.23 / 12$   
 $=$

QUANTITY 1,845 CF - 2,400 CF = (-)555 CF  
 WATER QUALITY 1.0 IN. x 18,000 SF / 12in/ft = 1,500 CF  
 SITE AREA FOR WQ: 11,250 SF - 9,252 SF (roof) =  
 IMPERVIOUS AREA WQ: 10,220 SF. - 9,252 SF =  
 2.5 IN. x 90.84% (PERCENT IMPERVIOUS WQ) = X  
 X IN. x 18,000 SF (SITE AREA) / 12in/ft = Y CF

$Y \text{ CF} = 0.03452714 \text{ AC-FT} = 0.41432568 \text{ AC-IN} = \text{Vwq}$

$L1 = \frac{FS * \%WQ * Vwq}{K(H2 * W + 2 * Heff * Du - Du^2 + 2 * Heff * Ds) + 0.000139 * W * Du}$

$L2 = \frac{FS * \%WQ * Vwq}{K(2 * Heff * Du - Du^2 + 2 * Heff * Ds) + 0.000139 * W * Du}$

K = 0.00008, AS PER GEOTECHNICAL REPORT

FS = 2 H2 = 6.00'

%WQ = 0.5 Du = 6.00'

Heff = 3.00' Ds = 6.00'

W = 5.00' TRENCH HEIGHT = 12'

L1 = 43.8' → 44' F.D. REQUIRED

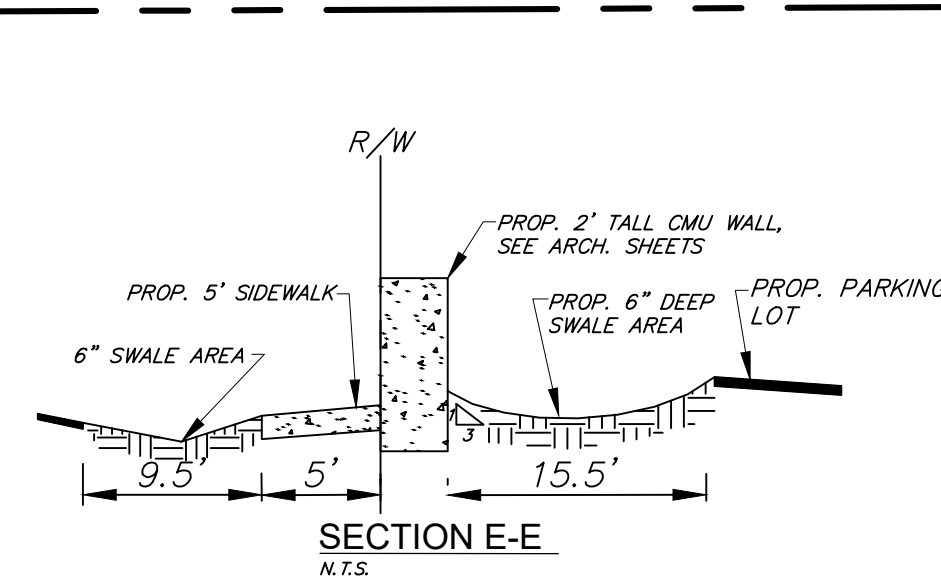
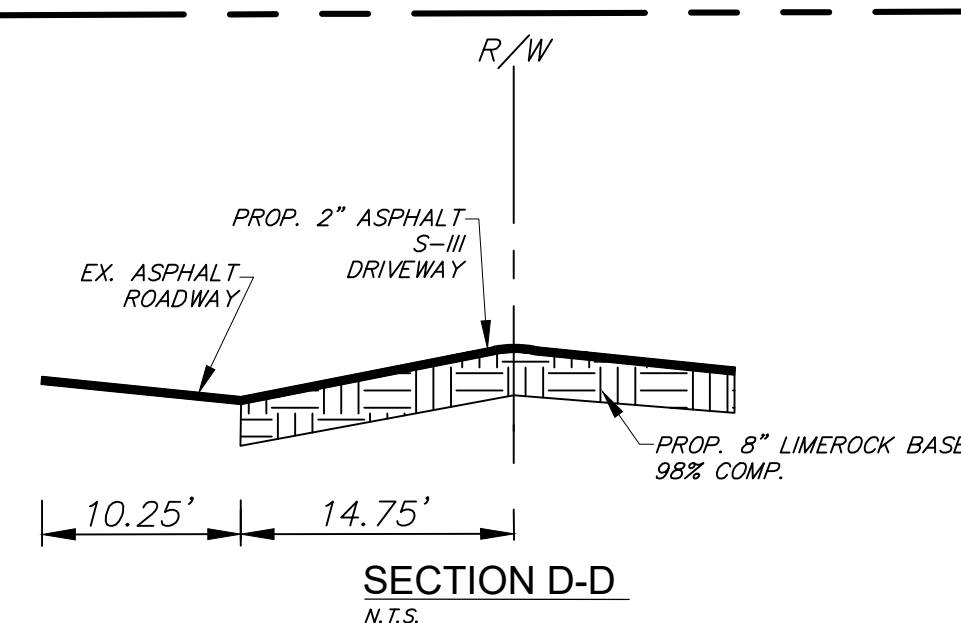
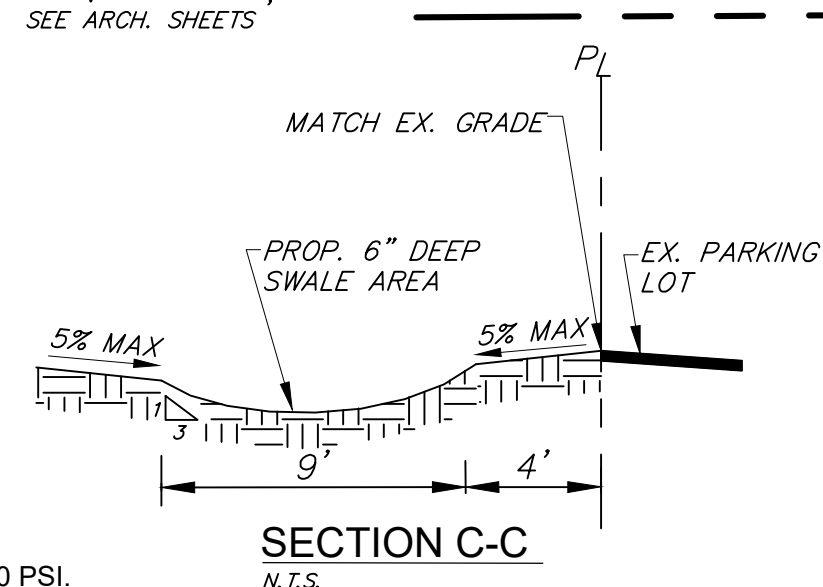
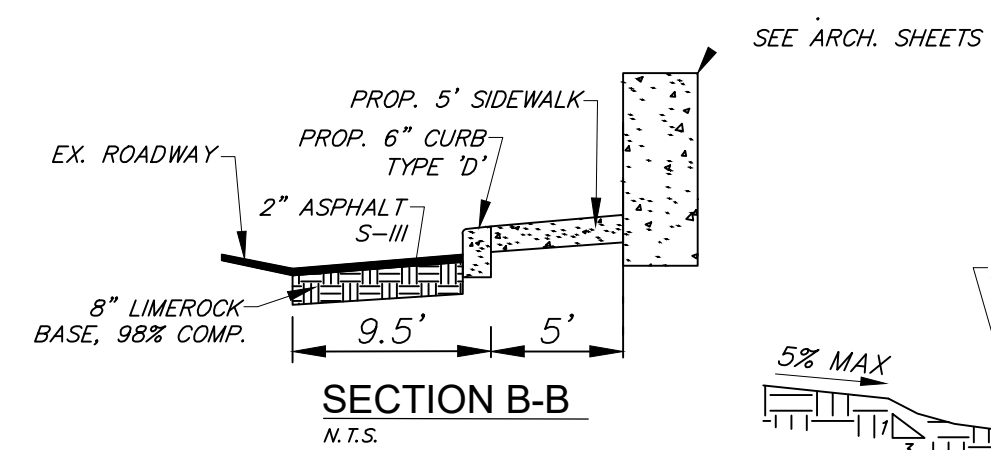
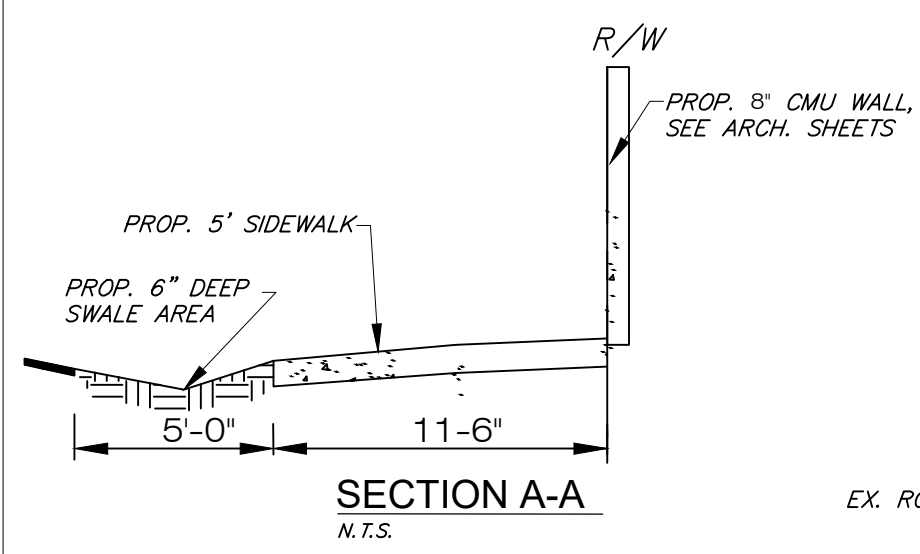
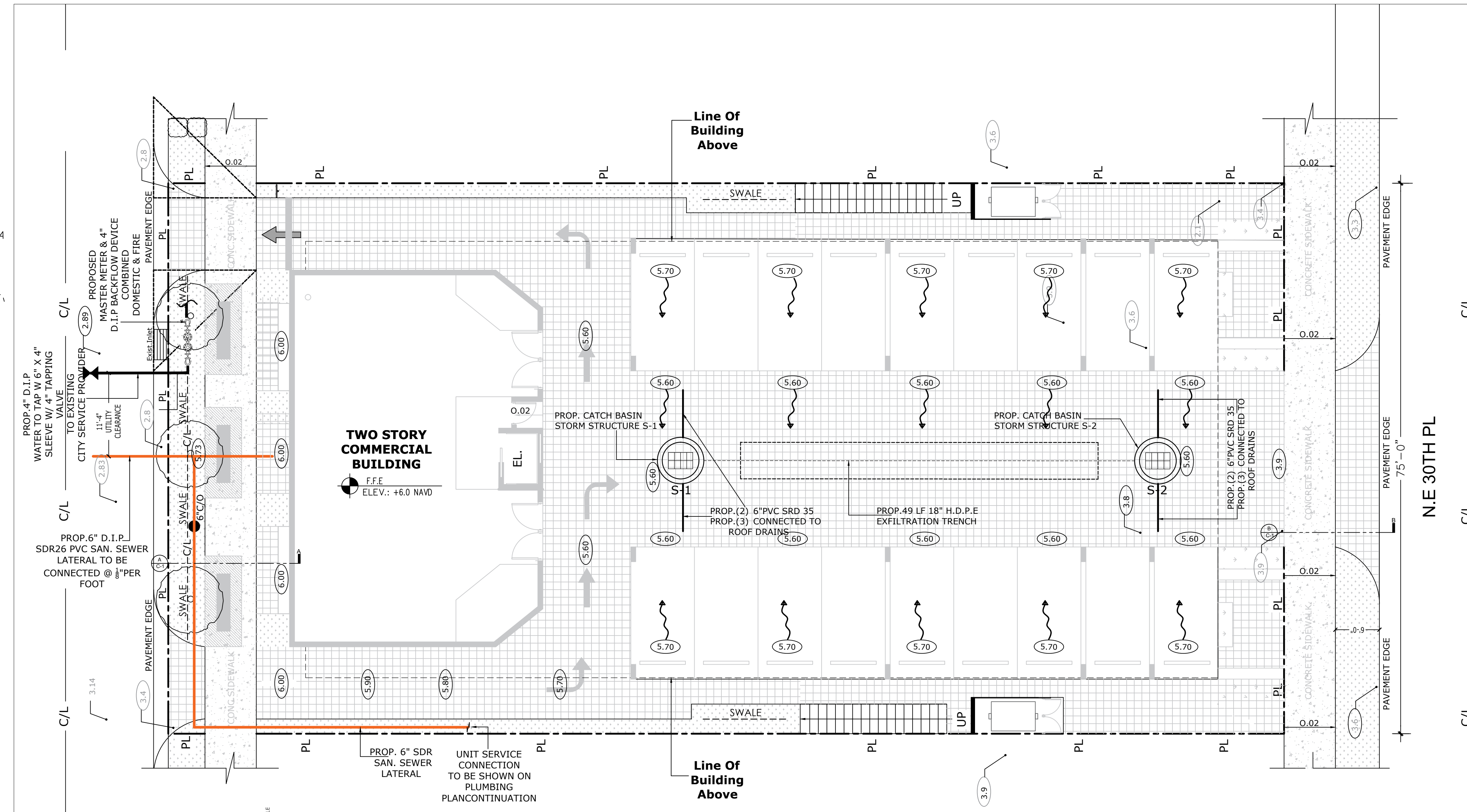
L2 = 58.8' → 59' F.D. REQUIRED

109' F.D. PROVIDED

**LEGEND**

- CENTER LINE
- - - RIGHT-OF-WAY
- - - PROPERTY LINE
- 0.0 EXISTING GRADE ELEVATION (NAVD '88)
- 0.0 PROP. GRADE ELEVATION (NAVD '88)
- ▣ PROP. STORM DRAINAGE STRUCTURE

**NOTE :**  
 MOST DRAINAGE PROPOSAL IS DESIGNED THROUGH A SWALE SYSTEM AS WELL AS EXFILTRATION TRENCHES AND CATCH BASINS.



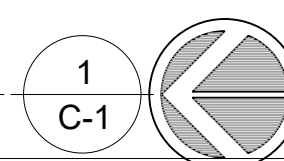
**NOTES**

1. CONCRETE SHALL HAVE MINIMUM STRENGTH 3,000 PSI.
2. RAINFALL RUNOFF SHALL BE RETAINED ON-SITE.
3. ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD, 1988.

STRUCTURE NO.	STRUCTURE DIAMETER	RIM EL.	INVERT EL.	BOTTOM EL.	FRAME & GRATE (USF)
S-1	5'	5.60'	1.75' (E,W)	(-)0.25'	4105 & 6224
S-2	5'	5.60'	1.75' (W)	(-)0.25'	4105 & 6224

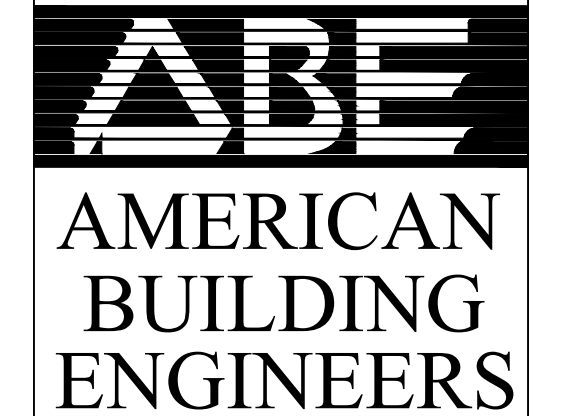
**UTILITY PLAN**

SCALE: 3/16" = 1'-0"



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DRAWINGS FOR:  
 OCEAN VIEW  
 BORUJ

**ABE BORUJERDI, P.E.**  
 P.E. 38553  
 PHONE: (954) 739-5099  
 APPROVED SEAL/SIGNATURE

**UTILITY PLAN**  
 2888 EAST OAKLAND PARK BLVD  
 FORT LAUDERDALE, 33306

PROJECT #: 23.016

SHEET #:

**C-1**

PRINT DATE: 11-07-2023



**CITY OF FORT LAUDERDALE**  
OFFICE OF THE CITY ENGINEER

**GENERAL NOTES**

- REPLACED BASE MATERIAL OVER DITCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL BASE. MINIMUM 12", MAXIMUM 18".
- BASE MATERIAL SHALL BE PLACED IN LAYERS NOT THICKER THAN 6" COMPACTED THICKNESS AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO 98% OF MAXIMUM DENSITY, PER AASHTO T-180.
- ASPHALT PAVEMENT JOINTS (ASPHALTIC CONCRETE) SHALL BE MECHANICALLY SAWED.
- NEW SURFACE MATERIAL WILL BE D.O.T. TYPE III ASPHALTIC CONCRETE. BASE MATERIAL SHALL HAVE A MINIMUM LBR OF 100 & MINIMUM CARBONATE CONTENT OF 70% FOR MAJOR STREETS AND 60% FOR RESIDENTIAL STREETS.
- IF THE DITCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH ON MAJOR STREET AND 1-1/2" ASPHALTIC CONCRETE PATCH ON RESIDENTIAL STREET AND PARKING LOT TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL PLACED WITH A PERMANENT PATCH.
- SUBGRADE SHALL BE COMPACTED TO 100% OF DRY DENSITY PER AASHTO T-99 AND SHALL BE PLACED IN LIFTS NOT TO EXCEED 12" MAXIMUM, LOOSE MEASUREMENT.
- PAVEMENT RESTORATION DUE TO PLACEMENT OF 4" GAS MAINS OR LARGER SHALL BE AS SHOWN ON THIS DETAIL WITH A 3" MINIMUM WIDTH AND PLACEMENT OF CONTINUOUS METALLIC TAPE OR #12 WIRE WRAPPED AROUND THE PIPE(S).
- THE PROVISIONS IN THIS DETAIL SUPERSEDES ALL OTHER RELATED PROVISIONS MENTIONED IN CITY OF FORT LAUDERDALE CONSTRUCTION STANDARDS AND SPECIFICATIONS.

DATE: APRIL '04  
REVISION: MARCH '09

SCALE: N.T.S.  
DRAWN BY:

**RESTORATION OF PAVEMENT**  
**UTILITY CROSSING**

**P**  
**4.1**

**NOTE**  
FOR USE ADJACENT TO CONCRETE OR FLEXIBLE PAVEMENT; CONCRETE SHOWN. EXPANSION JOINT, PREFORMED JOINT FILLER AND JOINT SEAL ARE REQUIRED BETWEEN CURBS AND CONCRETE PAVEMENT ONLY.

**TYPE "D" CURB**  
**CONCRETE CURB DETAIL**

**BROWARD COUNTY**  
**PUBLIC WORKS DEPARTMENT**

**WATER & WASTEWATER SERVICES**  
ENGINEERING DIVISION  
3355 WEST COHANS ROAD  
FORT LAUDERDALE, FL 33609  
PHONE NO. 954-831-0745  
FAX: 954-831-0925

**STANDARD DETAIL**

**METER INSTALLATION FOR 1 1/2" OR 2" METERS**

METER SIZE	LAYING LENGTH (IN)	HEIGHT (IN)
1 1/2"	13	6 1/2"
2"	17	7 1/2"

REPLACES FORMER DWG NO. 3C  
REVISED 2/23/2011

**FIGURE 228**

**BROWARD COUNTY**  
**PUBLIC WORKS DEPARTMENT**

**WATER & WASTEWATER SERVICES**  
ENGINEERING DIVISION  
3355 WEST COHANS ROAD  
FORT LAUDERDALE, FL 33609  
PHONE NO. 954-831-0745  
FAX: 954-831-0925

**STANDARD DETAIL**

**COMBINED DOMESTIC WATER SERVICE AND FIRE PROTECTION**

**TYPE 2 PRIVATE FIRE PROTECTION**  
**4", 6" AND 8" DIAMETER CONNECTION**

REPLACES FORMER DWG NO. 9B  
REVISED 2/23/2011

**FIGURE 236**

**BROWARD COUNTY**  
**PUBLIC WORKS DEPARTMENT**

**WATER & WASTEWATER SERVICES**  
ENGINEERING DIVISION  
3355 WEST COHANS ROAD  
FORT LAUDERDALE, FL 33609  
PHONE NO. 954-831-0745  
FAX: 954-831-0925

**STANDARD DETAIL**

**WYE SEWER SERVICE CONNECTION**

REVISION: 7/7/2021

**FIGURE 331**

**BROWARD COUNTY**  
**PUBLIC WORKS DEPARTMENT**

**WATER & WASTEWATER SERVICES**  
ENGINEERING DIVISION  
3355 WEST COHANS ROAD  
FORT LAUDERDALE, FL 33609  
PHONE NO. 954-831-0745  
FAX: 954-831-0925

**STANDARD DETAIL**

**SEWER SERVICE CONNECTION AT PROPERTY LINE OR EASEMENT LINE PROFILE**

REVISION: 7/7/2021

**FIGURE 341**

**BROWARD COUNTY**  
**PUBLIC WORKS DEPARTMENT**

**WATER & WASTEWATER SERVICES**  
ENGINEERING DIVISION  
3355 WEST COHANS ROAD  
FORT LAUDERDALE, FL 33609  
PHONE NO. 954-831-0745  
FAX: 954-831-0925

**STANDARD DETAIL**

**SEWER SERVICE CONNECTION AT PROPERTY LINE OR EASEMENT LINE PLAN**

REVISION: 7/7/2021

**FIGURE 342**

**BROWARD COUNTY**  
**PUBLIC WORKS DEPARTMENT**

**WATER & WASTEWATER SERVICES**  
ENGINEERING DIVISION  
3355 WEST COHANS ROAD  
FORT LAUDERDALE, FL 33609  
PHONE NO. 954-831-0745  
FAX: 954-831-0925

**STANDARD DETAIL**

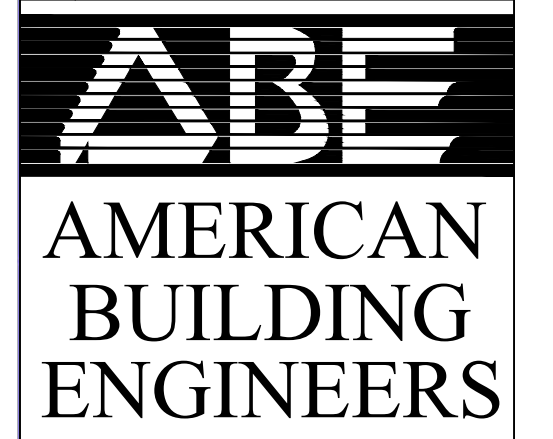
**SERVICE CONNECTION ON LINED GRAVITY SEWER**

REVISION: 7/7/2021

**FIGURE 353**

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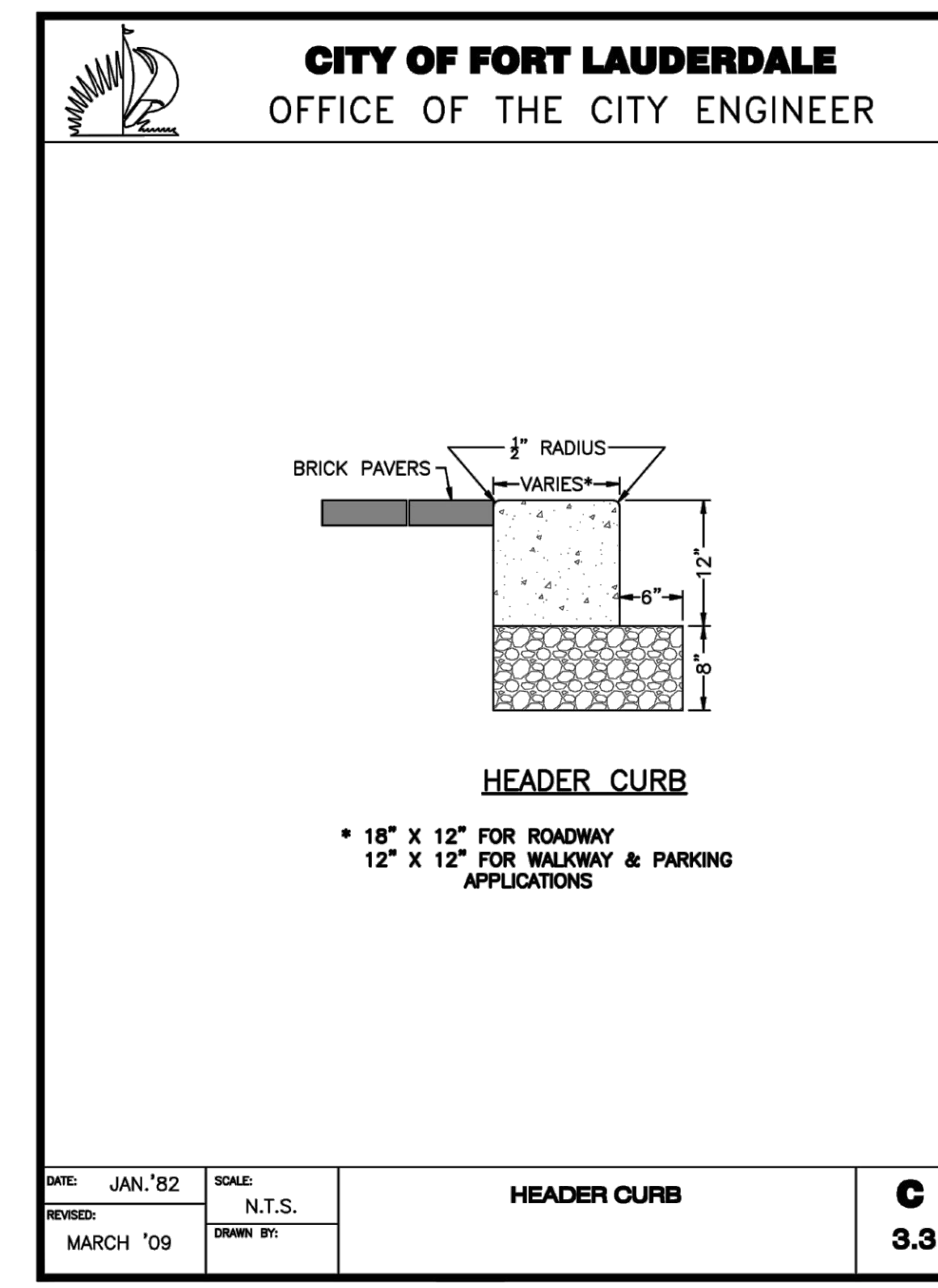
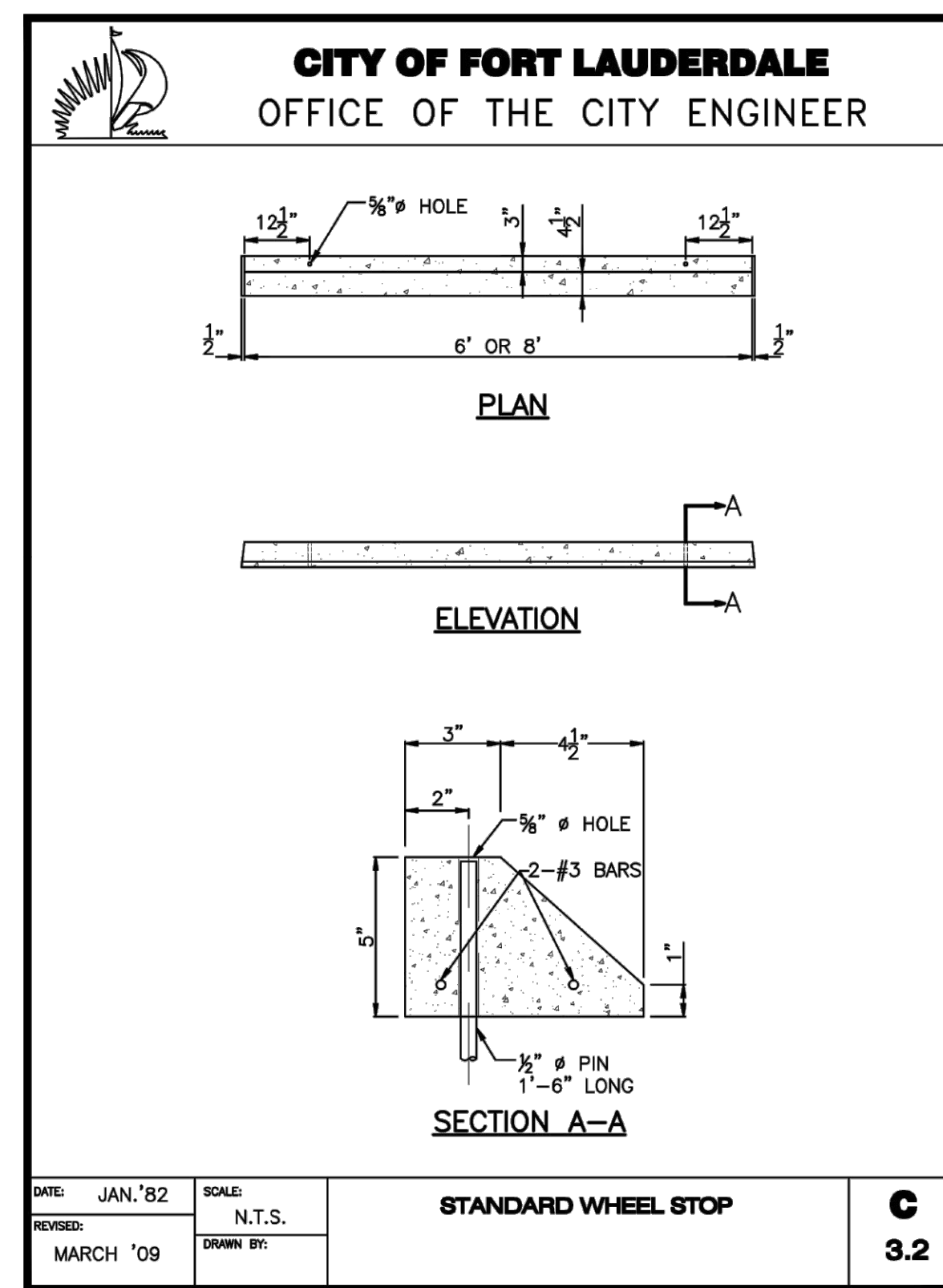
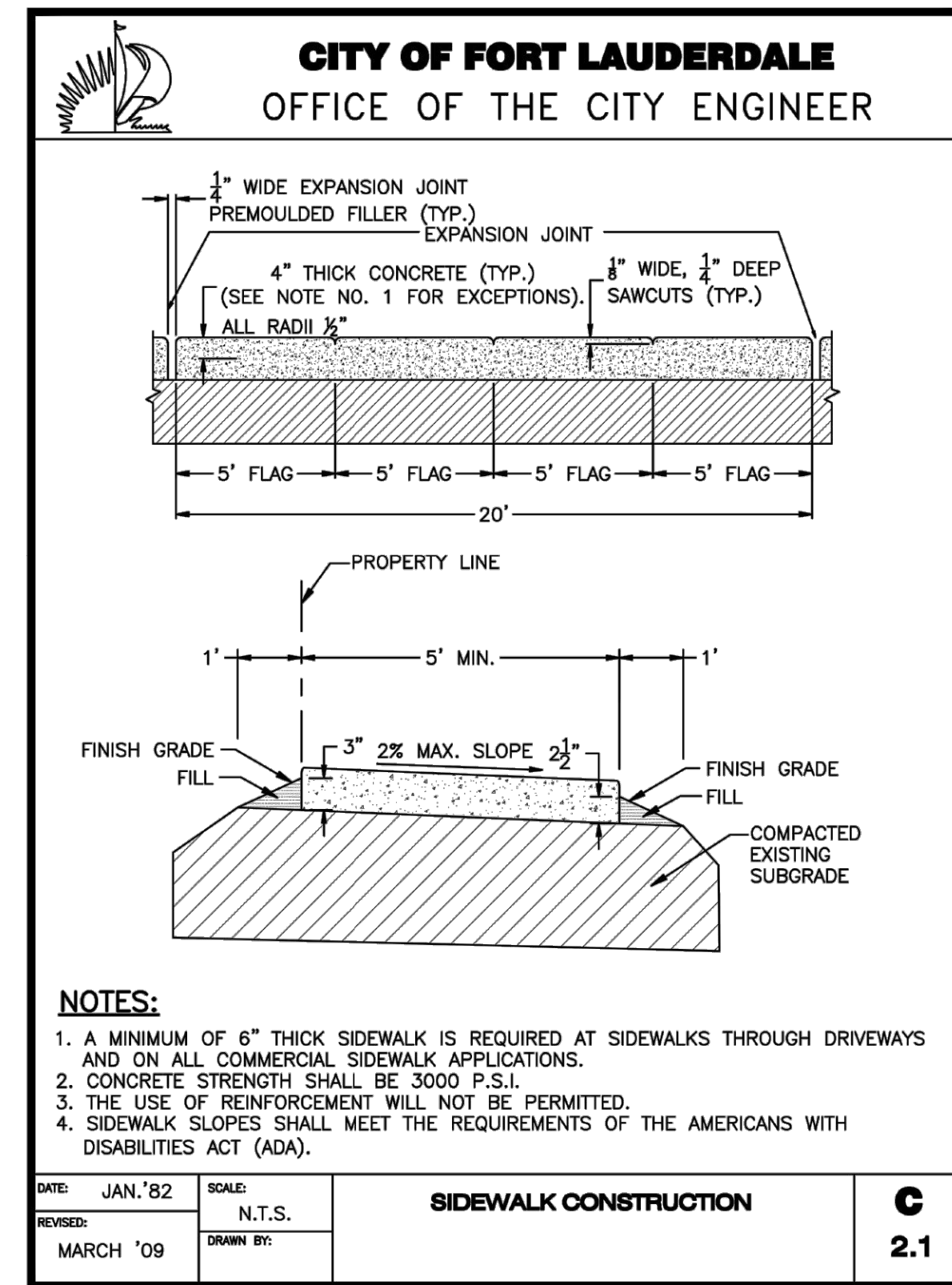
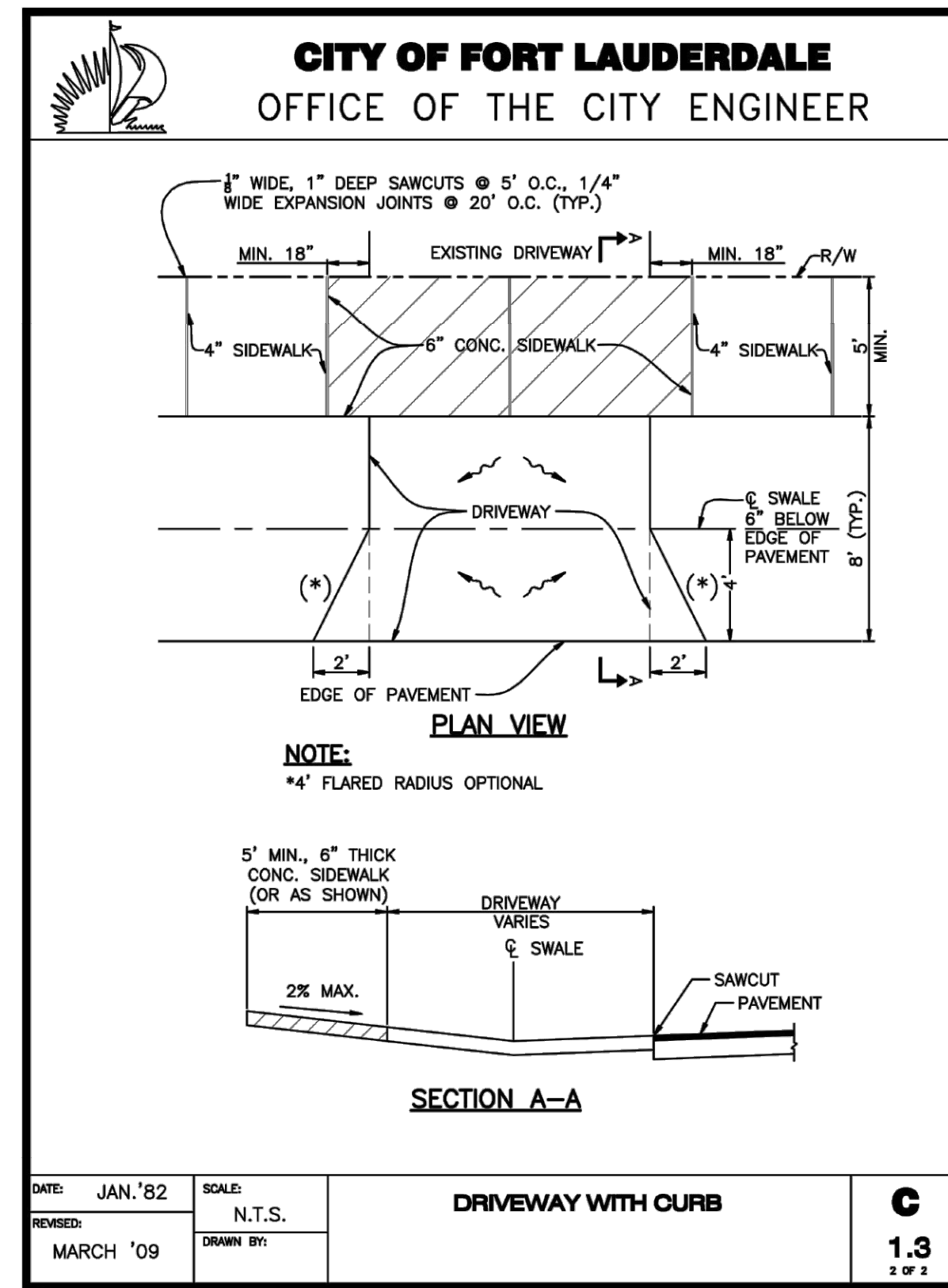
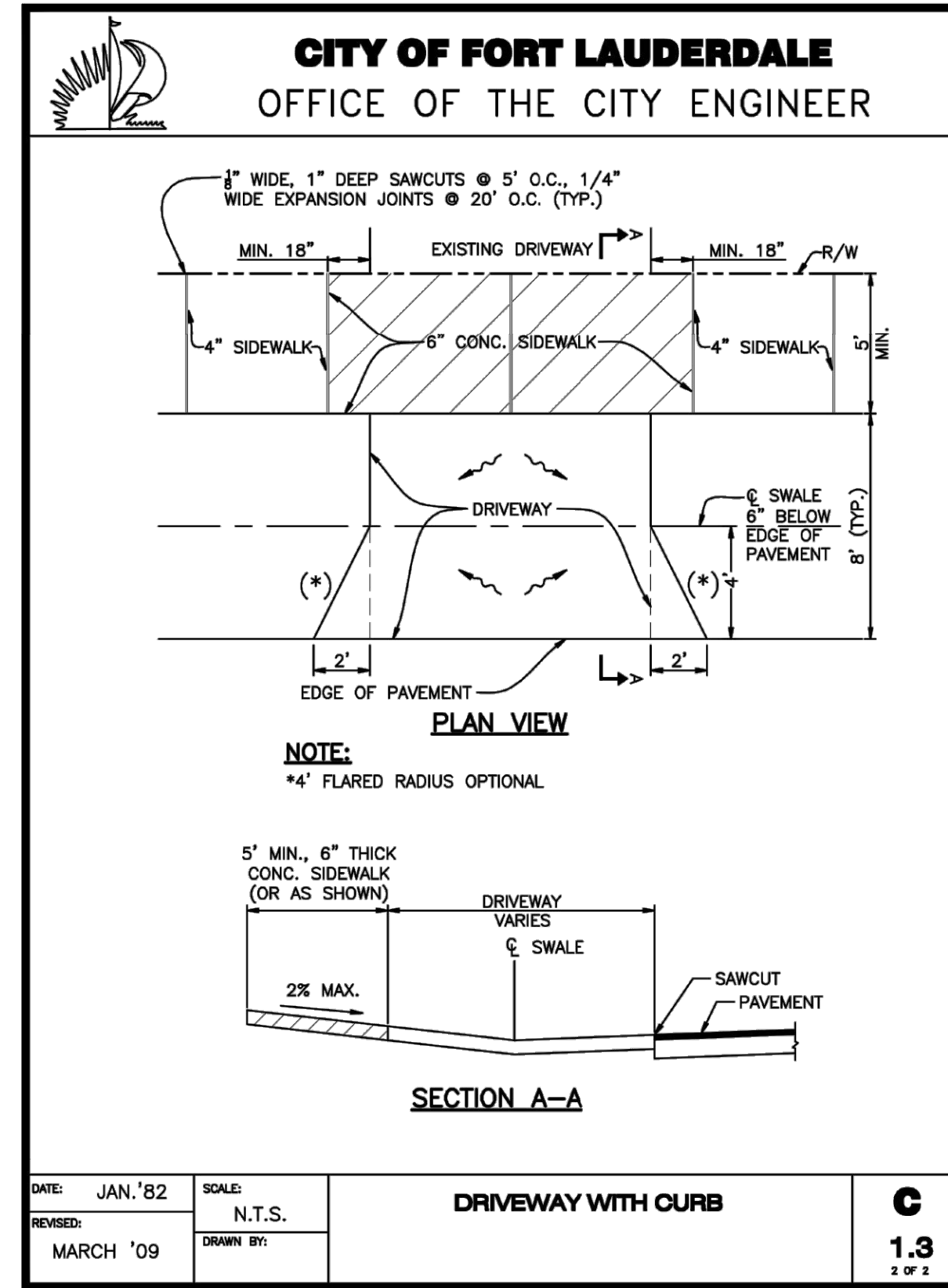
DRAWINGS FOR:  
**OCEAN VIEW BORU**

**ABE BORUJERDI, P.E.**  
P.E. 38553  
PHONE: (954) 739-5099  
APPROVED SEAL/SIGNATURE

**DETAILS**  
2888 EAST OAKLAND PARK BLVD  
FORT LAUDERDALE, 33306

PROJECT #: 23.016  
SHEET #:





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BORUJ

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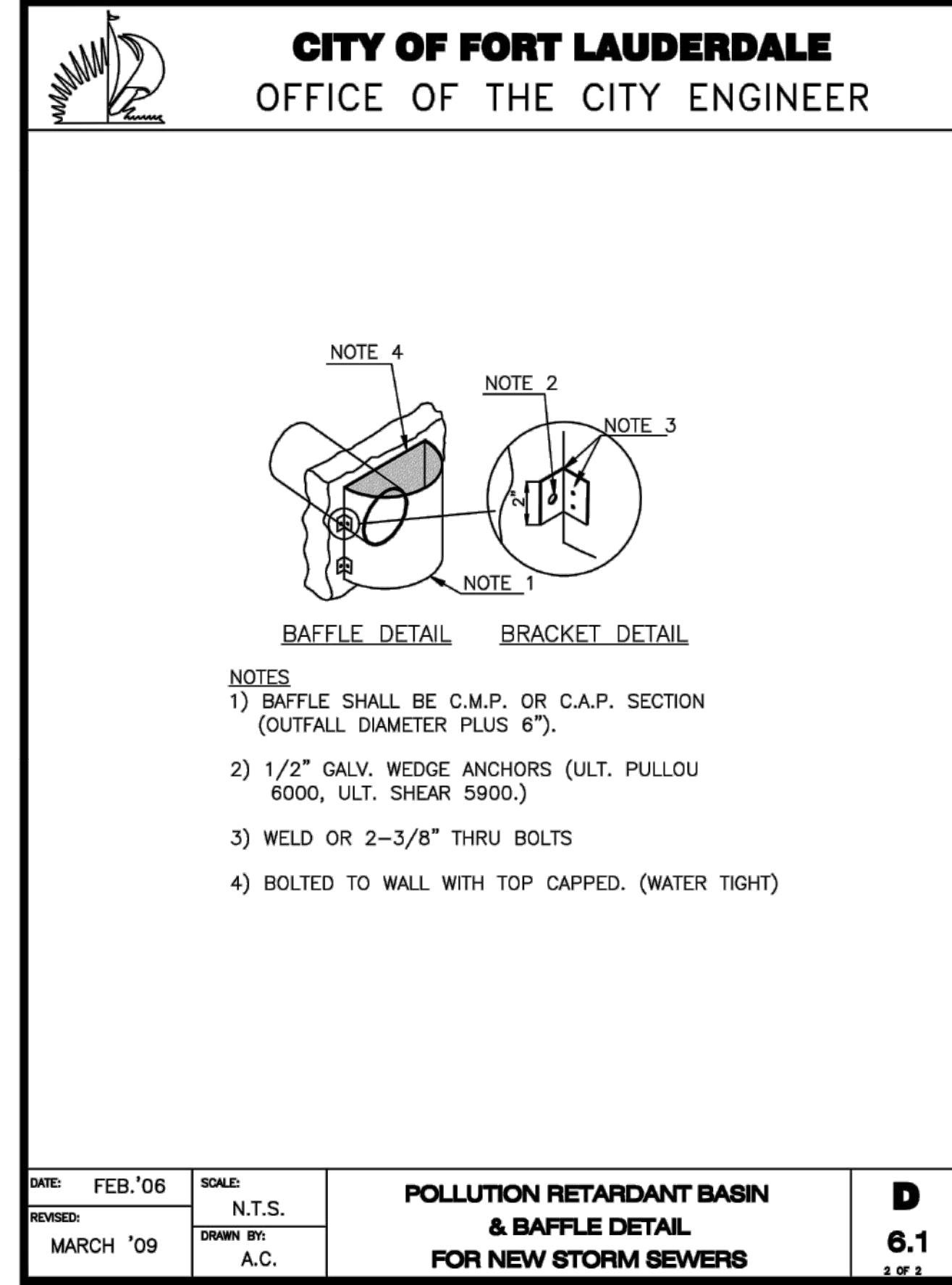
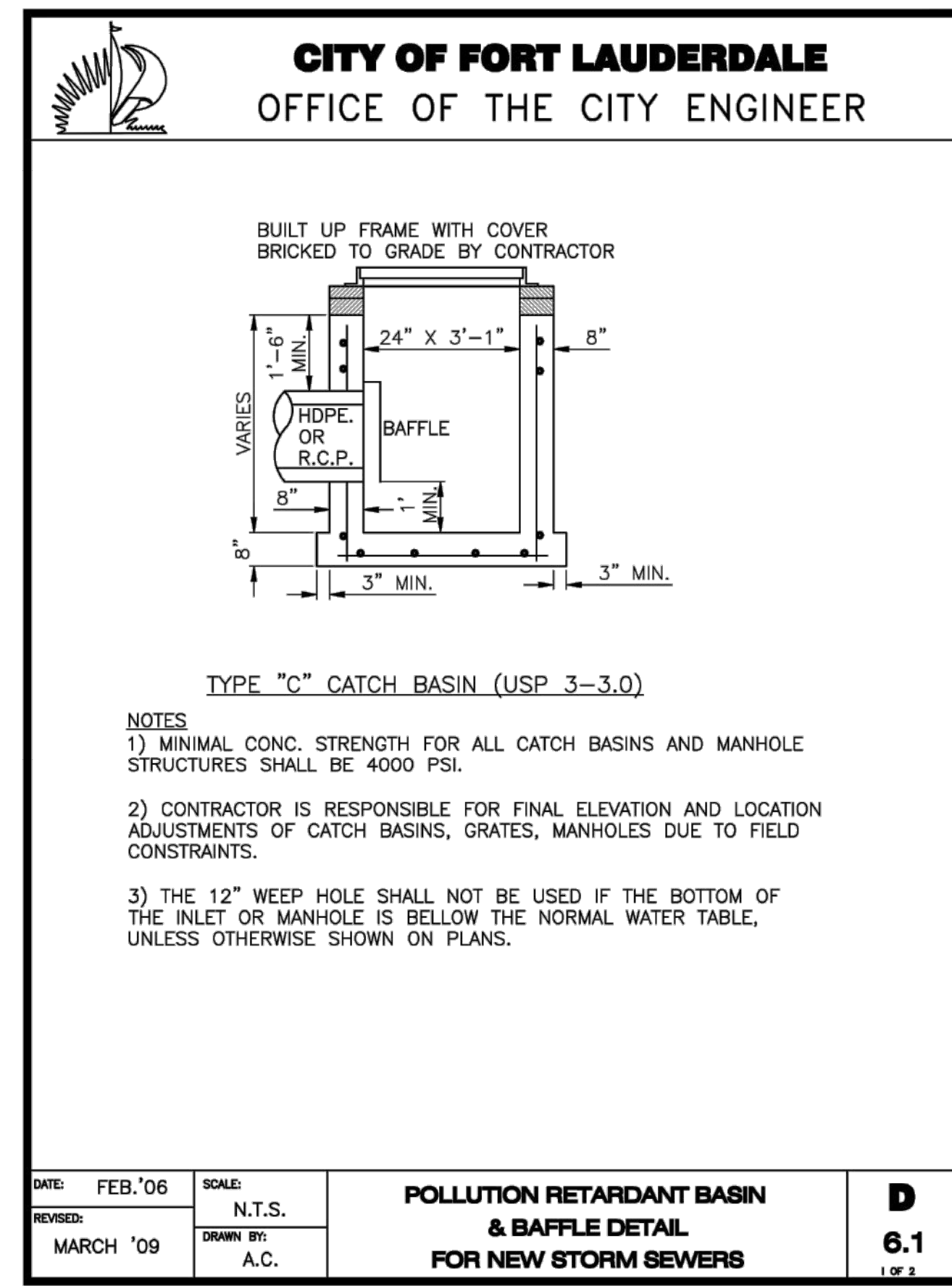
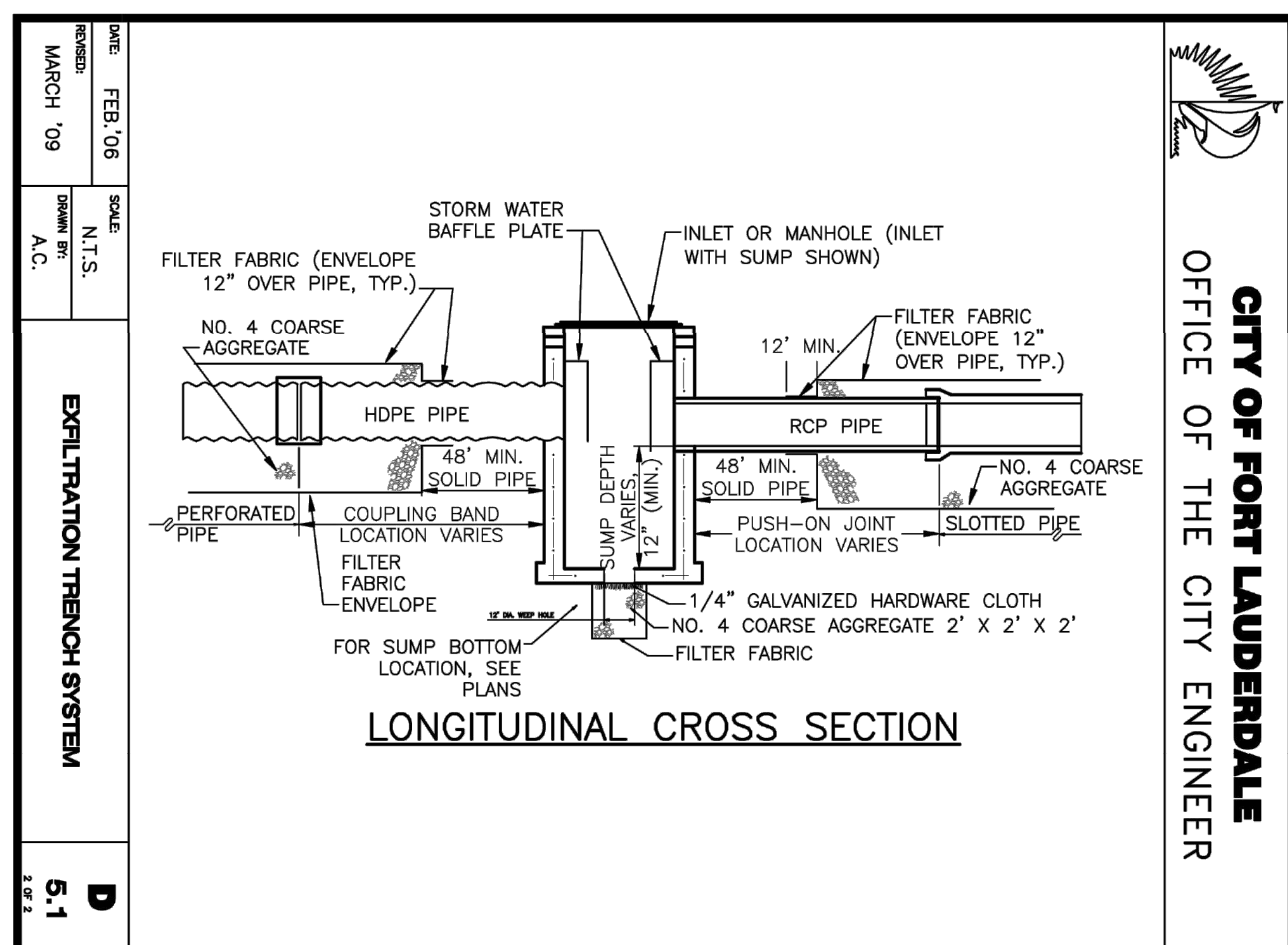
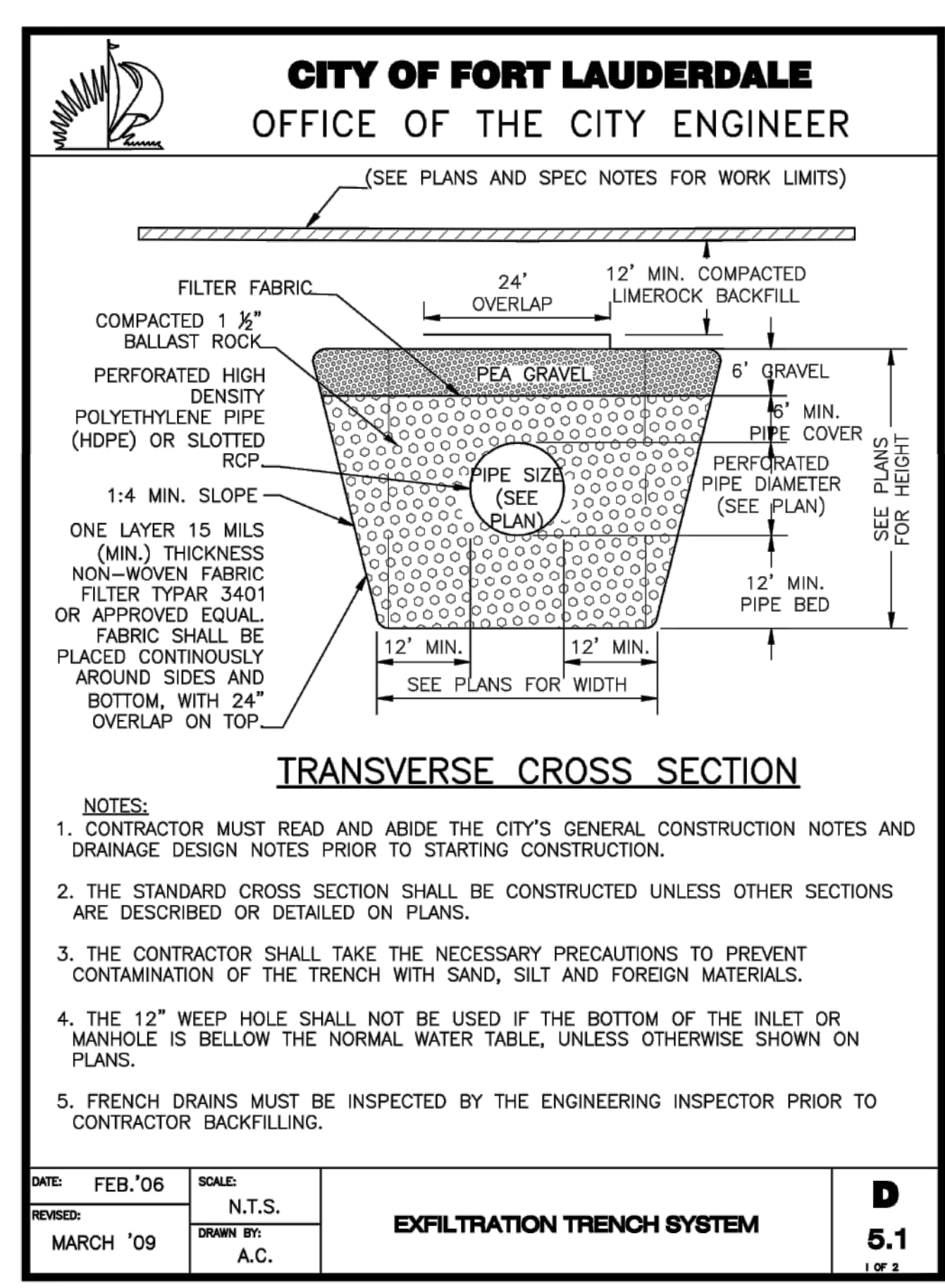
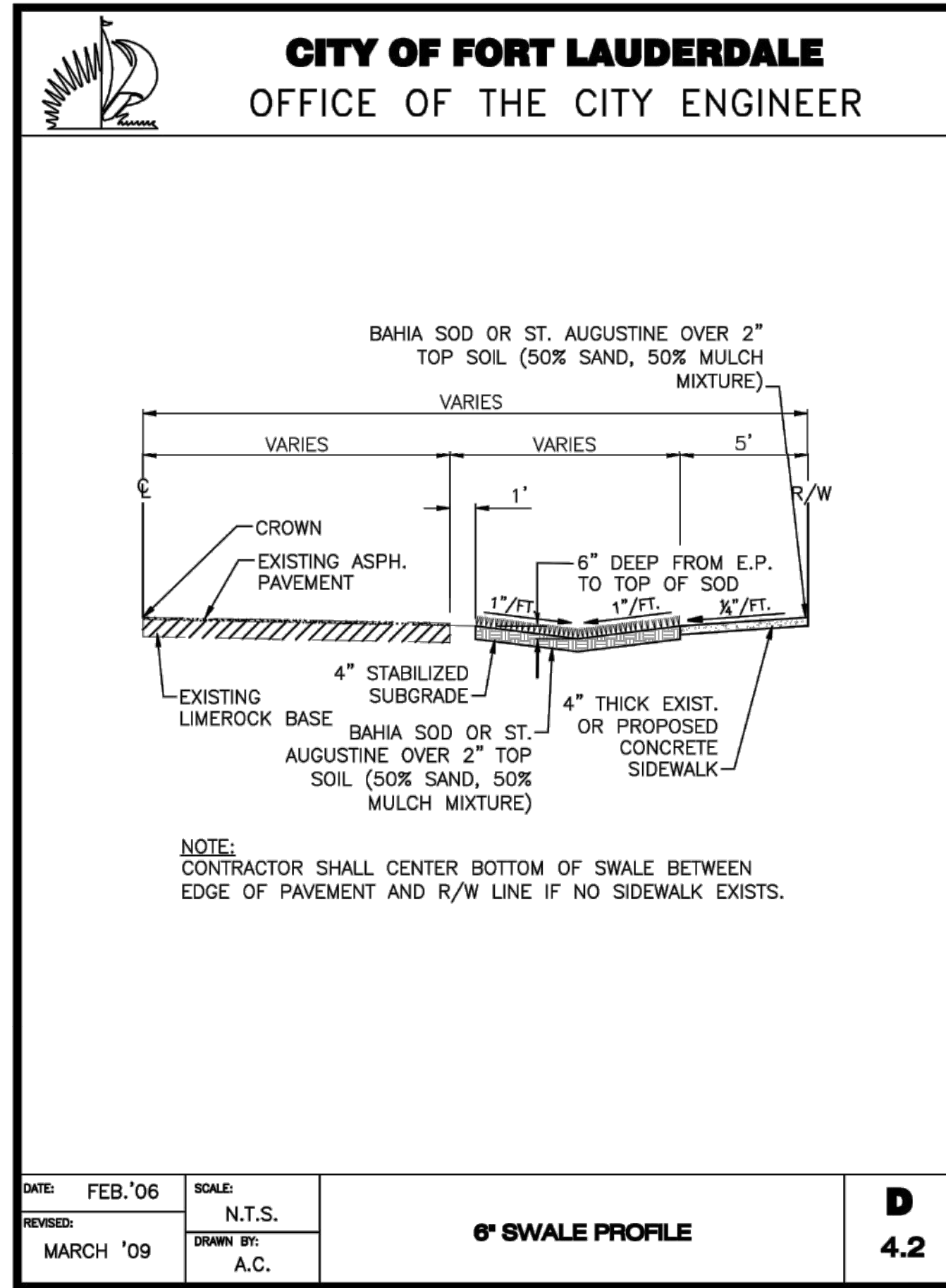
DETAILS  
2888 EAST OAKLAND PARK BLVD  
FORT LAUDERDALE, 33306

PROJECT #: 23.016

SHEET #:

**C-3**

PRINT DATE: 11-07-2023



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P.E. 38553  
PHONE: (954) 739-5099  
APPROVED SEAL/SIGNATURE

DETAILS  
2888 EAST OAKLAND PARK BLVD  
FORT LAUDERDALE, 33306

PROJECT #: 23.016  
SHEET #: C-4

**C-4**  
3  
N.T.S.  
PRINT DATE: 11-07-2023



## BEST MANAGEMENT PRACTICES (BMPS):

THIS PLAN HAS BEEN PREPARED TO ENSURE COMPLIANCE WITH APPROPRIATE CONDITIONS OF BROWARD COUNTY REGULATIONS, THE RULES OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP), CHAPTER 17-25, F.A.C., THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD), CHAPTER 400-4, F.A.C., AND THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) DOCUMENT NO. EPA 832/R-92-005 (SEPTEMBER 1992). THE PLAN ADDRESSES THE FOLLOWING:

1. PREVENT LOSS OF SOIL DURING CONSTRUCTION BY STORMWATER RUNOFF AND/OR WIND EROSION, INCLUDING PROTECTING TOPSOIL BY STOCKPILING FOR REUSE.
2. SEDIMENTATION PROTECTION OF STORM SEWER OR RECEIVING STREAM.
3. PREVENT POLLUTING THE AIR WITH DUST AND PARTICULATE MATTER. THE VARIOUS TECHNIQUES OR ACTIONS IDENTIFIED UNDER EACH SECTION INDICATE THE APPROPRIATE SITUATION WHEN THE TECHNIQUES SHOULD BE EMPLOYED. ALSO IDENTIFIED IS A CROSS-REFERENCE TO A DIAGRAM OR FIGURE REPRESENTING THE TECHNIQUE. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED BMP(S). THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN ACCORDANCE WITH THE CURRENT FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. CONTRACTOR SHALL PREPARE REQUIRED NPDES DOCUMENTATION AND OBTAIN PERMIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE THE REQUIRED NPDES DOCUMENT AND OBTAIN THE NPDES PERMIT. ALL COSTS ASSOCIATED WITH SUCH WORK SHALL BE DEEMED INCIDENTAL TO THE PROJECT LUMP SUM COST.

### GENERAL EROSION CONTROL NOTES:

1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THESE EROSION CONTROL DRAWINGS, THE STANDARD DETAILS, THE NPDES PERMIT (TO BE OBTAINED BY THE CONTRACTOR), AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THIS DRAWING AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP) IN ALL CONSTRUCTION ACTIVITIES INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:

- A. FUEL SPILLS AND LEAKS PREVENTION
- B. PREVENT/REDUCE VEHICLE AND EQUIPMENT WASHING AND STEAM CLEANING
- C. VEHICLE AND EQUIPMENT MAINTENANCE AND REPAIR
- D. PROPER OUTDOOR LOADING/UNLOADING OF MATERIALS
- E. PREVENT/REDUCE OUTDOOR STORAGE OF RAW MATERIALS, PRODUCTS, AND BY-PRODUCTS
- F. SOLID WASTE MANAGEMENT
- G. HAZARDOUS WASTE MANAGEMENT
- H. CONCRETE WASTE MANAGEMENT
- I. SANDBLASTING WASTE MANAGEMENT
- J. STRUCTURE CONSTRUCTION AND PAINTING
- K. SPILL PREVENTION AND CONTROL
- L. CONTAMINATED SOIL MANAGEMENT
- M. SANITARY/SEPTIC WASTE MANAGEMENT
- N. SOIL EROSION CONTROL
- O. STORM WATER TURBIDITY MANAGEMENT

4. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.

- A. BEST MANAGEMENT PRACTICES (BMPS) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- B. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. CONTRACTOR MUST MAINTAIN ALL PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS ON SITE AT ALL TIMES.
- C. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- D. CONTRACTOR SHALL BEGIN CLEARING AND GRUBBING THOSE PORTIONS OF THE SITE NECESSARY TO IMPLEMENT PERIMETER CONTROL MEASURES. CLEARING AND GRUBBING FOR THE REMAINING PORTIONS OF THE PROPOSED SITE SHALL COMMENCE ONCE PERIMETER CONTROLS ARE IN PLACE. PERIMETER CONTROLS SHALL BE ACTIVELY MAINTAINED UNTIL SAID AREAS HAVE BEEN STABILIZED AND SHALL BE REMOVED ONCE FINAL STABILIZATION IS COMPLETE.
- E. GENERAL EROSION CONTROL BMPS SHALL BE EMPLOYED TO MINIMIZE SOIL EROSION AND POTENTIAL LAKE SLOPE CAVE-INS. WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE AND PLAN SPECIFIC, THEY SHOULD BE EMPLOYED AS SOON AS POSSIBLE DURING CONSTRUCTION.
- F. ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- G. SURFACE WATER QUALITY SHALL BE MAINTAINED BY EMPLOYING THE FOLLOWING BMP'S IN THE CONSTRUCTION PLANNING AND CONSTRUCTION OF ALL IMPROVEMENTS.

### STORMWATER EROSION CONTROL NOTES:

1. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT FROM DETENTION PONDS AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
2. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
3. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (COMPOST SOCK DEVICES, ETC.) TO PREVENT EROSION.
4. WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES.
5. EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY. WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:

- A. IN GENERAL, EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.
- B. STORMWATER INLETS SHALL BE PROTECTED DURING CONSTRUCTION. PROTECTION MEASURES SHALL BE EMPLOYED AS SOON AS PRACTICAL DURING THE VARIOUS STAGES OF INLET CONSTRUCTION. SILT BARRIERS SHALL REMAIN IN PLACE UNTIL SODDING AROUND INLETS IS COMPLETE.
- C. WHEN NEEDED A TEMPORARY SEDIMENT TRAP SHOULD BE CONSTRUCTED TO DETAIN SEDIMENT-LADEN RUNOFF FROM DISTURBED AREAS.

6. SILT BARRIERS, ANY SILT WHICH ACCUMULATES BEHIND THE BARRIERS, AND ANY FILL USED TO ANCHOR THE BARRIERS SHALL BE REMOVED PROMPTLY AFTER THE END OF THE MAINTENANCE PERIOD SPECIFIED FOR THE BARRIERS.
7. SOD SHALL BE PLACED, IN ACCORDANCE WITH PLANS, FOR A 2-FOOT WIDE STRIP ADJOINING ALL CURBING AND AROUND ALL INLETS. SOD SHALL BE PLACED BEFORE SILT BARRIERS ARE REMOVED.
8. WHERE REQUIRED TO PREVENT EROSION FROM SHEET FLOW ACROSS BARE GROUND FROM ENTERING A LAKE OR SWALE, A TEMPORARY SEDIMENT SUMP SHALL BE CONSTRUCTED.
9. FILTER FABRIC SHOULD BE USED FOR STORM DRAIN INLET PROTECTION BEFORE FINAL STABILIZATION.

### STABILIZATION NOTES:

SHALL BE IN ACCORDANCE WITH DEP DOCUMENT NO. 62-621.300(4)(a)

### STRUCTURAL NOTES:

SHALL BE IN ACCORDANCE WITH DEP DOCUMENT NO. 62-621.300(4)(a)

### WASTE DISPOSAL NOTES:

1. WASTE MATERIALS - ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN A METAL DUMPSTER WITH A SECURE LID IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN THE DUMPSTER. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITIES TO HAVE THE DUMPSTER EMPTIED AT LEAST TWICE A WEEK AND THE WASTE TAKEN TO AN APPROPRIATE LANDFILL. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE. THE SUPERINTENDENT SHALL ORGANIZE TRAINING FOR THE EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH WASTE MATERIALS. THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR POSTING AND ENFORCING WASTE MATERIAL PROCEDURES.
2. HAZARDOUS WASTE - HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS OR AS DIRECTED BY THE MANUFACTURER. THE SUPERINTENDENT SHALL ORGANIZE THE PROPER TRAINING FOR EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH HAZARDOUS WASTE MATERIALS. THESE PROCEDURES SHALL BE POSTED ON THE SITE. THE PERSON WHO MANAGES THE SITE SHALL BE RESPONSIBLE FOR ENFORCING THE PROCEDURES.
3. SANITARY WASTE - SANITARY WASTE SHALL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITY FOR COLLECTION OF THE SANITARY WASTE AT LEAST THREE TIMES A WEEK TO PREVENT SPILLAGE ONTO THE SITE.
4. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

### MAINTENANCE NOTES:

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED, AREAS SHOULD BE FERTILIZED, WATERED, AND RESEDED AS NEEDED.
3. THE COMPOST SOCK FILTRATION DEVICE SHALL BE INSPECTED PERIODICALLY FOR HEIGHT OF SEDIMENT AND CONDITION OF DEVICE. COMPOST SOCK SHALL BE REPAIRED TO ITS ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE COMPOST SOCK WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE COMPOST SOCK.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING, AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. THE SEDIMENT BASINS/DITCHES SHALL BE CHECKED MONTHLY FOR DEPTH OF SEDIMENT. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 10% AND AFTER CONSTRUCTION IS COMPLETE.
7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER, BUT IN NO CASE LATER THAN SEVEN CALENDAR DAYS FOLLOWING THE INSPECTION. DIVERSION DIKES SHALL BE INSPECTED MONTHLY. ANY BREACHES SHALL BE PROMPTLY REPAIRED.
8. A MAINTENANCE REPORT SHALL BE COMPLETED DAILY AFTER EACH INSPECTION OF THE SEDIMENT AND EROSION CONTROL METHODS. THE REPORTS SHALL BE FILED IN AN ORGANIZED MANNER AND RETAINED ON-SITE DURING CONSTRUCTION. AFTER CONSTRUCTION IS COMPLETED, THE REPORTS SHALL BE SAVED FOR AT LEAST THREE YEARS. THE REPORTS SHALL BE AVAILABLE FOR ANY AGENCY THAT HAS JURISDICTION OVER EROSION CONTROL.
9. ALL REPAIRS MUST BE MADE WITHIN 24 HOURS OF REPORT.
10. THE SUPERINTENDENT SHALL ORGANIZE THE TRAINING FOR INSPECTION PROCEDURES AND PROPER EROSION CONTROL METHODS FOR EMPLOYEES THAT COMPLETE INSPECTIONS AND REPORTS.
11. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.

### OFF-SITE TRACKING:

1. STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO REDUCE SEDIMENT TRACKING OFF-SITE. THE MAJOR ROAD CONNECTED TO THE PROJECT SHALL BE CLEANED ONCE A DAY TO REMOVE ANY EXCESS MUD, DIRT, OR ROCK RESULTING FROM CONSTRUCTION TRAFFIC. ALL TRUCKS HAULING MATERIALS OFFSITE SHALL BE COVERED WITH A TARPAULIN.
2. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATION PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE, AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES INCLUDING STORMWATER COLLECTION AND TREATMENT SYSTEMS. CONTRACTORS SHALL PROVIDE BROAD DIKES, HAY BALES, OR SILT SCREENS AROUND, AND SEDIMENT SUMPS WITHIN, SUCH AREAS AS REQUIRED TO CONTAIN SPILLS OF OIL, GREASE, OR LUBRICANTS. CONTRACTORS SHALL HAVE AVAILABLE, AND SHALL USE, ABSORBENT FILTER PADS TO CLEAN UP SPILLS AS SOON AS POSSIBLE AFTER OCCURENCE.
3. ALL WASH WATER FROM CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC. SHALL BE DETAINED ON SITE AND SHALL BE PROPERLY TREATED OR DISPOSED.
4. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
5. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

### SPILL PREVENTION AND CONTROL:

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

1. GOOD HOUSEKEEPING
  - A. SUPERINTENDENT SHALL INSPECT PROJECT AREA DAILY FOR PROPER STORAGE, USE, AND DISPOSAL OF CONSTRUCTION MATERIALS.
  - B. STORE ONLY ENOUGH MATERIAL ON-SITE FOR PROJECT COMPLETION.
  - C. ALL SUBSTANCES SHOULD BE USED BEFORE DISPOSAL OF CONTAINER.
  - D. ALL CONSTRUCTION MATERIALS STORED SHALL BE ORGANIZED AND IN THE PROPER CONTAINER AND, IF POSSIBLE, STORED UNDER A ROOF OR PROTECTIVE COVER.
  - E. PRODUCTS SHALL NOT BE MIXED UNLESS DIRECTED BY THE MANUFACTURER.
  - F. ALL PRODUCTS SHALL BE USED AND DISPOSED OF ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

### 2. HAZARDOUS PRODUCTS

- A. MATERIALS SHOULD BE KEPT IN ORIGINAL CONTAINER WITH LABELS UNLESS THE ORIGINAL CONTAINERS CANNOT BE RESEALED. IF ORIGINAL CONTAINERS CANNOT BE USED, LABELS AND PRODUCT INFORMATION SHALL BE SAVED.
- B. PROPER DISPOSAL PRACTICES SHALL ALWAYS BE FOLLOWED IN ACCORDANCE WITH MANUFACTURER AND LOCAL/STATE REGULATIONS.

### 3. PRODUCT SPECIFIC PRACTICES

- A. PETROLEUM PRODUCTS MUST BE STORED IN PROPER CONTAINERS AND CLEARLY LABELED. VEHICLES CONTAINING PETROLEUM PRODUCTS SHALL BE PERIODICALLY INSPECTED FOR LEAKS. PRECAUTIONS SHALL BE TAKEN TO AVOID LEAKAGE OF PETROLEUM PRODUCTS ON-SITE.
- B. THE MINIMUM AMOUNT OF FERTILIZER SHALL BE USED AND MIXED INTO THE SOIL IN ORDER TO LIMIT EXPOSURE TO STORM WATER. FERTILIZERS SHALL BE STORED IN A COVERED SHED, THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
- C. PAINT CONTAINERS SHALL BE SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT MUST BE DISPOSED OF IN AN APPROVED MANNER.
- D. CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

### SPILL CLEANUP:

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED ABOVE, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

1. SPILL CLEANUP INFORMATION SHALL BE POSTED ON SITE TO INFORM EMPLOYEES ABOUT CLEANUP PROCEDURES AND RESOURCES.
2. THE FOLLOWING CLEANUP EQUIPMENT MUST BE KEPT ON-SITE NEAR THE MATERIAL STORAGE AREA: GLOVES, MOPS, RAGS, BROOMS, DUST PANS, SAND, SAWDUST, LIQUID ABSORBER, GOGGLES, AND TRASH CONTAINERS.
3. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ONSITE AND READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
4. ALL SPILLS SHALL BE CLEANED UP AS SOON AS POSSIBLE.
5. WHEN CLEANING A SPILL, THE AREA SHOULD BE WELL VENTILATED AND THE EMPLOYEE SHALL WEAR PROPER PROTECTIVE COVERING TO PREVENT INJURY.
6. TOXIC SPILLS MUST BE REPORTED TO THE PROPER AUTHORITY REGARDLESS OF THE SIZE OF THE SPILL.
7. AFTER A SPILL, THE PREVENTION PLAN SHALL BE REVIEWED AND CHANGED TO PREVENT FURTHER SIMILAR SPILLS FROM OCCURRING. THE CAUSE OF THE SPILL, MEASURES TO PREVENT IT, AND HOW TO CLEAN THE SPILL UP SHALL BE RECORDED.
8. THE SUPERINTENDENT SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR AND IS RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS. THE SUPERINTENDENT ALSO OVERSEES THE SPILL PREVENTION PLAN AND SHALL BE RESPONSIBLE FOR EDUCATING THE EMPLOYEES ABOUT SPILL PREVENTION AND CLEANUP PROCEDURES.

### WIND EROSION CONTROL NOTES:

1. WIND EROSION SHALL BE CONTROLLED BY EMPLOYING THE FOLLOWING METHODS AS NECESSARY AND APPROPRIATE:

- A. BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IT MAY BE NECESSARY TO LIMIT CONSTRUCTION VEHICLE SPEED IF BARE EARTH HAS NOT BEEN EFFECTIVELY WATERED. IN NO CASE SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.
- B. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN. CLEARED SITE DEVELOPMENT AREAS NOT CONTINUALLY SCHEDULED FOR CONSTRUCTION ACTIVITIES SHALL BE COVERED WITH HAY OR OVERSEEDED AND PERIODICALLY WATERED SUFFICIENTLY TO STABILIZE THE TEMPORARY GROUND COVER.
- C. AT ANY TIME BOTH DURING AND AFTER SITE CONSTRUCTION THAT WATERING AND/OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR TRANSPORT OF FUGITIVE DUST, OTHER METHODS AS ARE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS SHOULD INCLUDE ERECTION OF DUST CONTROL FENCES. A 6-FT GEOTEXTILE FILTER FABRIC SHOULD BE HANGING AGAINST THE EXISTING CHAIN LINK FENCE AND GATE.

2. ALL DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.



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## AMERICAN BUILDING ENGINEERS

1842 East Oakland Park Blvd.  
Fort Lauderdale, Florida 33306  
Miami: 305.681.5563  
Fort Lauderdale: 954.739.5099  
Palm Beach: 561.243.3939

Certificate of Authorization # 4732

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DRAWINGS FOR:

OCEAN VIEW  
BORU

**ABE BORUJERDI, P.E.**  
P.E. 38553  
PHONE: (954) 739-5099  
APPROVED SEAL/SIGNATURE

BEST MANAGEMENT PRACTICES

2888 EAST OAKLAND PARK BLVD

FORT LAUDERDALE, 33306

PROJECT #: 23.016

SHEET #:

**C-5**

PRINT DATE: 11-07-2023

**DRAINAGE DETAILS**

N.T.S

5

C-5



**UTILITY NOTES:**

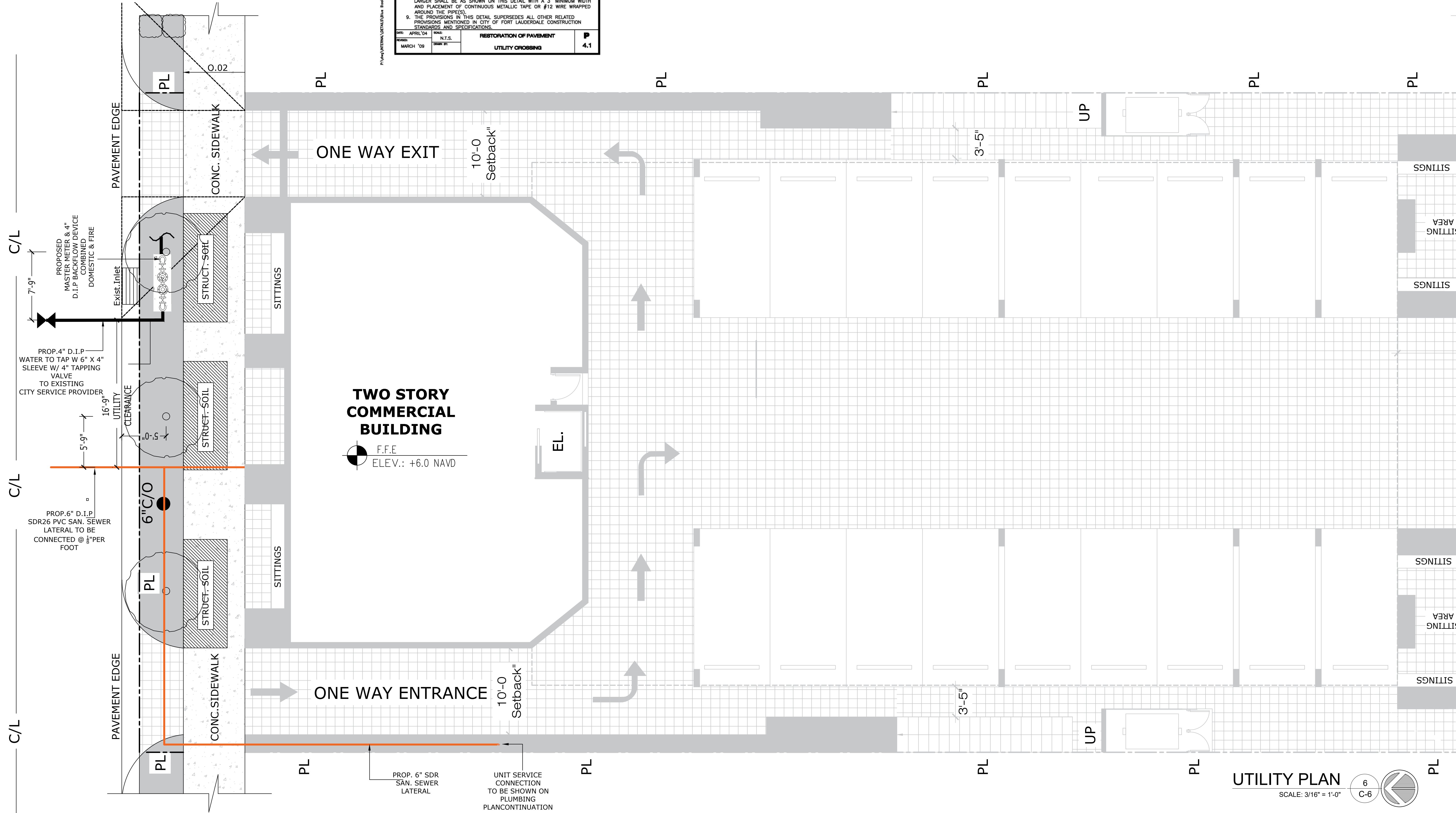
THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATION. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

**CITY OF FORT LAUDERDALE**  
OFFICE OF THE CITY ENGINEER

**GENERAL NOTES**

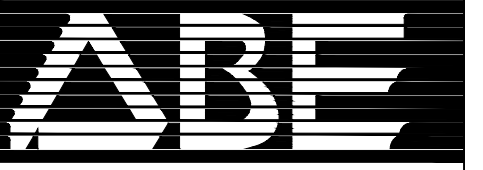
1. REPLACED BASE MATERIAL OVER DITCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL BASE. MINIMUM 12", MAXIMUM 18".
2. BASE MATERIAL SHALL BE PLACED IN LAYERS NOT THICKER THAN 6" COMPACTED THICKNESS AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO 95% OF MAXIMUM DENSITY, PER AASHTO T-100.
3. ASPHALT PAVEMENT JOINTS (ASPHALTIC CONCRETE) SHALL BE MECHANICALLY SAWS.
4. NEW SURFACE MATERIAL WILL BE D.O.T. TYPE III ASPHALTIC CONCRETE.
5. BASE MATERIAL SHALL HAVE A MINIMUM LBR OF 100 & MINIMUM CARBONATE CONTENT OF 70% FOR MAJOR STREETS AND 60% FOR RESIDENTIAL STREETS.
6. IF THE DITCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH ON MAJOR STREET AND 1-1/2" ASPHALTIC CONCRETE PATCH ON RESIDENTIAL STREET AND PARKING LOT TO KEEP THE FILL MATERIAL FROM HAWLING UNTIL PLACED WITH A PERMANENT PATCH.
7. SUBGRADE SHALL BE COMPACTED TO 100% OF DRY DENSITY PER AASHTO T-99 AND SHALL BE PLACED IN LIFTS NOT TO EXCEED 12" MAXIMUM, LOOSE MEASUREMENT.
8. PAVEMENT RESTORATION DUE TO PLACEMENT OF 4" GAS MAINS OR LARGER SHALL BE AS SHOWN ON THIS DETAIL WITH A 3" MINIMUM WIDTH AND PLACEMENT OF CONTINUOUS METALLIC TAPE OR #12 WIRE WRAPPED AROUND THE PIPES.
9. THE PROVISIONS IN THIS DETAIL SUPERSEDES ALL OTHER RELATED PROVISIONS MENTIONED IN CITY OF FORT LAUDERDALE CONSTRUCTION STANDARDS AND SPECIFICATIONS.

DATE: APRIL '04	SCALE: N.T.S.	PROJECT: RESTORATION OF PAVEMENT	DATE: P
DATE: MARCH '09	SCALE: 4:1	PROJECT: UTILITY CROSSING	DATE: 4,1



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DRAWINGS FOR:  
**OCEAN VIEW BORU**

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APPROVED SEAL/SIGNATURE

**UTILITY PLAN**  
2888 EAST OAKLAND PARK BLVD  
FORT LAUDERDALE, 33306

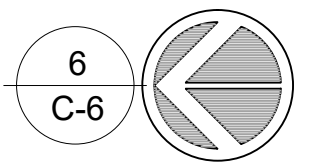
PROJECT #: 23.016

SHEET #:

**C-6**

PRINT DATE: 11-07-2023

**UTILITY PLAN**  
SCALE: 3/16" = 1'-0"





- 1.REMOVE MUCK, OVERBURDEN AND ROOT MATERIAL WITHIN 10 FEET OF ANY EDGE OF PAVEMENT OR BUILDING, BACKFILL TO REQUIRED SUB-GRADE WITH CLEAN, GRANULAR MATERIAL IN MAXIMUM 12 INCH LIFTS. COMPACTED WITH 98% MAXIMUM DENSITY AS DETERMINED BY AASHTO-T-180.
- 2.STABILIZED SUB-GRADE (MINIMUM L.B.R. 40) SHALL BE COMPACTED TO 98% MAXIMUM DENSITY AS DETERMINED BY AASHTO-T-180.
- 3.LIMEROCK BASE SHALL MEET FLORIDA D.O.T. STANDARD SPECIFICATIONS, SECTION 911, AND INSTALLED PER SECTION 200. DENSITY TESTS SHALL BE TAKEN AT A MINIMUM OF EVERY 5,000 S.F. FOR EACH LIFT WITH COPIES TO THE ENGINEER FOR APPROVAL. LIMEROCK BAS TO BE PRIMED IN ACCORDANCE WITH SECTION 300. BASE SHALL HAVE A COMPACTED THICKNESS AS SPECIFIED ON THE PLAN BUT IN CASE LESS THAN 6 INCHES.
- 4.ASPHALTIC CONCRETE SURFACE COURSE SHALL BE TYPE-S-III CONFORMING TO SECTION 311, FLORIDA D.O.T. STANDARD SPECIFICATIONS. THE MINIMUM COMPACTED THICKNESS TO BE AS NOTED ON PLANS.
- 5.FINISHED ROCK "AS-BUILT" GRADES BY A REGISTERED SURVEYOR SHALL BE SUBMITTED TO THE ENGINEER AND CITY FOR APPROVAL PRIOR TO PLACING ASPHALT
- 6.PAVEMENT MARKINGS SHALL BE THERMOPLASTIC (T.P) IN ACCORDANCE WITH FLORIDA D.O.T. SPECIFICATION WITH SECTION 706. BOTH PAVEMENT MARKINGS AND R.P.M. SHALL BE INSTALLED IN ACCORDANCE WITH THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS AND BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS. ALL TRAFFIC SIGNS SHALL BE HIGH INTENSITY REFLECTIVE MATERIAL.
- 7.PAVEMENT MARKINGS ALL DIRECTIONAL AND TRAFFIC CONTROL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC AS PER CITY STANDARDS
- 8.ALL TURNING RADII FOR ALL TURNS AS PER NFPA 1-18.2.2.5.3
- 9.PROVIDE A CRAPE MYRTLE DIRECTLY OVER TOP OF THE SEWER LATERAL.
- 10.PROVIDE A NEW SEWER CLEAN-OUT ON THE LATERAL AT PROPERTY LINE AND INSERT A CURED-IN-PLACE PIPE INSIDE OF THE EXISTING SANITARY LATERAL AS PER ASTM F2561-11
- 11.PROVIDE A ROOT BARRIER BETWEEN THE LIVE OAK TREE AND WATER MAIN OF LESS THAN 10' SEPARATION

## PAVING NOTES

SCALE: NTS DTL - 000

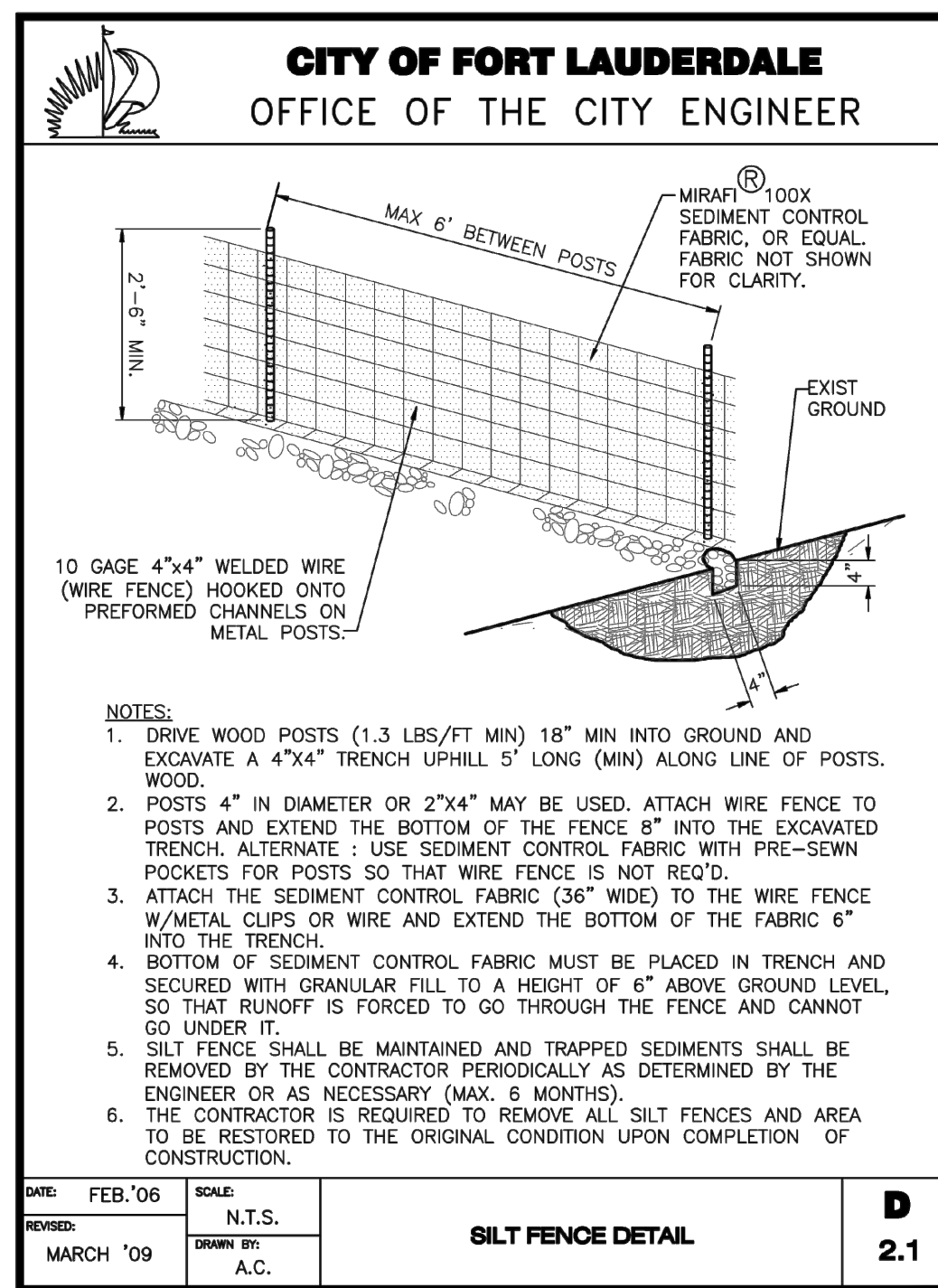
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- 1.DRAINAGE PIPE SHALL BE ONE OF THE FOLLOWING:
  - 1.1. CORRUGATED POLYETHYLENE PIPE (P.E) FABRICATED TO ASTM 405 AND ASSHTO-M294. PIPE SHALL BE ADS N-12, OR APPROVED EQUAL.
  - 1.2. HELICAL CORRUGATED ALUMINUM (C.A.P) FABRICATED TO ASTM B209 AND AASHTO-196. PIPE SHALL HAVE 2-2/3" x 1/2" CORRUGATIONS AND SHALL HAVE A MINIMUM THICKNESS OF:
    - 1.2.1. 24" AND SMALLER - 16 GAUGE.
    - 1.2.2. OVER 24" - 14 GAUGE.
- PIPE COUPLING BANDS SHALL BE SPLIT BANDS OF THE SAME ALLOY AS THE PIPE. POLYURETHANE OR OTHER MANUFACTURED SUPPLIED SEALANT SHALL BE USE WITH THE COUPLINGS. THE BANDS SHALL BE A MINIMUM OF 12 INCHES WIDE.
- 1.3. REINFORCED CONCRETE PIPE (R.C.P) SHALL BE CLASS III AND MEET THE REQUIREMENTS OF ASTM C-76. THE PIPE JOINT SHALL BE OF THE BELL-AND-SPIGOT TYPE.
- 2.PRECAST DRAINAGE MANHOLES AND CATCH BASINS SHALL MEET THE REQUIREMENTS OF ASTM C-478 WITH A CONCRETE MINIMUM COMPRESSIVE STRENGTH OF 4,000 P.S.I. AT 28 DAYS. SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO MANUFACTURE.
- 3.ALL CONCRETE USED SHALL DEVELOP A MINIMUM OF 4,000 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS.
- 4.CONTRACTOR SHALL PROVIDE THE ENGINEER "AS-BUILTS" OF THE PROJECT GIVING ALL HORIZONTAL DIMENSIONS AND VERTICAL INFORMATION BY A REGISTERED SURVEYOR.

## DRAINAGE NOTES

SCALE: NTS DTL - 000

2

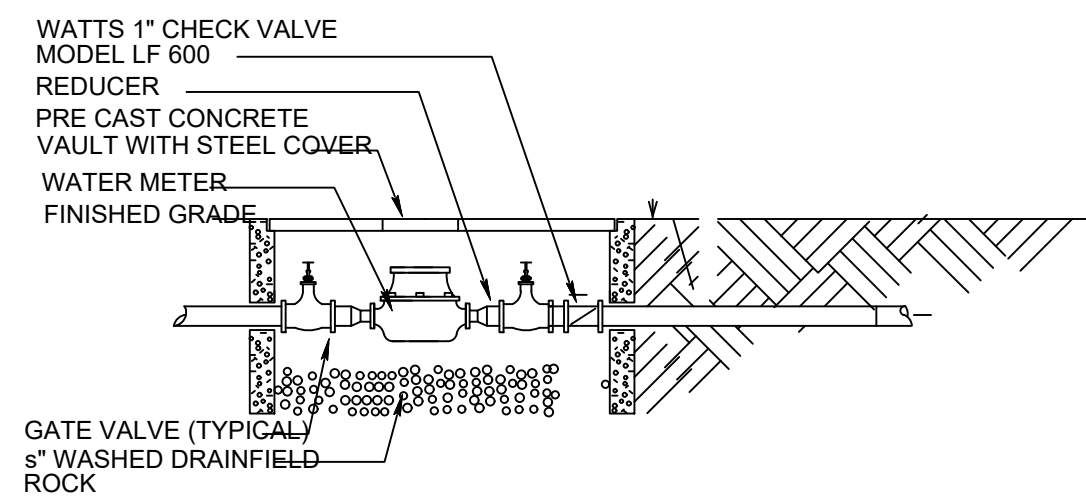


## TYPE III SILT FENCE

SCALE: NTS DTL - 000

3

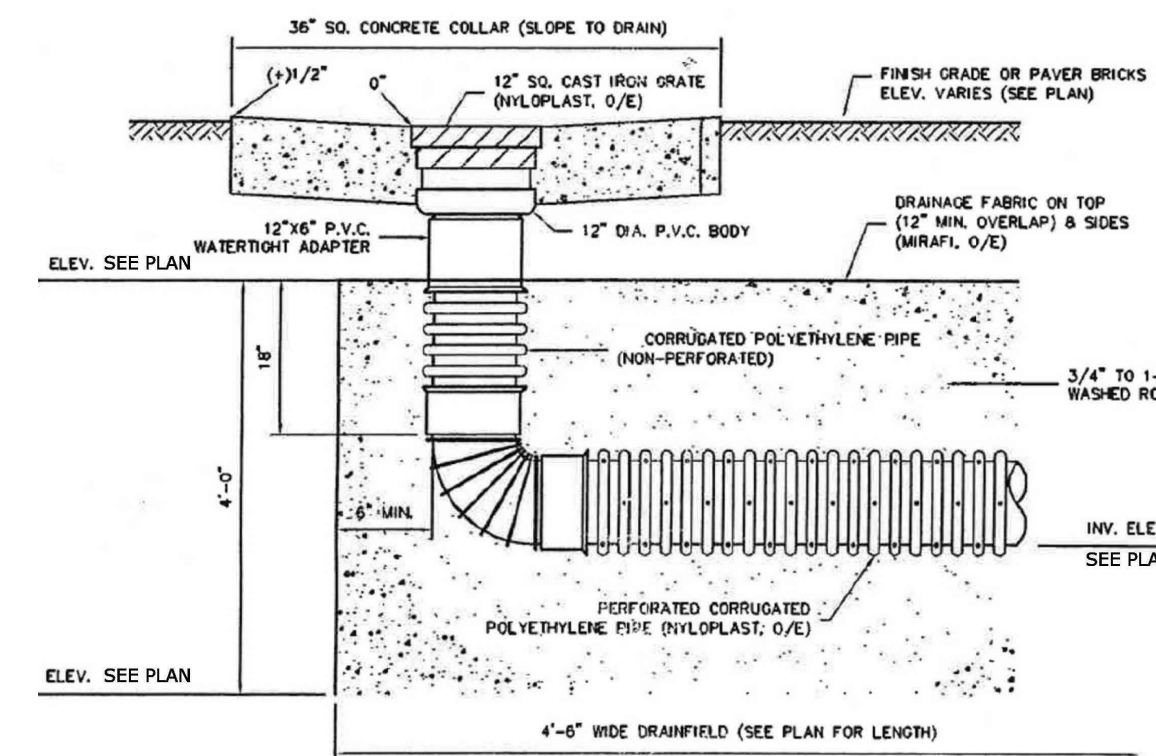
INLETS TO BE CLEANED REGULARLY.  
BLOCKING THE STORM INLET.



## WATER METER ENCLOSURE & CHECK VALVE DETAIL

SCALE: NTS DTL - 000

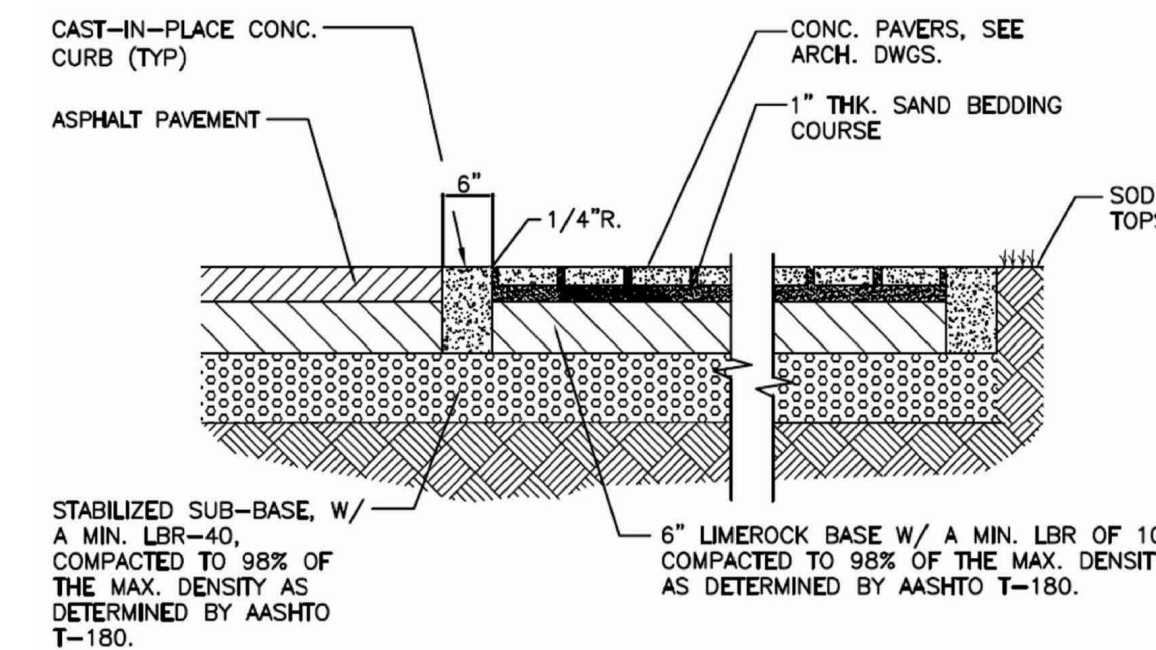
4



## DRAIN INLET DETAIL

SCALE: NTS DTL - 000

5



## COBBLE STONE PAVERS

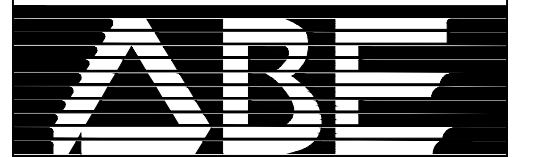
SCALE: NTS DTL - 000

6

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DRAWINGS FOR:  
OCEAN VIEW  
BORU

**ABE BORUJERDI, P.E.**  
P.E. 38553  
PHONE: (954) 739-5099  
APPROVED SEAL/SIGNATURE

NOTES & DETAILS

2888 EAST OAKLAND PARK BLVD  
FORT LAUDERDALE, 33306

PROJECT #: 23.016

SHEET #:

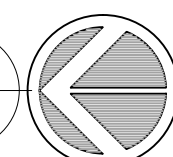
**C-7**

PRINT DATE: 11-07-2023

NOTES & DETAILS

SCALE: 3/16" = 1'-0"

7  
C-7



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FIRST FLOOR PLAN

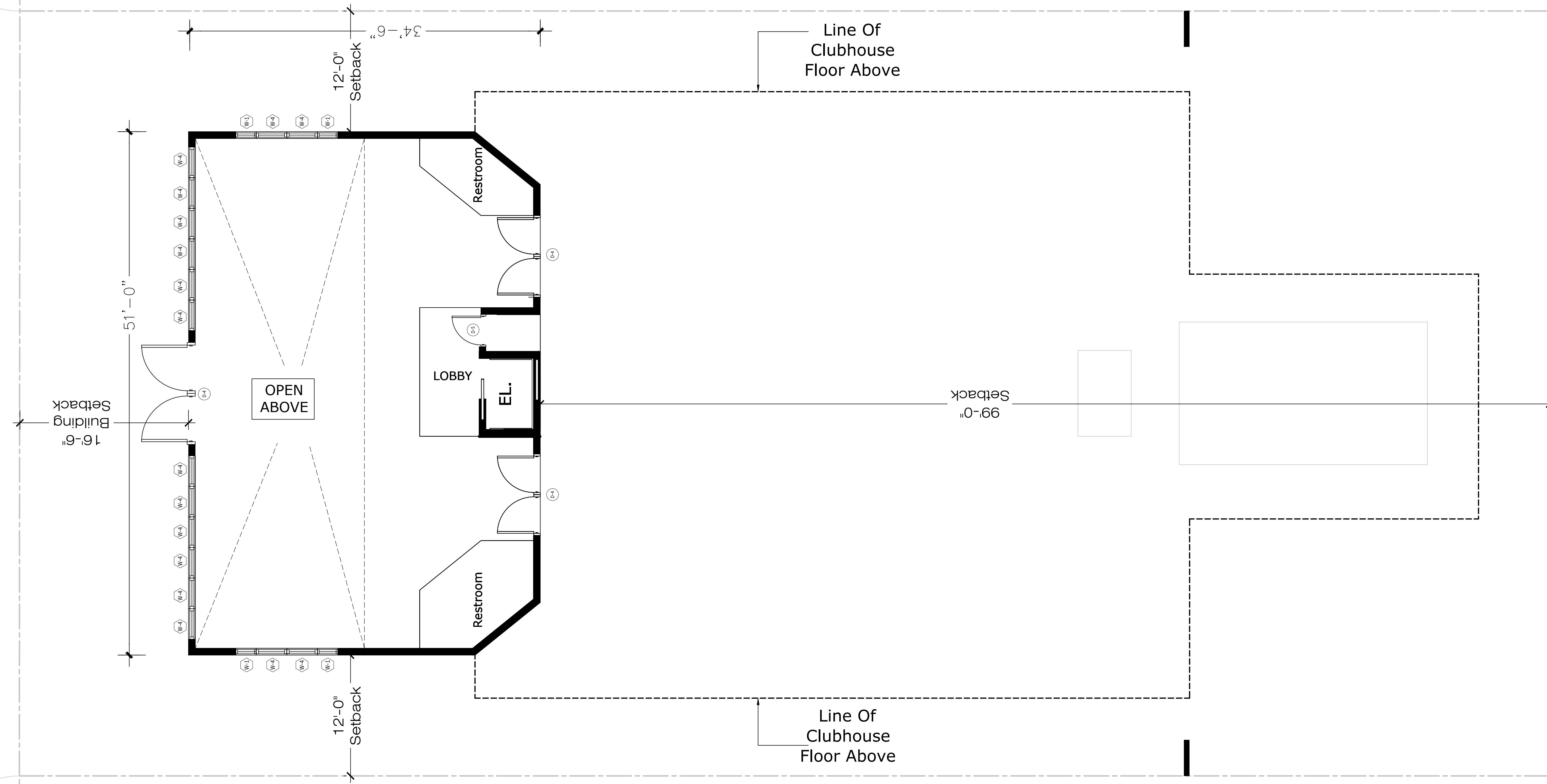
2888 EAST OAKLAND PARK BLVD  
FORT LAUDERDALE, 33306

PROJECT #: 23.016

SHEET #:

**A-1.1**

PRINT DATE: 11-07-2023



- NOTES:**
1. PROVIDE MARBLE THRESHOLD 1/2" MAX TO ALL BATHROOMS.
  2. PROVIDE BACKING AT ALL BATHROOMS AND POWDER ROOMS FOR FUTURE GRAB BARS AND ACCESSORY LOCATION CABINETRY (TOWEL BARS, ETC)
  3. ALL PLUMBING AND DRAIN PIPES MUST NOT BE IN CONTACT WITH ANY METAL FRAMING DRYWALL OR FLOOR FLOOR.

- WATERPROOFING NOTES:**
1. ALL EXTERIOR DECKS SLOPES SHALL BE MAINTAINED BETWEEN 1/8" AND 1/4" PER FOOT.
  2. ALL STRUCTURAL CRACKS TO BE ROUTED OUT AND SEALED W/ PRESSURE INJECTED EPOXY OR ELASTOMETRIC SEALANTS.
  3. PROVIDE THEROSEAL CEMENTITIOUS WATERPROOFING AT ALL BALCONY AND EYEBROW SLAB TO WALL TRANSITIONS.

- PARTITION LEGEND:**
- 8" CMU WALLS W/ FILLED CELLS. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - INTERIOR PARTITION WALLS, SEE PLAN FOR THICKNESS
  - 1-HOUR FIRE RATED INTERIOR PARTITION WALL, SEE PLAN FOR THICKNESS

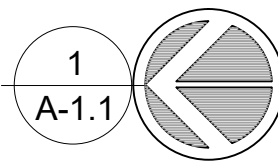
- REFERENCE:**
1. SEE SHEET A-3.1 FOR DOOR SCHEDULE
  2. SEE SHEET A-3.1 FOR WINDOW & STOREFRONT SCHEDULE
  3. SEE SHEET A-3.1 FOR PARTITION TYPE DETAILS
- FIRE SPRINKLER:**  
THE BUILDING IS FULLY EQUIPPED WITH FIRE SPRINKLER SYSTEM.

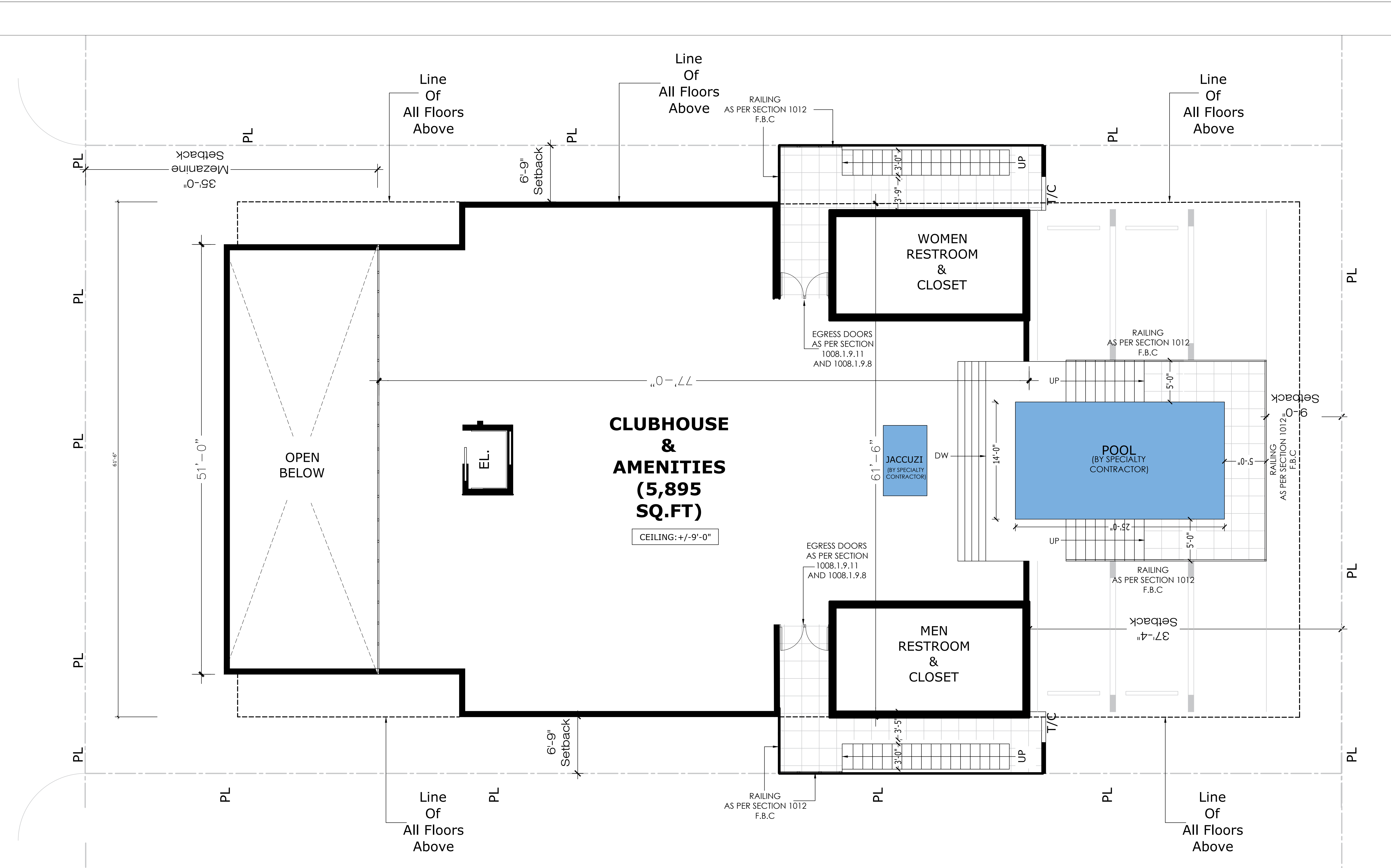
**FIRE-RESISTANT RATING REQUIREMENT CONSTRUCTION TYPE IB:**

	F.R. REQ.	F.R. PROV.	
PRIMARY STRUCTURAL FRAME	2	2	CONCRETE MASONRY
BEARING WALLS EXTERIOR	2	2	CONCRETE MASONRY
BEARING WALLS INTERIOR	2	N/A	
NON BEARING WALLS INTERIOR	0	0	DRYWALL
FLOOR CONST. & SEC. MEMBER	2	2	CONCRETE
ROOF CONST. & SEC. MEMBER	1	1	CONCRETE

FIRST FLOOR PLAN

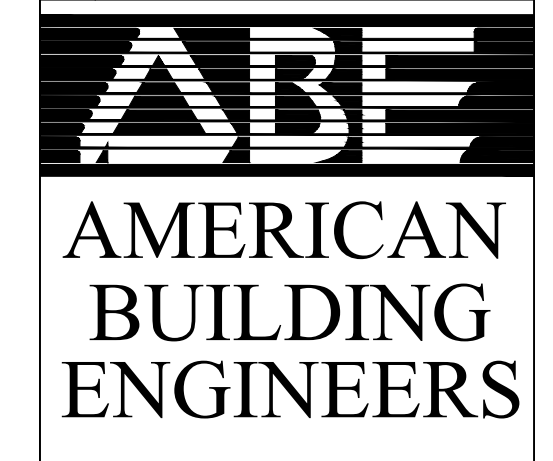
SCALE: 3/16" = 1'-0"





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DRAWINGS FOR:  
**OCEAN VIEW BORU**

**ABE BORUJERDI, P.E.**  
P.E. 38553  
PHONE: (954) 739-5099  
APPROVED SEAL/SIGNATURE

**SECOND FLOOR PLAN**  
2888 EAST OAKLAND PARK BLVD  
FORT LAUDERDALE, 33306

PROJECT #: 23.016  
SHEET #: 1  
**A-1.2**  
PRINT DATE: 11-07-2023

- NOTES:**
1. PROVIDE MARBLE THRESHOLD 1/2" MAX TO ALL BATHROOMS.
  2. PROVIDE BACKING AT ALL BATHROOMS AND POWDER ROOMS FOR FUTURE GRAB BARS AND ACCESSORY LOCATION CABINETRY (TOWEL BARS, ETC).
  3. ALL PLUMBING AND DRAIN PIPES MUST NOT BE IN CONTACT WITH ANY METAL FRAMING DRYWALL OR FLOOR FLOOR.

- WATERPROOFING NOTES:**
1. ALL EXTERIOR DECKS SLOPES SHALL BE MAINTAINED BETWEEN 1/8" AND 1/4" PER FOOT.
  2. ALL STRUCTURAL CRACKS TO BE ROUTED OUT AND SEALED W/ PRESSURE INJECTED EPOXY OR ELASTOMETRIC SEALANTS.
  3. PROVIDE THEROSEAL CEMENTITIOUS WATERPROOFING AT ALL BALCONY AND EYEBROW SLAB TO WALL TRANSITIONS.

- PARTITION LEGEND:**
- 8" CMU WALLS W/ FILLED CELLS. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - INTERIOR PARTITION WALLS, SEE PLAN FOR THICKNESS
  - 1-HOUR FIRE RATED INTERIOR PARTITION WALL, SEE PLAN FOR THICKNESS

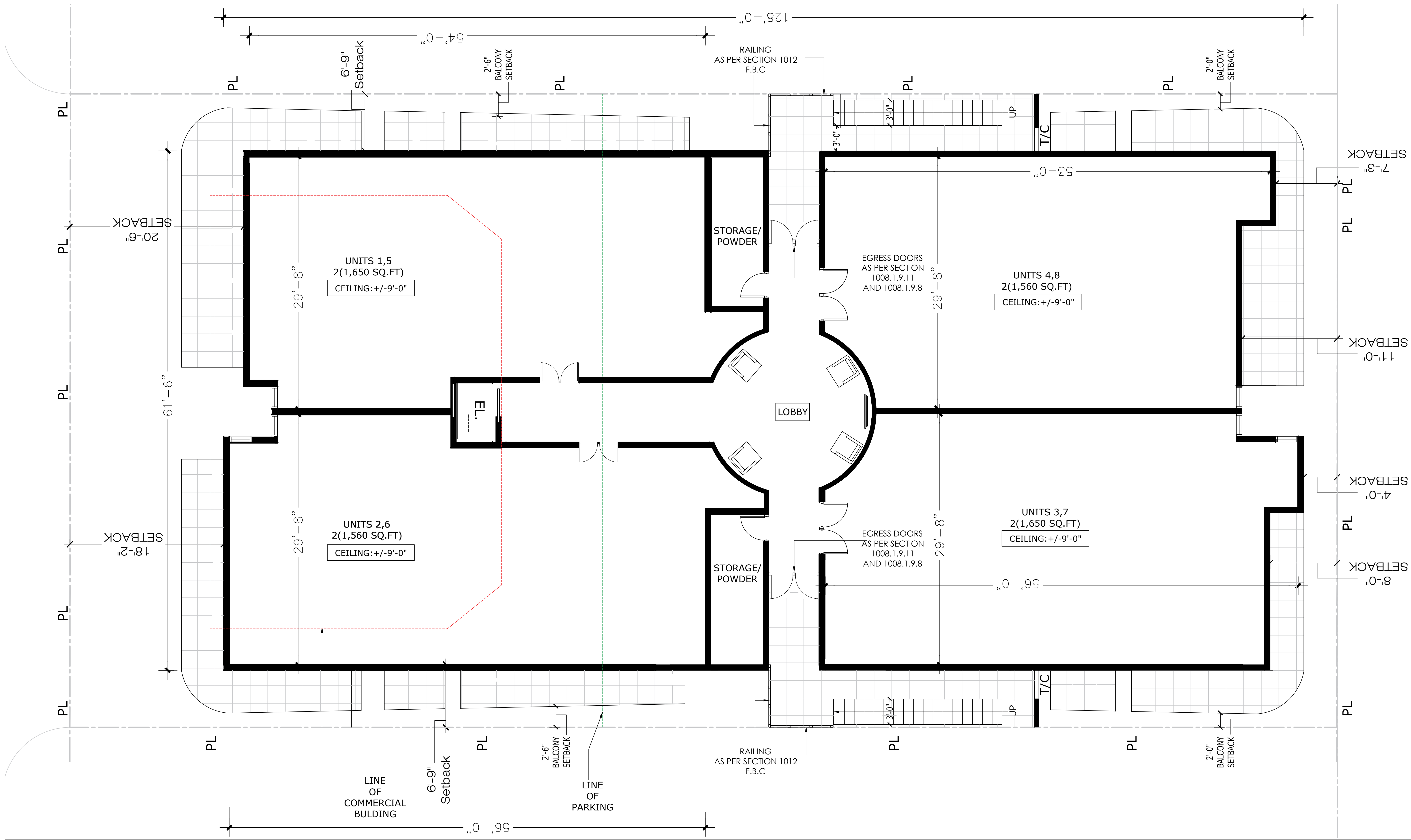
- REFERENCE:**
1. SEE SHEET A-3.1 FOR DOOR SCHEDULE
  2. SEE SHEET A-3.1 FOR WINDOW & STOREFRONT SCHEDULE
  3. SEE SHEET A-3.1 FOR PARTITION TYPE DETAILS
- FIRE SPRINKLER:**  
THE BUILDING IS FULLY EQUIPPED WITH FIRE SPRINKLER SYSTEM.

**FIRE-RESISTANT RATING REQUIREMENT CONSTRUCTION TYPE IB:**

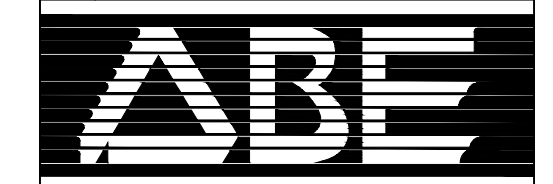
	F.R. REQ.	F.R. PROV.	
PRIMARY STRUCTURAL FRAME	2	2	CONCRETE MASONRY
BEARING WALLS EXTERIOR	2	2	CONCRETE MASONRY
BEARING WALLS INTERIOR	2	N/A	
NON BEARING WALLS INTERIOR	0	0	DRYWALL
FLOOR CONST. & SEC. MEMBER	2	2	CONCRETE
ROOF CONST & SEC. MEMBER	1	1	CONCRETE

**SECOND FLOOR PLAN**  
SCALE: 3/16" = 1'-0"  
1  
A-1.2





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**THIRD & FOURTH FLOOR PLAN**  
2888 EAST OAKLAND PARK BLVD  
FORT LAUDERDALE, 33306

PROJECT # 23.016

SHEET #

**A-1.3**

PRINT DATE: 11-07-2023

**NOTES:**

1. PROVIDE MARBLE THRESHOLD 1/2" MAX TO ALL BATHROOMS.
2. PROVIDE BACKING AT ALL BATHROOMS AND POWDER ROOMS FOR FUTURE GRAB BARS AND ACCESSORY LOCATION CABINETS (TOWEL BARS, ETC)
3. ALL PLUMBING AND DRAIN PIPES MUST NOT BE IN CONTACT WITH ANY METAL FRAMING DRYWALL OR FLOOR FLOOR.

**WATERPROOFING NOTES:**

1. ALL EXTERIOR DECKS SLOPES SHALL BE MAINTAINED BETWEEN 1/8" AND 1/4" PER FOOT.
2. ALL STRUCTURAL CRACKS TO BE ROUTED OUT AND SEALED W/ PRESSURE INJECTED EPOXY OR ELASTOMETRIC SEALANTS.
3. PROVIDE THEROSEAL CEMENTITIOUS WATERPROOFING AT ALL BALCONY AND EYEBROW SLAB TO WALL TRANSITIONS.

**PARTITION LEGEND:**

- 8" CMU WALLS W/ FILLED CELLS. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- INTERIOR PARTITION WALLS, SEE PLAN FOR THICKNESS
- 1-HOUR FIRE RATED INTERIOR PARTITION WALL, SEE PLAN FOR THICKNESS

**REFERENCE:**

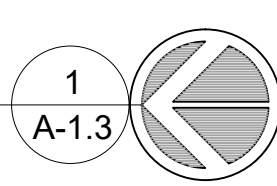
1. SEE SHEET A-3.1 FOR DOOR SCHEDULE
2. SEE SHEET A-3.1 FOR WINDOW & STOREFRONT SCHEDULE
3. SEE SHEET A-3.1 FOR PARTITION TYPE DETAILS

**FIRE SPRINKLER:**  
THE BUILDING IS FULLY EQUIPPED WITH FIRE SPRINKLER SYSTEM.

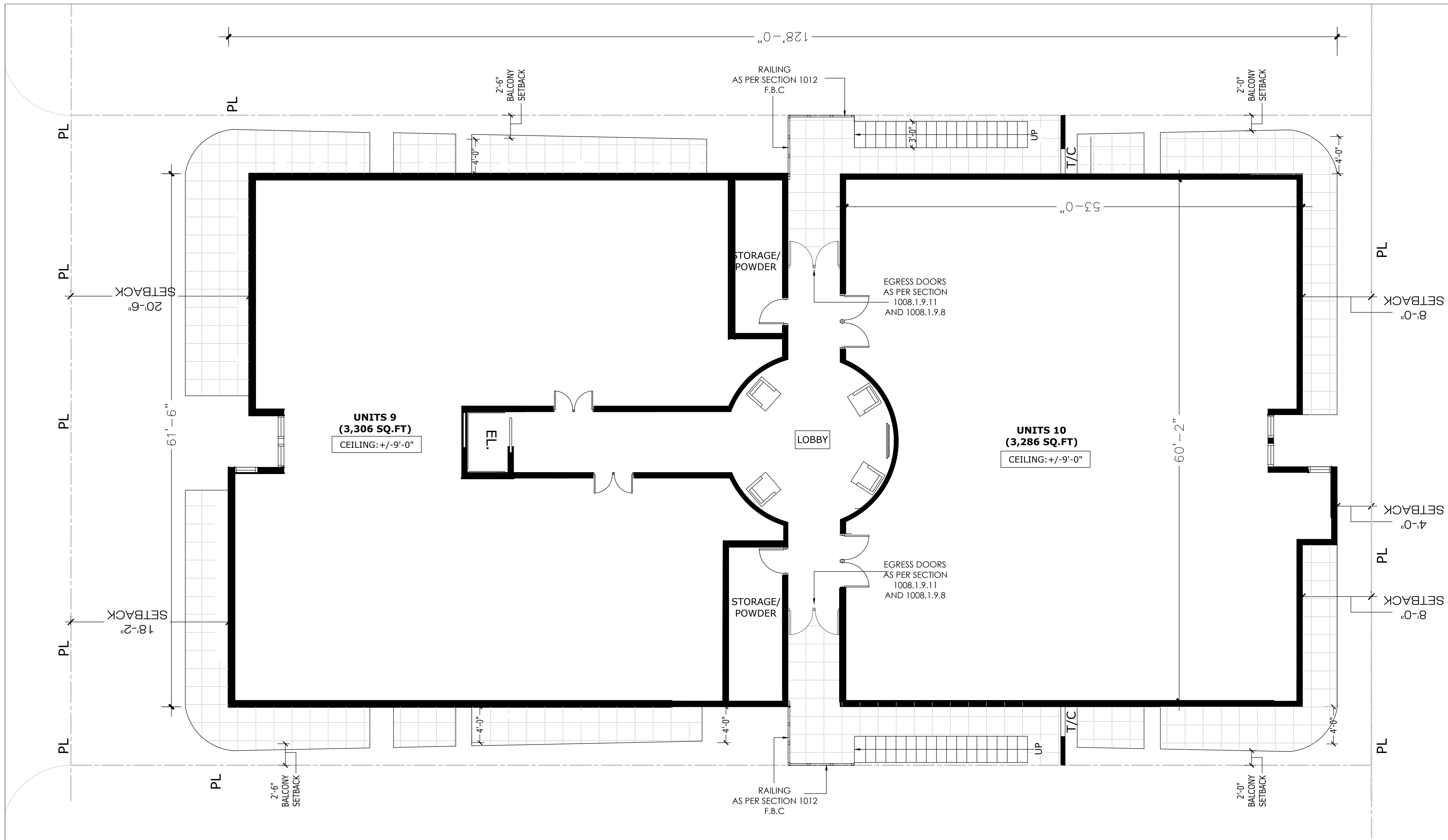
FIRE-RESISTANT RATING REQUIREMENT CONSTRUCTION TYPE IB:		
	F.R. REQ.	F.R. PROV.
PRIMARY STRUCTURAL FRAME	2	2
BEARING WALLS EXTERIOR	2	2
BEARING WALLS INTERIOR	2	N/A
NON BEARING WALLS INTERIOR	0	0
FLOOR CONST. & SEC. MEMBER	2	2
ROOF CONST. & SEC. MEMBER	1	1

(SCHEDULE TO REFLECT FINISHED FLOOR SAMPLE LAYOUT)

**THIRD AND FOURTH FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

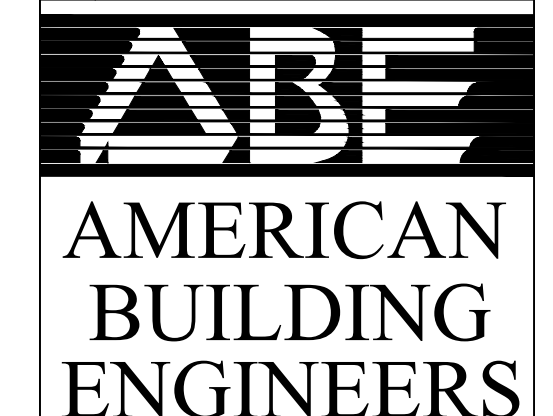


**A-1.3**



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**ABE BORUJERDI, P.E.**  
P.E. 38553  
PHONE: (954) 739-5099  
APPROVED SEAL/SIGNATURE

**FIFTH FLOOR PLAN**  
2888 EAST OAKLAND PARK BLVD  
FORT LAUDERDALE, 33306

PROJECT #: 23.016  
SHEET #:

**A-1.4**

PRINT DATE: 11-07-2023

- NOTES:**
1. PROVIDE MARBLE THRESHOLD 1/2" MAX TO ALL BATHROOMS.
  2. PROVIDE BACKING AT ALL BATHROOMS AND POWDER ROOMS FOR FUTURE GRAB BARS AND ACCESSORY LOCATION CABINETS (TOWEL BARS, ETC)
  3. ALL PLUMBING AND DRAIN PIPES MUST NOT BE IN CONTACT WITH ANY METAL FRAMING DRYWALL OR FLOOR FLOOR.

- WATERPROOFING NOTES:**
1. ALL EXTERIOR DECKS SLOPES SHALL BE MAINTAINED BETWEEN 1/8" AND 1/4" PER FOOT.
  2. ALL STRUCTURAL CRACKS TO BE ROUTED OUT AND SEALED W/ PRESSURE INJECTED EPOXY OR ELASTOMETRIC SEALANTS.
  3. PROVIDE THEROSEAL CEMENTITIOUS WATERPROOFING AT ALL BALCONY AND EYEBROW SLAB TO WALL TRANSITIONS.

- PARTITION LEGEND:**
- 8" CMU WALLS W/ FILLED CELLS, SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - INTERIOR PARTITION WALLS, SEE PLAN FOR THICKNESS
  - 1-HOUR FIRE RATED INTERIOR PARTITION WALL, SEE PLAN FOR THICKNESS

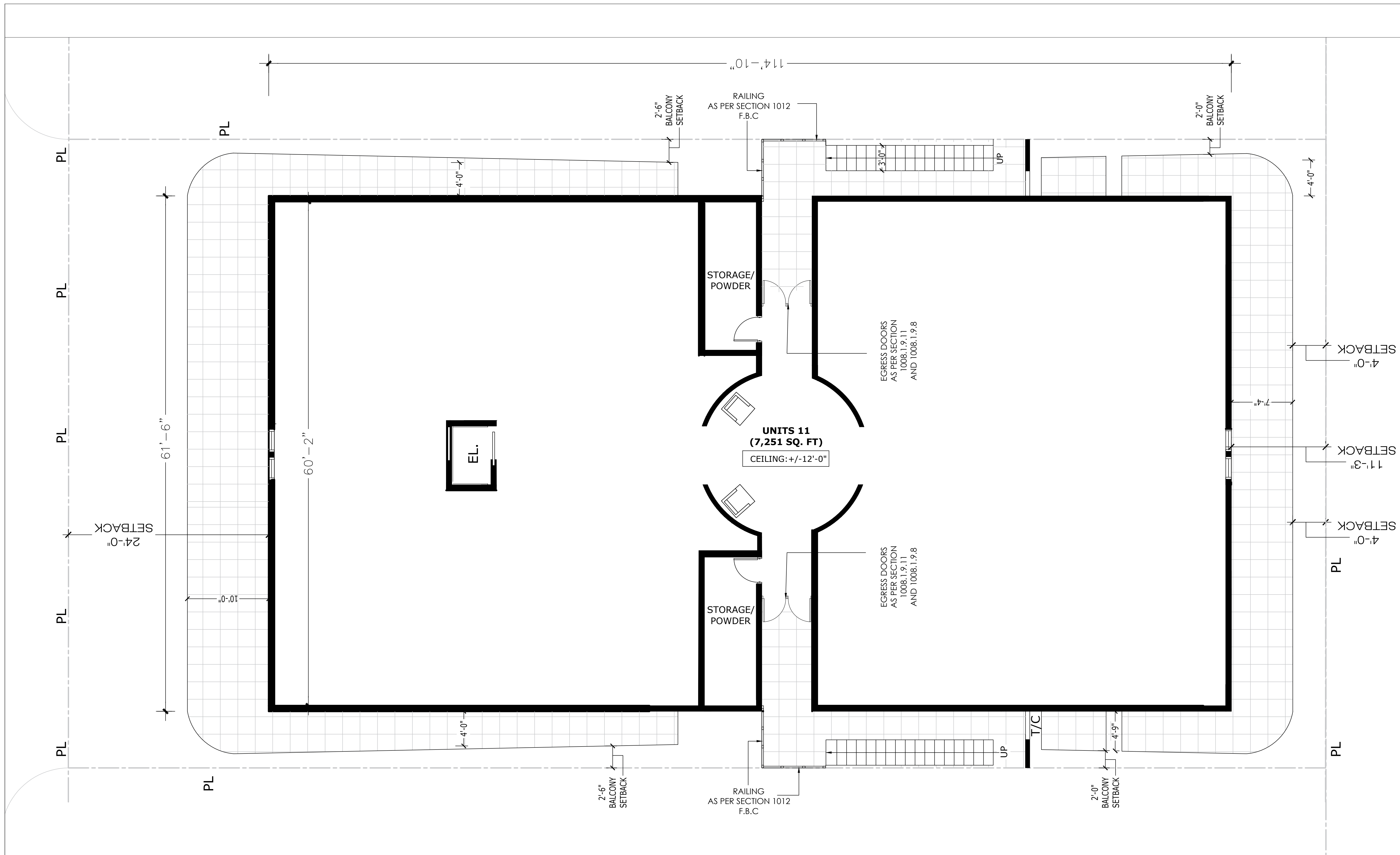
- REFERENCE:**
1. SEE SHEET A-3.1 FOR DOOR SCHEDULE
  2. SEE SHEET A-3.1 FOR WINDOW & STOREFRONT SCHEDULE
  3. SEE SHEET A-3.1 FOR PARTITION TYPE DETAILS
- FIRE SPRINKLER:**  
THE BUILDING IS FULLY EQUIPPED WITH FIRE SPRINKLER SYSTEM.

**FIRE-RESISTANT RATING REQUIREMENT CONSTRUCTION TYPE IB:**

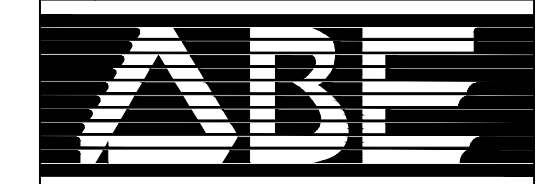
	F.R. REQ.	F.R. PROV.	
PRIMARY STRUCTURAL FRAME	2	2	CONCRETE MASONRY
BEARING WALLS EXTERIOR	2	2	CONCRETE MASONRY
BEARING WALLS INTERIOR	2	N/A	
NON BEARING WALLS INTERIOR	0	0	DRYWALL
FLOOR CONST. & SEC. MEMBER	2	2	CONCRETE
ROOF CONST & SEC. MEMBER	1	1	CONCRETE

(SCHEDULE TO REFLECT FINISHED FLOOR SAMPLE LAYOUT)

**FIFTH FLOOR PLAN**  
SCALE: 3/16" = 1'-0"  
1  
A-1.4



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**ABE BORUJERDI, P.E.**  
P.E. 38553  
PHONE: (954) 739-5099  
APPROVED SEAL/SIGNATURE

**SIXTH FLOOR PLAN**  
2888 EAST OAKLAND PARK BLVD  
FORT LAUDERDALE, 33306

**NOTES:**

1. PROVIDE MARBLE THRESHOLD 1/2" MAX TO ALL BATHROOMS.
2. PROVIDE BACKING AT ALL BATHROOMS AND POWDER ROOMS FOR FUTURE GRAB BARS AND ACCESSORY LOCATION CABINETS (TOWEL BARS, ETC)
3. ALL PLUMBING AND DRAIN PIPES MUST NOT BE IN CONTACT WITH ANY METAL FRAMING DRYWALL OR FLOOR FLOOR.

**WATERPROOFING NOTES:**

1. ALL EXTERIOR DECKS SLOPES SHALL BE MAINTAINED BETWEEN 1/8" AND 1/4" PER FOOT.
2. ALL STRUCTURAL CRACKS TO BE ROUTED OUT AND SEALED W/ PRESSURE INJECTED EPOXY OR ELASTOMETRIC SEALANTS.
3. PROVIDE THEROSEAL CEMENTITIOUS WATERPROOFING AT ALL BALCONY AND EYEBROW SLAB TO WALL TRANSITIONS.

**PARTITION LEGEND:**

- 8" CMU WALLS W/ FILLED CELLS. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- INTERIOR PARTITION WALLS, SEE PLAN FOR THICKNESS
- 1-HOUR FIRE RATED INTERIOR PARTITION WALL, SEE PLAN FOR THICKNESS

**REFERENCE:**

1. SEE SHEET A-3.1 FOR DOOR SCHEDULE
2. SEE SHEET A-3.1 FOR WINDOW & STOREFRONT SCHEDULE
3. SEE SHEET A-3.1 FOR PARTITION TYPE DETAILS

**FIRE SPRINKLER:**  
THE BUILDING IS FULLY EQUIPPED WITH FIRE SPRINKLER SYSTEM.

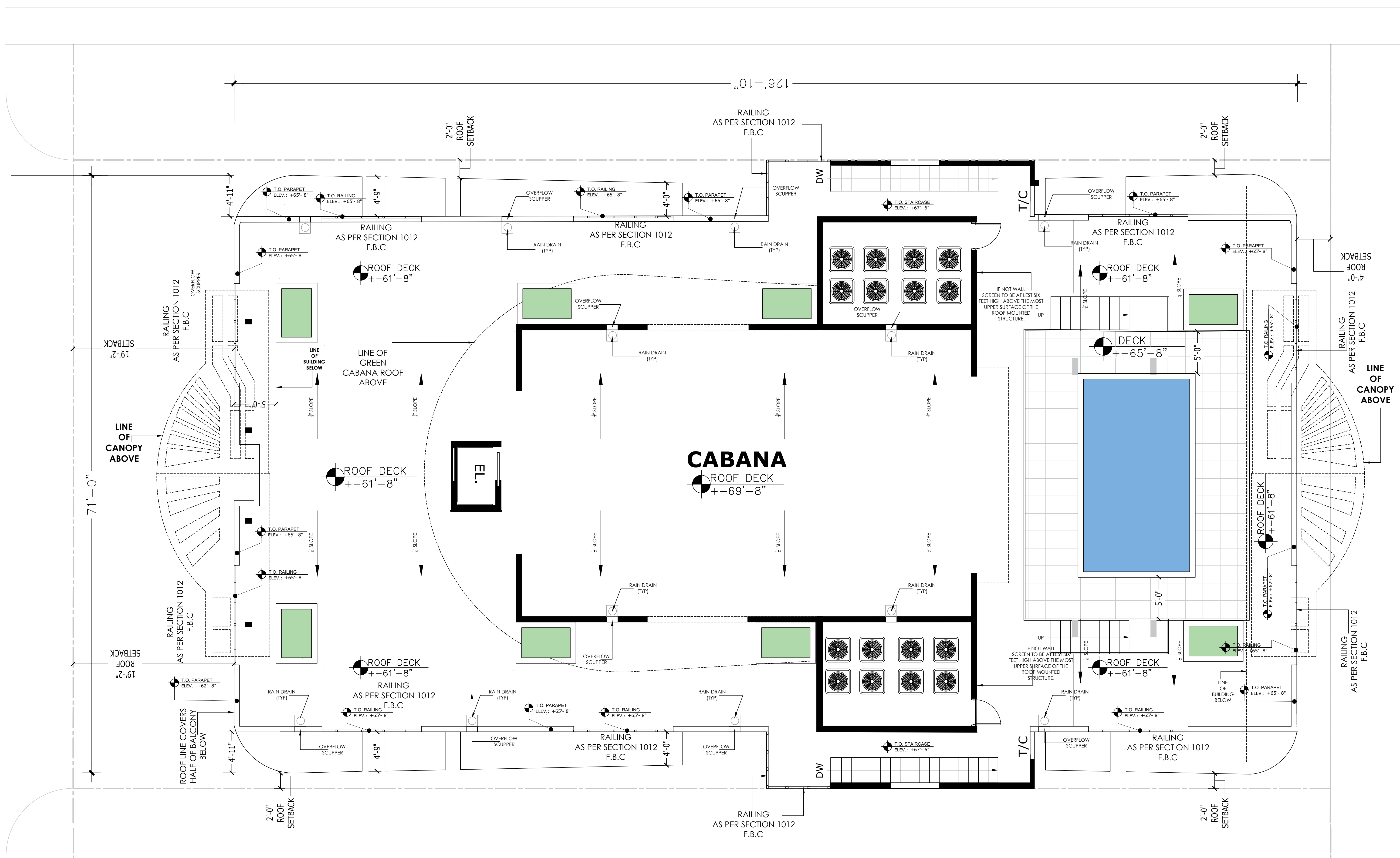
**FIRE-RESISTANT RATING REQUIREMENT CONSTRUCTION TYPE IB:**

	F.R. REQ.	F.R. PROV.	
PRIMARY STRUCTURAL FRAME	2	2	CONCRETE MASONRY
BEARING WALLS EXTERIOR	2	2	CONCRETE MASONRY
BEARING WALLS INTERIOR	2	N/A	
NON BEARING WALLS INTERIOR	0	0	DRYWALL
FLOOR CONST. & SEC. MEMBER	2	2	CONCRETE
ROOF CONST. & SEC. MEMBER	1	1	CONCRETE

**SIXTH FLOOR PLAN**  
SCALE: 3/16" = 1'-0"  
1  
A-1.5

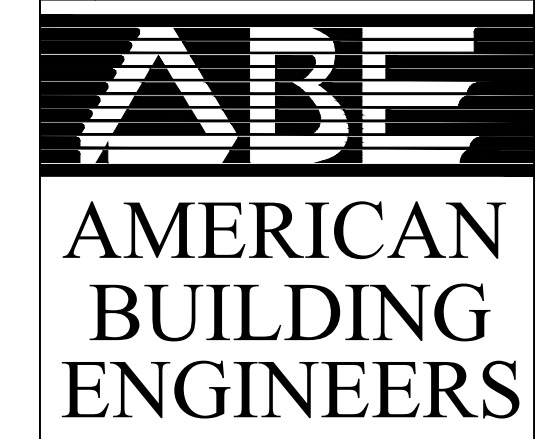
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**OCEAN VIEW BORU**

**ABE BORUJERDI, P.E.**  
 P.E. 38553  
 PHONE: (954) 739-5099  
 APPROVED SEAL/SIGNATURE

**ROOF PLAN**  
 2888 EAST OAKLAND PARK BLVD  
 FORT LAUDERDALE, 33306

**NOTES:**

1. PROVIDE MARBLE THRESHOLD 1/2" MAX TO ALL BATHROOMS.
2. PROVIDE BACKING AT ALL BATHROOMS AND POWDER ROOMS FOR FUTURE GRAB BARS AND ACCESSORY LOCATION CABINETRY (TOWEL BARS, ETC)
3. ALL PLUMBING AND DRAIN PIPES MUST NOT BE IN CONTACT WITH ANY METAL FRAMING DRYWALL OR FLOOR FLOOR.

**WATERPROOFING NOTES:**

1. ALL EXTERIOR DECKS SLOPES SHALL BE MAINTAINED BETWEEN 1/8" AND 1/4" PER FOOT.
2. ALL STRUCTURAL CRACKS TO BE ROUTED OUT AND SEALED W/ PRESSURE INJECTED EPOXY OR ELASTOMETRIC SEALANTS.
3. PROVIDE THEROSEAL CEMENTITIOUS WATERPROOFING AT ALL BALCONY AND EYEBROW SLAB TO WALL TRANSITIONS.

**PARTITION LEGEND:**

- 8" CMU WALLS W/ FILLED CELLS. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- INTERIOR PARTITION WALLS, SEE PLAN FOR THICKNESS
- 1-HOUR FIRE RATED INTERIOR PARTITION WALL, SEE PLAN FOR THICKNESS

**REFERENCE:**

1. SEE SHEET A-3.1 FOR DOOR SCHEDULE
2. SEE SHEET A-3.1 FOR WINDOW & STOREFRONT SCHEDULE
3. SEE SHEET A-3.1 FOR PARTITION TYPE DETAILS

**FIRE SPRINKLER:**  
 THE BUILDING IS FULLY EQUIPPED WITH FIRE SPRINKLER SYSTEM.

**FIRE-RESISTANT RATING REQUIREMENT CONSTRUCTION TYPE IB:**

	F.R. REQ.	F.R. PROV.	
PRIMARY STRUCTURAL FRAME	2	2	CONCRETE MASONRY
BEARING WALLS EXTERIOR	2	2	CONCRETE MASONRY
NON BEARING WALLS INTERIOR	0	0	DRYWALL
FLOOR CONST. & SEC. MEMBER	2	2	CONCRETE
ROOF CONST & SEC. MEMBER	1	1	CONCRETE

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1842 East Oakland Park Blvd.  
Fort Lauderdale, Florida 33306  
Miami 305.681.5563  
Fort Lauderdale: 954.739.5099  
Palm Beach: 561.243.3939  
Certificate of Authorization # 4732

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DRAWING FOR:  
**OCEAN VIEW BORUJ**

**ABE BORUJERDI, P.E.**

APPROVED SEAL SIGNATURE  
PHONE:(954)739-5099

**NORTH / SOUTH ELEVATIONS**  
2888  
EAST OAKLAND PARK BLVD,  
33306

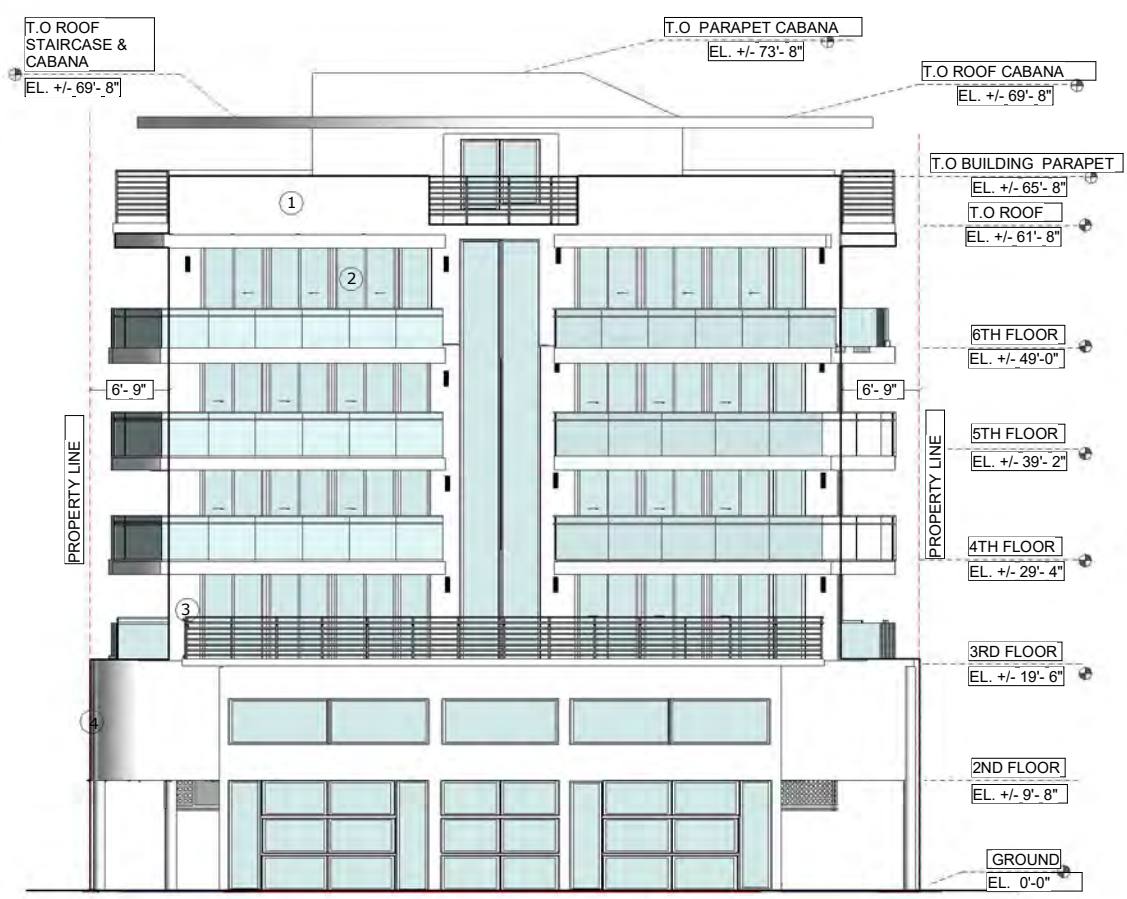
PROJECT # 21.041

SHEET #

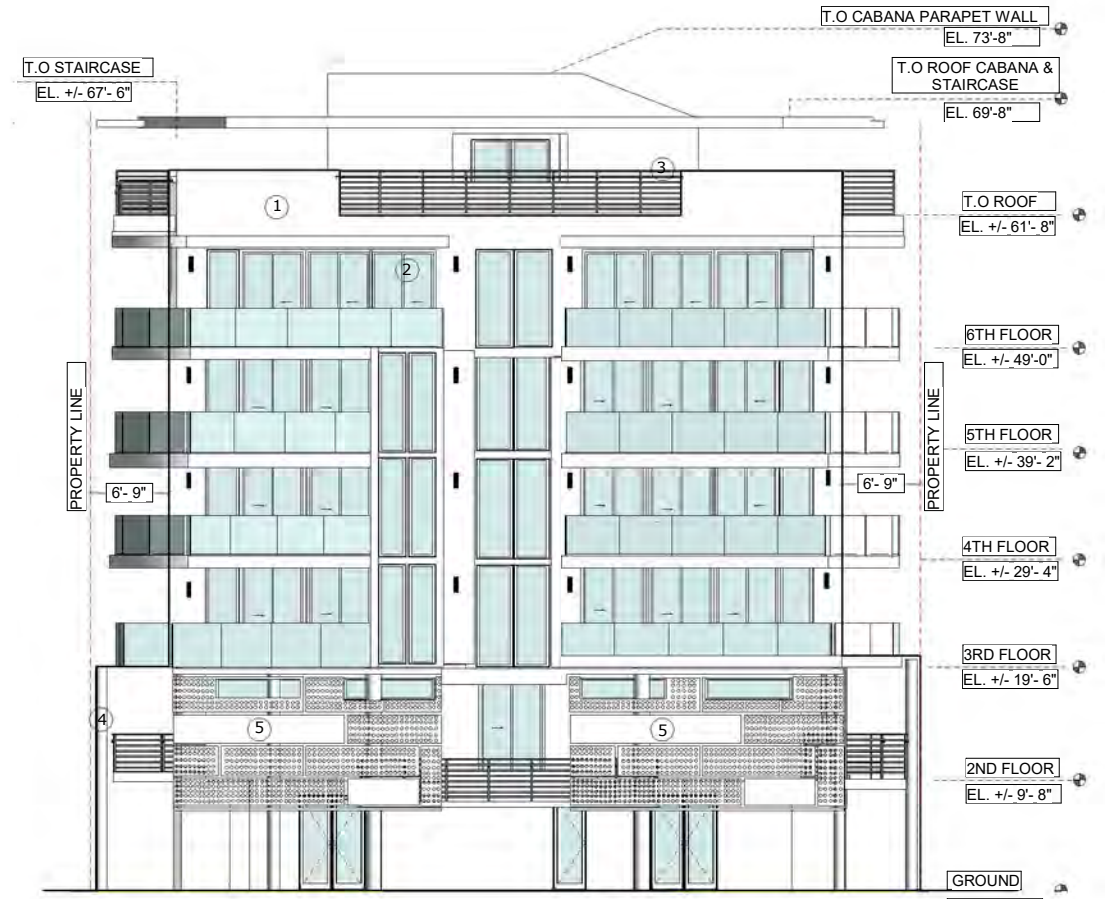
**A-2.1**

PRINT DATE # 11/07/23

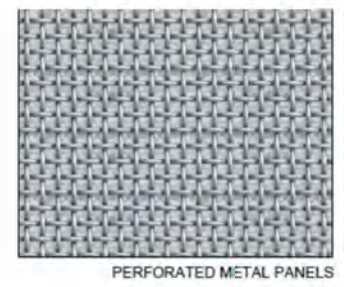
11/10/2023 11:34:15 AM



**1 NORTH ELEVATION**  
1/8" = 1'-0"



**2 SOUTH ELEVATION**  
1/8" = 1'-0"



Mark	Item	Material	Color
1	Wall	Smooth Stucco Painted	PURE WHITE BENJAMIN MOORE M9413210
2	DOOR/WINDOW	GLASS/ALUMINUM	WHITE/LIGHT BLUE GLASS

Mark	Item	Material	Color
3	RAILING	ALUMINUM	BARNISHED TEAK O319/ BENJAMIN MOORE BACHELOR 1629
4	COLUMN	CONCRETE	BARNISHED TEAK O319/ BENJAMIN MOOREBACHELOR 1629

Mark	Item	Material	Color
5	PERFORATED METAL PANEL	METAL	DARK GRAY



PERMIT ISSUE:	
REVISIONS:	DATE:
1.	
2.	
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5.	
6.	



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**OCEAN VIEW BORUJ**

**ABE BORUJERDI, P.E.**

APPROVED SEAL SIGNATURE  
PHONE: (954) 739-5099

**EAST / WEST ELEVATIONS A**  
2888  
**EAST OAKLAND PARK BLVD,**  
33306

PROJECT #  
21.041

SHEET #  
**A-2.2**

PRINT DATE #  
11/07/23

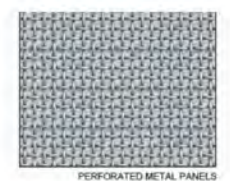
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**2 EAST ELEVATION**  
1/8" = 1'-0"



**1 WEST ELEVATION**  
1/8" = 1'-0"



Mark	Item	Material	Color
1	Wall	Smooth Stucco Painted	PURE WHITE BENJAMIN MOORE M9413210
2	DOOR/WINDOW	GLASS/ALUMINUM	WHITE/LIGHT BLUE GLASS

Mark	Item	Material	Color
3	RAILING	ALUMINUM	BARNISHED TEAK O319/ BENJAMIN MOORE BACHELOR 1629
4	COLUMN	CONCRETE	BARNISHED TEAK O319/ BENJAMIN MOORE BACHELOR 1629

Mark	Item	Material	COLOR
5	TILE PORCELAIN	PORCELAIN	DARK GRAY
6	PERFORATED METAL PANELS	METAL	DARK GRAY





NORTH - EAST RENDERING



NORTH - WEST RENDERING



SOUTH - WEST RENDERING



SOUTH RENDERING



SOUTH RENDERING



EAST AERIAL RENDERING



SOUTH - EAST RENDERING

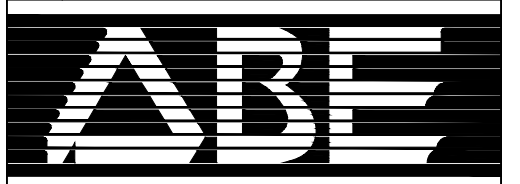


EAST RENDERING



NORTH - EAST RENDERING

PERMIT ISSUE:	
REVISIONS:	DATE:
1.	/
2.	/
3.	/
4.	/
5.	/



### AMERICAN BUILDING ENGINEERS

1842 East Oakland Park Blvd.  
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 Miami: 305.661.5563  
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DRAWINGS FOR:  
 OCEAN VIEW  
 BORU

**ABE BORUJERDI, P.E.**  
 P.E. 38553  
 PHONE: (954) 739-5099  
 APPROVED SEAL/SIGNATURE

RENDERINGS  
 2888 EAST OAKLAND PARK BLVD  
 FORT LAUDERDALE, 33306

PROJECT #: 23.016

SHEET #:

# A-2.3

PRINT DATE: 12-12-2023



PERMIT ISSUE:

REVISIONS: DATE:

1.	/
2.	/
3.	/
4.	/
5.	/



# AMERICAN BUILDING ENGINEERS

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DRAWINGS FOR:  
**OCEAN VIEW  
BORU**

**ABE BORUJERDI, P.E.**  
P.E. 38553  
PHONE: (954) 739-5099  
APPROVED SEAL/SIGNATURE

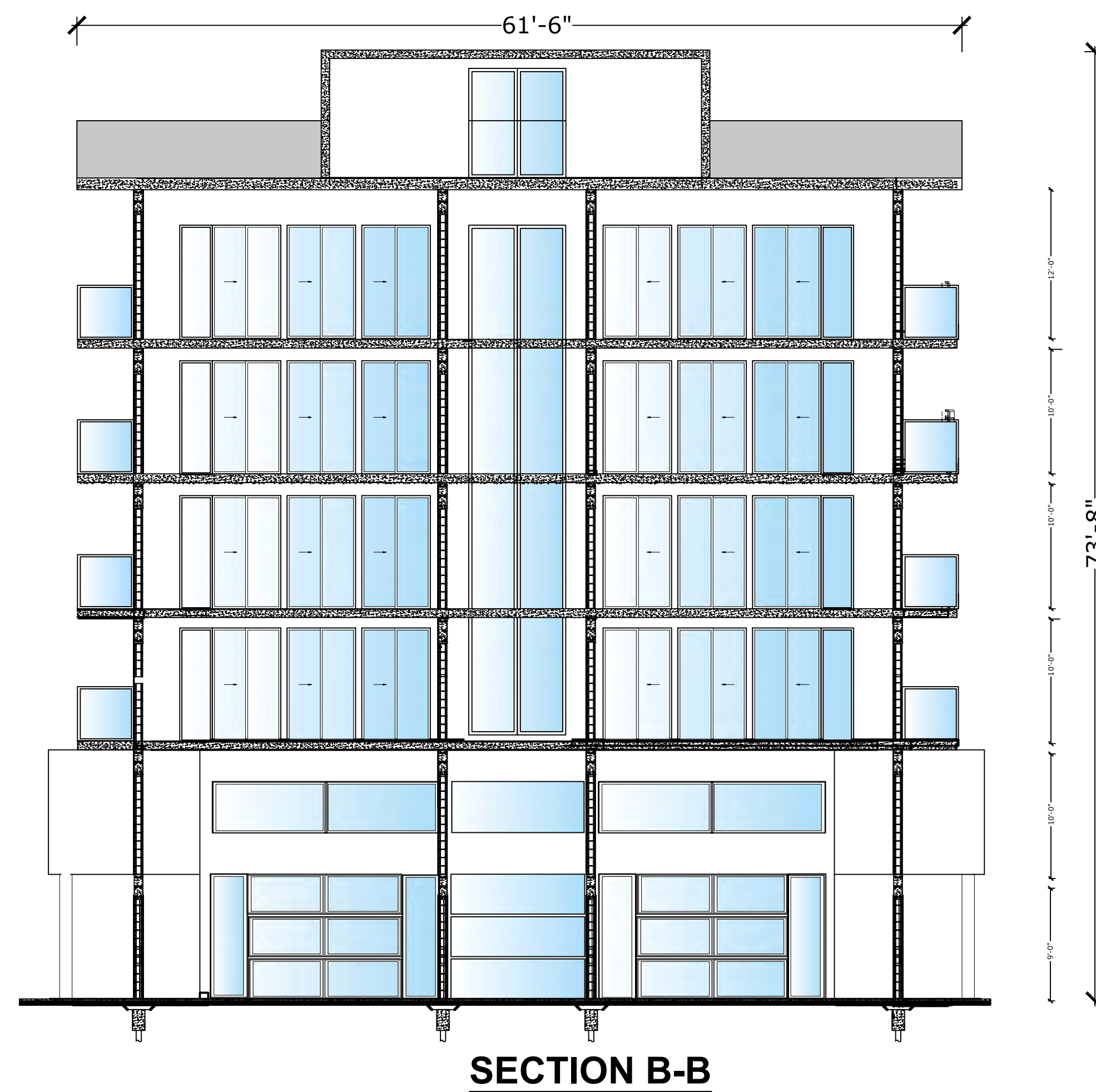
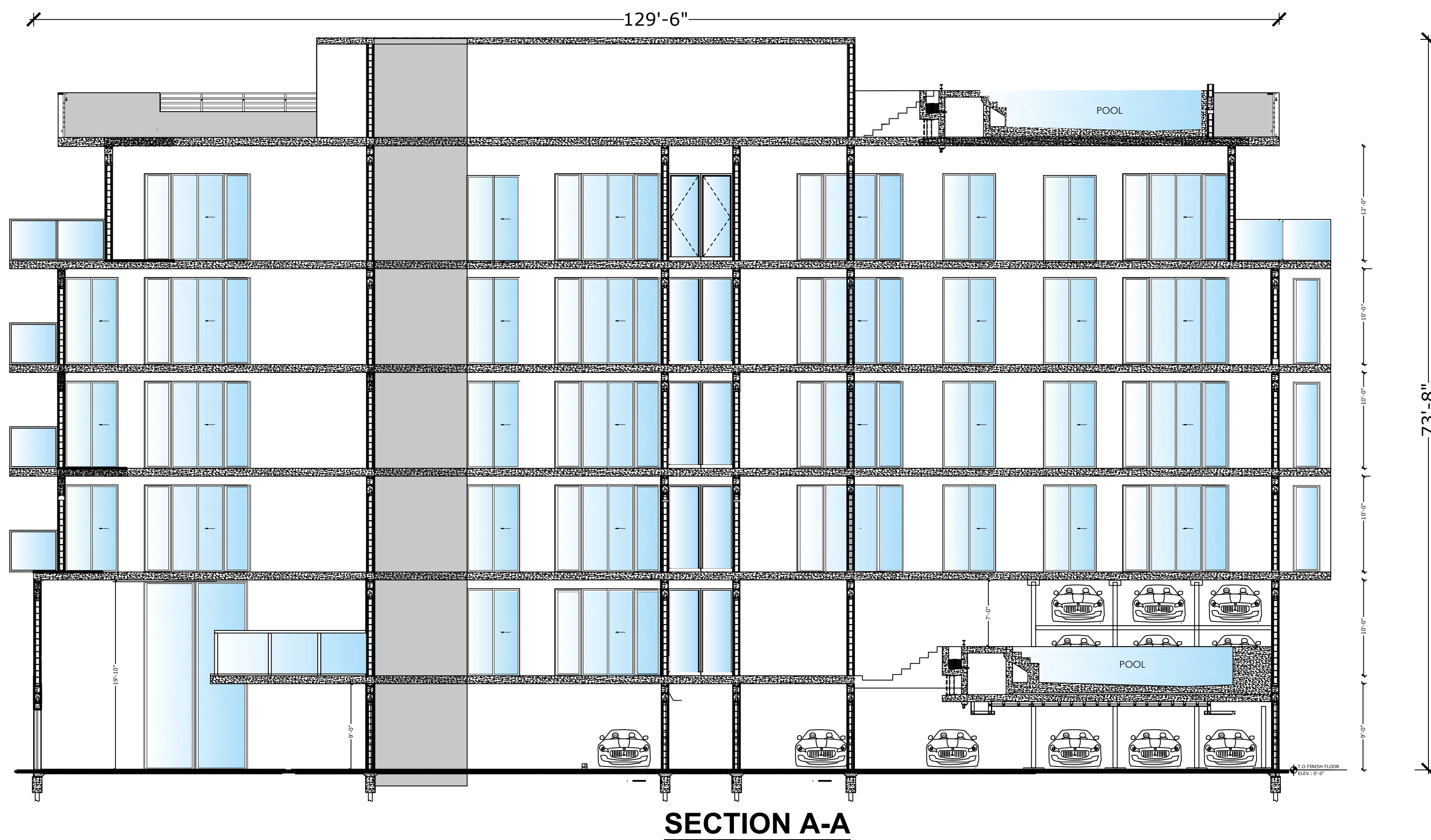
**SECTIONS**  
2888 EAST OAKLAND PARK BLVD  
FORT LAUDERDALE, 33306

PROJECT #: 23.016

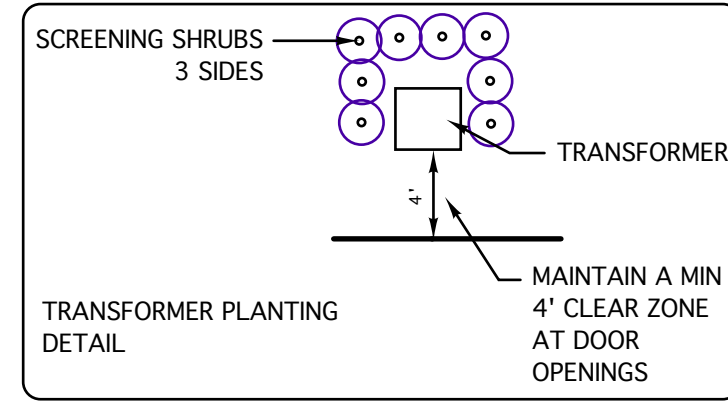
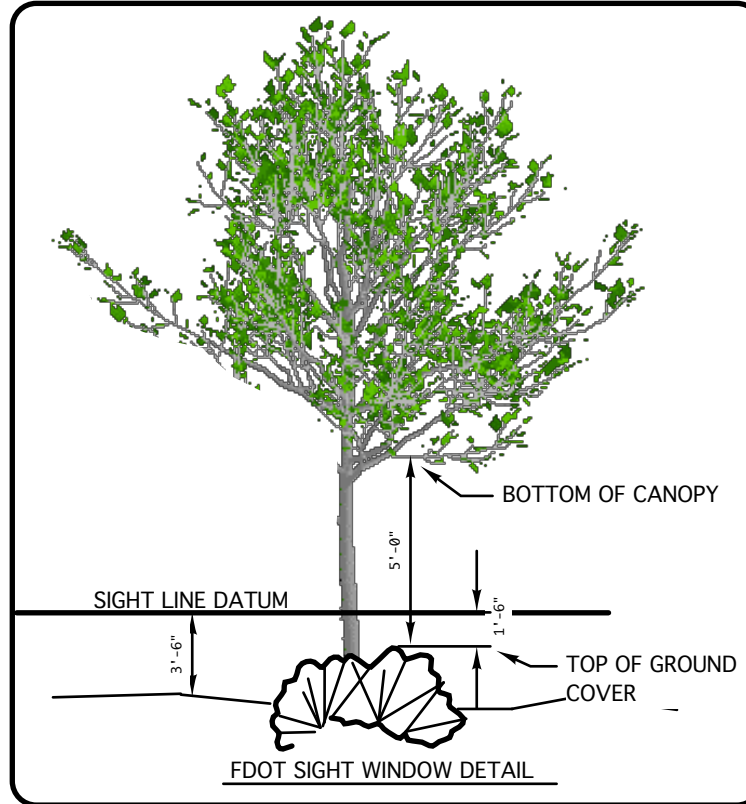
SHEET #:

# A-2.4

PRINT DATE: 11-2023







INDICATES AREAS OF STRUCTURAL SOIL SEE DETAIL SHEET L-3

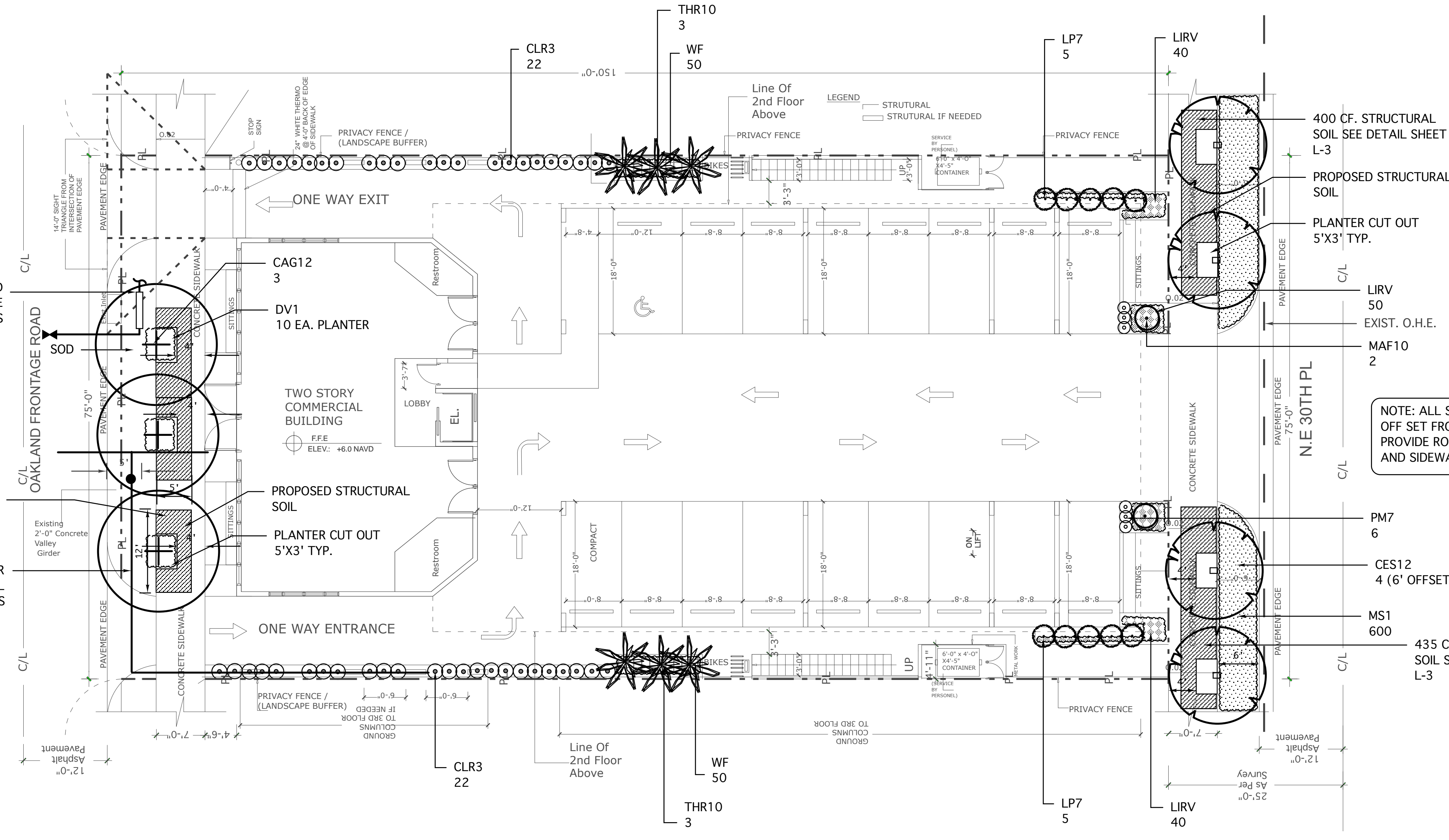
NOTE: ALL LANDSCAPE MATERIALS WITHIN THE SIGHT TRIANGLES SHALL BE MAINTAINED BELOW 30" IN HEIGHT. TREES SHALL MAINTAIN A MIN. CLEAR TRUNK OF 8'

NOTE: ALL STREET TREES SHALL BE OFF SET FROM E.O.P. BY 4'-0" PROVIDE ROOT BARRIER BETWEEN TREES AND SIDEWALK SEE DETAIL

PROPOSED MASTER METER AND 4" BACK FLOW DEVICE SEE CIVIL PLANS

540 CF. STRUCTURAL SOIL

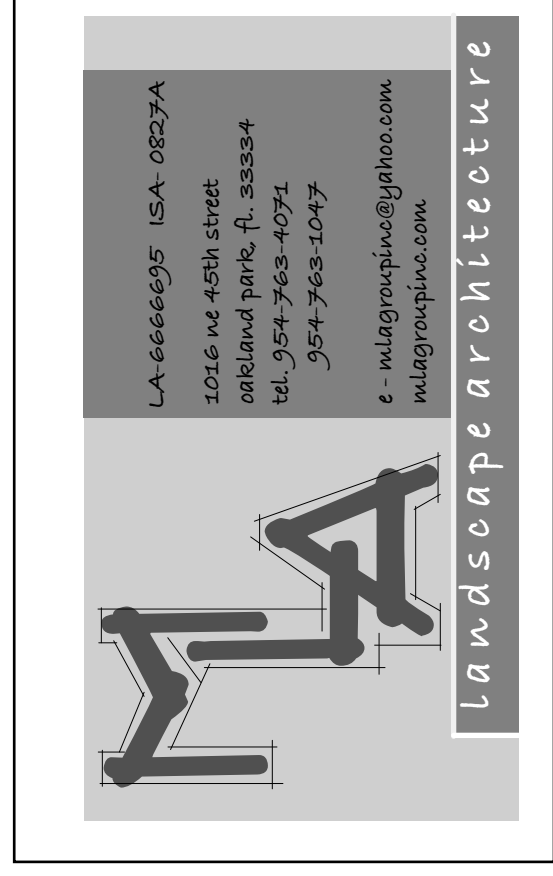
6" SAN SEWER LATERAL SEE CIVIL PLANS



NOTE: ALL STREET TREES SHALL BE OFF SET FROM E.O.P. BY 4'-0" PROVIDE ROOT BARRIER BETWEEN TREES AND SIDEWALK SEE DETAIL

**EXISTING TREE MITIGATION DATA:**  
 TOTAL DBH. REMOVED = 20"  
 MITIGATION REQUIRED BACK ON SITE = 20"  
 OR (8) 2.5" TREES  
 SATISFIED BY EQUAL PAYMENT INTO THE TREE PRESERVATION FUND \$1,300.00  
 PALM MITIGATION:  
 PALMS REMOVED = 7  
 SATISFIED BY EQUAL PAYMENT INTO THE TREE PRESERVATION FUND \$1,260.00

CITY OF FORT LAUDERDALE  
 ZONING: CB LAND USE: M1  
 PREVIOUS AREA PROVIDED = 1,030 S.F. (9.16%)  
 TOTAL SITE AREA: 11,250 S.F.  
 PARKING STALLS = 29  
 LOT TREES REQUIRED  
 (1) TREE PER 1,000 OF NET LOT AREA  
 REQUIRED = 12  
 PROPOSED = 3  
 20% SHADE REQUIRED = 3  
 PROPOSED = 1  
 VUA REQUIRED  
 N/A ALL PARKING IS UNDER COVER  
 NATIVE TREES REQUIRED = 40%  
 PROPOSED =  
 STREET TREE REQUIREMENTS:  
 (1) TREE PER 40 LF.  
 EAST OAKLAND PARK 75LF./40 = 2  
 PROPOSED = 2  
 (50% SHADE TREES REQ) = 1  
 (50% FLOWERING /PALMS = 1  
 NE 30TH PLACE 75LF./25 = 3  
 PROPOSED = 3 (FPL APPROVED)  
 (50% SHADE TREES REQ) = 1  
 (50% FLOWERING /PALMS = 1  
 TOTAL TREES REQUIRED ON SITE = 16  
 PROPOSED TREES = 9  
 NATIVE TREES REQUIRED 40% = 7  
 PROPOSED = 6  
 50% SAME GENUS MAX = 8  
 PROPOSED = 4  
 SEE SHEET L-3 FOR PLANTING SPECIFICATIONS AND DETAILS  
 SEE SHEET L-2 FOR EXISTING TREE DISPOSITIONS

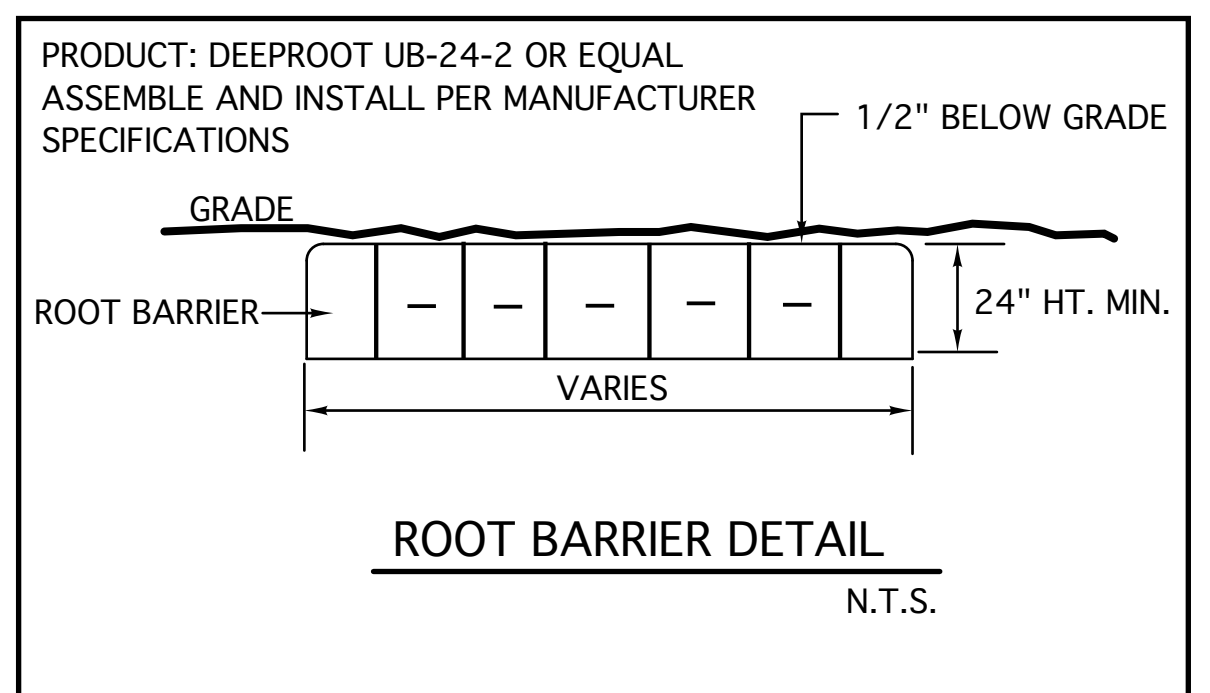


REVISIONS:


SHEET TITLE:  
**LANDSCAPE PLAN**

PROJECT:  
**OCEAN VIEW BORUJ**  
 2888 EAST OAKLAND PARK BLVD  
 FORT LAUDERDALE, FL

AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED AT TIME OF PERMITTING TO PROVIDE 100% COVERAGE WITH 50% OVERLAP AND A RAIN SENSOR DEVICE.  
 STREET TREES SHALL MAINTAIN A 6' OFFSET FROM EDGE OF ROAD WHERE CURBING IS NOT PRESENT  
 REFER TO SHEET L-2 FOR EXISTING TREE DISPOSITION INFORMATION  
 REFER TO SHEET L-3 FOR LANDSCAPE PLANS AND DETAILS

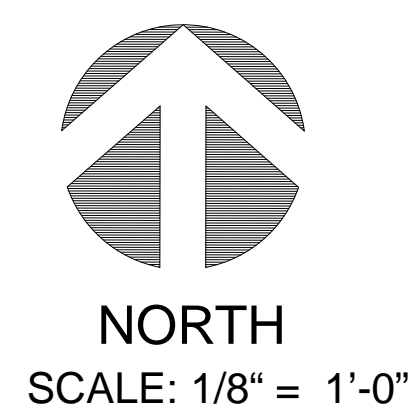


**MASTER PLANT LIST**

KEY	PLANT NAME	SPECIFICATION	QUANTITY
CAG12	CAESALPINIA GRANADILLA BRIDALVEIL TREE	12' HT X 6' SPR. 2.5" DBH. 5' CT. MEDIUM DROUGHT TOLERANCE	3
CES12	CONOCARPUS ERECTA SERECIUS SILVER BUTTWOOD TREE	12' X 6' SPR. SINGLE TRUNK. 4.5' CT. 2" CAL. MIN NATIVE MEDIUM DROUGHT TOLERANCE	4
THR10	THRINAX RADIATA KEY THATCH PALM ALT: SILVER PALM	12' OA. - 8' CT. SINGLE TRUNK NATIVE. STAGGER HTS. HIGH DROUGHT TOLERANCE	6

**MASTER PLANT LIST**

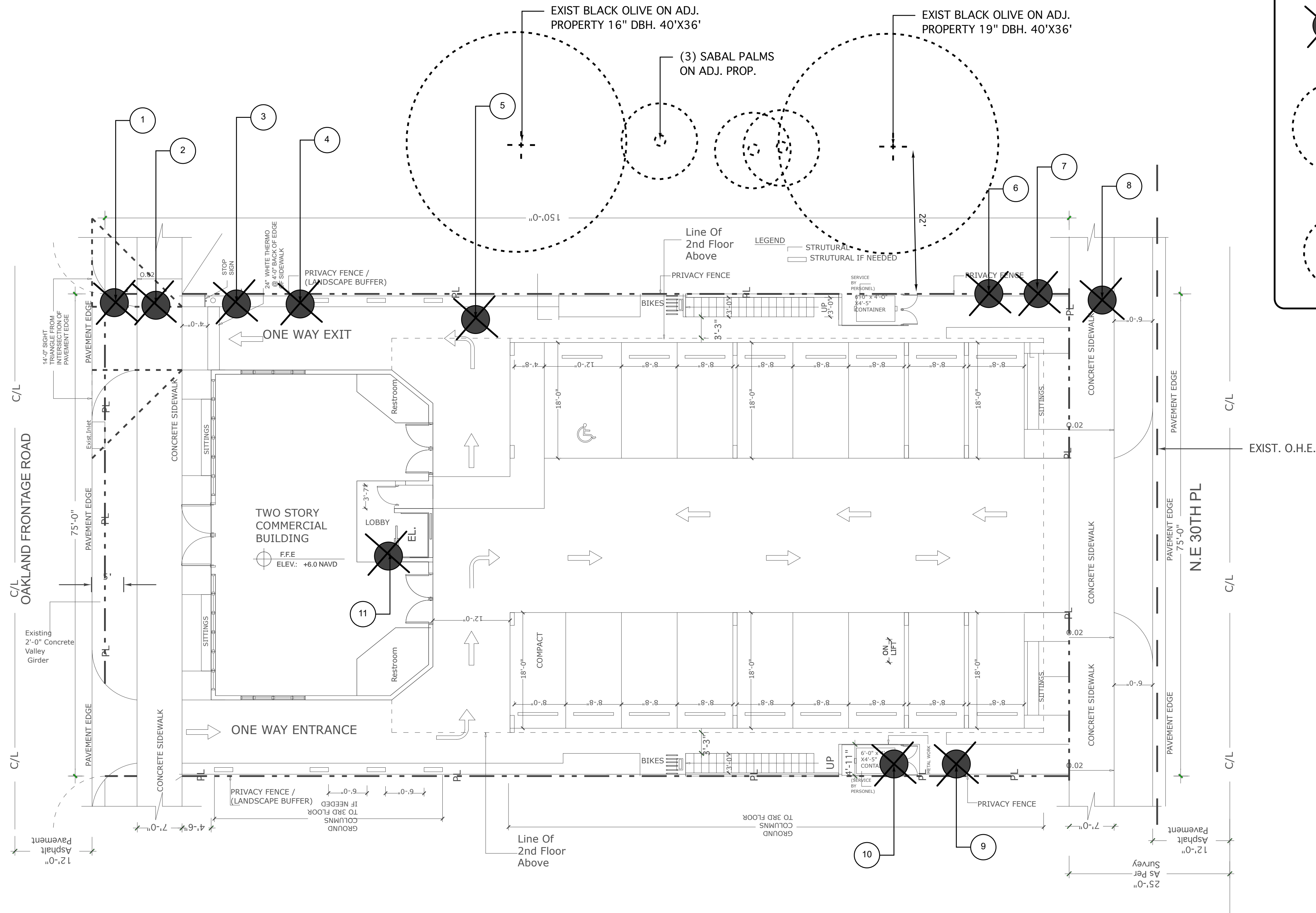
KEY	PLANT NAME	SPECIFICATION	QUANTITY
CLR3	CLUSIA ROSEA NANA SMALL LEAF PITCH APPLE	24" X 24" 24" O.C. NATIVE HIGH DROUGHT TOLERANCE	44
DV1	DIETES IRIDIODES AFRICAN IRIS	12" FULL TO POT 15" O.C. HIGH DROUGHT TOLERANCE	30
LIRV	LIRIOPE MUSCARI VARIEGATED LIRIOPE AZTEC GOLD	FULL 12" MIN. 7 BIBS/POT MIN. 12" O.C. HIGH DROUGHT TOLERANCE	100
LP7	RHAPIS EXCELSA LADY PALM SHADE GROWN	4' HT. X 3' SPR. MEDIUM DROUGHT TOLERANCE	10
MAF10	POLYALTHIA LONGIFOLIA MAST TREE	10' OA. STRAIGHT TRUNK HIGH DROUGHT TOLERANCE	2
MS1	MIMOSA STRIGILLOSA SUNSHINE MIMOSA	1 GAL 6" X 6" . 6" O.C. NATIVE HIGH DROUGHT TOLERANCE	600
PM7	PODOCARPUS MACROPHYLLA YEW PODOCARPUS	36" X 24" SPR. 24" O.C. FULL TO BASE HIGH DROUGHT TOLERANCE	6
SOD	ST. AUGUSTINE FLORITAM OR ZOYSIA PER OWNER	CONTRACTOR TO VERIFY QUANTITY FOR PROPOSED	
WF	POLYPODIUM SCOLOPENDRIA WARTY FERN	10" X 12" FULL, 12"-15" O.C. MEDIUM DROUGHT TOLERANCE	100



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SEAL:  
  
 SCALE: 1"=10'  
 DATE DRAWN: 11/20/23  
 SHEET NO.  
**L-1**  
 of-3





**KEY**

- EXISTING TREE TO REMOVE
- EXISTING TREE TO REMAIN ON ADJ. PROPERTY
- EXISTING PALM TO REMAIN ON ADJ. PROPERTY

**EXISTING TREE MITIGATION DATA:**

TOTAL DBH. REMOVED = 20"  
 MITIGATION REQUIRED BACK ON SITE = 20"  
 OR (8) 2.5" TREES  
 SATISFIED BY EQUAL PAYMENT INTO THE TREE PRESERVATION FUND  
 \$1,300.00

PALM MITIGATION:  
 PALMS REMOVED = 7  
 SATISFIED BY EQUAL PAYMENT INTO THE TREE PRESERVATION FUND  
 \$1,260.00

**EXISTING TREE INVENTORY**

NO.	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	DISPOSITION
1.	PHOENIX ROEBELLINI	PYGMY DATE	4.5' CT.	POOR	REMOVE
2.	WASHINGTONIA ROBUSTA	WASHINGTONIA PALM	6.5' CT.	GOOD	REMOVE/MITIGATE
3.	PHOENIX ROEBELLINI	PYGMY DATE	6' CT.	FAIR	REMOVE/MITIGATE
4.	PHOENIX ROEBELLINI	PYGMY DATE	5' CT.	FAIR	REMOVE
5.	PAURITIS WRIGHTII	EVERGLADES PALM	15' CT.	GOOD	REMOVE/MITIGATE
6.	SABAL PALMETTO	CABBAGE PALM	12' CT.	GOOD	REMOVE/MITIGATE
7.	SABAL PALMETTO	CABBAGE PALM	4' CT.	FAIR	REMOVE
8.	SABAL PALMETTO	CABBAGE PALM	8' CT.	FAIR	REMOVE/MITIGATE
9.	SABAL PALMETTO	CABBAGE PALM	13' CT.	FAIR	REMOVE/MITIGATE
10.	CALOPHYLLUM ANTLINUM	BEAUTY LEAF	20" DBH. 30'X32'	60%	REMOVE/MITIGATE
11.	PAURITIS WRIGHTII	EVERGLADES PALM	12' CT.	80%	REMOVE/MITIGATE

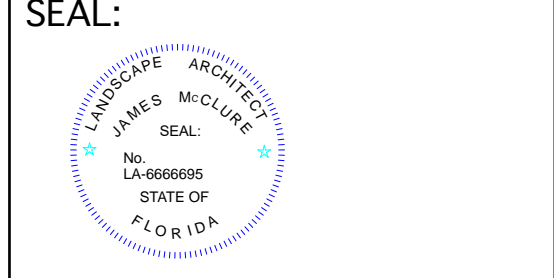
NO TREES SHALL BE REMOVED WITHOUT A TREE REMOVAL PERMIT ISSUED BY THE CITY OF FORT LAUDERDALE

REVISIONS:


SHEET TITLE:  
**EXISTING TREE DISPOSITION PLAN**

PROJECT:  
**OCEAN VIEW BORUJ**  
 2888 EAST OAKLAND PARK BLVD  
 FORT LAUDERDALE, FL.

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SCALE: 1"=10'  
 DATE DRAWN: 11/20/23  
 SHEET NO.

**L-2**  
 of-3

LA 062274  
 1016 W 45th Street  
 Oakland Park, FL 33334  
 TEL: 954-963-4091  
 954-963-1077  
 e - mlagroupinc@mla.com  
 www.mlagroupinc.com

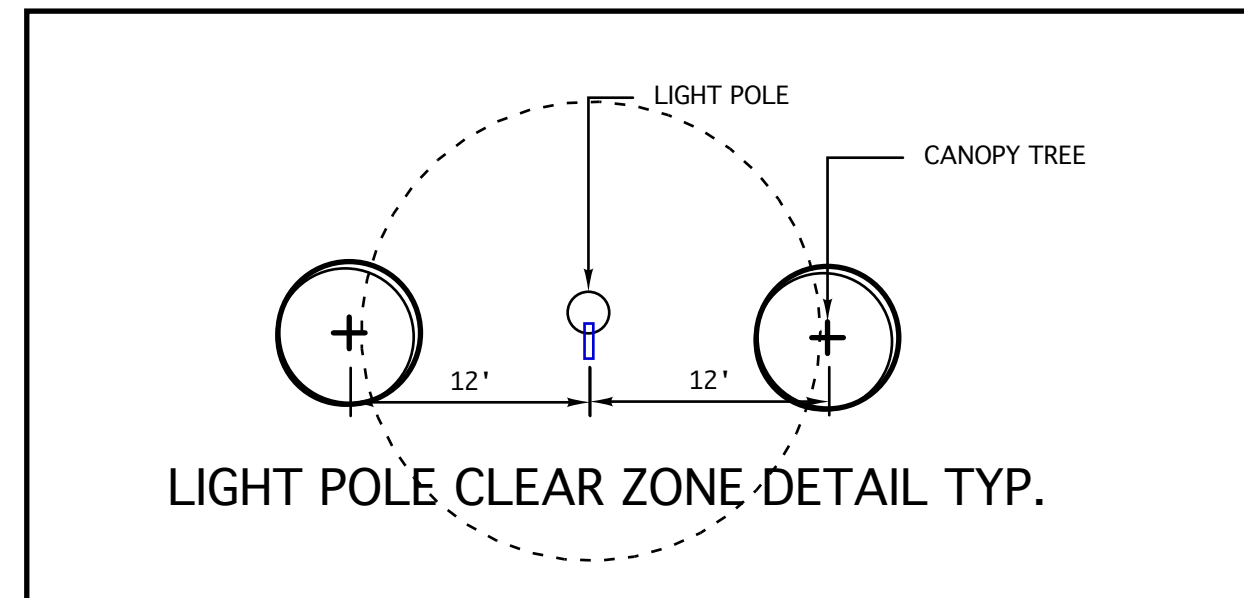
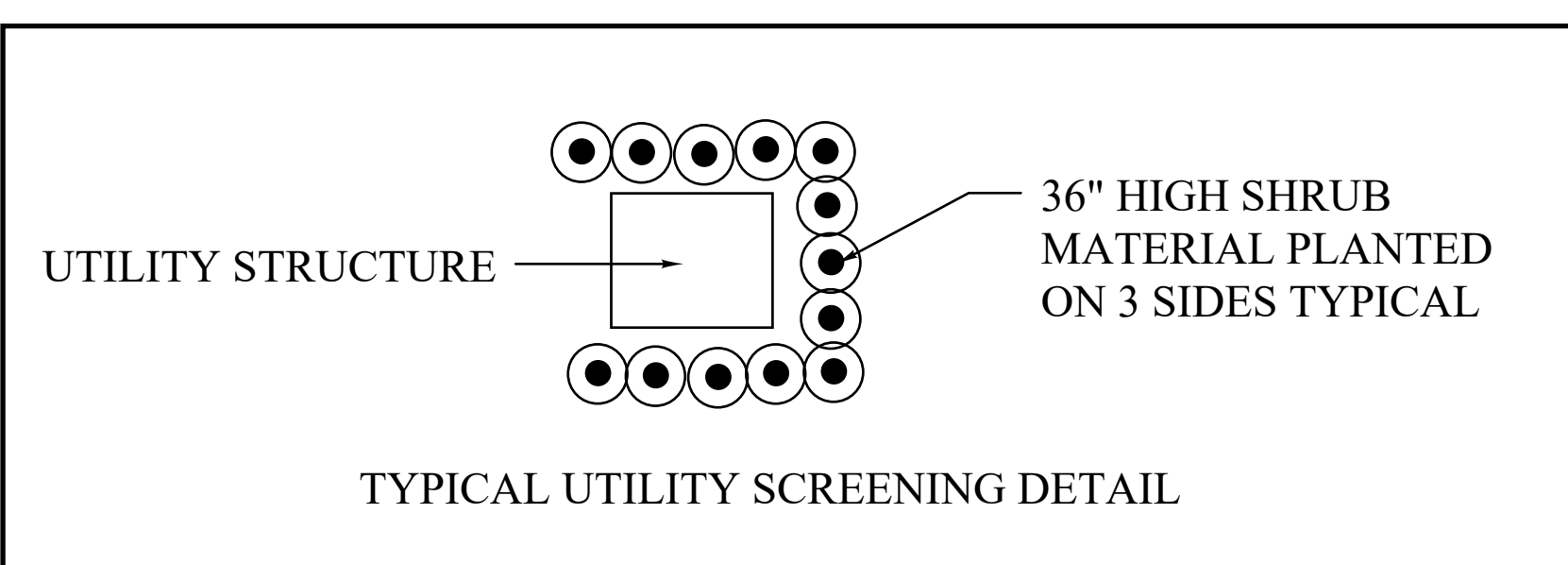
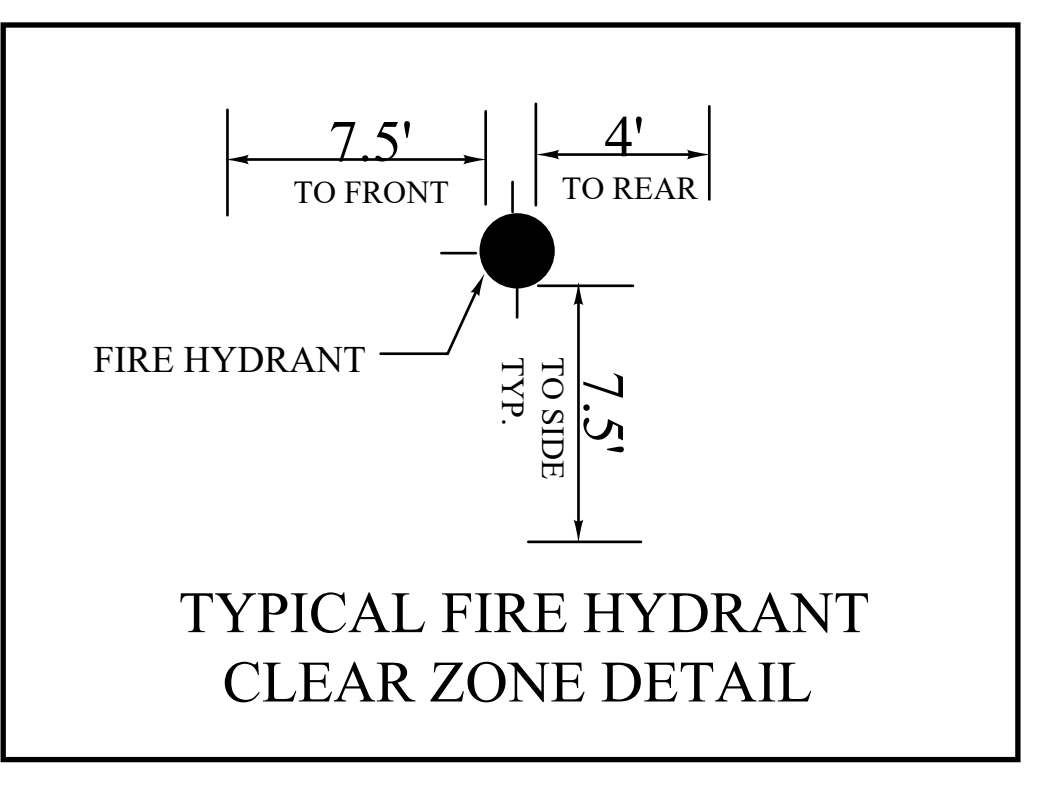
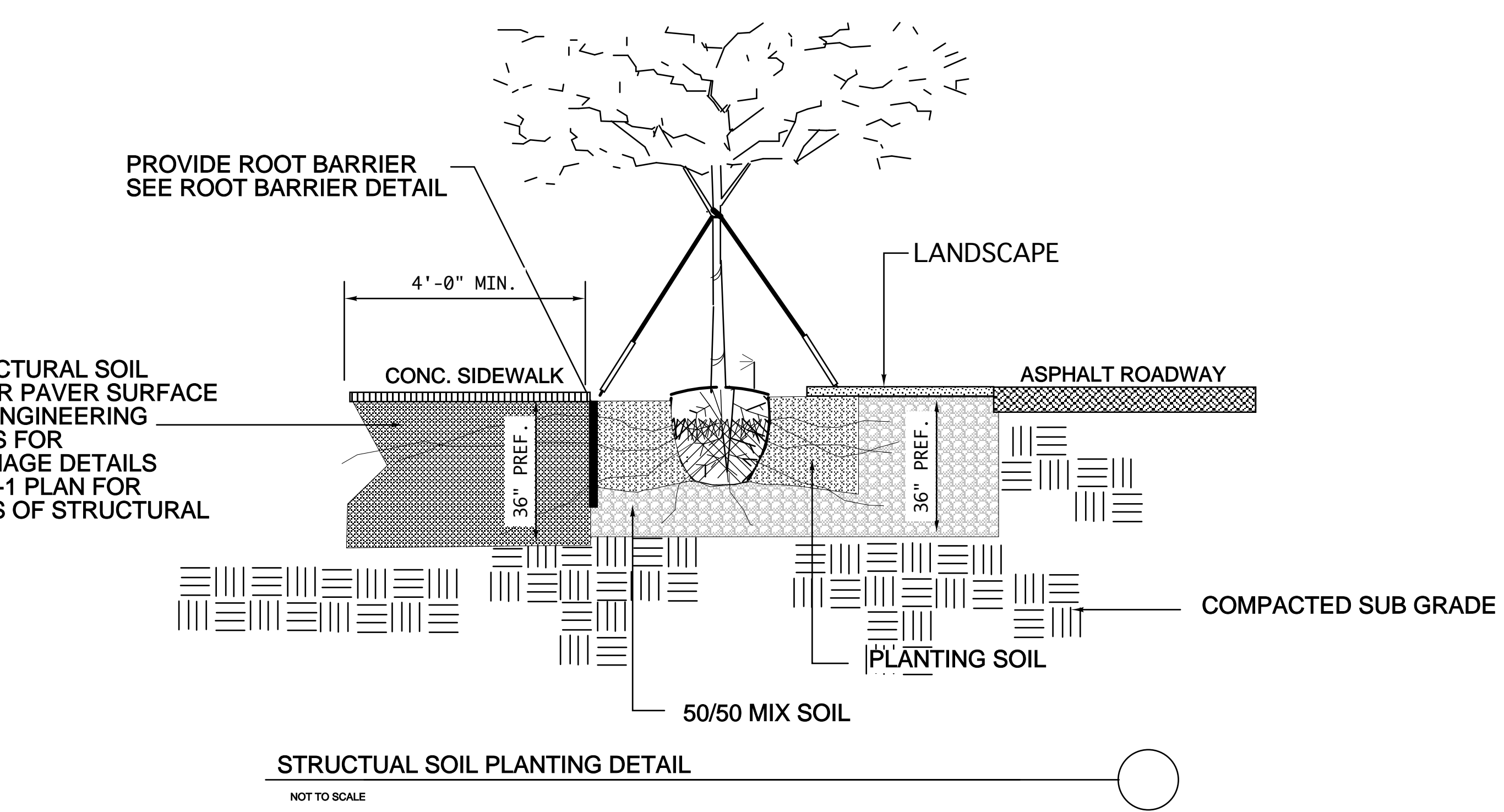
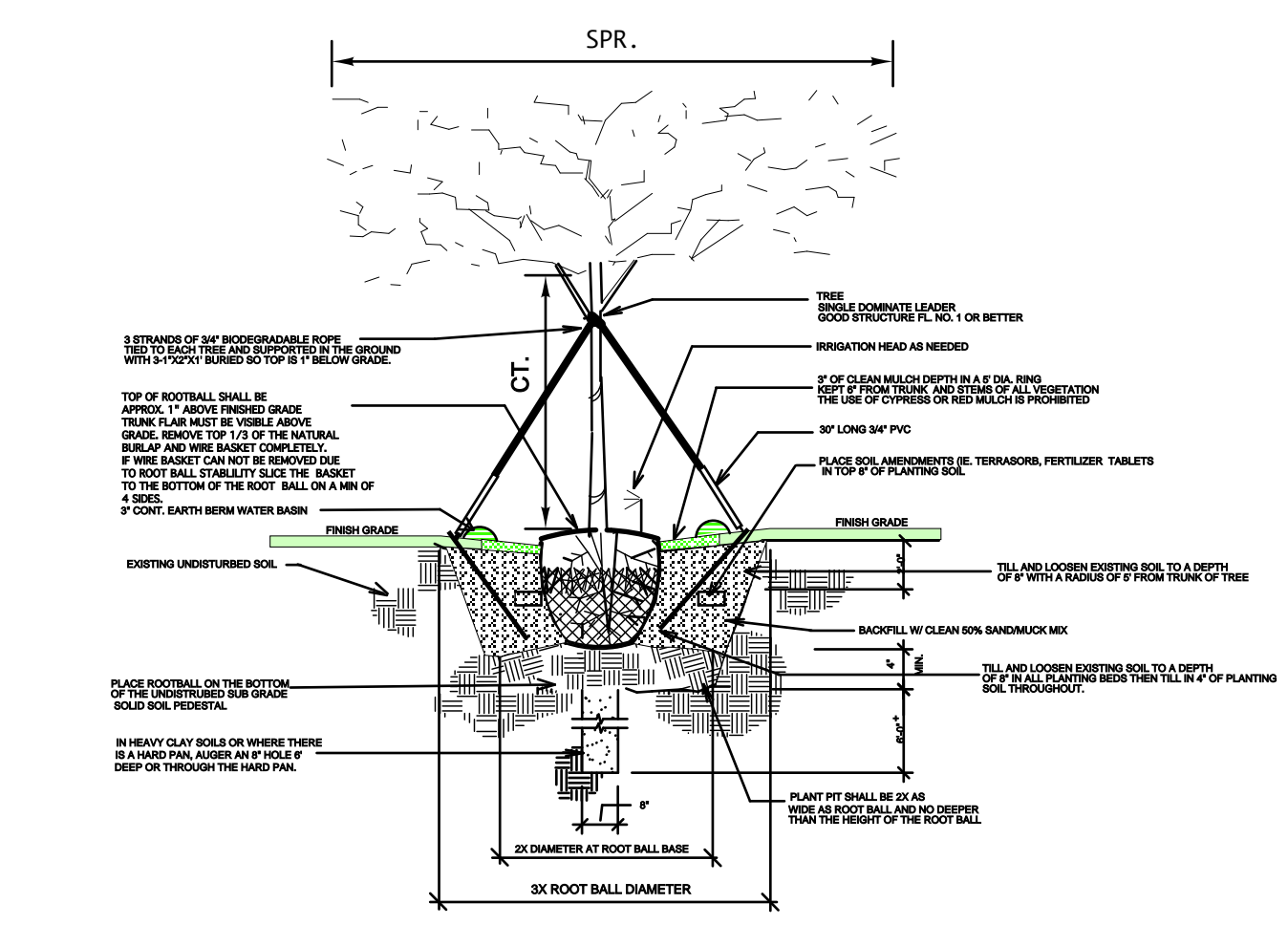
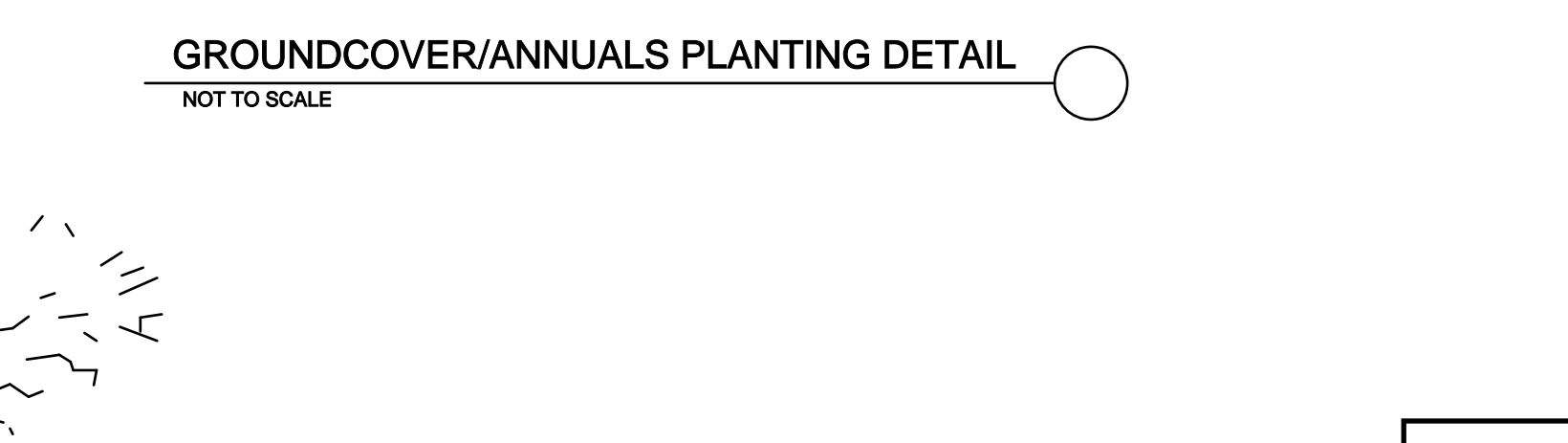
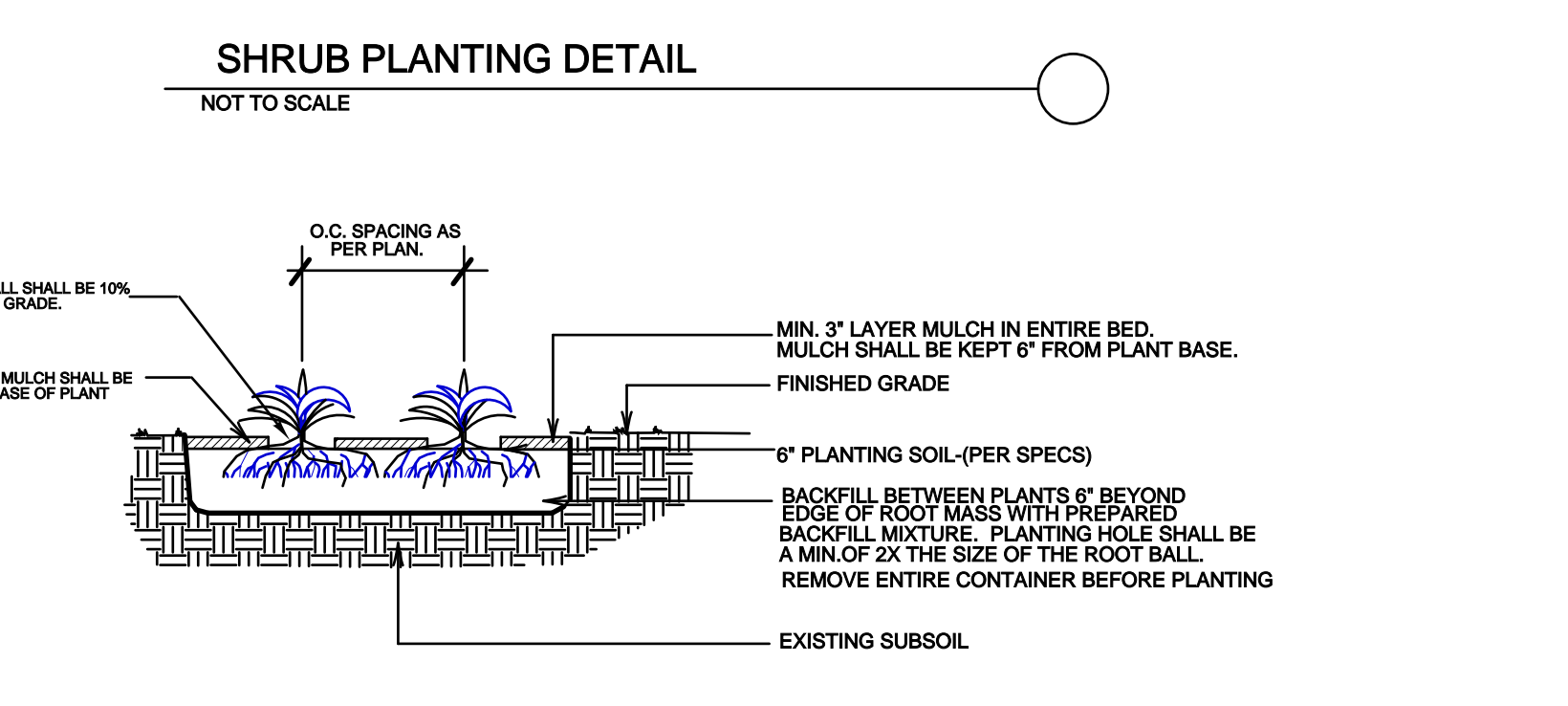
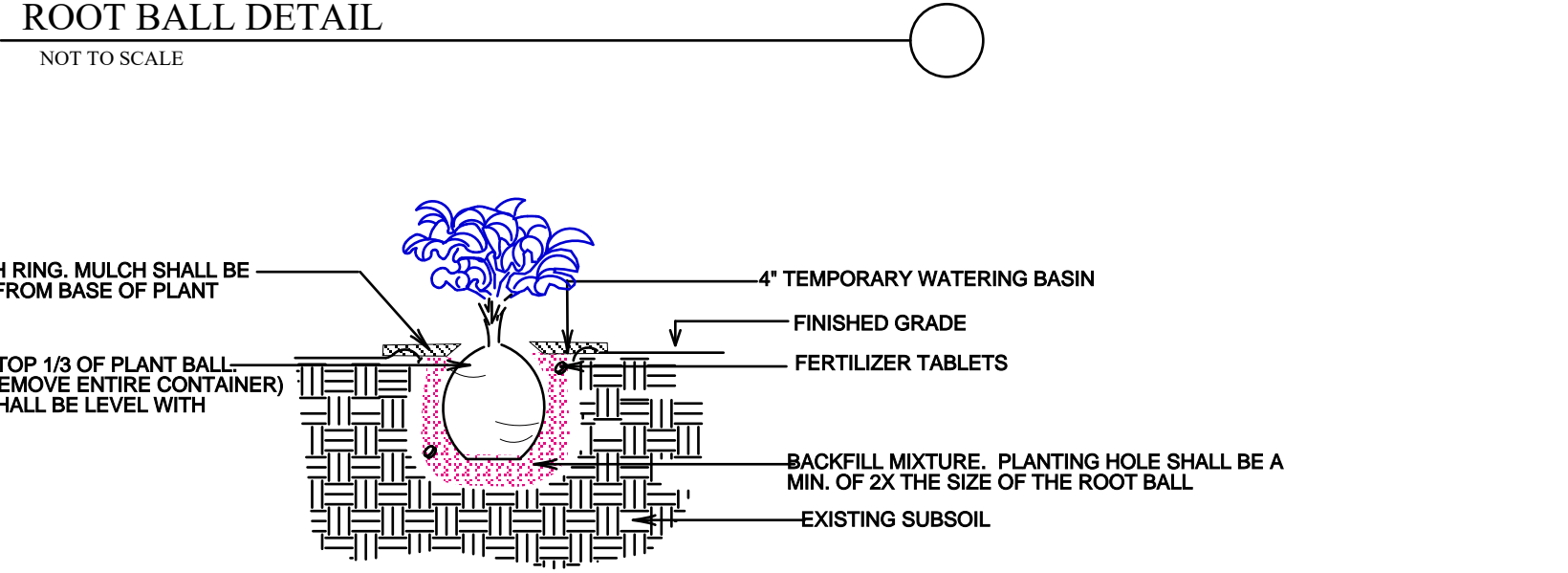
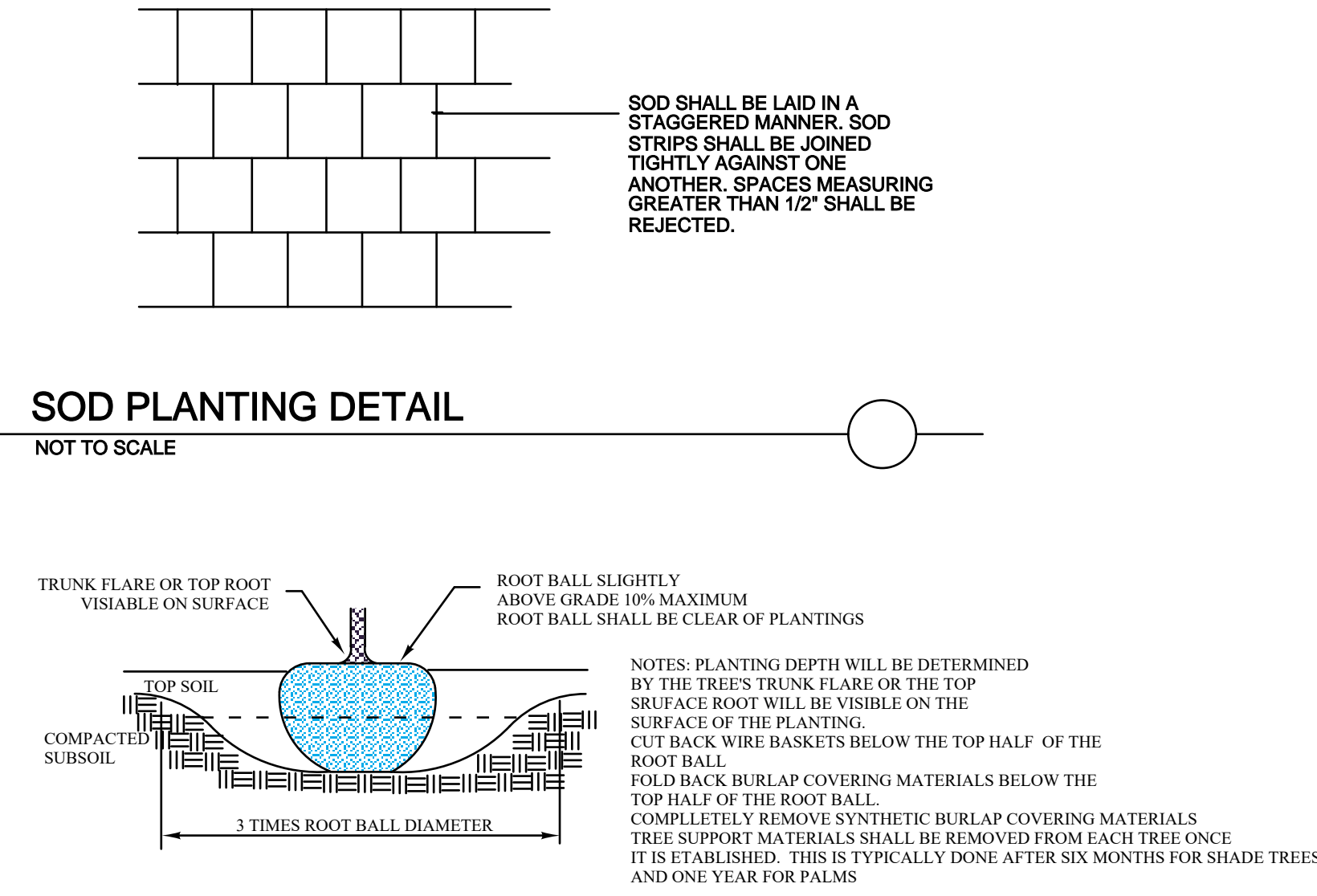
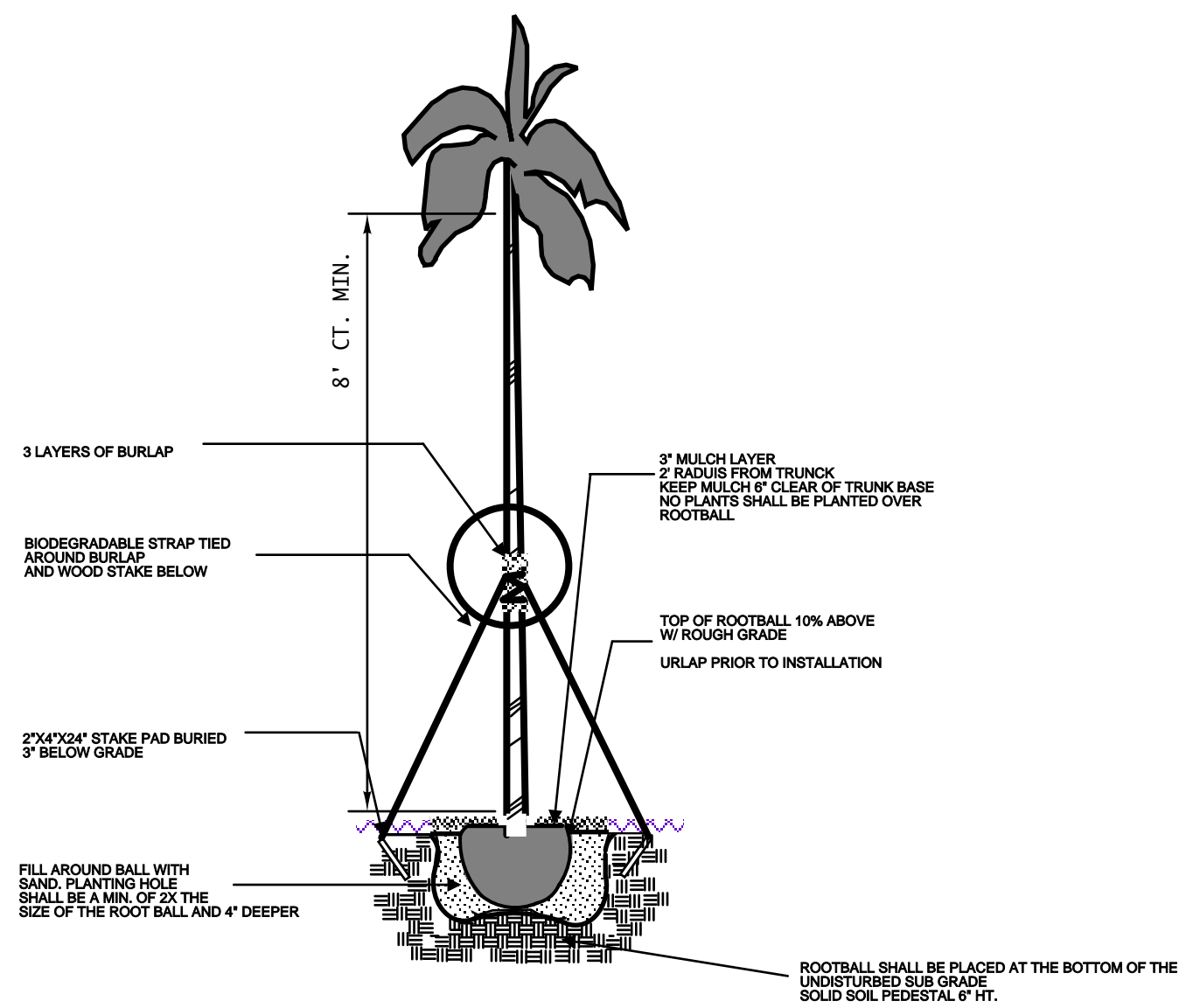
**MLA**  
 Landscape Architecture



# GENERAL LANDSCAPE NOTES

- CONTRACTOR SHOULD MAKE HIS OWN TAKE OFF TO ELIMINATE DISCREPANCIES. IN CASE THEY OCCUR, THE PLAN WILL TAKE PRECEDENCE OVER THE PLANT LIST.
- EXACT LOCATION OF PLANT MATERIAL MAY VARY SLIGHTLY. COORDINATE FIELD LOCATIONS WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK.
- ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE "FLORIDA #1" OR BETTER AND SHALL BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS", CURRENT EDITION RESPECTIVELY.
- ALL PLANTING TO BE DONE ACCORDING TO GOOD NURSERY PRACTICE.
- ALL PLANTING MATERIAL SHALL BE GUARANTEED 365 DAYS (1 YEAR) FROM TIME OF FINAL INSPECTION & APPROVAL.
- ALL SOD TO BE ST. AUGUSTIN FLORATAM SOLID, UNLESS OTHERWISE NOTED.
- ALL BED AREAS TO RECEIVE A 3" LAYER OF EUCALYPTUS MULCH FLORIMULCH & SHALL BE A MIN. OF 1'-0" WIDER THAN PLANTS (MEASURED FROM OUTSIDE OF FOLIAGE)
- ALL TREES TO HAVE A 2" MINIMUM TRUNK CALIPER OR UNLESS OTHERWISE SHOWN ON LANDSCAPE LEGEND.
- ALL TREES FIELD GROWN UNLESS OTHERWISE NOTED.
- LANDSCAPER TO FURNISH ALL MATERIAL AND LABOR INCLUDING, PLANTS, MULCH, TOP DRESSING, SOIL PREPARATION, DECORATIVE ITEMS (IF SHOWN), INSPECTIONS, TRANSPORTATION, WARRANTY, PEST, ETC. NECESSARY FOR COMPLETION OF ALL LANDSCAPING REQUIRED HEREIN EXCEPT IF DESIGNATED TO BE OTHERS.
- LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY CHANGES IN THE MATERIAL OR DESIGN PRIOR TO INSTALLATION OF THE SAME.
- OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- LANDSCAPER SHALL HAVE A COMPETENT ENGLISH SPEAKING SUPERINTENDENT PRESENT ON THE JOB WHO SHALL BE AUTHORIZED TO REPRESENT THE LANDSCAPER IN HIS ABSENCE.
- PLANTS SHOULD BE TYPICAL FOR THEIR VARIETY AND SPECIES, PLANTS SHALL BE SOUND, HEALTHY VIGOROUS, FREE FROM PLANT DISEASE, INSECT OR THEIR EGGS, THEY SHALL HAVE HEALTHY NORMAL ROOTS AND SHALL NOT BE ROOT BOUND. QUALITY AND SIZE: ALL PLANT MATERIALS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
- ALL PLANT MATERIAL SHALL BE HANDLED IN A CAREFUL MANNER DURING TRANSPORTATION AND INSTALLATION.
- PLANTS SHALL NOT BE PRUNED OR TOPPED BEFORE DELIVERY.
- OWNER RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIALS.
- LANDSCAPER SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE DAILY. THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES WHILE WORK IS IN PROGRESS.
- THE LANDSCAPE CONTRACTOR SHALL LAY OUT HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS AND WILL BE RESPONSIBLE FOR ALL MEASUREMENTS EXERCISING SPECIAL CARE IN LAYING OUT WORK TO KEEP WITHIN PROPERTY LINES AND RECOGNIZING EASEMENTS. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY ERRORS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN LAYOUT.
- METHODS OF PROTECTION SHALL BE MAINTAINED AT ALL TIMES, AS REQUIRED TO INSURE ALL PERSONS AND PROPERTY AGAINST INJURY, AND SHALL BE MAINTAINED UNTIL THE COMPLETION OF ALL WORK.
- PLANT MATERIAL ABBREVIATIONS ON THE PLANT LIST: FG (FIELD GROWN); CT (INDICATES CLEAR TRUNK MEASUREMENT FROM THE TOP OF BALL TO FIRST BRANCHING OR BASE OF THE LOWER FRONDS); GAL. (GALLON CAN); 3 GAL. (3 GALLON CAN); OA (INDICATES OVERALL HEIGHT FROM TOP OF BALL TO MID POINT OF CURRENT SEASON'S GROWTH); SPR (INDICATES SPREAD); HVY (INDICATED HEAVY); MIN (INDICATES MINIMUM).
- SUBSTITUTIONS: PLANT SUBSTITUTION REQUESTS, FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZE SPECIFIED SHALL BE MADE PRIOR TO SUBMISSION OF BIDS. ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT AND THE GOVERNING MUNICIPALITY FOR APPROVAL. IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO KNOW WHERE THEY CAN OBTAIN ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED.
- THE CONTRACTOR'S GUARANTEE SHALL NOT APPLY IN THE EVENT OF FIRE, FLOOD, HURRICANE, WINDSTORM, OR OTHER "ACTS OF GOD" OR DAMAGES TO LANDSCAPING IN PROGRESS CAUSED BY ANY PERSONS OTHER THAN THOSE PERSONS UNDER THE DOMINION AND CONTROL OF THE CONTRACTOR.
- ALL TREES, PALMS AND OTHER PLANTS SHALL BE PLANTED WITH THE TOP OF THEIR ROOTBALLS NO DEEPER THAN THE FINAL GRADE SURROUNDING THE PLANTING AREA.
- DELIVERY RECEIPTS FOR TOP SOIL, PLANTING SOIL & MULCH SHALL BE SUPPLIED TO THE INSPECTOR OR LANDSCAPE ARCHITECT UPON REQUEST.
- COMMERCIAL FERTILIZER FOR TREES, SHRUBS AND GROUND COVER COMMERCIAL FERTILIZER SHALL BE NUTRI PAK® 3YR. TIME RELEASE FERTILIZER PACKET DISTRIBUTED BY HORT- ENTERPRISES INC. EQUAL SUBSTITUTIONS MAY BE ACCEPTED NUTRI PAK FERTILIZER PACKETS ARE AVAILABLE IN SPECIAL NUTRIENT FORMULATIONS FOR SPECIFIC PLANT TYPES EG: TREES, SHRUBS, FLOWERING PLANTS, POTTED PLANTS AND PALMS. NEW TREE AND SHRUB APPLICATIONS: PLACE PACKET 6"-8" DEEP, SPACED EVENLY AROUND OUTER EDGES OF ROOTS 12 INCHES ON CENTER.

- PERENNIALS: PLACE PACKETS 6"-8" DEEP NEAR ROOTS ESTABLISHED PLANTINGS.
- MATURE PLANTINGS:  
TREES: USE 1 PACKET PER INCH OF TRUNK DIAMETER SPACED EVENLY AROUND DRIP LINE BURY 6"-8" BELOW SOIL IN UPRIGHT POSITION, TAP HOLE CLOSED WITH HIEL OF YOUR FOOT.  
SHRUBS: USE 1 PACKET FOR EVERY 12 INCHES OF HEIGHT OR SPREAD.
- GENERAL SLOW RELEASE FERTILIZERS MAY BE APPLIED WITH LOW OR NO PHOSPHORUS SUCH AS A 13-0-13 LOW PHOSPHORUS SHALL MEAN 2% OR LESS.  
APPLICATION RATES SHALL BE ADHERED TO AS WRITTEN ON THE PRODUCT LABEL. POSTPONE FERTILIZING WHEN ONE INCH OR MORE OF RAIN IS EXPECTED.
- SUPER ABSORBENT POLYMER: "TERRA SORB" OR APPROVED EQUAL AS PACKAGED IN 1 OZ. HANDY PAC COMPOSED OF SYNTHETIC ACRYLAMIDE COLLOID, POTASSIUM, AND ACRYLATE. PARTICLE SIZE OF 1.0 MM TO 3.0 MM AND ABSORPTION RATE OF 300 TIMES ITS WEIGHT IN WATER. APPLY DRY USING THE FOLLOWING AMOUNT:  
1 PAC PER TREE - 36" BALL SIZE  
2 PAC PER TREE - OVER 36" BALL SIZE  
1 PAC PER 20 GALL. CONTAINER  
0.5 PACS PER 7-10 GALL. CONTAINER  
0.25 PACS PER 3 GALL. CONTAINER  
0.12 PACS PER 1 GALL. CONTAINER
  - LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION AND UTILITIES. ANY DAMAGE TO THESE FACILITIES DURING THE PLANTING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR IN A MANNER APPROVED BY THE OWNER.
  - PLANTING SOIL: PLANTING SHALL BE COMPOSED OF 50% SAND AND 50% DECOMPOSED ORGANIC MATTER. ANY VARIATIONS IN THIS COMPOSITION SHALL BE APPROVED BY THE OWNER PRIOR TO USE. PLANTING SOIL SHALL BE FREE OF STUBS, PLANTS, ROOTS AND OTHER FOREIGN MATERIALS WHICH MIGHT BE HINDRANCE TO PLANTING OPERATIONS OR BE DETRIMENTAL TO GOOD PLANT GROWTH. SOIL SHALL BE DELIVERED IN A LOOSE FRIABLE CONDITION AND APPLIED IN ACCORDANCE WITH THE PLANTING SPECIFICATION
  - WATER FOR PLANTING WILL BE AVAILABLE AT THE SITE AND WILL BE PROVIDED BY THE OWNER
  - PRUNING: REMOVE DEAD AND BROKEN BRANCHES FROM ALL PLANT MATERIALS PRUNE TO RETAIN TYPICAL GROWTH HABIT OF INDIVIDUAL SPECIES, RETAINING AS MUCH HEIGHT AND SPREAD AS POSSIBLE. MAKE ALL PRUNING CUTS WITH A SHARP INSTRUMENT, FLUSH WITH THE TRUNK OR ADJACENT BRANCH IN SUCH A MANNER AS TO ENSURE ELIMINATION OF STUBS. "HEADBACK" CUTS, RIGHT ANGLE TO LINE OF GROWTH WILL NOT BE PERMITTED AND TREES WILL NOT BE POLED, TOPPED, OR HATRACKED.
  - SITE PREPARATION: IT SHALL BE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH (FINE) GRADE ALL LANDSCAPE AREAS TO BE SODDED (PRIOR TO APPLICATION OF SOD) ELIMINATING ALL BUMPS, DEPRESSIONS, STICKES, STONES AND OTHER DEBRIS TO THE SATISFACTION OF THE OWNER
  - MAINTENANCE: MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL ALL PLANTING HAS PASSED FINAL INSPECTION AND ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, REMOVAL OF DEAD MATERIALS, RESETTING PLANTS TO PROPER GRADES OR UPRIGHT POSITION AND RESTORATION OF THE PLANTING SAUCER AND ANY OTHER NECESSARY OPERATION, PROPER PROTECTION TO LAWN AREAS SHALL BE PROVIDED AND ANY DAMAGE RESULTING FROM PLANTING OPERATIONS, SHALL BE REPAIRED PROMPTLY
  - (NOTE: SABAL PALMETTO/CABBAGE PALM SPECIES) THE BRANCHES TOGETHER WITH BIO-DEGRADABLE TWINE TO TIGHT BUNDLE AROUND BUD FOR PROTECTION
  - MULCH MULCH MAY BE USED WITHIN PLANTING BEDS IN CONJUNCTION WITH GROUND COVER. MULCH SHALL BE RENEWED AND MAINTAINED AS REQUIRED TO MAINTAIN A THREE- INCH DEPTH AT THE TIME OF FINAL INSPECTION. MULCH AROUND TREE ROOT BALLS NOT PLANTED IN PLANTING AREA SHALL BE THREE INCHES DEEP AT THE PERIMETER OF THE ROOT BALL.
  - GRASS AREAS WITHIN THE LANDSCAPE EASEMENT NOT USED FOR TREES, SHRUBS, GROUND COVER, MULCH, OR OTHER LANDSCAPE ELEMENTS SHALL BE PLANTED WITH SOLID SOD OF ST. AUGUSTINE FLORATAM OR PLAMETTO AND SHALL BE IRRIGATED
  - EXCAVATION REQUIREMENT: REQUIRED: ISLANDS SHALL BE EXCAVATED TO 36 INCHES, AND FILLED WITH CLEAN FILL AND TOPSOIL TO A LEVEL 3" BELOW TOP OF THE CURB. MANIPULATION OF THE GRADE BEHIND THE CURBING TO CREATE SMALL SCALE MOUNDING IS ENCOURAGED. ALL LANDSCAPED PLANTING BEDS SHALL BE EXCAVATED TO A DEPTH OF 6" AND REPLACED WITH CLEAN FILL. A MIN 2" OF TOPSOIL SHALL BE INSTALLED BELOW ALL SODDED AREAS.
  - A LANDSCAPE PERMITS SHALL BE VERIFIED AND OBTAINED BY THE LANDSCAPE CONTRACTOR. NO TREES OR OTHER PLANT MATERIAL MAY BE PLANTED IN PUBLIC RIGHTS-OF-WAY (SWALE AREAS) WITHOUT PERMIT FROM THE CITY. NO SHRUB SPECIES WITH A MATURE HEIGHT THAT WILL BLOCK THE CLEAR SIGHT ZONE FROM 30 INCHES IN HEIGHT TO SIX FEET IN EIGHT WILL BE APPROVED IN SWALE AREAS.
  - TOPSOIL SHALL BE CLEAN AND FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, NOXIOUS PESTS AND DISEASES, AND EXHIBIT A PH OF 6.5 TO 7.0. THE TOPSOIL FOR PLANTING AREAS SHALL BE AMENDED WITH HORTICULTURALLY ACCEPTABLE ORGANIC MATERIAL. ALL SOIL USED SHALL BE SUITABLE FOR THE INTENDED PLANT MATERIAL. THE SOURCE OF THE TOPSOIL SHALL BE KNOWN TO THE APPLICANT AND SHALL BE ACCEPTABLE TO THE GOVERNING MUNICIPALITY.
    - MINIMUM SOIL DEPTH: REQUIRED: THE MINIMUM PLANTING SOIL DEPTH SHALL BE SIX INCHES FOR GROUND COVERS, FLOWERS, SHRUBS AND HEDGES.
    - ROOTBALL SOIL: REQUIRED: TREES SHALL RECEIVE 12 INCHES OF PLANTING SOIL AROUND THE ROOT BALL.
    - NATIVE SOIL: REQUIRED: NATIVE TOPSOIL ON THE SITE SHALL BE RETAINED ON-SITE AND USED WHEN THERE IS SUFFICIENT QUANTITY TO COVER AT LEAST SOME OF THE ON-SITE LANDSCAPED AREAS.
    - ARID PLAMS: REQUIRED: CLEAN SAND SHALL BE USED TO BACKFILL ARID CLIMATE PALMS.
  - USE OF ORGANIC MULCHES: A TREE-INCH MINIMUM THICKNESS OF APPROVED ORGANIC MULCH MATERIAL, AT THE TIME OF FINAL INSPECTION, SHALL BE INSTALLED IN ALL LANDSCAPE AREAS NOT COVERED BY BUILDING, PAVEMENT, SOD, DECORATIVE STONES, PRESERVED AREAS AND ANNUAL FLOWER BEDS. EACH TREE SHALL HAVE A RING OF ORGANIC MULCH AT THE PERIMETER OF THE ROOT BALL.
  - ALL SHADE TREES INSTALLED WITHIN SIX FEET OF PUBLIC INFRASTRUCTURE SHALL UTILIZE A ROOT BARRIER SYSTEM AS APPROVED BY THE CITY.
  - THE ERADICATION OF NUISANCE VEGETATION (EXOTICS: ALL INVASIVE AND EXOTIC VEGETATION SHALL BE REMOVED FROM SITE INCLUDING WITHIN ABUTTING RIGHTS-OF-WAY
  - SHRUBS SHALL BE CONSIDERED IN ACCORDANCE WITH STANDARDS SET FORTH BY THE GOVERNING MUNICIPALITY.
  - HEDGES: WHERE REQUIRED SHALL BE PLANTED SO AS TO BE TIP TO TIP AT TIME OF PLANTING AND MAINTAINED SO AS TO FORM A CONTINUOUS VISUAL SCREEN. SHRUBS USED AS HEDGES SHALL BE FLORIDA DEPARTMENT OF AGRICULTURE GRADE NO. 1 OR BETTER WITH A MINIMUM HEIGHT OF 24 INCHES AND MINIMUM SPREAD OF 18 INCHES WHEN MEASURED IMMEDIATELY AFTER PLANTING AND SHALL BE A MINIMUM OF THREE FEET IN HEIGHT WITHIN TWO YEARS FROM THE DATE OF PLANTING. HEDGES SHALL BE PLANTED WITH BRANCHES TOUCHING, WITHIN SIX MONTHS OF PLANTING SO AS TO CREATE A SOLID SCREEN WITH NO VISUAL SPACES BETWEEN PLANTS AT THIS TIME. PLANT SPACING MAY BE ADJUSTED ACCORDING TO PLANT SIZES SO LONG AS THE PRECEDING IS ACHIEVED



REVISIONS:


SHEET TITLE:  
**LANDSCAPE DETAILS AND SPECIFICATIONS**

PROJECT:  
**OCEAN VIEW BORUJ**  
2888 EAST OAKLAND PARK BLVD  
FORT LAUDERDALE, FL

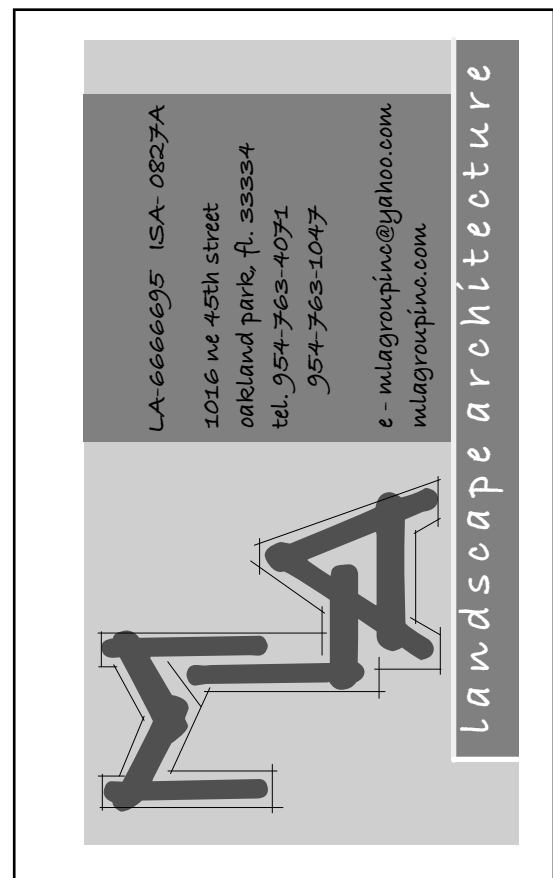
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SEAL:  
  
 JAMES MCCIURE  
 No. 00000005  
 STATE OF FLORIDA

DATE DRAWN: 11/20/23  
SHEET NO.

**L-3**  
of-3

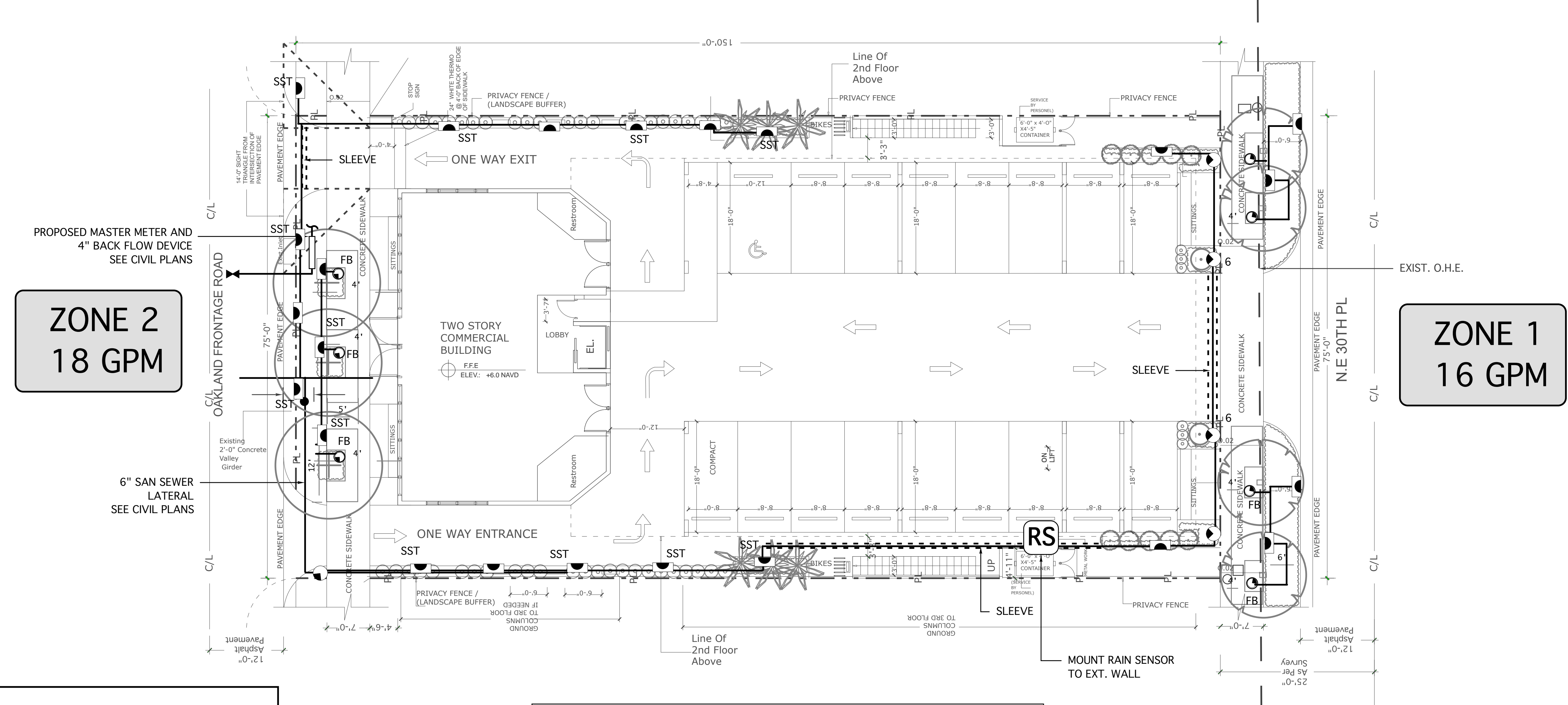




**PIPE SLEEVING SCHEDULE**

PIPE SIZE	SLEEVE SIZE
1"	2"
1 1/4"	2"
1 1/2"	3"
2"	4"
2 1/2"+	6"

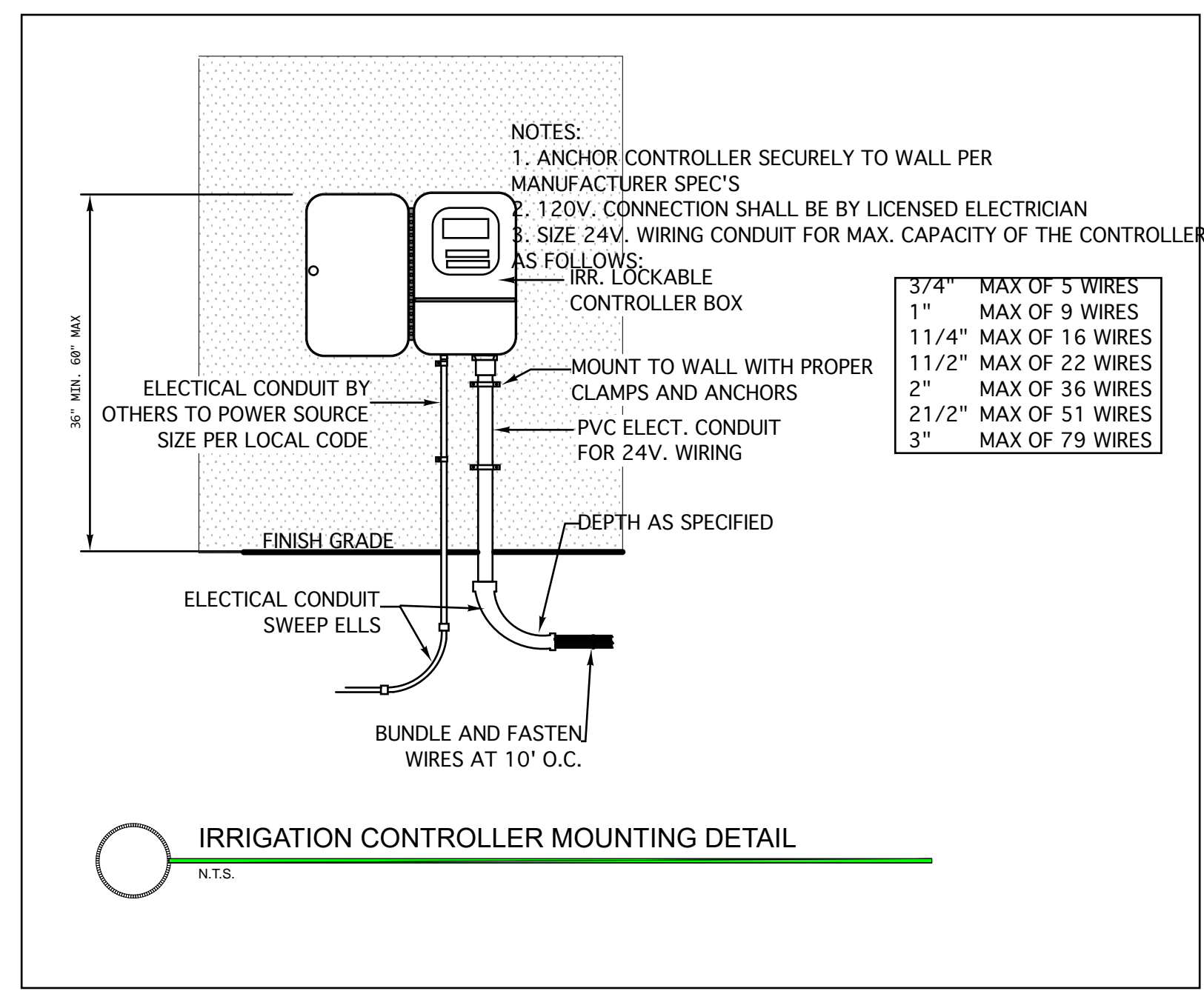
LEGEND	
	VALVE
	SPRAY, 360°
	SPRAY, 180°
	SPRAY, 90°
	SIDE STRIP
10	10' NOZZLE
8	8' NOZZLE
6V	6' NOZZLE
4V	4' NOZZLE



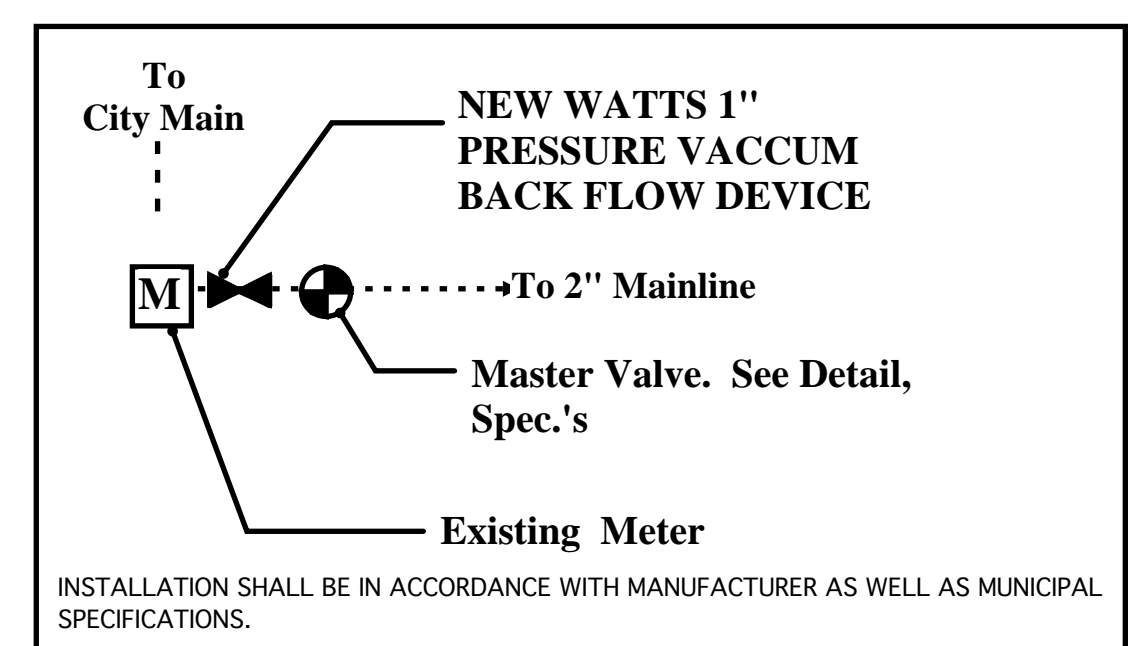
**ZONE 2**  
18 GPM

**ZONE 1**  
16 GPM

- NOTES:**
- CONTRACTOR SHALL ADD NEW HEADS AND PIPE WHERE NEEDED PER SITE IMPROVEMENTS TO ENSURE ALL PLANT MATERIALS RECEIVE 100% COVERAGE WITH 50% OVERLAP. NEW ZONES SHALL BE TIED INTO THE EXISTING SYSTEM WHERE LOGICAL.
  - CONTRACTOR SHALL ADJUST HEADS TO AVOID OVERSPRAY ON ALL PEDESTRIAN AND VEHICULAR HARDSCAPE SURFACES.
  - CONTRACTOR SHALL VERIFY THE SYSTEM'S GPM DOES NOT EXCEED THE CAPACITY OF THE CURRENT WATER SUPPLY.
  - CONTRACTOR SHALL ADD A RAIN SENSOR IN LOGICAL LOCATION A MIN. OF 48" ABOVE IRRIGATION SPRAY.
  - CONTRACTOR SHALL REPLACE OR REPAIR EXISTING IRRIGATION EQUIPMENT IN POOR CONDITION.
  - IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO ADHERE TO ALL MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF IRRIGATION EQUIPMENT.
  - IRRIGATION CONTRACTOR SHALL REFER TO LANDSCAPE PLANS BY OTHERS TO VERIFY LOCATIONS OF LANDSCAPE MATERIALS IN RELATION TO IRRIGATION EQUIPMENT.
  - SUBCONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND PERMIT FEES ASSOCIATED WITH INSTALLING THE IRRIGATION SYSTEM. SUBCONTRACTOR WILL ASSIST THE CONTRACTOR IN OBTAINING WATER-USE PERMIT.
  - THE IRRIGATION SYSTEM SHALL BE GUARANTEED FOR ONE CALANDAR YEAR FROM FINAL ACCEPTANCE. GUARANTEE SHALL INCLUDE MATERIAL AND WORKMANSHIP.
  - CHANGES OR SUBSTITUTIONS TO THESE SPECIFICATIONS SHALL BE APPROVED ONLY IN WRITING BY THE ARCHITECT. THESE SPECS ARE CONSIDERED TO BE MINIMUM STANDARDS. IN SOME CASES, LOCAL CODES MAY EXCEED THESE SPECS. THE BURDEN OF PROOF OF PRODUCTS TO BE CONSIDERED AS EQUAL IS COMPLETELY THE RESPONSIBILITY OF THE CONTRACTOR. NO ITEM OR PART DISCONTINUED FROM MANUFACTURING SHALL BE ACCEPTED.



- C** IRRIGATION CONTROLLER  
MOUNT TO EXTERIOR WALL IN ACCESSIBLE AREA OR WITHIN ELECTRICAL ROOM
- RS** RAIN SENSOR MOUNT CLEAR OF OVERHAND CANOPY



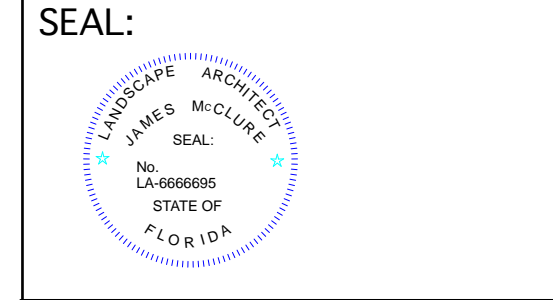
**REVISIONS:**

NO.	DESCRIPTION

**SHEET TITLE:**  
IRRIGATION PLAN

**PROJECT:**  
**OCEAN VIEW BORUJ**  
2888 EAST OAKLAND PARK BLVD  
FORT LAUDERDALE, FL

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SHEET NO.

**IR-1**  
of-2

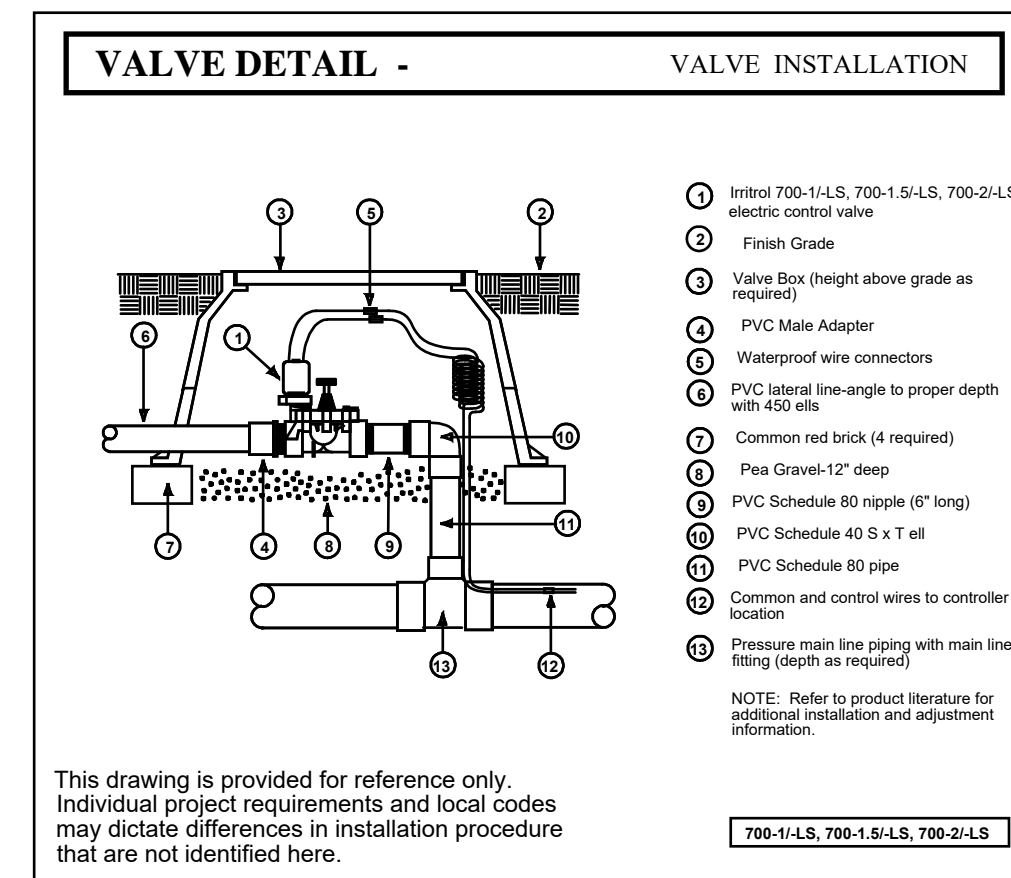
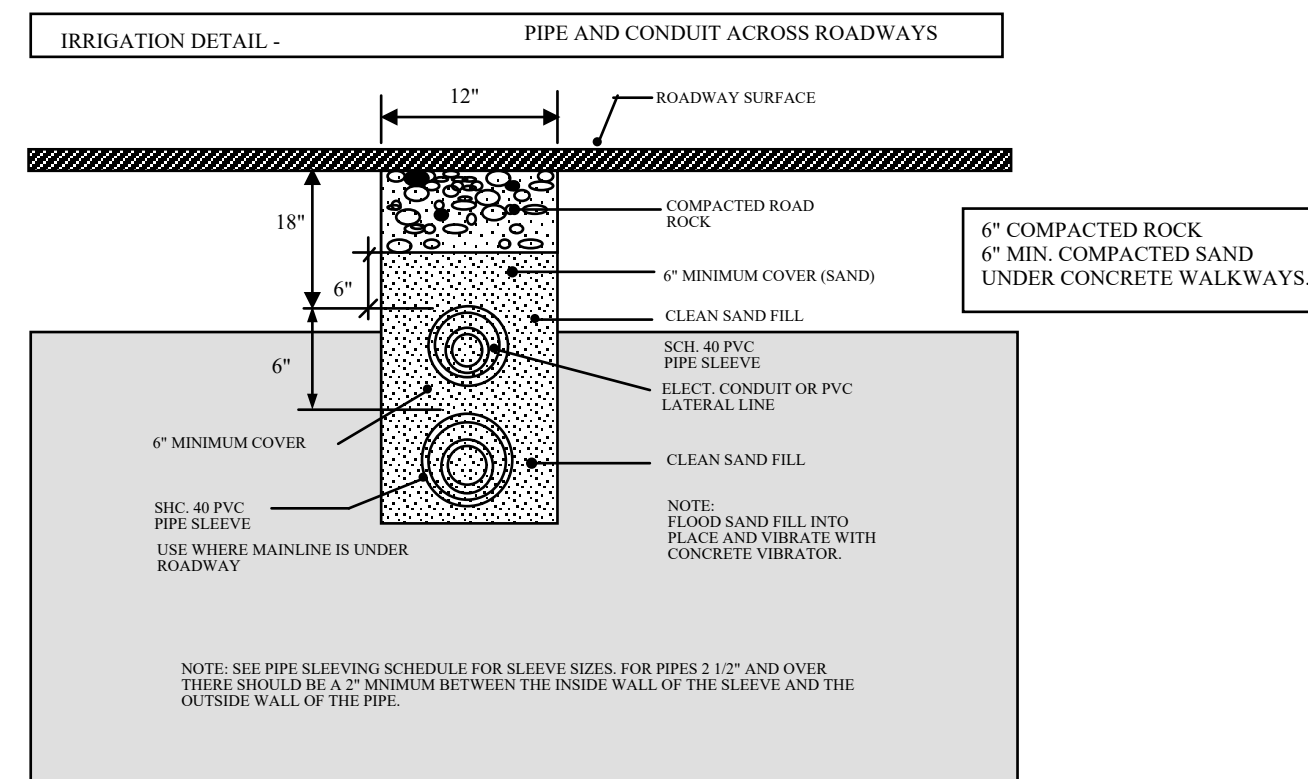
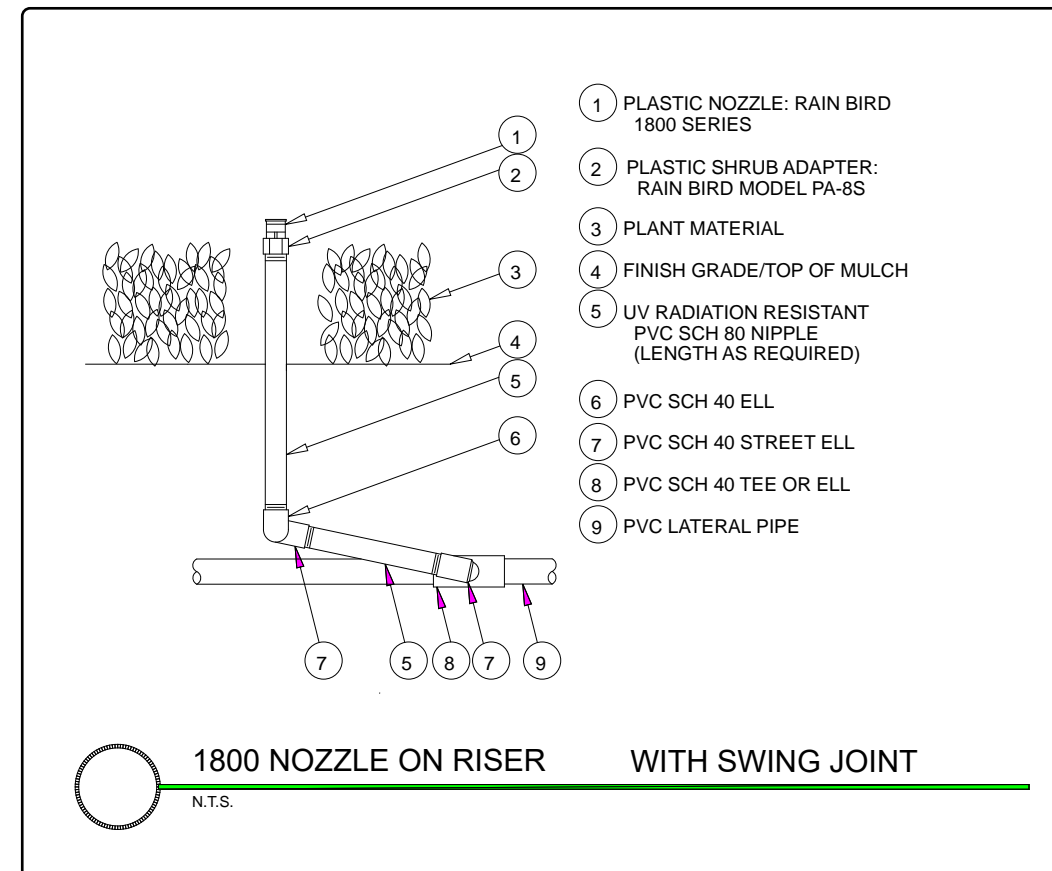
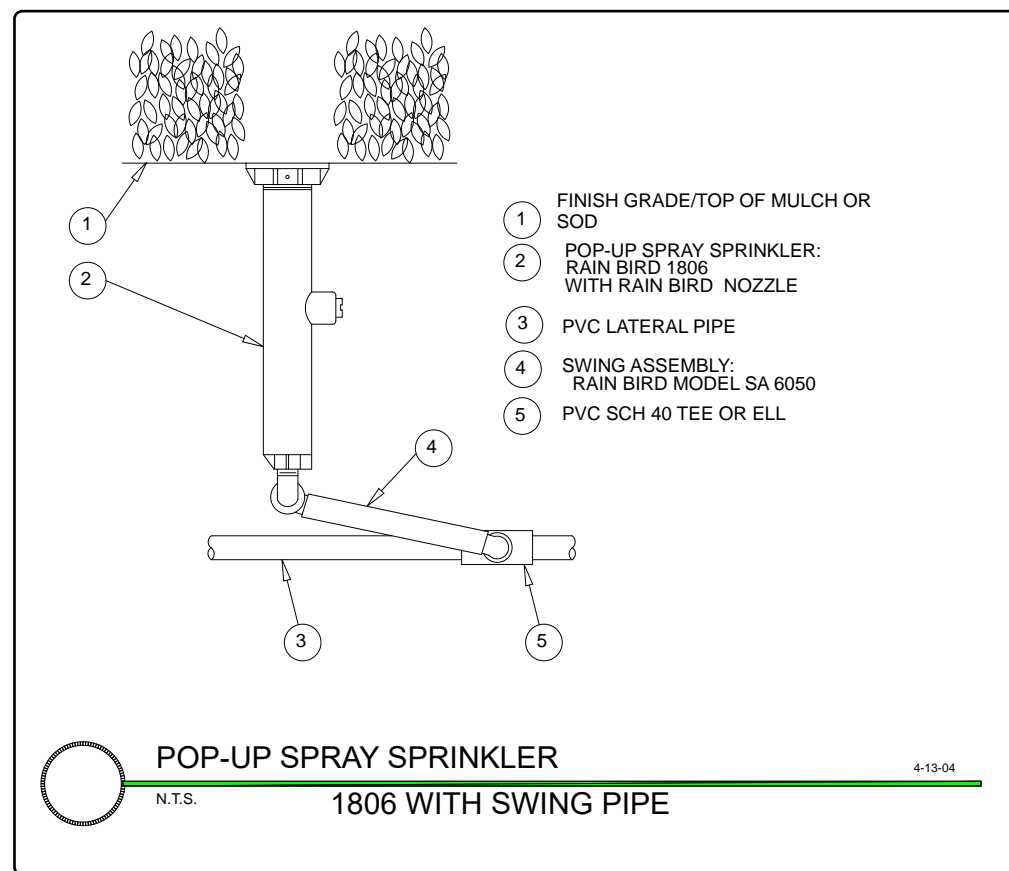


IRRIGATION MASTER KEY

KEY	NO.	CODE	ITEM DESCRIPTION	INSTALLATION SPEC.
	14	SLV LINE NOTE	<b>SLEEVES</b> IN THIS CONTRACT Sleeves under roadways and driveways shall be SCH 40 Sleeves under sidewalks can be CLASS 160 PVC Install as per details and specifications.	Each sleeve shall be a minimum of two sizes larger than lateral pipe enclosed and each crossing shall include separate electrical conduit sleeves. All sleeves under pavement or roads shall be a minimum of 24" below the top of paving to the top of the sleeve and under walks at 12" below grade. Irrigation contractor shall supply and place sleeves, and be responsible for their locations. Sleeving shall be installed at the most logical locations to avoid underground utilities and structures. Sleeving locations shall be considered schematic on irrigation plans. The GC shall backfill and pave as required. No rock shall be in contact with PVC sleeves. All Asphalt base compaction and paving shall be made by the Paving Contractor on the job.
C	00C17	CON	<b>PROVIDE NEW IRRIGATION CONTROLLER RAIN BIRD ESP 8</b> 6 zones determined by contractor Electromechanical controller. Add zone modules as needed. Controller will be installed as part of the pump station within pump enclosure. Contractor shall provide electrical service to pump station. Electrical hook-up provided by GC's electrician on site. Irrigation Contractor to coordinate with GC / Electrician.	Contractor shall mark stations on the controller panel to correspond with the zone numbers on this plan and set operating sequence to correspond with the numbering.
	02	CONTR NOTE	<b>IRRIGATION CONTRACTOR UTILITIES ABOVE AND BELOW GROUND.</b>	Contractors shall be responsible for the location and verification of all overhead and underground utilities. Contractor shall coordinate with all of the appropriate agencies to verify utilities in the field. Contractor shall be responsible for the protection and maintenance and any damage to existing utilities and structures that may occur in the implementation of the scope of work within this project. <b>CONTRACTORS MUST USE THE NEW STANDARD SCHEDULE OF COLORS DESIGNATED FOR MARKINGS ON THE GROUND 1994 edition</b>
X	00V11	VALVE BOX	<b>VALVE COVER BOX</b> - AMETEK Heavy Duty Box with Locking Covers. <b>JVB-10 Box 10" Dia.</b>	All valve assemblies to be installed below grade shall include AMETEK valve boxes with a 2" layer of drainage gravel as clean dry ballast for a bottom. Install top of box flush with surrounding grade, grass or mulch depending on location. Group valve assemblies so they are accessible with the correct size box. Any substitutions must be approved by landscape architect by providing sample or product information for review and written approval.
	70A	Head	<b>RAINBIRD 1800 SERIES, XP and VAN SERIES</b> 1806-PRS 6" POP-UP 3/4 HDS FULL Low Gallon Nozzles 1/4 HDS 1/2 HDS HEADS 2.5' 4' 5', 6', 8', 10', 12', 15' Radius <b>RAINBIRD ROTORS</b> 3500 SERIES <b>RAINBIRD SPECIAL PATTERN SERIES</b> 15' RADIUS EST, SST	All heads in tall shrub beds shall be mounted on sch. 160 1/2" risers painted krylon jungle green.  Contractor shall adjust head spray to eliminate over spray of water onto structure walls, driveways, and walkways.
	90	HEAD NOTE	<b>GENERAL HEAD NOTE</b> <b>ALL HEAD LOCATIONS SHOWN ON PLANS ARE SCHEMATIC</b>	Contractor to maintain 100% coverage with minimum 50% overlap when minor head location changes are necessary due to field conditions. Install adjustable angle nozzles where needed. All heads in open grass areas to be mounted on poly pipe swing joints. Heads in shrub areas shall be installed on SCH 160 risers raised to 6" above plant height, and with PVC SCH 160 swing joint assemblies below grade. Risers taller than 24" above grade shall be staked for support. All risers shall be fitted with shrub adapters and appropriate nozzles. All risers shall be painted with Krylon Jungle Green or equal.
RS	92	RAIN sensor	<b>"MINI CLIK"</b> RAIN SENSOR MODEL 502  TO BE INSTALLED BY IRRIGATION CONTRACTOR IN AN EASILY ACCESSIBLE POSITION A MIN. OF 48" ABOVE ADJACENT SPRAY HEIGHT	"MINI CLIK" Mount the Mini Clk PER MANUFACTURER'S SPECIFICATIONS. Each system shall have it's own individual rain sensor. Contractor is responsible for a fully operational system from timeclock to location of the sensor.

NOTE: IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO ADHEAR TO ALL MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF IRRIGATION EQUIPMENT.

NOTE: ALL DETAILS AND SPECIFICATIONS ON THIS SHEET SHALL BE APPLIED TO ALL PROPOSED AND REPLACEMENT IRRIGATION EQUIPEMENT.



IRRIGATION MASTER KEY

KEY	NO.	CODE	ITEM DESCRIPTION	INSTALLATION SPEC.
	00V1	WIRE LOW VOLT	<b>Control wires</b> for 24V Automatic Valves shall be installed by Irrigation Contractor. Wire shall be sleeved in minimum 1" SCH 40 electrical conduit buried a minimum of 24". Contractor shall run (2) spare control wires and (1) one spare common wire to the furthest ends of system in each direction. Common wire shall be grey or green, while the control wires shall each be a different color.	All irrigation control wires shall be U. L. approved 24V solid copper wire. Wires shall operate 24V automatic sprinkler valves and enter the box from below. Hot and spare wires to be AWG size 14 gauge and common wires to be AWG white size 12 gauge. Number 14 wire to be color coded separately with dark colors. Multi strand cable shall only be used between the controller and the first splice pit and shall not exceed 20 feet. No splices between valves: All splicing shall be done in valve boxes only. All splices made with 3MBDY wire connectors. All valve box locations to be approved by the land arch. all valve boxes set level w/grade.
	00V1A	MASTER VALVE	<b>Irritrol Series 700 or Series 100</b> Use Angle configuration  <b>3" valves for zones to GPM volumes 171-300</b> <b>2" valves for zones to GPM volumes 71-170</b> <b>1.5" valves for zones to GPM volumes 41-70</b> <b>1" valves for zones to GPM volumes btwn 10-40</b>	All Valves shall be installed in a separate AMETEK valve box. All valve boxes to be placed upon a 2" layer of gravel. All valves assembled with Sch. 80 PVC nipples shall be used in place of male adapters. Top stem of valve assembly to be 6" below cap of valve cover box. This valve shall be used as the job standard. Valve controlling each Zone as well as use as the Master Control Valve for applicable plans. All valve box locations to be approved by the Landspe Architect. All boxes to be set level with grade.
	11	PIPE GEN NOTE	<b>LATERAL PIPE</b> All New Pipe and Fittings. Size as noted in plans.	3/4" Pipe to be <b>Class 200</b> . All other lateral pipe to be <b>Class 160</b> , except where ground is rocky; in rocky ground <b>SCH 40</b> pipe will be used. <b>Class 200/160</b> will be protected on all sides with at least 6" of clean, debris-free builders sand. All laterals to be placed 12" minimum below grade. All lateral pipe under pavement to be sleeved. <b>No lateral installed shall be less than 3/4" diameter.</b>
	12	PIPE GEN NOTE	<b>MAIN &amp; LATERALS</b>  <b>MAINLINE SHALL NOT BE UNDER PRESSURE WHILE THE SYSTEM IS NOT IN OPERATION.</b>	<b>Unless specifically detailed All PIPING locations shown on plans are schematic.</b> Contractor to adjust trenching in field for existing conditions, plantings and structures. Install pipes clear of hedge rows and tree rootballs. Irrigation contractor is responsible to adjust lines at his own expense if not coordinated with all other work. All piping shall be bed in clean fill per Florida Building Code 2001 and back fill all trenches free of debris. Mechanical trenchers are acceptable except in drainage swales and utility areas which shall be hand dug and backfilled to original grade. <b>CONTRACTOR ADJUSTMENTS DOES NOT WARRANT ADDITIONAL COSTS BASED ON BASE BID.</b>
		PIPE GEN NOTE	<b>MAIN &amp; LATERALS BACKFILLING</b>	Ground Level Areas: The sub-contractor shall do all necessary excavating and backfilling required for the proper installation of the work. Minimum depth of cover over piping shall be 12 inches. Backfill material shall be clean fill. If existing material has an excess of rock, then clean sand must be used. In rocky areas, use Sch. 40 PVC or the trenching depth shall be two inches below normal trench depth to allow for a 2 inch bed of sand below the pipe. There shall be NO rock in contact with PVC pipe. The sub-contractor shall use backfilling equipment that will tamper backfill to its original density. He shall barricade or light the excavation to prevent hazards to the public. Objectionable materials such as old concrete, asphalt, lime rock and bricks that are encountered during working operations, shall be removed from the project by the sub-contractor. Sub contractor shall be responsible to locate any above or underground utilities prior to starting work. If utilities are found to be in conflict with the proposed work the Owner or owner's agent shall be notified immediately.
	10	MAIN LINE NOTE	<b>2" DEAD END MAIN LINE</b> <b>ALL MAIN LINE PIPE SHALL BE SDR-26 CLASS 160 SOLVENT WELD OR CLASS 200 O-RING PVC PIPE.</b>  <b>THRUST LINES SHALL BE SDR CLASS 200 FOR 3/4" AND 1" LINES AND SDR 26 CLASS 160 FOR ALL LINES 1-1/4" AND ABOVE 1/2" PIPE SHALL NOT BE USED EXCEPT FOR SHRUB RISERS AND SHALL THEN BE SCH 40 PVC. ALL PIPING SHALL BE SIZED SO AS NOT TO EXCEED A VELOCITY OF 5 FPS.</b>	<b>MAIN LINES LOCATION IS SHOWN SCHEMATICALLY.</b> Where ever possible, lateral lines are to be buried in common trench with main line. All wires shall be run under mains for protection. All Mains shall be buried at minimum 18" depth. Mains should run deeper at road crossings. All pipe and fitting materials shall be new. All pipe to be cut squarely and burrs removed. All P.V.C. Mainline 4" and larger to be assembled with use of HARCO Gasketed fittings and poured concrete thrust blocks as per man. specifications.
M BF	00M6	WM	<b>NEW 1" WATER METER AND BACK FLOW PREVENTOR</b> Meter supplied by County or City. Verify requirements for installation (if needed)  <b>NEW 1" BACK FLOW DEVICE</b>  <b>Contractor shall install a Backflow Prevention Device and supply appropriate equipment per city requirements if existing equipment does not meet code requirements.</b>	"See plans for location. Irrigation contractor shall begin at the point of the meter to step up to the size service main called for in plans. If an approved Backflow Prevention Device is not already in place or is not required, the Contractor shall supply and install equipment as required to meet local codes. Install a Brass Gate Valve, size to match meter size, as the beginning of the main to supply the sprinkler system."

REVISIONS:


SHEET TITLE:  
**IRRIGATION DETAILS AND SPECIFICATIONS**

PROJECT:  
**OCEAN VIEW BORUJ**  
2888 EAST OAKLAND PARK BLVD  
FORT LAUDERDALE, FL

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SEAL:  
  
700-1-L-S, 700-1-S-L, 700-2-L-S

DATE DRAWN: 11/20/23  
SHEET NO.

**IR-2**  
of-2



# ELEVATION CERTIFICATE

**Important:** Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name OAKLAND OCEAN MILE LLC				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2888 E. OAKLAND PARK BOULEVARD				Company NAIC Number:	
City FORT LAUDERDALE		State Florida		ZIP Code 33306	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) THE EAST 75 FEET OF LOT 9, OAKLAND OCEAN MILE, P.B. 28, PG. 45, B.C.R. (ID# 4942 25 06 0140)					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>NON-RESIDENTIAL</u>					
A5. Latitude/Longitude: Lat. <u>26°10'01.97"N</u> Long. <u>80°06'21.93"W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>1A</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>N/A</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u>					
c) Total net area of flood openings in A8.b <u>N/A</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>0.00</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A9.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number FORT LAUDERDALE - 125105			B2. County Name BROWARD		B3. State Florida
B4. Map/Panel Number 12011C0386	B5. Suffix H	B6. FIRM Index Date 08-18-2014	B7. FIRM Panel Effective/ Revised Date 08-18-2014	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 5'
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: <u>N/A</u> <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					



**ELEVATION CERTIFICATE**

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2888 E. OAKLAND PARK BOULEVARD			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33306	Company NAIC Number

**SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED)  
FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the HAG.
  - b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

**SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name  
PINNELL SURVEY, INC. / JASON H. PINNELL, P.S.M. #5734

Address 5300 W. HILLSBORO BOULEVARD, 215-A	City COCONUT CREEK	State Florida	ZIP Code 33073
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Signature	Date	Telephone (954) 418-4940
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Comments

Check here if attachments.



# BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008  
Expiration Date: November 30, 2022

## ELEVATION CERTIFICATE

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2888 E. OAKLAND PARK BOULEVARD			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33306	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption FRONT VIEW	04/11/23	Clear Photo One
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Photo Two

Photo Two Caption RIGHT SIDE VIEW	04/11/23	Clear Photo Two
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**ELEVATION CERTIFICATE**

**BUILDING PHOTOGRAPHS**

Continuation Page

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2888 E. OAKLAND PARK BOULEVARD			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33306	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

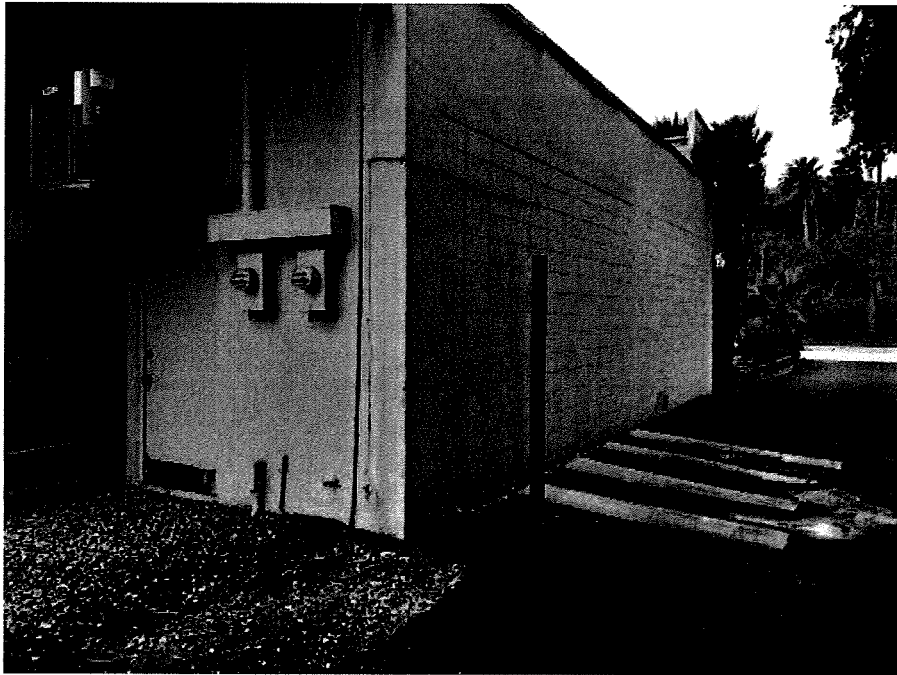


Photo Three

Photo Three Caption LEFT SIDE VIEW

04/11/23

Clear Photo Three



Photo Four

Photo Four Caption REAR VIEW

04/11/23

Clear Photo Four



**BROWARD COUNTY, FLORIDA 2023**

**REAL ESTATE**

**FOLIO / ALT KEY: 338702**

**NOTICE OF AD VALOREM TAXES AND NON - AD VALOREM ASSESSMENTS**

ACCOUNT NUMBER	ESCROW CODE	ASSESSED VALUE	EXEMPTIONS	TAXABLE VALUE	MILLAGE CODE
494225-06-0140		941,950	<b>SEE BELOW</b>	<b>SEE BELOW</b>	0312

**Legal Description:**

OAKLAND OCEAN MILE 28-45 B  
LOT 9 E 75 LESS N 50 FOR ST RD

OCEAN VIEW BORUJ LLC  
1842 E OAKLAND PARK BLVD STE 2  
FORT LAUDERDALE, FL  
33306

PAYMENTS MUST BE IN U.S. FUNDS DRAWN  
ON/THROUGH A U.S. BANK.

**PAY YOUR TAXES ONLINE AT:**  
[broward.county-taxes.com](http://broward.county-taxes.com)

**AD VALOREM TAXES**

TAXING AUTHORITY	MILL RATE	ASSESSED VALUE	EXEMPTION VALUE	TAXABLE VALUE	TAXES LEVIED
BROWARD COUNTY GOVERNMENT					
COUNTYWIDE SERVICES	5.5492	941,950		941,950	5,227.07
VOTED DEBT	0.1198	941,950		941,950	112.85
BROWARD CO SCHOOL BOARD					
GENERAL FUND	4.9260	941,950		941,950	4,640.05
CAPITAL OUTLAY	1.5000	941,950		941,950	1,412.92
VOTER APPROVED DEBT LEVY	0.1896	941,950		941,950	178.59
SO FLORIDA WATER MANAGEMENT					
EVERGLADES C.P.	0.0327	941,950		941,950	30.80
OKEECHOBEE BASIN	0.1026	941,950		941,950	96.64
SFWM DISTRICT	0.0948	941,950		941,950	89.30
NORTH BROWARD HOSPITAL	1.4307	941,950		941,950	1,347.65
CHILDREN'S SVCS COUNCIL OF BC	0.4500	941,950		941,950	423.88
CITY OF FORT LAUDERDALE					
FT LAUDERDALE OPERATING	4.1193	941,950		941,950	3,880.17
DEBT SERVICE	0.2737	941,950		941,950	257.81
FL INLAND NAVIGATION	0.0288	941,950		941,950	27.13
<b>TOTAL MILLAGE</b>	<b>18.8172</b>		<b>TOTAL AD VALOREM TAXES</b>		<b>17,724.86</b>

**NON - AD VALOREM ASSESSMENTS**

LEVYING AUTHORITY	LEVYING AUTHORITY PHONE	AMOUNT			
FT LAUDERDALE FIRE-RESCUE		1,867.00			
FT LAUDERDALE STORMWATER CAT II		645.74			
FT LAUDERDALE STORMWATER TRIP		223.72			
<b>TOTAL NON - AD VALOREM ASSESSMENTS</b>		<b>2,736.46</b>			
<b>COMBINED TAXES AND ASSESSMENTS</b>		<b>20,461.32</b>			
<b>IF PAID BY</b>	Nov 30, 2023	Dec 31, 2023	Jan 31, 2024	Feb 29, 2024	Mar 31, 2024
<b>PLEASE PAY</b>	\$19,642.87	\$19,847.48	\$20,052.09	\$20,256.71	\$20,461.32

**BROWARD COUNTY, FLORIDA 2023**

**REAL ESTATE**

**FOLIO / ALT KEY: 338702**

**NOTICE OF AD VALOREM TAXES AND NON - AD VALOREM ASSESSMENTS**

1000338702202300002046132000000000009

**MAKE CHECKS PAYABLE TO:**

**BROWARD COUNTY TAX COLLECTOR**  
**115 S. ANDREWS AVE #A100**  
**FORT LAUDERDALE, FL 33301-1895**

**ACCOUNT NUMBER**

494225-06-0140



IF PAID BY	PLEASE PAY
Nov 30, 2023	\$19,642.87
Dec 31, 2023	\$19,847.48
Jan 31, 2024	\$20,052.09
Feb 29, 2024	\$20,256.71
Mar 31, 2024	\$20,461.32

011850

OCEAN VIEW BORUJ LLC  
1842 E OAKLAND PARK BLVD STE 2  
FORT LAUDERDALE, FL  
33306



**PAY YOUR TAXES ONLINE AT:**  
[broward.county-taxes.com](http://broward.county-taxes.com)

RETURN THIS PORTION WITH PAYMENT

RETURN THIS PORTION WITH PAYMENT



Prepared by:  
David M. Scully, Esq.  
Loving Scully Law Group PLLC  
Fort Lauderdale, FL 33316  
954-764-0005  
File #54988

Parcel Identification No.: 4942 25 06 0140

[Space Above This Line For Recording Data]

## Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 15 day of September, 2023 between Oakland Ocean Mile, LLC, a Florida limited liability company, whose post office address is 2888 E. Oakland Park Boulevard, Fort Lauderdale, FL 33306 of the County of Broward, State of Florida, grantor\*, and Ocean View Boruj LLC, a Florida limited liability company, whose post office address is 1842 E Oakland Park Blvd., Suite #2, Fort Lauderdale, FL 33306 of the County of Broward, State of Florida, grantee\*,

\* "Grantor" and "Grantee" are used for singular or plural, as context requires.

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Broward County, Florida, to-wit:

The East 75 feet of Lot 9, OAKLAND OCEAN MILE, according to the map or plat thereof as recorded in Plat Book 28, Page 45, Public Records of Broward County, Florida, LESS the North 50 feet thereof.

and said grantor does hereby fully warrant the title to said land and will defend the same against lawful claims of all persons whomsoever.

②



In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]  
Witness Name: Coral Capri Kalliche

[Signature]  
Witness Name: Anthony Kalliche

Oakland Ocean Mile, LLC, a Florida limited liability company

By: [Signature]  
Joanne F. Lerner, Manager

STATE OF Vermont  
COUNTY OF Bennington

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 8 day of September, 2023 by Joanne F. Lerner, Manager of Oakland Ocean Mile, LLC, a Florida limited liability company, who is personally known to me or who has produced DRIVERS LICENSE as identification.



[Signature]  
Notary Public, State of ~~Florida~~ Vermont  
My Commission Expires 13/1/2025