



# DEVELOPMENT APPLICATION FORM

Application Form: All Applications | Rev. 01/24/2023

**INSTRUCTIONS:** The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The development application form must be filled out accurately and all applicable sections must be completed. Only complete the sections indicated for application type with N/A for those section items not applicable. Refer to "Specifications for Plan Submittal" by application type for information requirements for submittal. Select the application type and approval level in **SECTION A** and complete the sections specified.

## A APPLICATION TYPE AND APPROVAL LEVEL Select the application type from the list below and check the applicable type.

<input type="checkbox"/> <b>LEVEL I</b> <b>ADMINISTRATIVE REVIEW COMMITTEE (ADMIN)</b> <ul style="list-style-type: none"> <li>New nonresidential less than 5,000 square feet</li> <li>Change of use (same impact or less than existing use)</li> <li>Plat note/Nonvehicular access line amendment</li> <li>Administrative site plan</li> <li>Amendment to site plan*</li> <li>Property and right-of-way applications (MOTs, construction staging)</li> <li>Parking Agreements (separate from site plans)</li> </ul>	<input checked="" type="checkbox"/> <b>LEVEL II</b> <b>DEVELOPMENT REVIEW COMMITTEE (DRC)</b> <ul style="list-style-type: none"> <li>New Nonresidential 5,000 square feet or greater</li> <li>Residential 5 units or more</li> <li>Nonresidential use within 100 feet of residential property</li> <li>Redevelopment proposals</li> <li>Change in use (if great impact than existing use)</li> <li>Development in Regional Activity Centers (RAC)*</li> <li>Development in Uptown Project Area*</li> <li>Regional Activity Center Signage</li> <li>Design Review Team (DRT)</li> <li>Affordable Housing (≥10%)</li> </ul>	<input type="checkbox"/> <b>LEVEL III</b> <b>PLANNING AND ZONING BOARD (PZB)</b> <ul style="list-style-type: none"> <li>Conditional Use</li> <li>Parking Reduction</li> <li>Flex Allocation</li> <li>Cluster / Zero Lot Line</li> <li>Modification of Yards*</li> <li>Waterway Use</li> <li>Mixed Use Development</li> <li>Community Residences*</li> <li>Social Service Residential Facility (SSRF)</li> <li>Medical Cannabis Dispensing Facility*</li> <li>Community Business District for uses greater than 10,000 square feet</li> </ul>	<input type="checkbox"/> <b>LEVEL IV</b> <b>CITY COMMISSION (CC)</b> <ul style="list-style-type: none"> <li>Land Use Amendment</li> <li>Rezoning</li> <li>Plat</li> <li>Public Purpose Use</li> <li>Central Beach</li> <li>Development of Significant Impact*</li> <li>Vacation of Right-of-Way</li> <li>City Commission Review Only (review not required by PZB)</li> <li>Vacation of Easement*</li> </ul>
<b>COMPLETE SECTIONS B, C, D, G</b>	<b>COMPLETE SECTIONS B, C, D, E, F</b>	<b>COMPLETE SECTIONS B, C, D, E, F</b>	<b>COMPLETE SECTIONS B, C, D, E, F</b>
<input type="checkbox"/> <b>EXTENSION</b> Request to extend approval date for a previously approved application	<input type="checkbox"/> <b>DEFERRAL</b> Request to defer after an application is scheduled for public hearing	<input type="checkbox"/> <b>APPEAL/DE NOVO</b> <ul style="list-style-type: none"> <li>Appeal decision by approving body</li> <li>De Novo hearing items</li> </ul>	<input type="checkbox"/> <b>PROPERTY AND ROW ITEM</b> <ul style="list-style-type: none"> <li>Road closures</li> <li>Construction staging plan</li> <li>Revocable licenses</li> </ul>
<b>COMPLETE SECTIONS B, C, H</b>	<b>COMPLETE SECTIONS B, C, H</b>	<b>COMPLETE SECTIONS B, C, H</b>	<b>COMPLETE SECTIONS B, C, E</b>

\*Application is subject to specific review and approval process. Levels III and IV are reviewed by Development Review Committee unless otherwise noted.

## B APPLICANT INFORMATION If applicant is the business operator, complete the agent column and provide property owner authorization.

<b>Applicant/Property Owner</b>	Sidney Miller	<b>Authorized Agent</b>	FSMY Architects & Planners
<b>Address</b>	15 North New River Drive E, Unit 1	<b>Address</b>	888 S. Andrews Avenue, Suite 300
<b>City, State, Zip</b>	Fort Lauderdale, Florida 33301	<b>City, State, Zip</b>	Fort Lauderdale, Florida 33316
<b>Phone</b>		<b>Phone</b>	954.764.6575
<b>Email</b>	sidao1000@gmail.com	<b>Email</b>	jbailey@fsmyearch.com
<b>Proof of Ownership</b>	Tax Record	<b>Authorization Letter</b>	Letter Attached
<b>Applicant Signature:</b>		<b>Agent Signature:</b>	Date: 2024.02.15 10:13:54-05'00'

## C PARCEL INFORMATION

<b>Address/General Location</b>	700 NW 1 AVE, Fort Lauderdale
<b>Folio Number(s)</b>	494234071210, 494234071220, 494234071230, 494234071240, 494234071250, 494234071260, 494234071270
<b>Legal Description (Brief)</b>	PARCEL 1 LOT(S) 27 AND 28, BLOCK 286, PROGRESSO.....(See attached survey)
<b>City Commission District</b>	City Commission District 2
<b>Civic Association</b>	Progresso Village

## D LAND USE INFORMATION

<b>Existing Use</b>	Residential - Vacant
<b>Land Use</b>	NW Regional Activity Center
<b>Zoning</b>	NWRAC-MUe
<b>Proposed</b>	Applications requesting land use amendments and rezonings.
<b>Proposed Land Use</b>	N/A
<b>Proposed Zoning</b>	N/A

## E PROJECT INFORMATION Provide project information. Circle yes or no where noted. If item is not applicable, indicate N/A.

<b>Project Name</b>	700 NW 1ST AVE														
<b>Project Description (Describe in detail)</b>	189 multifamily residential units in a 12-story building.														
<b>Estimated Project Cost</b>	\$ TBD (Estimated total project cost including land costs for all new development applications only)														
<b>Affordable Housing Number of Units</b>	N/A	30%	N/A	50%	N/A	60%	N/A	80%	N/A	100%	N/A	120%	N/A	140%	N/A



Waterway Use	No
Flex Units Request	No
Commercial Flex Acreage	No
Residential Uses	
Single Family	N/A
Townhouses	N/A
Multifamily	Multifamily
Cluster/Zero Lot Line	N/A
Other	N/A
Total (dwelling units)	189
Unit Mix (dwelling units)	Studio or Efficiency 41   1-Bedroom 100   2-Bedroom 48   3+ Bedroom -

Traffic Study Required	No
Parking Reduction	Yes
Public Participation	No
Non-Residential Uses	
Commercial	N/A
Restaurant	N/A
Office	N/A
Industrial	N/A
Other	N/A
Total (square feet)	

**F PROJECT DIMENSIONAL STANDARDS** *Indicate all required and proposed standards for the project. Circle yes or no where indicated.*

	Required Per ULDR	Proposed	
Lot Size (Square feet/acres)	None / None	47,227.04 / 1.08	
Lot Density (Units/acres)	None	175	
Lot Width	None	135'	
Building Height (Feet)	120'	120'	
Structure Length	150'	334'-0"	
Floor Area Ratio (F.A.R)	None	5.94	
Lot Coverage	None / None	80%	
Open Space	18,900	25,856	
Landscape Area	1,890	1,900	
Parking Spaces	351.2	198	
SETBACKS (Indicate direction N,S,E,W)	Required Per ULDR	Proposed	
Front [W]	5'	15'	
Side [S]	5'	15'	
Corner / Side [N]	0	0	
Rear [E]	0	0	
<i>For projects in Downtown, Northwest, South Andrews, and Uptown Master Plans to be completed in conjunction with the applicable items above.</i>			
	Required Per ULDR	Proposed	Deviation
Tower Stepback			
Front / Primary Street [W/S]	15 ft (Secondary streets)	15 ft	No
Sides / Secondary Street [N/E]	25 ft (Side/rear)	25 ft	No
Building Height	120'	120'	No
Streetwall Length	150'	334'-0"	Yes
Podium Height	65'	61'	No
Tower Separation	50'	56'	No
Tower Floorplate (square feet)	10,000 sf	9,177 sf	No
Residential Unit Size (minimum)	N/A	440 sf	No

**G AMENDED PROJECT INFORMATION** *Provide approved and proposed amendments for project. Circle yes or no where indicated.*

Project Name			
Proposed Amendment Description (Describe in detail)			
	Original Approval	Proposed Amendment	Amended
Residential Uses (dwelling units)			
Non-Residential Uses (square feet)			
Lot Size (Square feet/acres)			
Lot Density (Units/acres)			
Lot Width			
Building Height (Feet)			
Structure Length			
Floor Area Ratio (F.A.R)			
Lot Coverage			
Open Space			
Landscape Area			
Parking Spaces			
Tower Stepback			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate (square feet)			
Residential Unit Size (minimum)			
Does this amendment require a revision to the traffic statement or traffic study completed for the project?			
Does this amendment require a revised water sewer capacity letter?			

**H EXTENSION, DEFERRAL, APPEAL INFORMATION** *Provide information for specific request. Circle approving body and yes or no.*

Project Name						
Request Description						
	EXTENSION REQUEST		DEFERRAL REQUEST		APPEAL REQUEST / DE NOVO HEARING	
Approving Body			Approving Body		Approving Body	
Original Approval Date			Scheduled Meeting Date		30 Days from Meeting (Provide Date)	
Expiration Date (Permit Submittal Deadline)			Requested Deferral Date		60 Days from Meeting (Provide Date)	
Expiration Date (Permit Issuance Deadline)			Previous Deferrals Granted		Appeal Request	



<b>Requested Extension</b> <i>(No more than 24 months)</i>	<b>Justification Letter Provided</b>	<b>Indicate Approving Body Appealing</b>
<b>Code Enforcement</b> <i>(Applicant Obtain by Code Compliance Division)</i>		<b>De Novo Hearing Due to City Commission Call-Up</b>

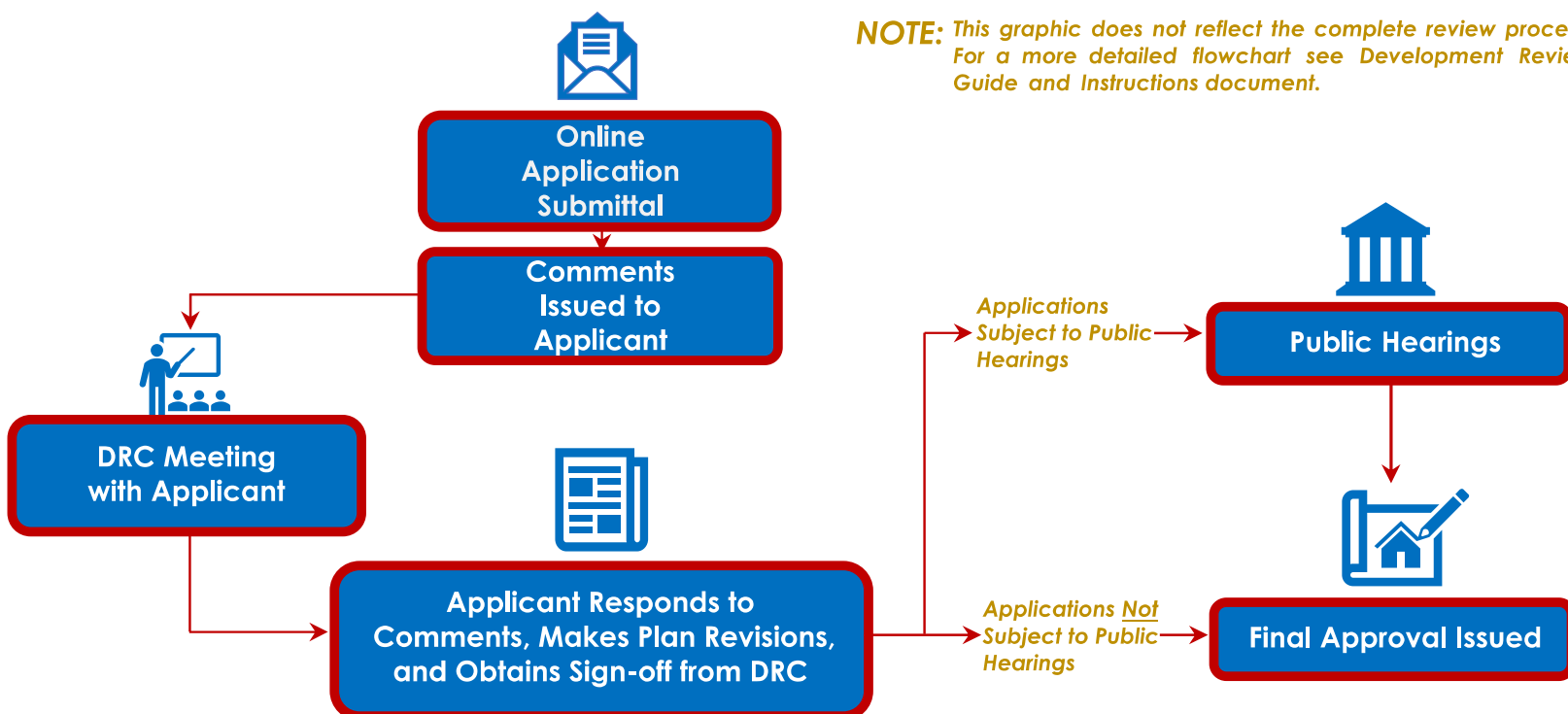
**CHECKLIST FOR SUBMITTAL AND COMPLETENESS:** The following checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide this information will result in your application being deemed **incomplete**.

- Preliminary Development Meeting** completed on the following date: 03/20/2023 **PROVIDE DATE**
- Development Application Form** completed with the applicable information including signatures.
- Proof of Ownership** warranty deed or tax record including corporation documents and SunBiz verification name.
- Address Verification Form** applicant contact David Goodrum at 954-828-5976 or [DGoodrum@fortlauderdale.gov](mailto:DGoodrum@fortlauderdale.gov)
- Project and Unified Land Development Code Narratives** project narrative and the applicable ULDR sections and criteria as described in the specifications for submittal by application type.
- Electronic Files, File Naming, and Documents** consistent with the applicable specifications for application type, consistent with the online submittal requirements including file naming convention, plan sets uploaded as single pdf.
- Traffic Study or Statement** submittal of a traffic study or traffic statement.
- Stormwater Calculations** signed and sealed by a Florida registered professional engineer consistent with calculations as described in the specifications for plan submittal for site plan applications.
- Water and Wastewater Capacity Request** copy of email to Public Works requesting the capacity letter.

**OVERVIEW FOR ONLINE SUBMITTAL REQUIREMENTS:** Submittals must be conducted through the City's online citizen access portal [LauderBuild](#). No hardcopy application submittals are accepted. Below only highlights the important submittal requirements that applicants must follow to submit online and be deemed complete. View all the requirements at [LauderBuild Plan Room](#).

- **Uploading Entire Submittal** upload all documents at time the application is submitted to prevent delays in processing.
- **File Naming Convention** file names must adhere to the City's [File Naming Convention](#).
- **Reduce File Size** plan sets and other large files must be merged or flattened to reduce file size.
- **Plan Sets** plan sets like site plans, plats, etc. must be submitted as a single pdf file. Staff will instruct when otherwise.
- **Document Categories** choose the correct document category when uploading.

**DRC PROCESS OVERVIEW:** The entire development review process flowchart can be found in the [Development Application Guide and Instructions](#) document. Below is a quick reference flowchart with key steps in the process to guide applicants.



**CONTACT INFORMATION:** Questions regarding the development process or LauderBuild, see contact information below.

GENERAL URBAN DESIGN AND PLANNING QUESTIONS	
Planning Counter 954-828-6520, Option 5 <a href="mailto:planning@fortlauderdale.gov">planning@fortlauderdale.gov</a>	

LAUDERBUILD ASSISTANCE AND QUESTIONS	
DSD Customer Service 954-828-6520, Option 1 <a href="mailto:lauderbuild@fortlauderdale.gov">lauderbuild@fortlauderdale.gov</a>	

# 700 NW 1ST AVE

FORT LAUDERDALE, FLORIDA  
A NEW DEVELOPMENT PROPOSED BY  
SIDNEY MILLER

COVER SHEET	COVER SHEET
AR-000	COVER SHEET
SURVEY	BOUNDARY AND TOPOGRAPHIC SURVEY
CIVIL	
GI-001	LEGEND AND ABBREVIATIONS
GI-002	GENERAL CONSTRUCTION NOTES
GI-003	CONSTRUCTION SPECIFICATIONS
CD-101	DEMOLITION PLAN
CG-101	EROSION CONTROL PLAN
CG-501	EROSION CONTROL PLAN DETAILS
CP-101	PAVING, GRADING, AND DRAINAGE PLAN
CP-501	PAVING, GRADING, AND DRAINAGE PLAN DETAILS
CP-502	PAVING, GRADING, AND DRAINAGE PLAN DETAILS
CP-503	PAVING, GRADING, AND DRAINAGE PLAN DETAILS
CP-504	PAVING, GRADING, AND DRAINAGE PLAN DETAILS
CU-101	WATER AND SEWER PLAN
CU-501	WATER AND SEWER STANDARD DETAILS
CU-502	WATER AND SEWER DETAILS
CU-503	WATER AND SEWER DETAILS
CU-504	WATER AND SEWER DETAILS
CM-101	PAVEMENT MARKING AND SIGNAGE PLAN
ARCHITECTURAL	
AR-000.2	FUTURE LAND USE MAPS
AR-000.3	ZONING MAP
AR-001	SITE PLAN
AR-101	L.01 FLOOR PLAN
AR-102	L.02 FLOOR PLAN
AR-103	L.03 FLOOR PLAN
AR-104	L.04 FLOOR PLAN
AR-105	L.05 FLOOR PLAN
AR-105.5	L.05.5 FLOOR PLAN
AR-106	L.06 FLOOR PLAN
AR-107	L.07 FLOOR PLAN
AR-108	L.08L, 10L, 12 FLOOR PLAN
AR-109	L.09L, 11 FLOOR PLAN
AR-113	ROOF FLOOR PLAN
AR-201	EXTERIOR ELEVATION
AR-202	EXTERIOR ELEVATION
AR-211	EXTERIOR ELEVATION ENLARGEMENTS
AR-212	EXTERIOR ELEVATION ENLARGEMENTS
AR-213	EXTERIOR ELEVATION ENLARGEMENTS
AR-221	CONTEXT ELEVATION
AR-301	BUILDING SECTION
AR-302	ROOF SECTION
AR-401	L.01 PHOTOMETRIC PLANS
AR-402	L.02 PHOTOMETRIC PLANS
AR-403	L.03 PHOTOMETRIC PLANS
AR-404	L.04 PHOTOMETRIC PLANS
AR-601	SHADOW STUDY
AR-801	PERSPECTIVES & RENDERINGS
AR-802	PERSPECTIVES & RENDERINGS
AR-803	PERSPECTIVES & RENDERINGS
AR-804	PERSPECTIVES & RENDERINGS
AR-805	PERSPECTIVES & RENDERINGS
AR-806	PERSPECTIVES & RENDERINGS
AR-901	EXISTING SITE PHOTOS - AERIALS
AR-902	EXISTING SITE PHOTOS - STREET VIEWS
LANDSCAPE	
LD-101	TREE DISPOSITION PLAN
LP-001	PLANTING NOTES & SCHEDULES
LP-101	PLANTING PLAN
LP-501	PLANTING DETAILS
LL-101	PHOTOMETRICS PLAN

DESIGNED	DRAWN	CHECKED
Designer	Author	Checker

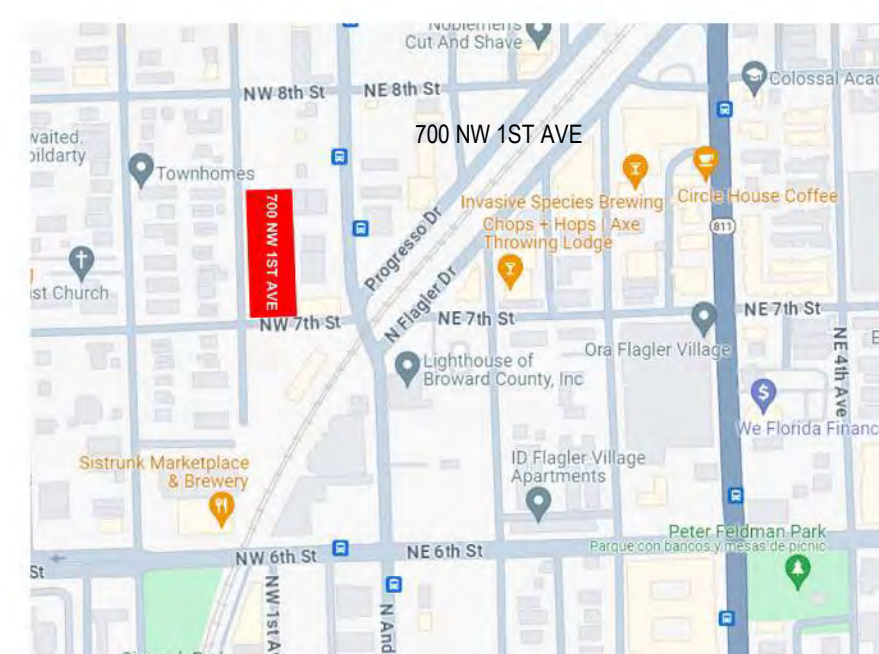


**DEVELOPER**  
**SIDNEY MILLER**  
215 NORTH NEW RIVER DRIVE E  
UNIT 1950 - FORT LAUDERDALE - FLORIDA 33301  
TELEPHONE: 754.303.2654

**ARCHITECT**  
**FSMY ARCHITECTS & PLANNERS**  
888 S. ANDREWS AVENUE, SUITE 300  
FORT LAUDERDALE, FLORIDA 33316  
TELEPHONE: 954.764.6575

**LANDSCAPE ARCHITECTURE**  
**KEITH**  
2312 S ANDREWS AVE  
FORT LAUDERDALE, FLORIDA 33316  
TELEPHONE: 954.788.3400

**CIVIL ENGINEERING**  
**KEITH**  
2312 S ANDREWS AVE  
FORT LAUDERDALE, FLORIDA 33316  
TELEPHONE: 954.788.3400



1 DRC Submittal 02/02/2024

R E V I S I O N S

DATE: 04/06/2024  
COMM: 22033

700 NW 1ST AVE

888 S Andrews Ave Suite 300  
Fort Lauderdale, FL 33316

COVER SHEET

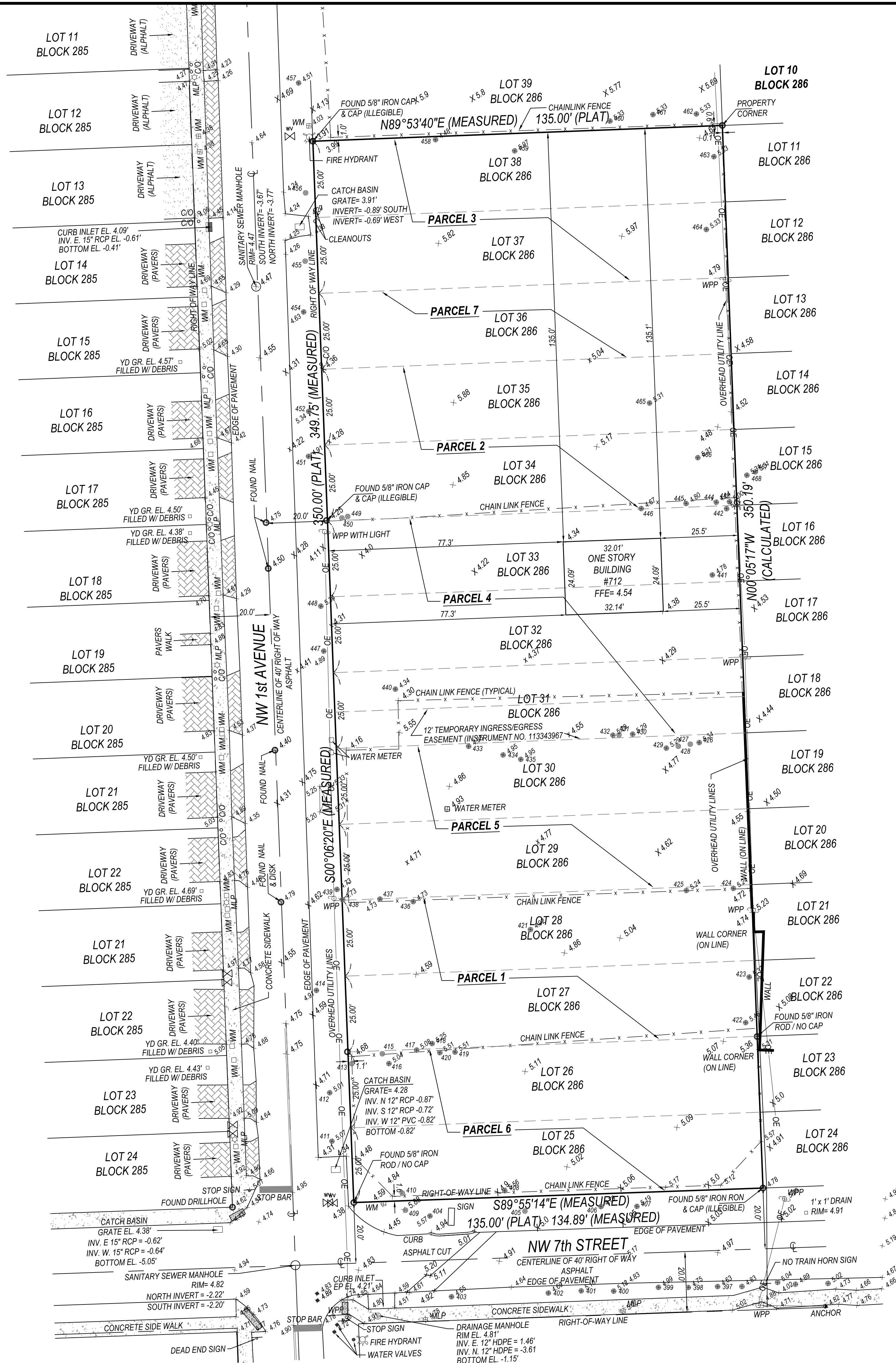
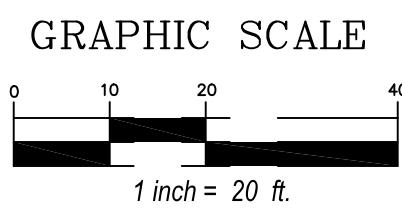
DRC SET

AR-000



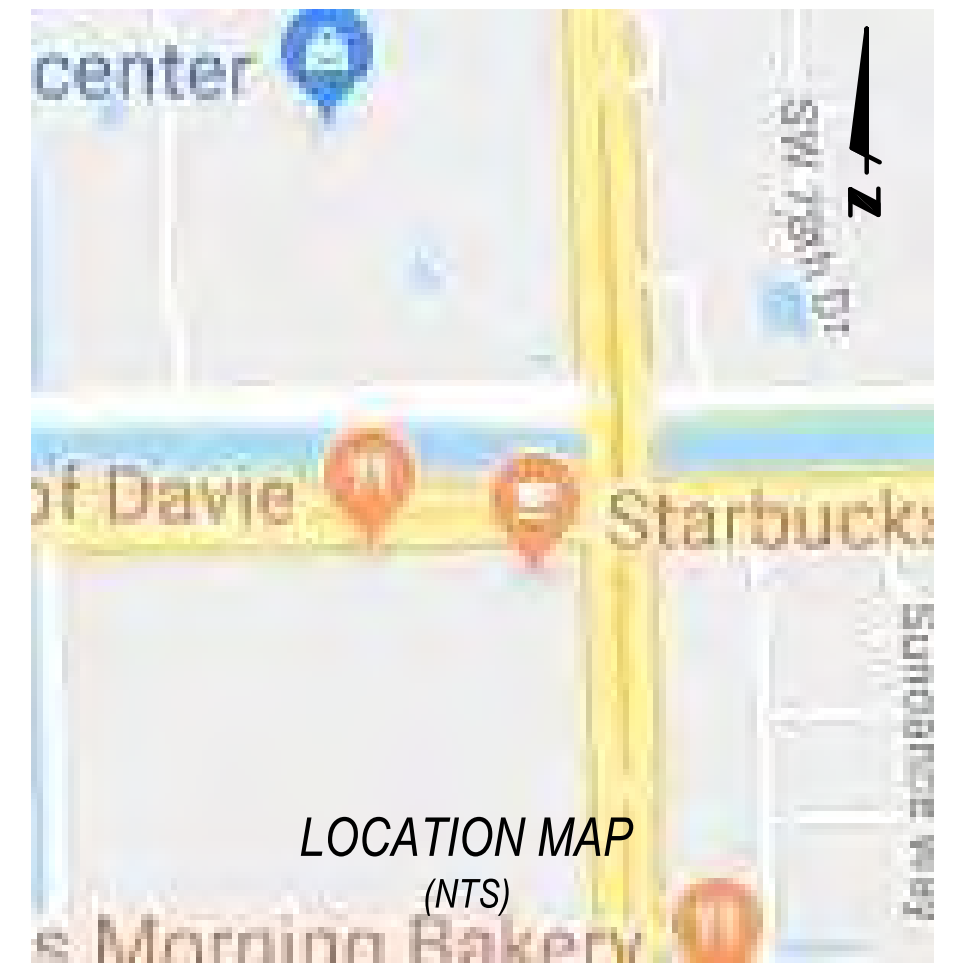
**LEGEND**

- ☒ VALVE BOX
- INLET
- OVERHEAD UTILITY LINES
- CLEANOUT
- M.L.P. METAL LIGHT POLE
- W.M. WATER METER
- INV. INVERT
- R.C.P. REINFORCED CONCRETE PIPE



**TREE CHART**

NO.	TYPE	DIA.
393	PALM	16"
394	PALM	16"
395	PALM	15"
396	PALM	15"
397	PALM	15"
398	PALM	16"
399	PALM	14"
400	PALM	14"
401	PALM	16"
402	PALM	14"
403	PALM	13"
404	PALM	6"
405	PALM	15"
406	PALM	18"
407	PALM	15"
408	CARROT WOOD	5"
409	WILD TEA	4"
410	GUMBO LIMBO	4"
411	PALM	11"
412	PALM	10"
413	MADRAS THORN	13"
414	FICUS	30"
415	FIG	4"
416	OAK	4"
417	FIG	4"
418	FICUS	18"
419	GUMBO LIMBO	4"
420	FICUS	6"
421	CARROT WOOD WITH FICUS	20"
422	BAUHINIA	8"
423	CARROT WOOD	8"
424	CARROT WOOD	10"
425	CARROT WOOD	24"
426	CARROT WOOD	9"
427	CARROT WOOD	5"
428	CARROT WOOD	10"
429	CARROT WOOD	24"
430	CARROT WOOD	5"
431	CARROT WOOD	6"
432	CARROT WOOD	7"
433	FICUS	16"
434	CARROT WOOD	6"
435	CARROT WOOD	18"
436	CARROT WOOD	8"
437	GUMBO LIMBO	10"
438	PALM	22"
439	PALM	20"
440	PALM	24"
441	FICUS	6" DIA
442	GUMBO LIMBO	12"
443	GUMBO LIMBO	3"
444	CARROT WOOD	2"
445	CARROT WOOD	5"
446	MANGO	4"
447	PALM	13"
448	PALM	9"
449	MADRAS THORN	36"
450	CARROT WOOD	10"
451	PALM	15"
452	PALM	12"
454	PALM	11"
455	PALM	9"
456	PALM	6"
457	PALM	9"
458	CARROT WOOD	6"
459	OAK	40"
460	OAK	19"
461	GUMBO LIMBO	17"
462	GUMBO LIMBO	20"
463	PALM	15"
464	OAK	22"
465	MANGO	19"
466	MANGO	8"
467	MANGO	18"
468	CARROT WOOD	4"



**PROPERTY ADDRESS:**  
706 NW 1ST AVENUE  
FT. LAUDERDALE, FL 33311

**FLOOD ZONE:** AH 1 of 6  
**PANEL NO.:** 12011C 0369H  
**DATE:** AUGUST 18, 2014

**CERTIFIED TO:**

- BLUE RIVER REALTY, LLC
- CITY OF FORT LAUDERDALE

**LEGAL DESCRIPTION:**

**PARCEL 1**  
LOT(S) 27 AND 28, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE(S) 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PARCEL 2**  
LOT(S) 34 AND 35, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE(S) 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PARCEL 3**  
LOT(S) 37 AND 38, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE(S) 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PARCEL 4**  
LOT(S) 31, 32, AND 33, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE(S) 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PARCEL 5**  
LOT(S) 29 AND 30, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE(S) 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PARCEL 6**  
LOT(S) 25 AND 26, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE(S) 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PARCEL 7**  
LOT 36, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE(S) 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

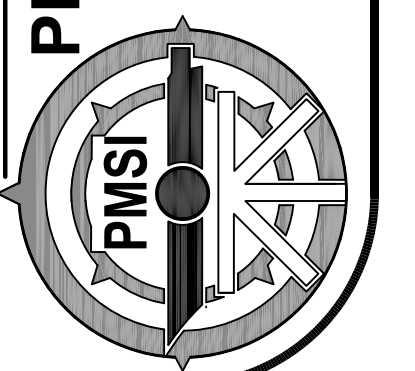
**SURVEYOR'S NOTES:**

- I HEREBY CERTIFY THIS SURVEY MEETS STANDARDS OF PRACTICE SET FORTH IN RULE SJ-17.050-.052, OF THE FLORIDA ADMINISTRATIVE CODE, ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, PURSUANT TO CHAPTER 472.027 OF THE FLORIDA STATUTES.
- THE SURVEY MAP AND REPORT AND THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR VERIFIED ELECTRONIC SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- UNDERGROUND OR OBSCURED IMPROVEMENTS WERE NOT LOCATED.
- DIMENSIONS ARE RECORD AND FIELD UNLESS OTHERWISE NOTED.
- STATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THIS FIRM'S CERTIFICATE OF AUTHORIZATION NUMBER IS LB 8261.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- SURVEY SUBJECT TO RESERVATIONS, RESTRICTIONS, EASEMENTS AND RIGHTS-OF-WAY OF RECORD, (UNLESS A TITLE REVIEW, COMMITMENT REVIEW, OR OWNERSHIP AND ENCUMBRANCE REVIEW IS PRESENT ON THE FACE OF THIS DOCUMENT, THIS SURVEY HAS BEEN COMPLETED IN THE ABSENCE OF A TITLE INSURANCE POLICY).
- LOCATION MAP IS GLEANED FROM ONLINE MAPPING SITES AND IS ONLY APPROXIMATE.
- ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988

SIGNED: *[Signature]*  
DOUGLAS W. WALKER, SURVEYOR AND MAPPER  
FLORIDA CERTIFICATE NO. 7211

**BOUNDARY AND TOPOGRAPHIC SURVEY**

**PRINCIPAL MERIDIAN SURVEYING, Inc.**  
LICENSED BUSINESS NO. 8261  
4546 CAMBRIDGE STREET  
WEST PALM BEACH, FL 33415  
OFFICE 561-478-7764



JR/JR DPK 02-20-23 2-16-23  
FIELD DATE  
JOB#

GENERAL SYMBOLS

Table with columns SYMBOL and DESCRIPTION. Contains symbols for section markers (A CP-301), detail callouts (22 C-05), revision triangles (1), misc break lines, photo locations (PIC#), and coordinate values (N: 623025.4322, E: 850262.1786).

GEN SITE & PMS

Table with columns SYMBOL and DESCRIPTION. Contains symbols for pavement marking arrows, stop bars, ADA parking, concrete car stop, bicycle, bicycle rack, automobile, post mounted signs, parking space number, and building access.

PAVING & GRADING

Table with columns SYMBOL and DESCRIPTION. Contains symbols for flow directional arrows, elevation changes, major/minor contour elevations, grade elevations, match existing grade, slope banks, driveway turnouts, and sidewalks.

UTILITY PIPES

Table with columns SYMBOL and DESCRIPTION. Contains symbols for pipe fittings, valves, man/auto blowoff, sample points, tapping saddles, exfiltration trenches, pipe casings, vent pipe boxes, and utility crossings.

HATCH PATTERNS

Table with columns SYM, DESCRIPTION, SYM, DESCRIPTION. Lists hatch patterns for concrete, jogging paths, pavement, buildings, milling, detectable warnings, and demolition.

UTILITY STRUCTURES

Table with columns SYMBOL and DESCRIPTION. Lists symbols and descriptions for various utility structures including catch basins, inlets, drains, culverts, pump stations, septic tanks, wells, and monitoring wells.

LINE TYPES

Table with columns PROPOSED UTILITIES, PAVEMENT MARKING, and GENERAL SITE. Defines line styles for water, sewer, force main, storm drain, pressure storm, irrigation, raw water, reclaimed water, gas, and various site markings like demolition, striping, and setbacks.

Table with columns DESCRIPTION and ABBREVIATION. Lists abbreviations for traffic, construction, and site-related terms such as ADT, ABAN, ADJ, APPROX., ACCM PIPE, BIT., BC, BD., BL., BLDG, BM., BO., BOS., BR., CAP, CB, CBCI, CC, CCM, CEM, CI, CIP, CLF, CL, CMP, CO, CONC, CONT, CONST, CR GR, DDCV, DDCVA, DHV, DI, DIA, DIP, DWY, ELEV (OR EL.), EMB, EOP, EXIST (OR EX), EXC, F&C, F&G, FDC, FDN., FLDSTN, GAR, GD, GI, GIP, GRAN, GRAV, GRD, GV, HDPE, HDW, HMA, HOR, HYD, INV, JCT, L, LB, LP, LT, MAX, MB, MEG, MH, MIN, NIC.

Table with columns DESCRIPTION and ABBREVIATION. Lists abbreviations for general site and construction terms such as NO., O/S or OFF, PB, PC, PCC, P.G.L., PI, PIV, POC, POT, PRC, PROJ, PROP, PT, PVT, PVI, PVM, PWT, R, R&D, RCP, RD, RDWY, REM, RET, RET WALL, ROW, RR, R&R, RSGV, RT, RW, SHLD, SMH, ST, STA, SSD, SW, T, TAN, TEMP, TC, TOS, TSV, TYP, UP, VAR, VERT, VC, WCR, WIP, WM, X-SECT.

Table with columns EXISTING, FUTURE, and PROPOSED / CONSTRUCT. Explains line weights: shaded lines for existing, dashed for future, and bold solid for proposed.

NOTE: THIS IS A STANDARD LEGEND SHEET. NOT ALL ITEMS ARE PERTINENT TO THIS SET OF DRAWINGS



Florida Engineering Business License: CA7923  
Florida Surveyor and Mapper Business License: LB6860  
Florida Landscape Architecture Business License: LC26000457

REVISIONS

Table with columns NO., DESCRIPTION, DATE. Revision table with empty rows for recording changes.

PRELIMINARY PLAN NOT FOR CONSTRUCTION

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 01/26/24

DESIGNED BY: NW

DRAWN BY: DI

CHECKED BY: NW

BID-CONTRACT:

NILES T. WARRICK, P.E.  
FLORIDA REG. NO. 94320  
(FOR THE FIRM)

CLIENT  
**FSMY ARCHITECTS & PLANNERS**

PROJECT  
**700 NW 1ST AVE**

SHEET TITLE  
**LEGEND AND ABBREVIATIONS**

SHEET NUMBER  
**GI-001**

PROJECT NUMBER  
**13336.00**

D

C

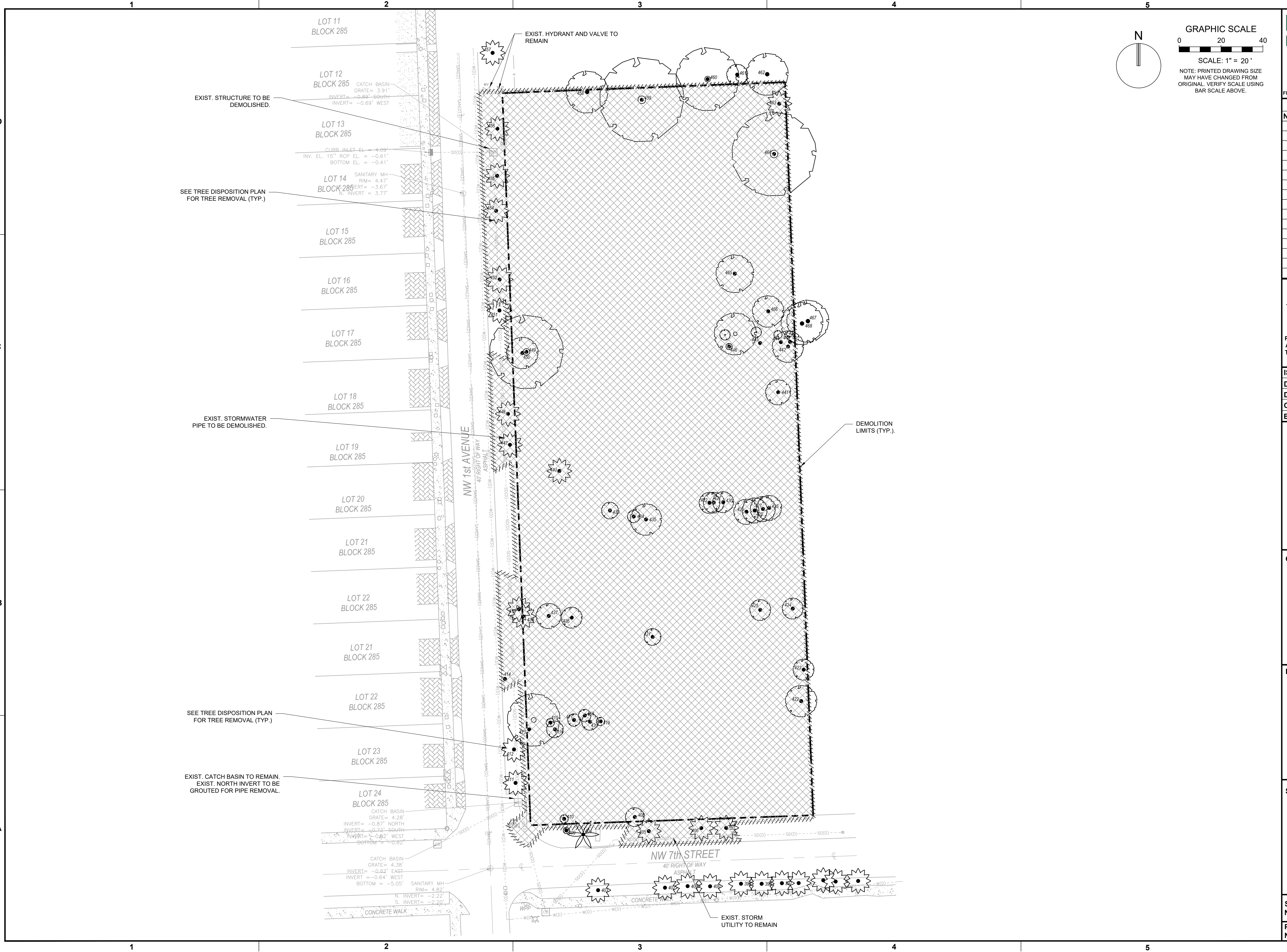
B

A









**GRAPHIC SCALE**

SCALE: 1" = 20'

NOTE: PRINTED DRAWING SIZE  
MAY HAVE CHANGED FROM  
ORIGINAL. VERIFY SCALE USING  
BAR SCALE ABOVE.

**KEITH**

301 East Atlantic Blvd.  
Pompano Beach, FL 33060  
PH: (954) 788-3400

Florida Engineering Business License: CA7928  
Florida Surveyor and Mapper Business License: LB6860  
Florida Landscape Architecture Business License: LC26000457

**REVISIONS**

NO.	DESCRIPTION	DATE

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THE PROJECT WILL FALL SOLELY UPON THE  
USER.

ISSUE DATE: 01/26/24  
DESIGNED BY: NW  
DRAWN BY: DI  
CHECKED BY: NW  
BID-CONTRACT:

This item has been  
digitally signed  
and sealed by  
**NILES T. WARRICK, P.E.**  
No. 94320  
02/05/2024

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must be verified on any  
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STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER

**NILES T. WARRICK, P.E.**  
FLORIDA REG. NO. 94320  
(FOR THE FIRM)

**CLIENT**

**FSMY  
ARCHITECTS  
& PLANNERS**

**PROJECT**

**700 NW 1ST AVE**

**SHEET TITLE**

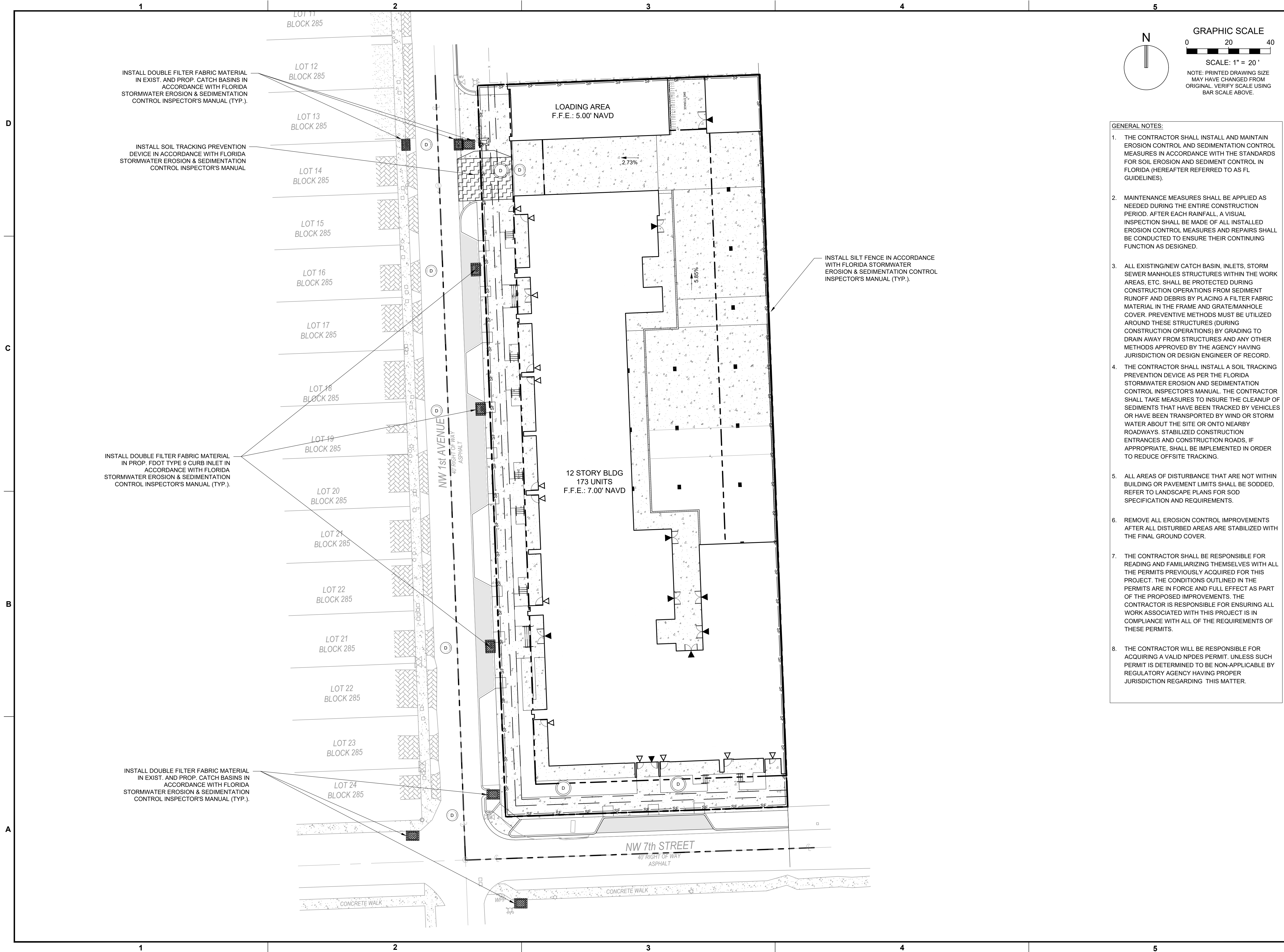
**DEMOLITION PLAN**

**SHEET NUMBER** CD-101  
**PROJECT NUMBER** 13336.00

Plotted by: dillingworth On 2/5/2024 1:58 PM

Drawing name: K113336.00 - NW 1st Avenue - FSMY\Engineering\Cadet13336.00-CD-101.dwg

**STATUS: DRC SUBMITTAL**



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Florida Engineering Business License: CA7923  
Florida Surveyor and Mapper Business License: LB6660  
Florida Landscape Architecture Business License: LC26000457

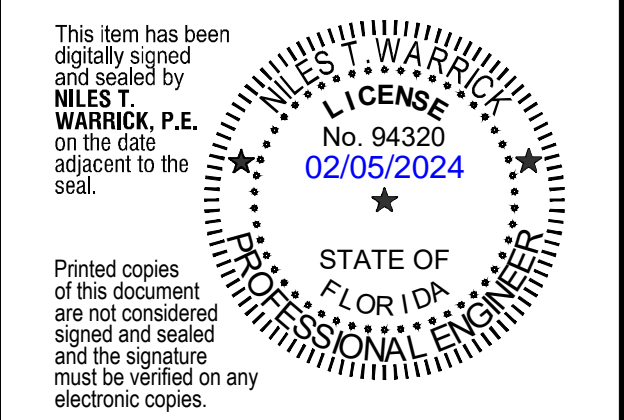
**REVISIONS**

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN  
NOT FOR CONSTRUCTION**

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ISSUE DATE: 01/26/24  
DESIGNED BY: NW  
DRAWN BY: DI  
CHECKED BY: NW  
BID-CONTRACT:



NILES T. WARRICK, P.E.  
FLORIDA REG. NO. 94320  
(FOR THE FIRM)

CLIENT

**FSMY ARCHITECTS & PLANNERS**

PROJECT

**700 NW 1ST AVE**

SHEET TITLE

**EROSION CONTROL PLAN**

SHEET NUMBER **CG-101**  
PROJECT NUMBER **13336.00**

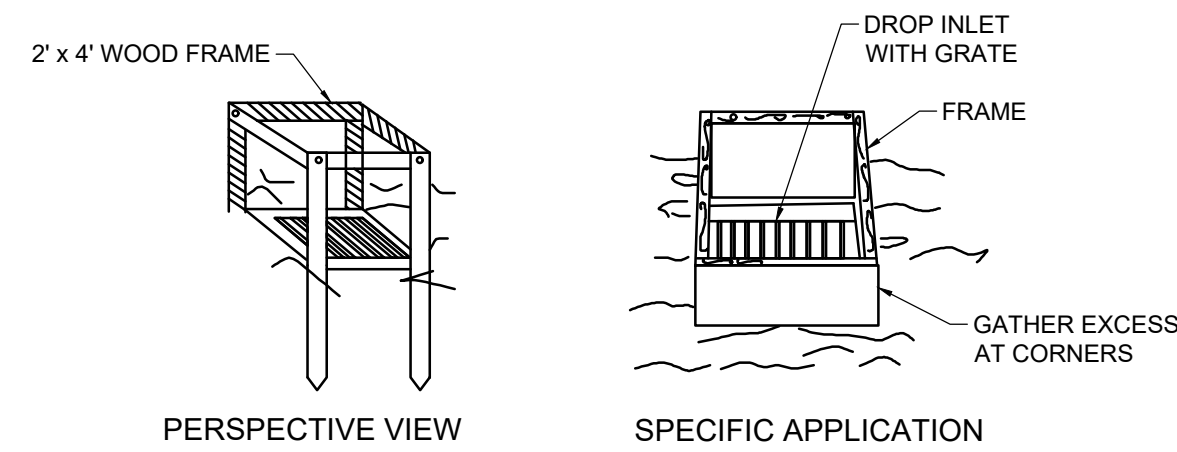
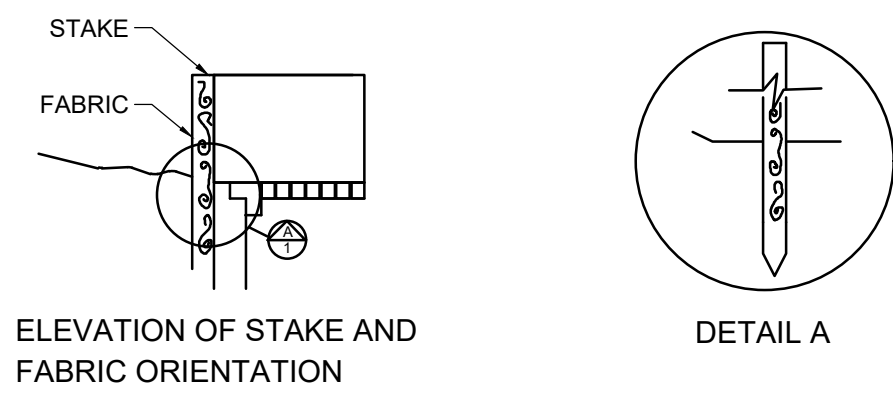
- GENERAL NOTES:**
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN FLORIDA (HEREAFTER REFERRED TO AS FL GUIDELINES).
  - MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION PERIOD. AFTER EACH RAINFALL, A VISUAL INSPECTION SHALL BE MADE OF ALL INSTALLED EROSION CONTROL MEASURES AND REPAIRS SHALL BE CONDUCTED TO ENSURE THEIR CONTINUING FUNCTION AS DESIGNED.
  - ALL EXISTING/NEW CATCH BASIN, INLETS, STORM SEWER MANHOLES STRUCTURES WITHIN THE WORK AREAS, ETC. SHALL BE PROTECTED DURING CONSTRUCTION OPERATIONS FROM SEDIMENT RUNOFF AND DEBRIS BY PLACING A FILTER FABRIC MATERIAL IN THE FRAME AND GRATE/MANHOLE COVER. PREVENTIVE METHODS MUST BE UTILIZED AROUND THESE STRUCTURES (DURING CONSTRUCTION OPERATIONS) BY GRADING TO DRAIN AWAY FROM STRUCTURES AND ANY OTHER METHODS APPROVED BY THE AGENCY HAVING JURISDICTION OR DESIGN ENGINEER OF RECORD.
  - THE CONTRACTOR SHALL INSTALL A SOIL TRACKING PREVENTION DEVICE AS PER THE FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL. THE CONTRACTOR SHALL TAKE MEASURES TO INSURE THE CLEANUP OF SEDIMENTS THAT HAVE BEEN TRACKED BY VEHICLES OR HAVE BEEN TRANSPORTED BY WIND OR STORM WATER ABOUT THE SITE OR ONTO NEARBY ROADWAYS. STABILIZED CONSTRUCTION ENTRANCES AND CONSTRUCTION ROADS, IF APPROPRIATE, SHALL BE IMPLEMENTED IN ORDER TO REDUCE OFFSITE TRACKING.
  - ALL AREAS OF DISTURBANCE THAT ARE NOT WITHIN BUILDING OR PAVEMENT LIMITS SHALL BE SODDED, REFER TO LANDSCAPE PLANS FOR SOD SPECIFICATION AND REQUIREMENTS.
  - REMOVE ALL EROSION CONTROL IMPROVEMENTS AFTER ALL DISTURBED AREAS ARE STABILIZED WITH THE FINAL GROUND COVER.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR READING AND FAMILIARIZING THEMSELVES WITH ALL THE PERMITS PREVIOUSLY ACQUIRED FOR THIS PROJECT. THE CONDITIONS OUTLINED IN THE PERMITS ARE IN FORCE AND FULL EFFECT AS PART OF THE PROPOSED IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL WORK ASSOCIATED WITH THIS PROJECT IS IN COMPLIANCE WITH ALL OF THE REQUIREMENTS OF THESE PERMITS.
  - THE CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING A VALID NPDES PERMIT. UNLESS SUCH PERMIT IS DETERMINED TO BE NON-APPLICABLE BY REGULATORY AGENCY HAVING PROPER JURISDICTION REGARDING THIS MATTER.

Plotted by: dillingworth On 2/18/2024 2:00 PM

Drawing name: K13336.00 - NW 1st Avenue - FSMY/Engineering/Cad/13336.00-CG-101.dwg

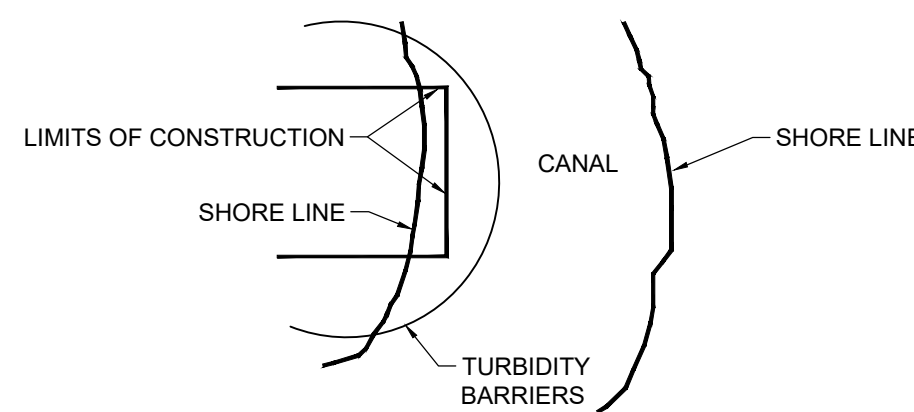
STATUS: DRC SUBMITTAL

REVISIONS		
NO.	DESCRIPTION	DATE



THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPE NO GREATER THAN 5%) WHERE THE INLET SHEET OR OVERLAND FLOWS (NOT EXCEEDING 1 C.F.S.) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS

**FILTER FABRIC DROP INLET SEDIMENT FILTER**

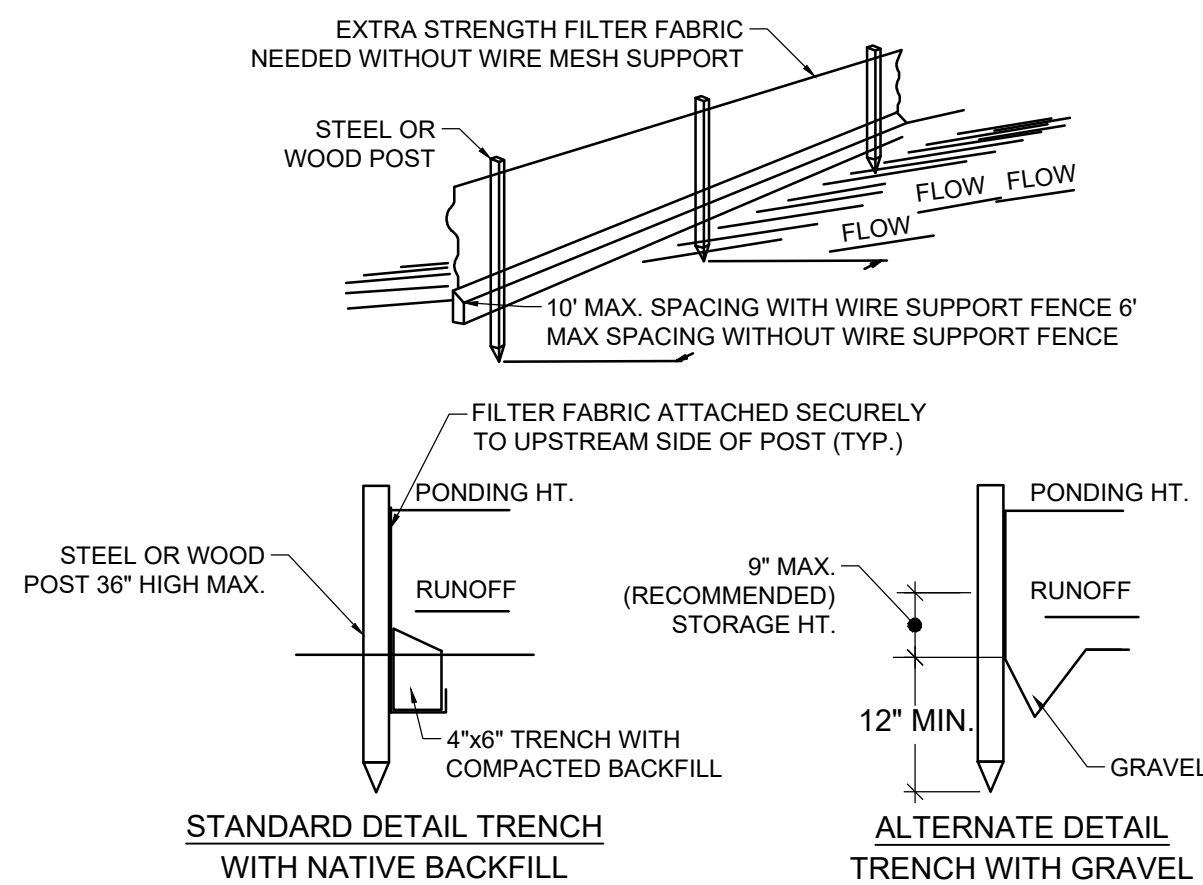


**NOTES:**  
 1. TURBIDITY BARRIERS ARE TO BE USED IN ALL PERMANENT WATERBODIES REGARDLESS OF DEPTH.  
 2. TURBIDITY BARRIERS FOR FLOATING STREAMS AND TIDAL CREEKS MAY BE EITHER FLOATING, OR STAKED TYPES OR ANY COMBINATIONS OF TYPES THAT WILL SUIT SITE CONDITIONS AND MEET EROSION CONTROL AND WATER QUALITY REQUIREMENTS. THE BARRIER TYPE(S) WILL BE AT THE CONTRACTORS OPTION UNLESS OTHERWISE SPECIFIED IN THE PLANS. POSTS IN STAKED TURBIDITY BARRIER TO BE INSTALLED IN VERTICAL POSITION UNLESS OTHERWISE DIRECTED BY THE ENGINEER, CITY AND/OR DRAINAGE DISTRICT.

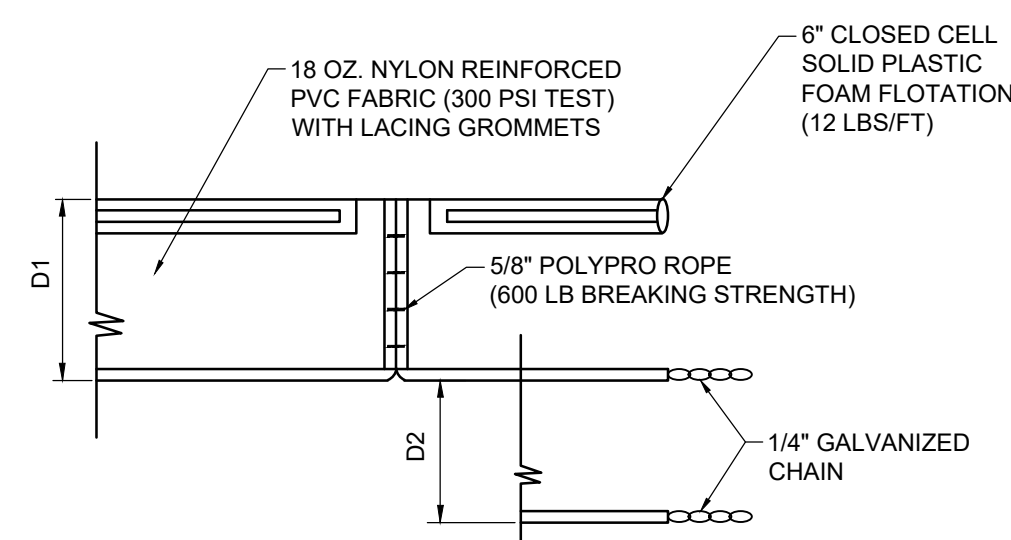
**FLOATING TURBIDITY BARRIERS**

**EROSION CONTROL GENERAL NOTES**

- SILT FENCE AND TURBIDITY BARRIERS MUST REMAIN IN PLACE AND BE MAINTAINED AT ALL LOCATIONS SHOWN IN THE DRAWING UNTIL CONSTRUCTION IS COMPLETED AND SOILS ARE STABILIZED AND VEGETATION HAS BEEN.
- CONTRACTOR SHALL SUBMIT SCHEDULE FOR THE INSTALLATION, INSPECTION AND MAINTENANCE THE EROSION CONTROLS FEATURES AS SHOWN IN THE DRAWINGS OR AS DIRECTED BY THE DESIGN ENGINEER. THE SCHEDULE SHALL SPECIFICALLY INDICATE THE SEQUENCE OF CLEARING, EARTH WORK OPERATIONS, AND WHEN THE EROSION CONTROL FEATURE WILL BE INSTALLED, INSPECTED, AND MAINTAINED. IT SHALL ALSO INCLUDE METHODS TO PREVENT POLLUTION OF STREAM, LAKES, TIDAL WATERS, CANALS, AND IMPOUNDMENTS, ESTABLISHED.

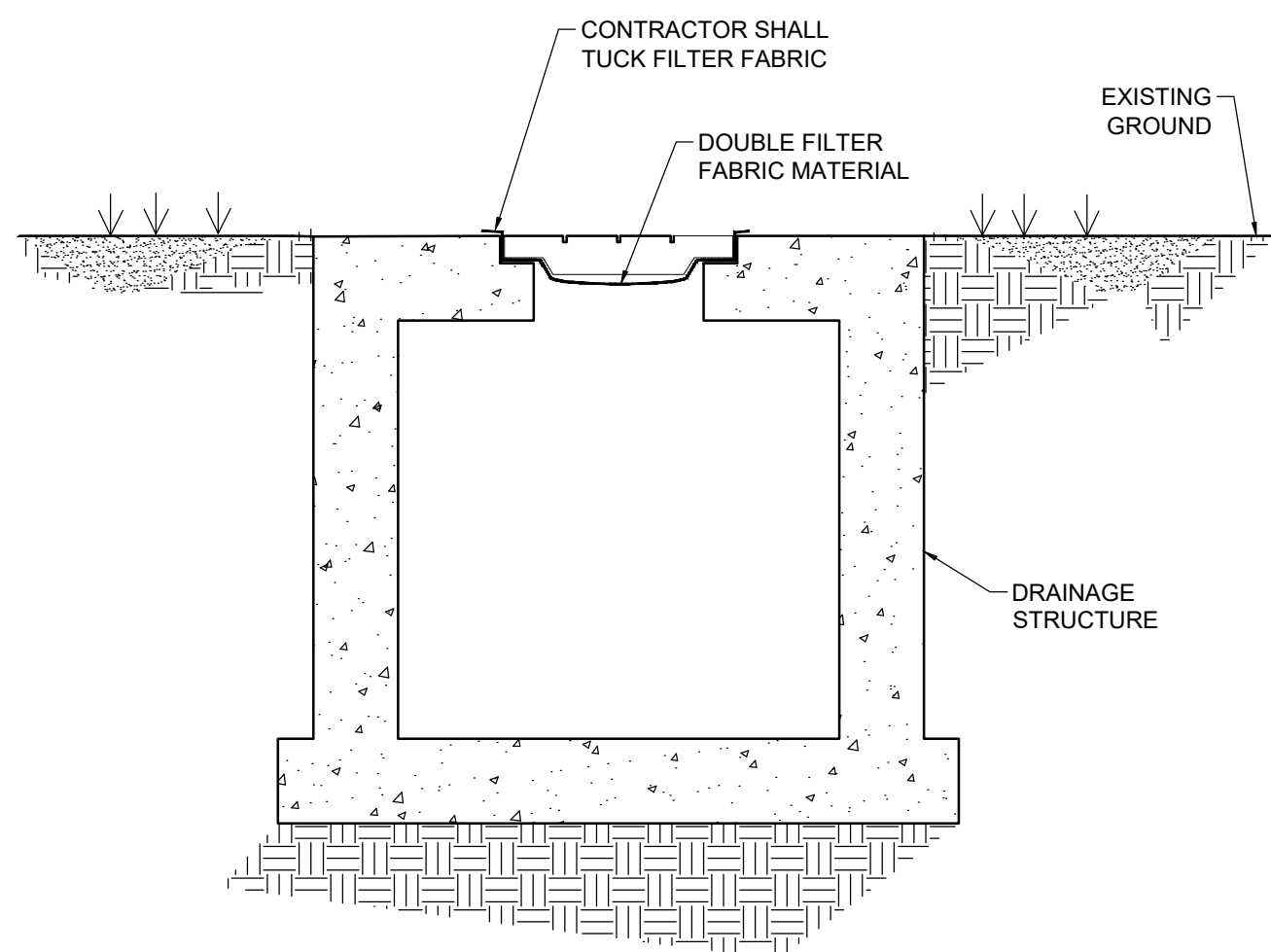


**SILT FENCE**

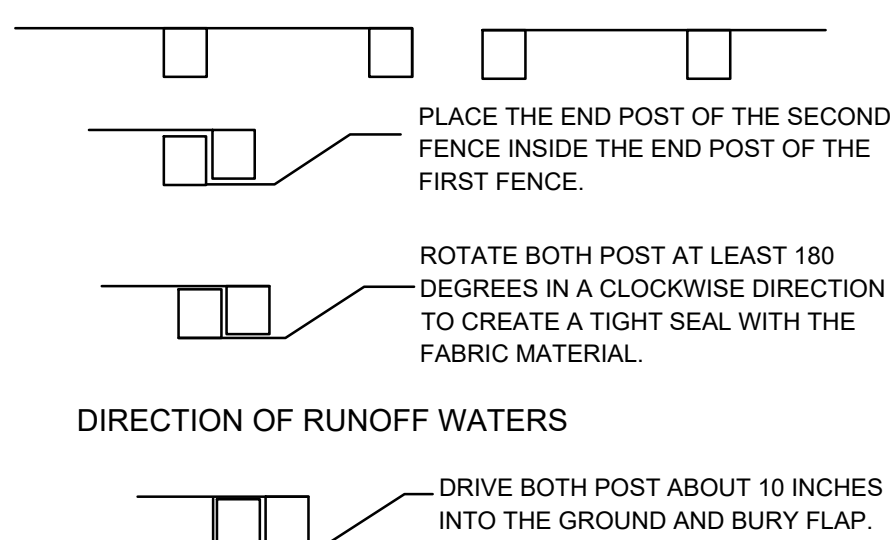


**NOTE:**  
 D1 = 5' STD. (SINGLE PANEL FOR DEPTHS 5' OR LESS)  
 D2 = 5' STD. (ADDITIONAL PANEL FOR DEPTHS > 5')  
 CURTAIN TO REACH BOTTOM UP TO DEPTHS OF 10'.  
 TWO (2) PANELS TO BE USED FOR DEPTHS GREATER THAN 10' UNLESS SPECIAL DEPTH CURTAINS SPECIFICALLY CALLED FOR IN THE PLANS OR AS DETERMINED BY THE ENGINEER, CITY OF TAMARAC OR BCOPEP.

**FLOATING TURBIDITY BARRIERS TYP. SECTION**

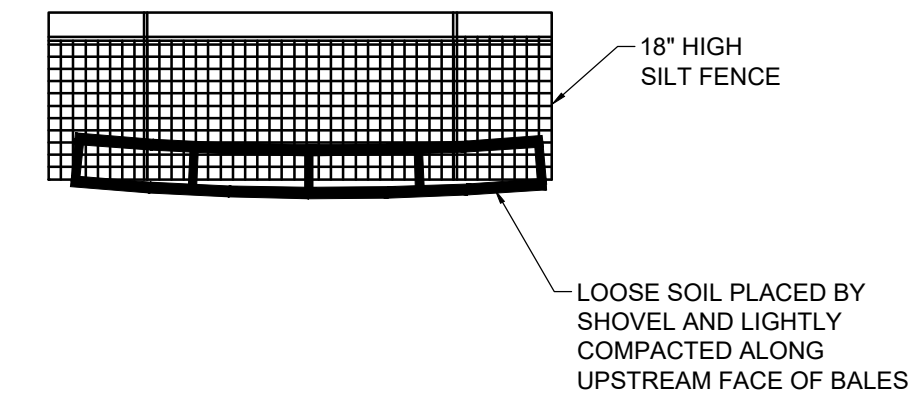


**INLET / MANHOLE PROTECTION DETAIL**



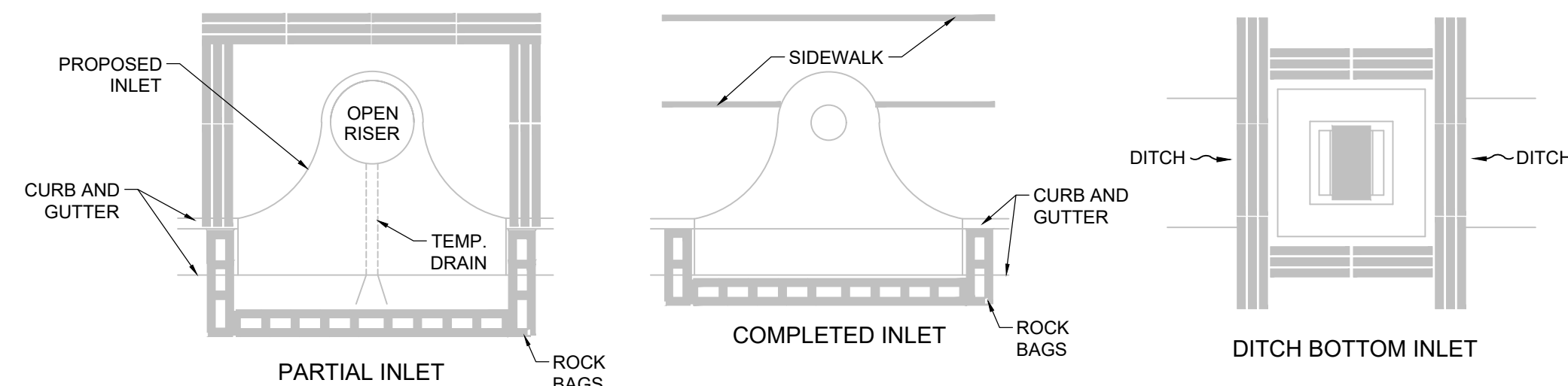
**NOTES:**  
 1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.  
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.  
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

**ATTACHING TWO SILT FENCES**



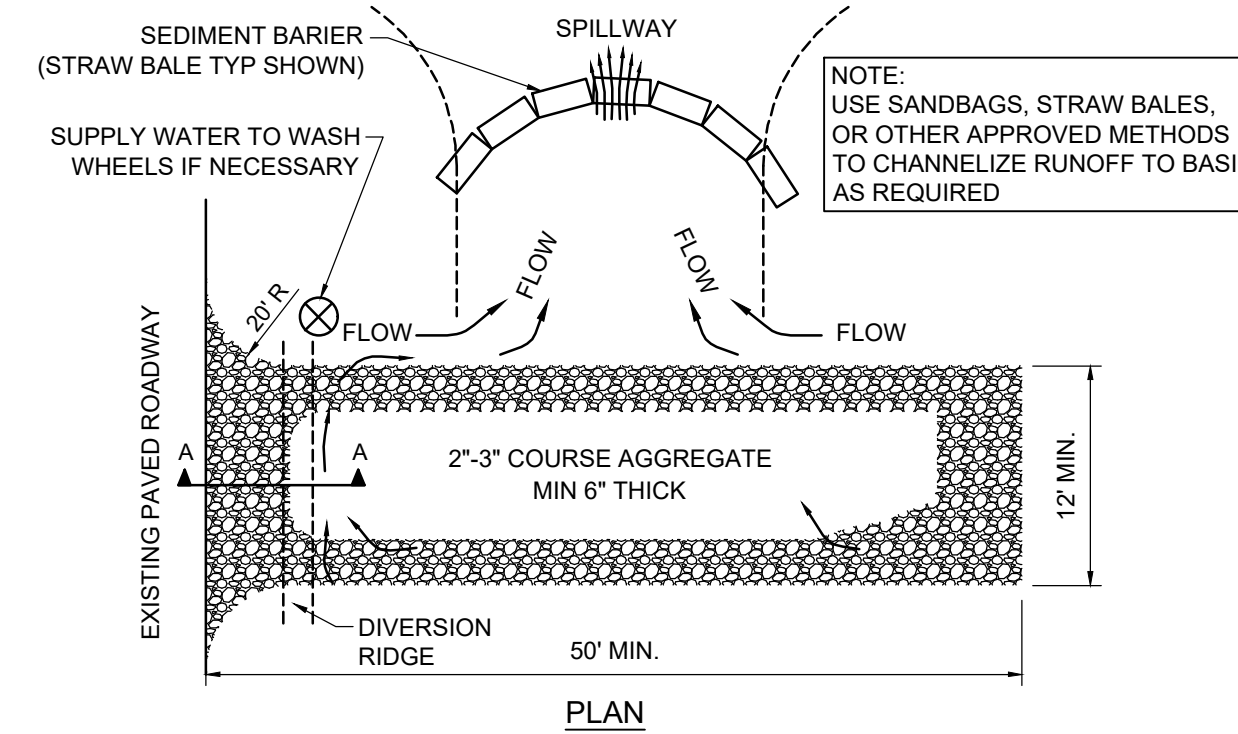
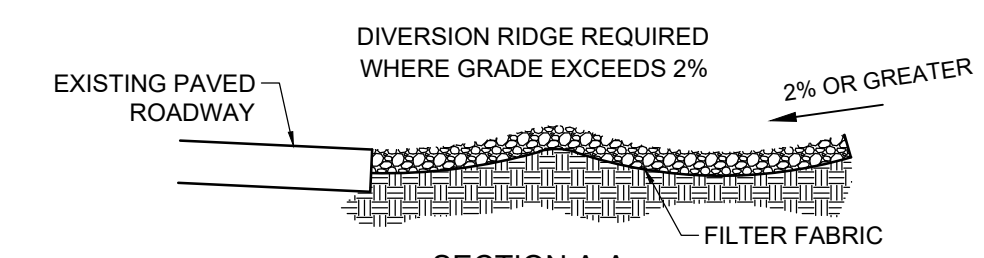
**NOTES:**  
 1. DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING COURSES. SILT FENCES ARE TO BE PLACED AT UPLAND LOCATIONS.  
 2. BALES TO BE STAKED AT THE DIRECTION OF THE ENGINEER, CITY, SCEPD, NSID OR SFWMD.  
 3. WHERE THE SILT FENCE IS USED AS SLOPE PROTECTION, IT IS TO BE CONSTRUCTED ON 0% LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.

**BALES BACKED BY SILT FENCE**



**NOTE:**  
 1. ANCHOR BALES WITH 2 STAKES PER BALE.  
 2. WHEN USED IN CONJUNCTION WITH A SILT FENCE, BALES SHALL BE PLACED ON THE UPSTREAM SIDE OF THE FENCE.

**PROTECTION AROUND INLETS OR SIMILAR STRUCTURES**



**NOTES:**  
 1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.  
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY.  
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE**

**PRELIMINARY PLAN NOT FOR CONSTRUCTION**

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ISSUE DATE: 01/26/24

DESIGNED BY: NW

DRAWN BY: DI

CHECKED BY: NW

BID-CONTRACT:

This item has been digitally signed and sealed by NILES T. WARRICK, P.E. on the date adjacent to the seal.

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**NILES T. WARRICK, P.E.**  
 No. 94320  
 02/05/2024  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER

**NILES T. WARRICK, P.E.**  
 FLORIDA REG. NO. 94320  
 (FOR THE FIRM)

CLIENT

**FSMY ARCHITECTS & PLANNERS**

PROJECT

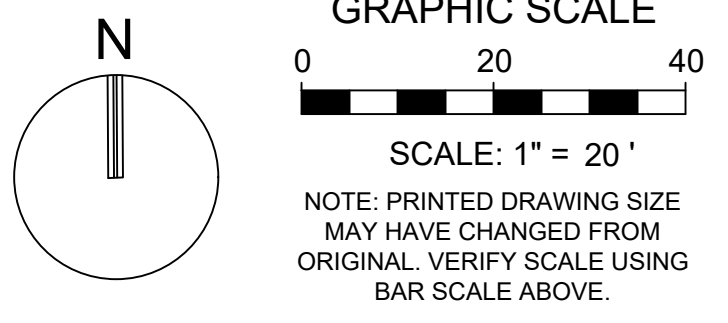
**700 NW 1ST AVE**

SHEET TITLE

**EROSION CONTROL PLAN DETAILS**

SHEET NUMBER **CG-501**

PROJECT NUMBER **13336.00**



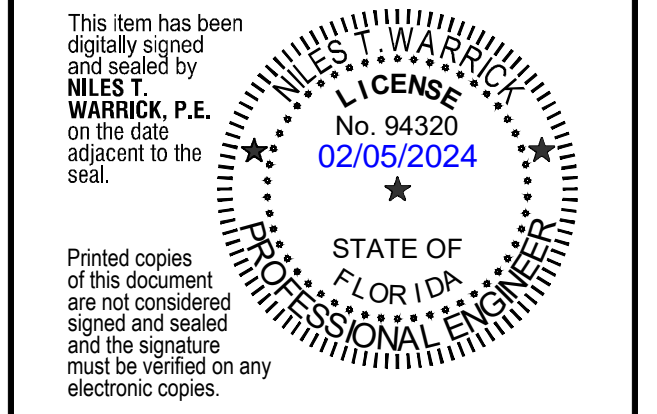
**KEITH**  
301 East Atlantic Blvd.  
Pompano Beach, FL 33060  
PH: (954) 788-3400

Florida Engineering Business License: CA7923  
Florida Surveyor and Mapper Business License: LB6860  
Florida Landscape Architecture Business License: LC26000457

REVISIONS		
NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN  
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FLORIDA REG. NO. 94320  
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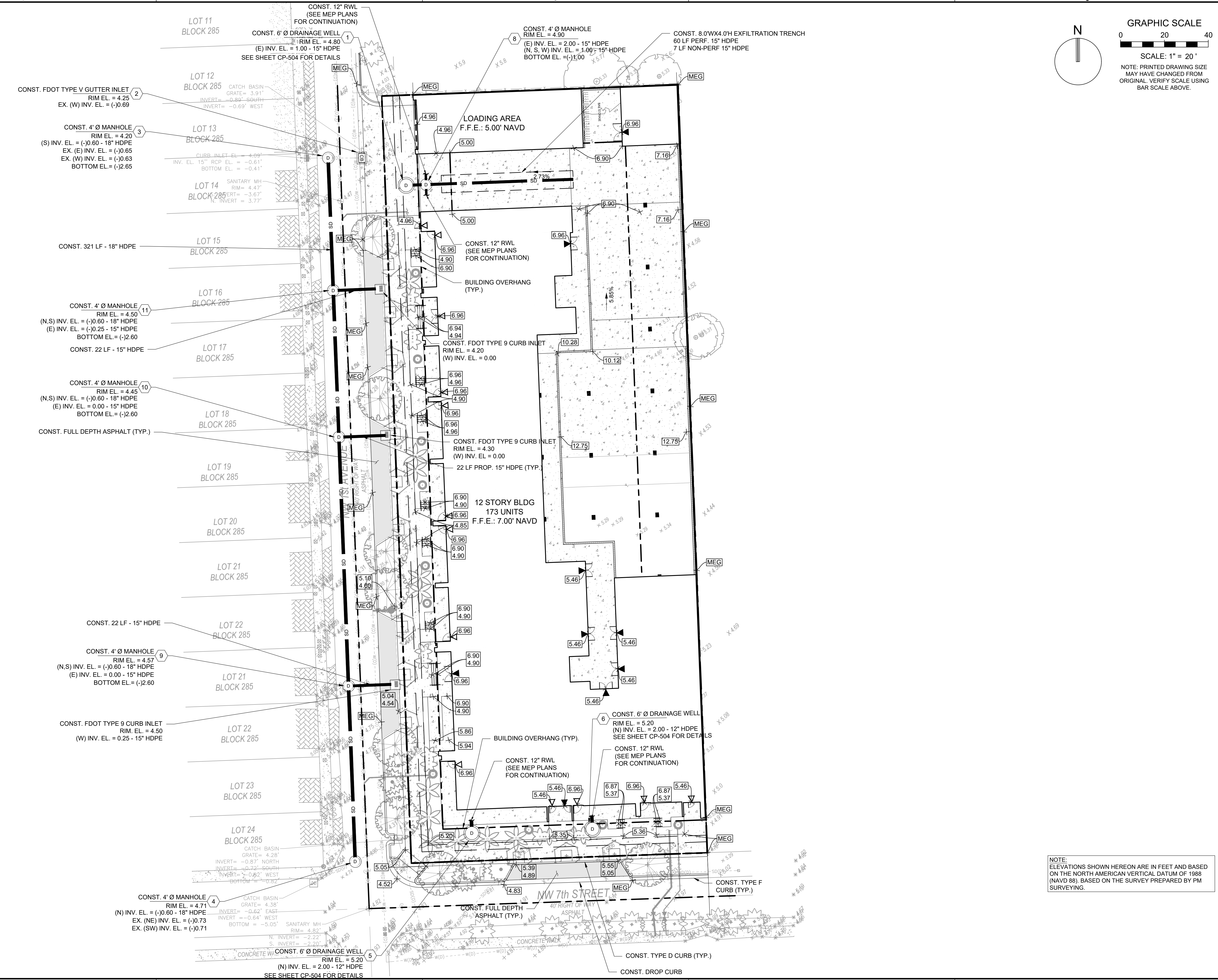
CLIENT  
**FSMY ARCHITECTS & PLANNERS**

PROJECT  
**700 NW 1ST AVE**

SHEET TITLE  
**PAVING, GRADING, AND DRAINAGE PLAN**

SHEET NUMBER **CP-101**  
PROJECT NUMBER **13336.00**

NOTE:  
ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), BASED ON THE SURVEY PREPARED BY PM SURVEYING.



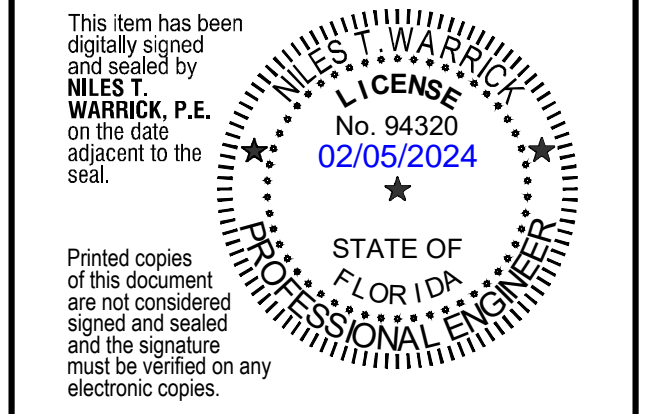
NO.	DESCRIPTION	DATE

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**NILES T. WARRICK, P.E.**  
 FLORIDA REG. NO. 94320  
 (FOR THE FIRM)

**CLIENT**

**FSMY ARCHITECTS & PLANNERS**

**PROJECT**

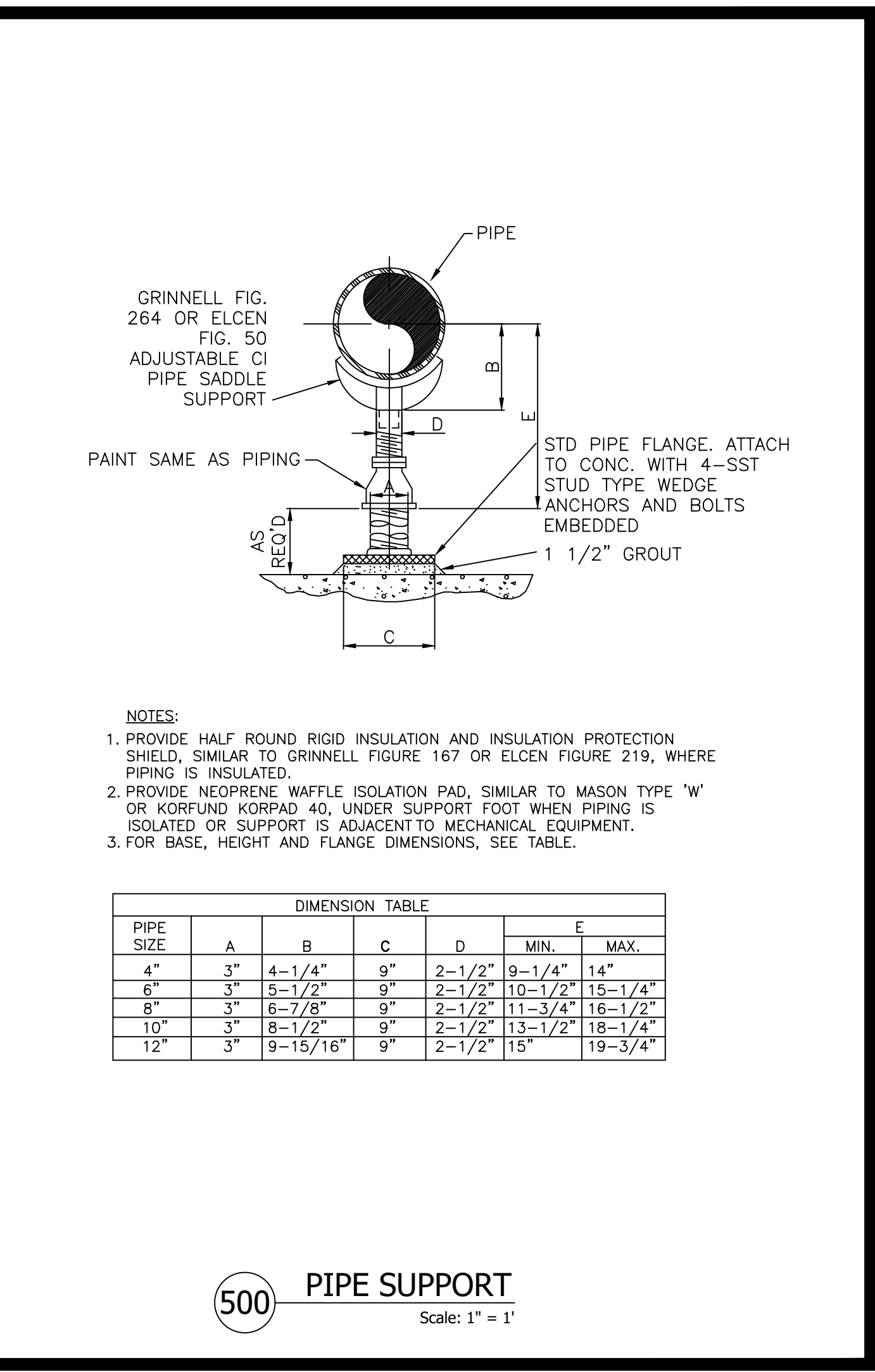
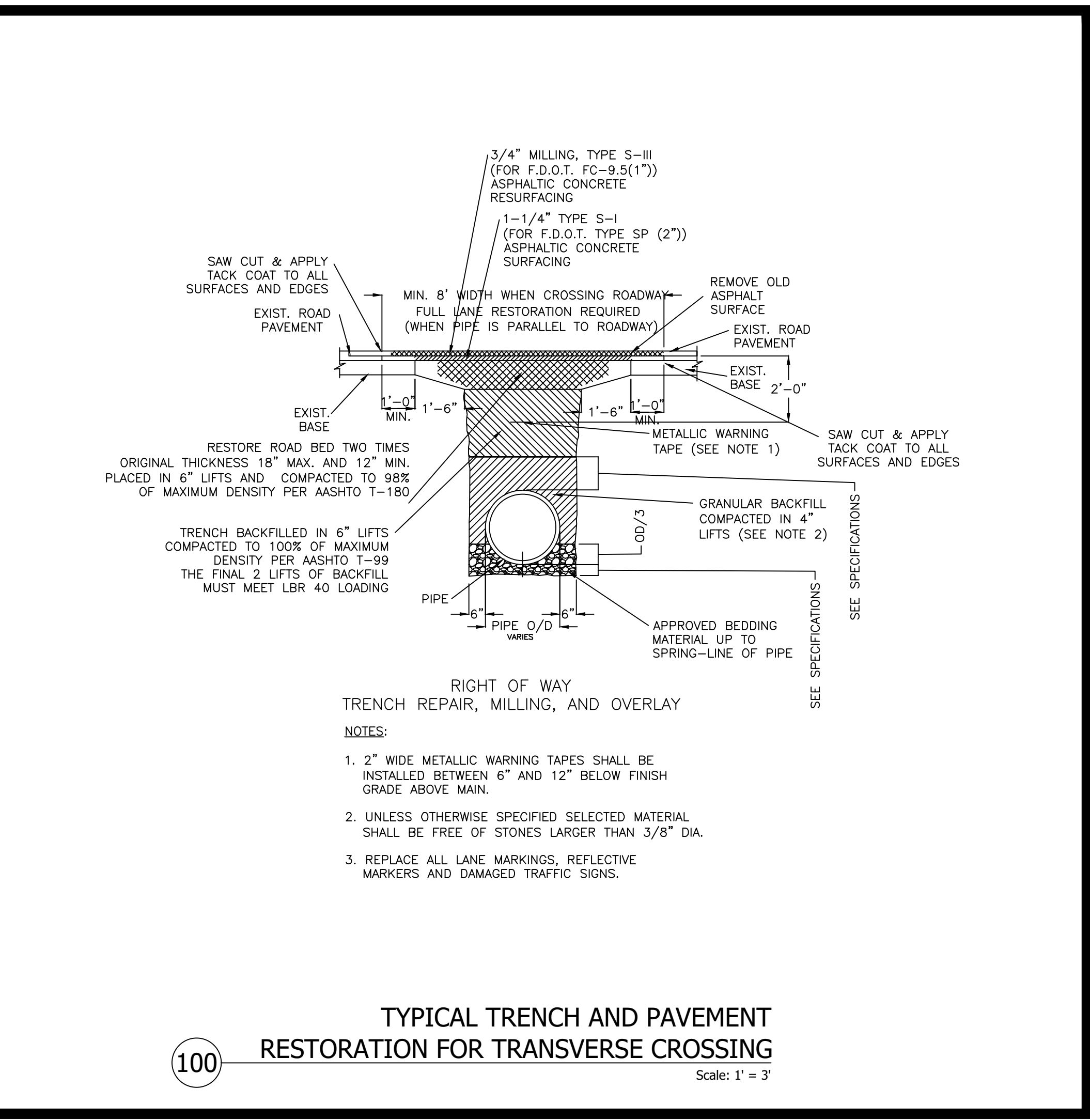
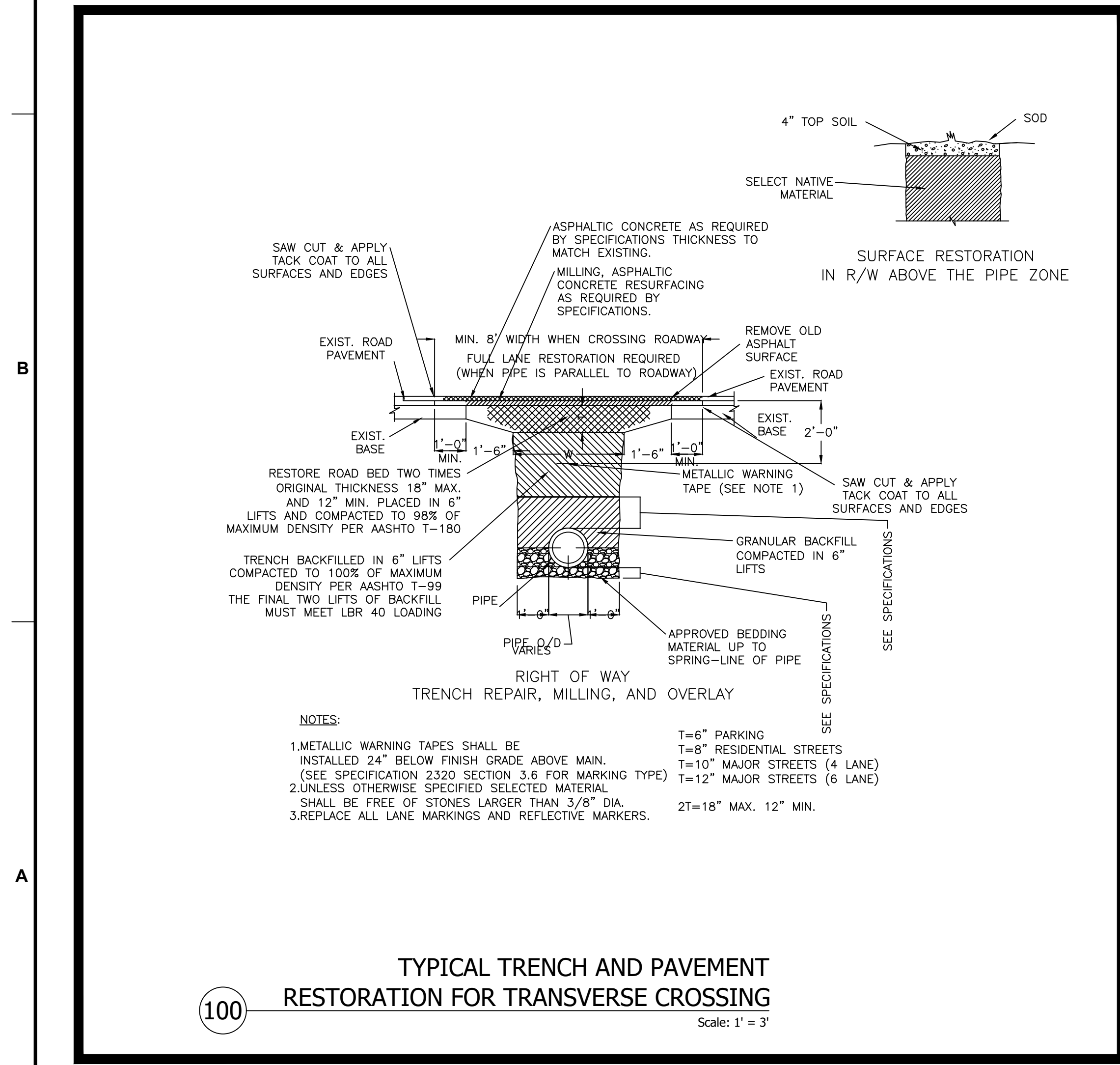
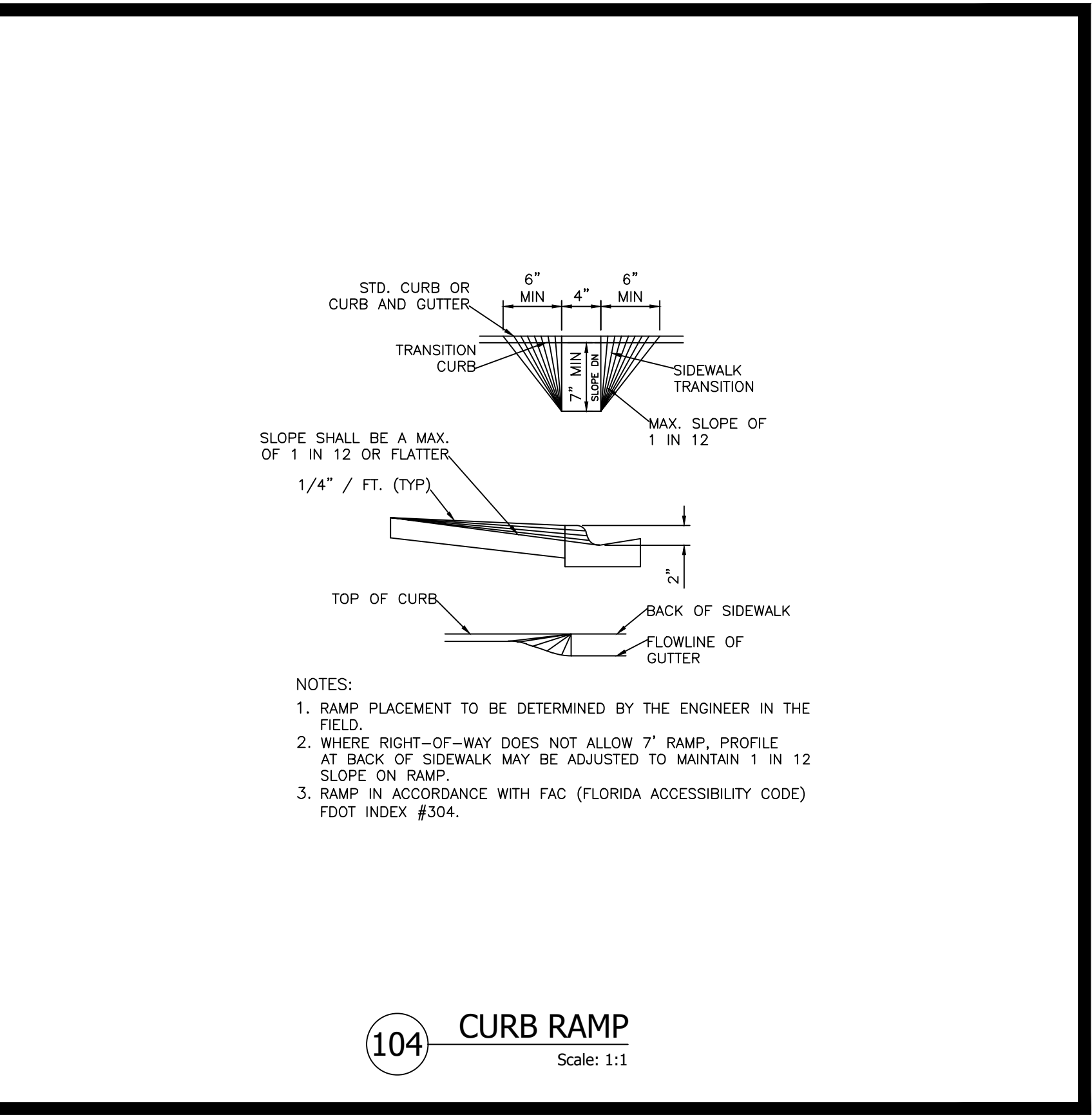
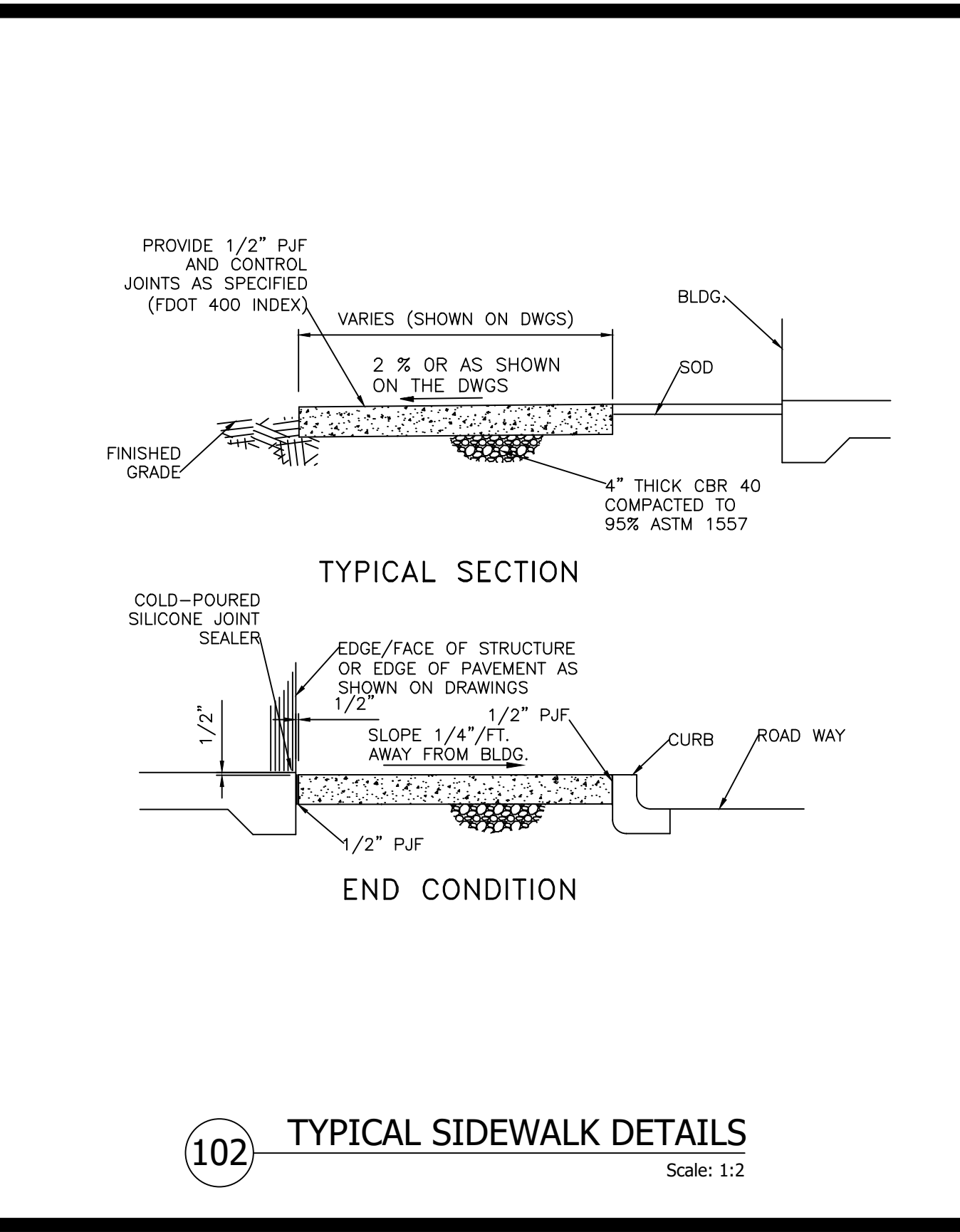
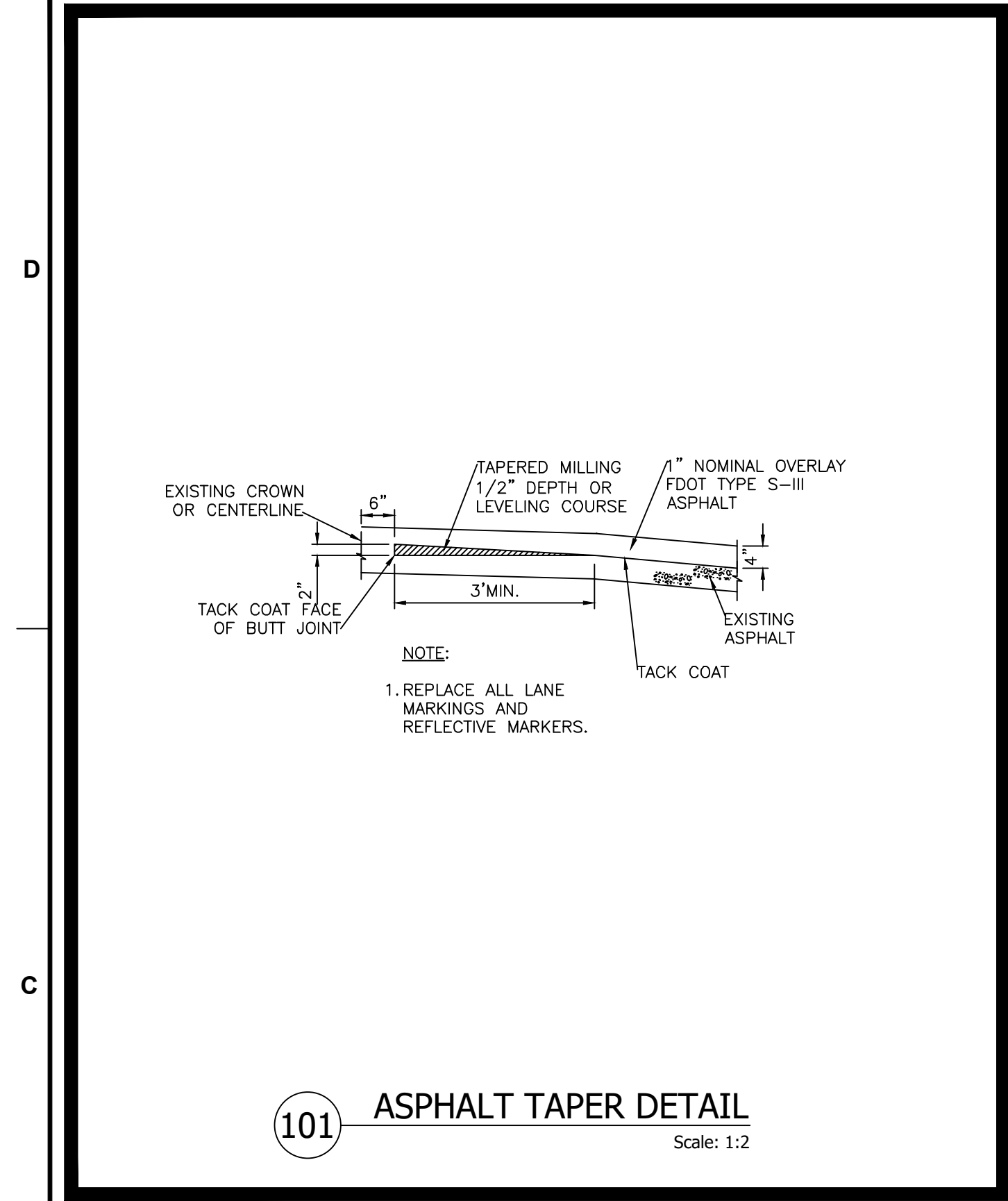
**700 NW 1ST AVE**

**SHEET TITLE**

PAVING, GRADING,  
 AND DRAINAGE  
 DETAILS

SHEET NUMBER: CP-501  
 PROJECT NUMBER: 13336.00

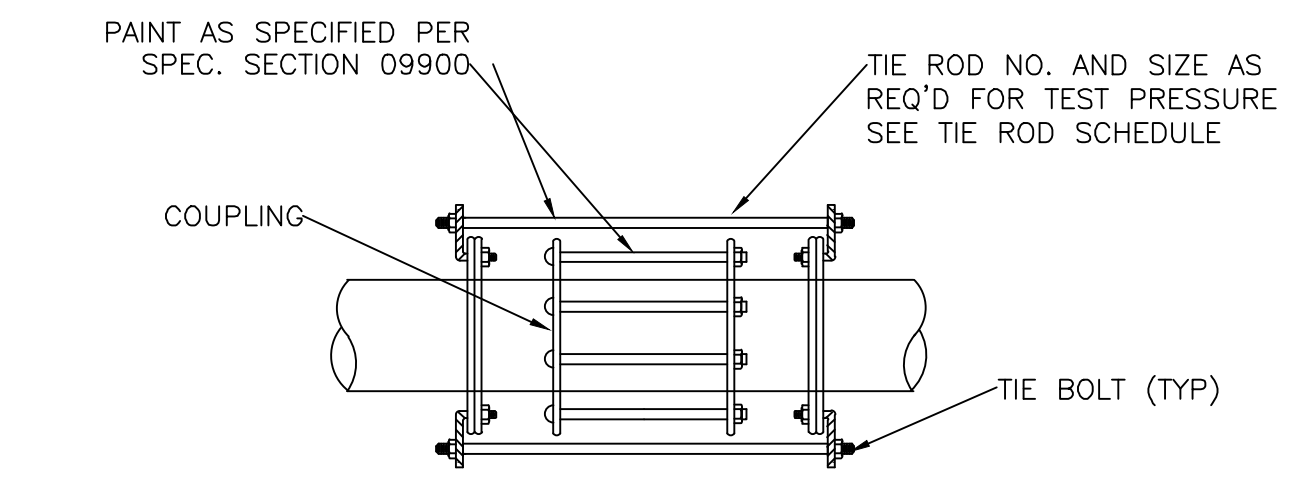
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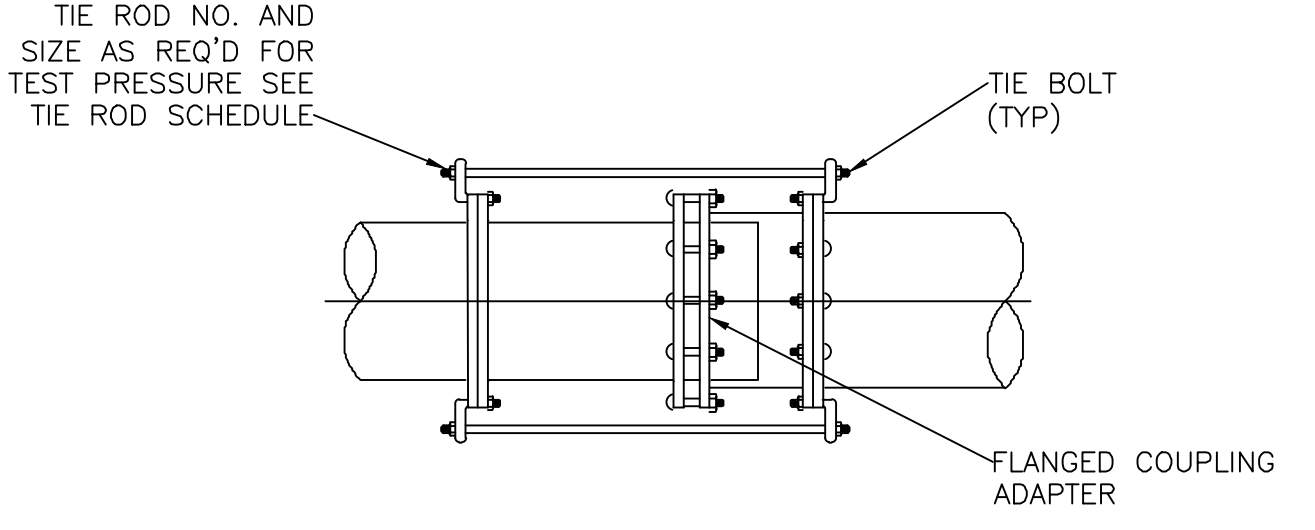
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D



RESTRAINED COUPLING

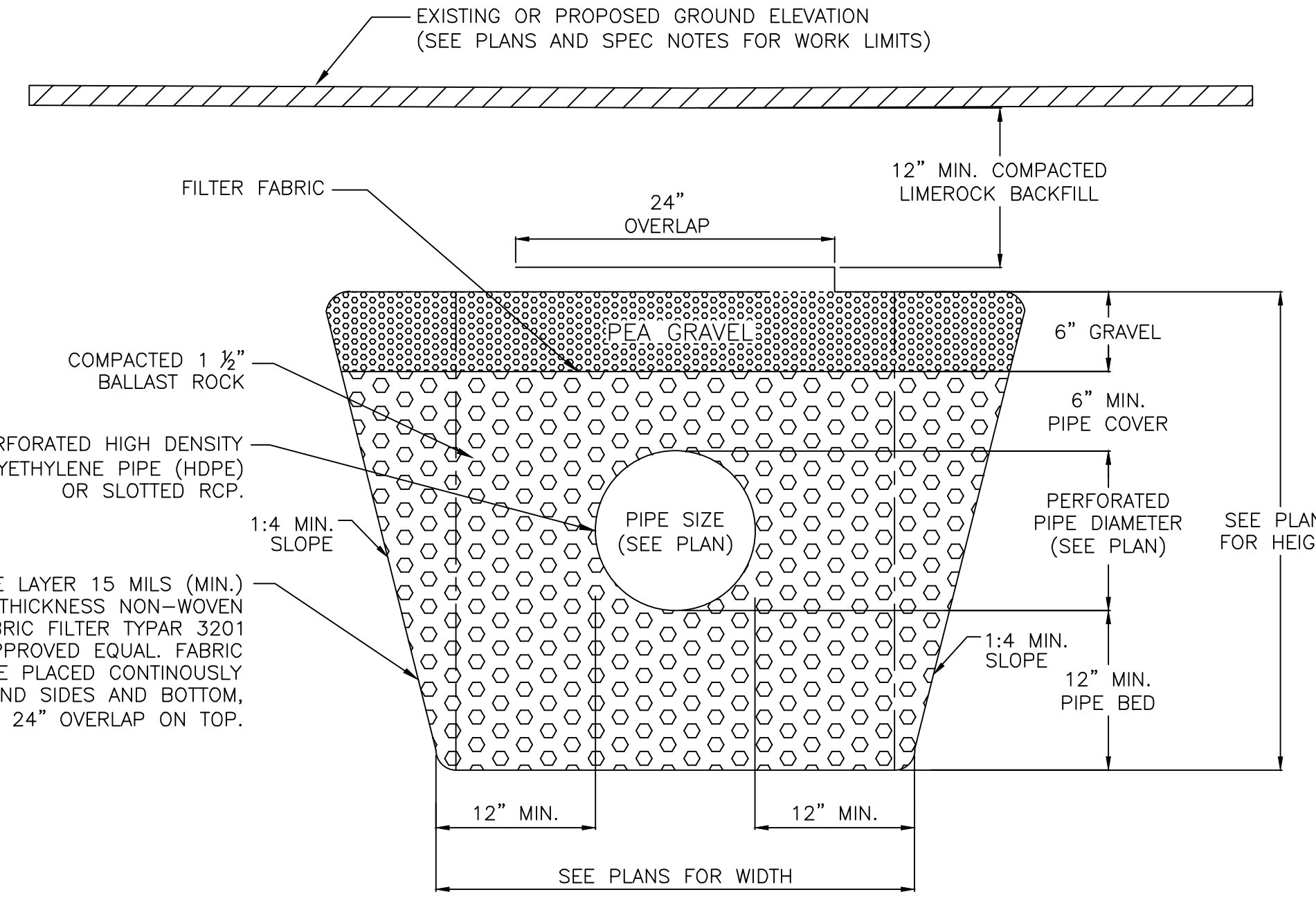


RESTRAINED FLANGED COUPLING ADAPTER

		TIE ROD SCHEDULE											
		25 PSI		50 PSI		100 PSI		150 PSI		225 PSI		375 PSI	
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6	3/16	—	—	—	—	5/8	2	5/8	2	5/8	2	5/8	2
8	3/16	—	—	—	—	5/8	2	5/8	2	5/8	2	3/4	2
10	3/16	—	—	—	—	5/8	2	5/8	2	3/4	2	7/8	2
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501 RESTRAINED COUPLING DETAILS Scale: N/A

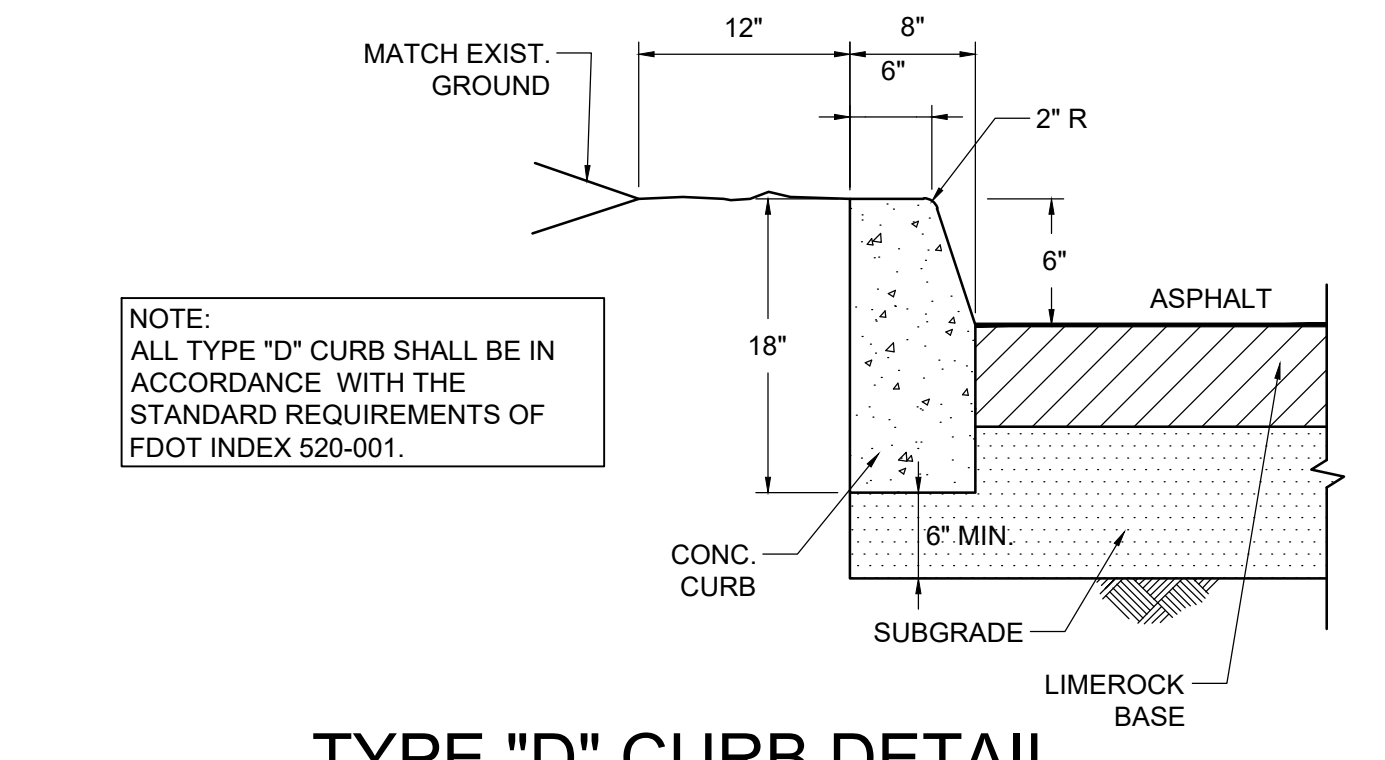
C



TRANSVERSE CROSS SECTION

- NOTES:
- CONTRACTOR MUST READ AND ABIDE THE CITY'S GENERAL CONSTRUCTION NOTES AND DRAINAGE DESIGN NOTES PRIOR TO STARTING CONSTRUCTION.
  - THE STANDARD CROSS SECTION SHALL BE CONSTRUCTED UNLESS OTHER SECTIONS ARE DESCRIBED OR DETAILED ON PLANS.
  - THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PREVENT CONTAMINATION OF THE TRENCH WITH SAND, SILT AND FOREIGN MATERIALS.
  - THE 12" WEEP HOLE SHALL NOT BE USED IF THE BOTTOM OF THE INLET OR MANHOLE IS BELOW THE NORMAL WATER TABLE, UNLESS OTHERWISE SHOWN ON PLANS.
  - FRENCH DRAINS MUST BE INSPECTED BY THE ENGINEERING INSPECTOR PRIOR TO CONTRACTOR BACKFILLING.

EXFILTRATION TRENCH SYSTEM D620

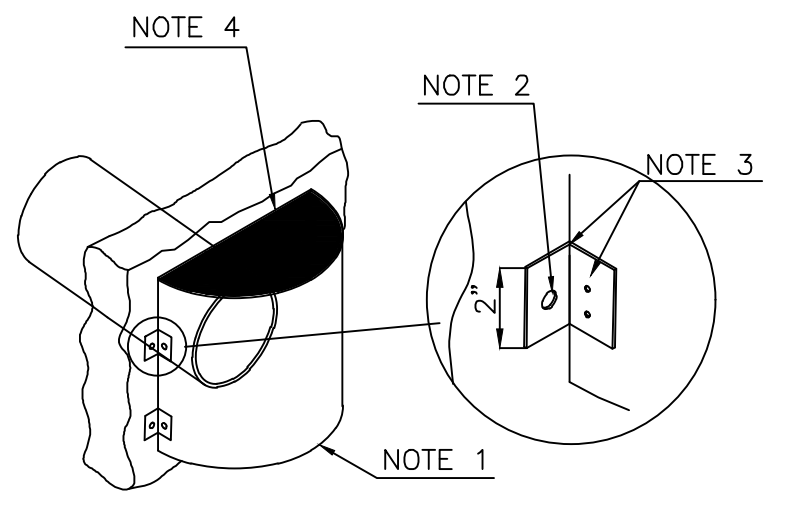
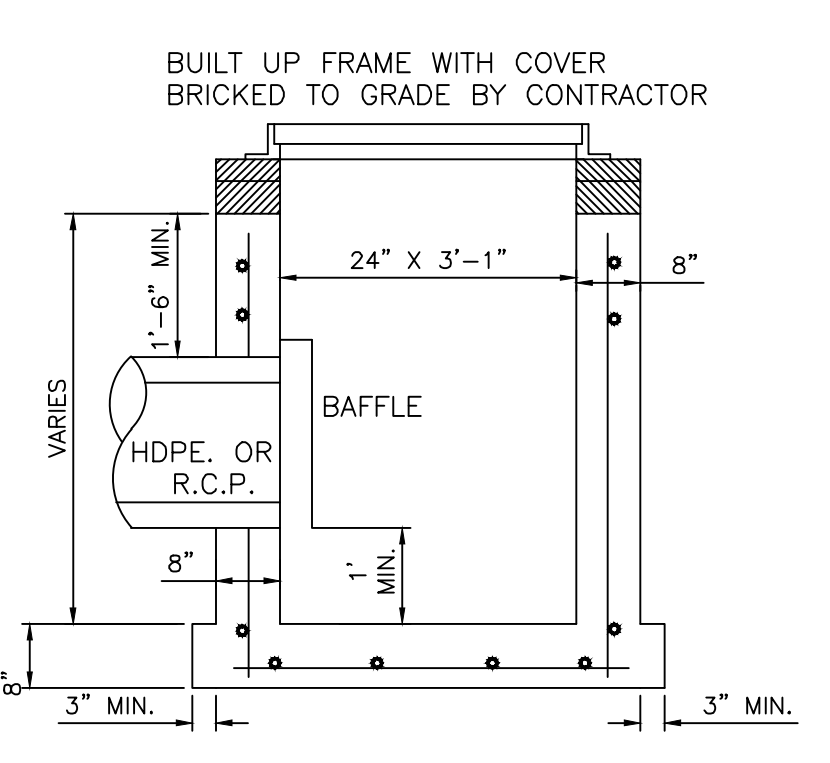


NOTE: ALL TYPE "D" CURB SHALL BE IN ACCORDANCE WITH THE STANDARD REQUIREMENTS OF FOOT INDEX 520-001.

TYPE "D" CURB DETAIL PER FDOT INDEX No. 520-001 NOT TO SCALE

3

B



- NOTES
- BAFFLE SHALL BE C.M.P. OR C.A.P. SECTION (OUTFALL DIAMETER PLUS 6").
  - 1/2" GALV. WEDGE ANCHORS (ULT. PULLOU 6000, ULT. SHEAR 5900.)
  - WELD OR 2-3/8" THRU BOLTS
  - BOLTED TO WALL WITH TOP CAPPED. (WATER TIGHT)

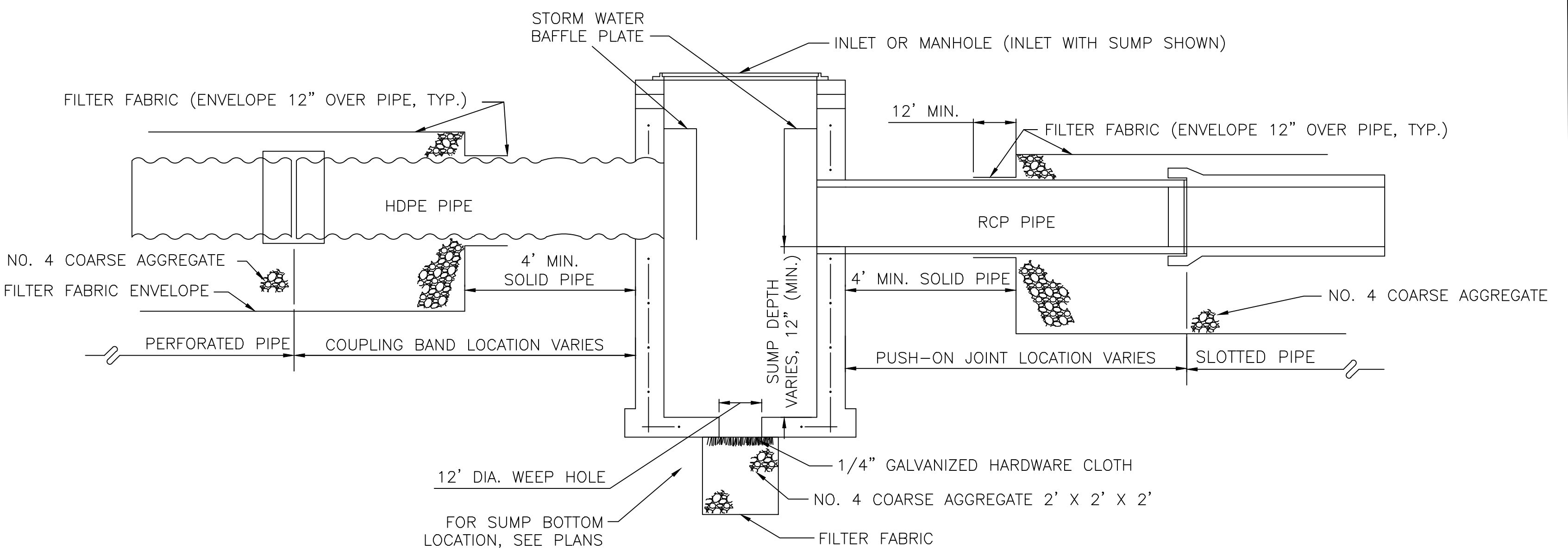
TYPE "C" CATCH BASIN (USP 3-3.0)

- NOTES
- MINIMAL CONC. STRENGTH FOR ALL CATCH BASINS AND MANHOLE STRUCTURES SHALL BE 4000 PSI.
  - CONTRACTOR IS RESPONSIBLE FOR FINAL ELEVATION AND LOCATION ADJUSTMENTS OF CATCH BASINS, GRATES, MANHOLES DUE TO FIELD CONSTRAINTS.
  - THE 12" WEEP HOLE SHALL NOT BE USED IF THE BOTTOM OF THE INLET OR MANHOLE IS BELOW THE NORMAL WATER TABLE, UNLESS OTHERWISE SHOWN ON PLANS.

POLLUTION RETARDANT BASIN & BAFFLE DETAIL FOR NEW STORM SEWERS

D621

A



LONGITUDINAL CROSS SECTION

**KEITH**  
 301 East Atlantic Blvd.  
 Pompano Beach, FL 33060  
 PH: (954) 788-3400

Florida Engineering Business License: CA7928  
 Florida Surveyor and Mapper Business License: LB6860  
 Florida Landscape Architecture Business License: LC26000457

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 DRAWN BY: DI  
 CHECKED BY: NW  
 BID-CONTRACT:

This item has been digitally signed and sealed by NILES T. WARRICK, P.E. on the date adjacent to the seal.

Professional Engineer Seal: NILES T. WARRICK, P.E., No. 94320, 02/05/2024, STATE OF FLORIDA.

NILES T. WARRICK, P.E.  
 FLORIDA REG. NO. 94320  
 (FOR THE FIRM)

CLIENT  
**FSMY ARCHITECTS & PLANNERS**

PROJECT  
**700 NW 1ST AVE**

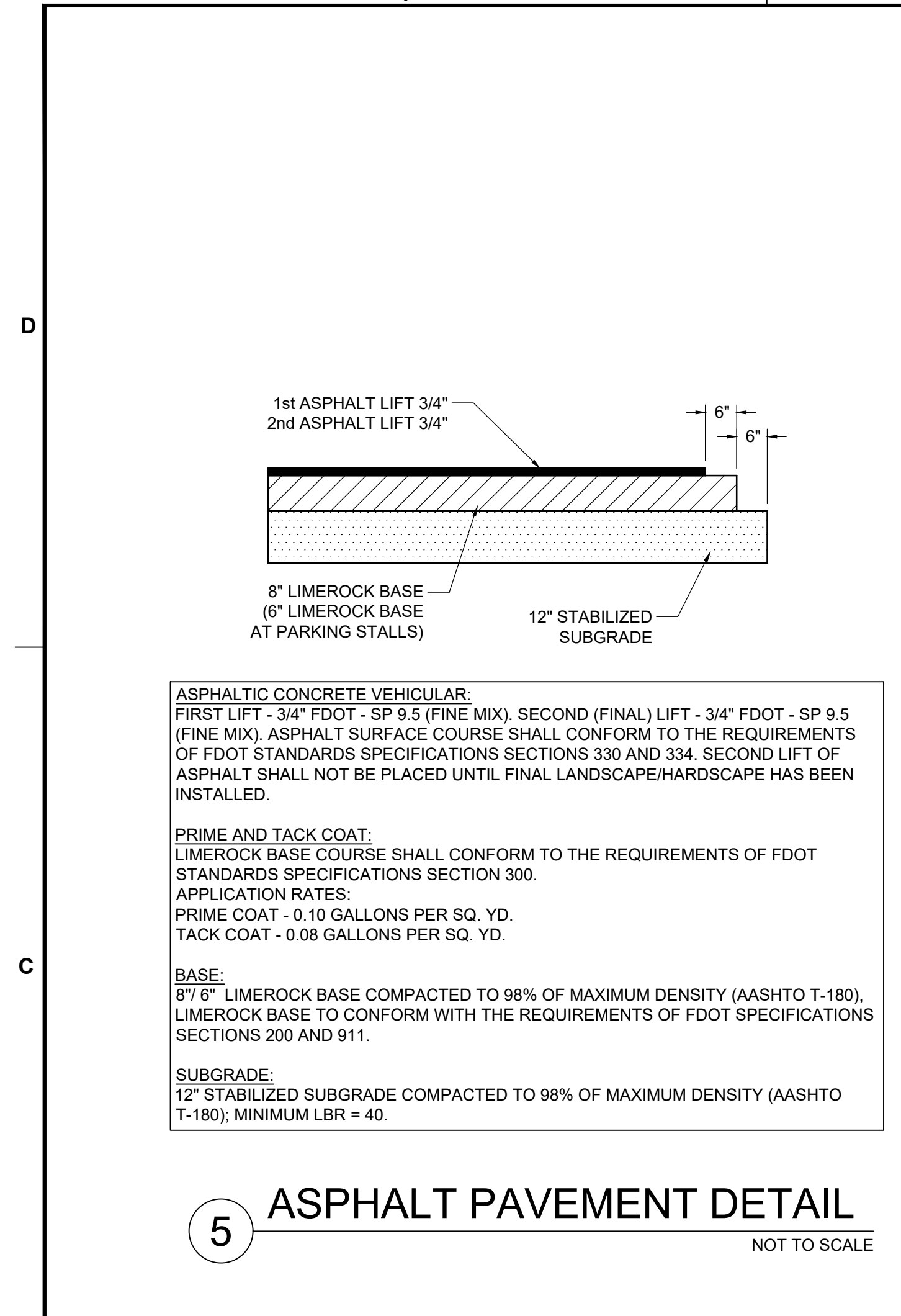
SHEET TITLE  
 PAVING, GRADING, AND DRAINAGE DETAILS

SHEET NUMBER CP-502  
 PROJECT NUMBER 13336.00

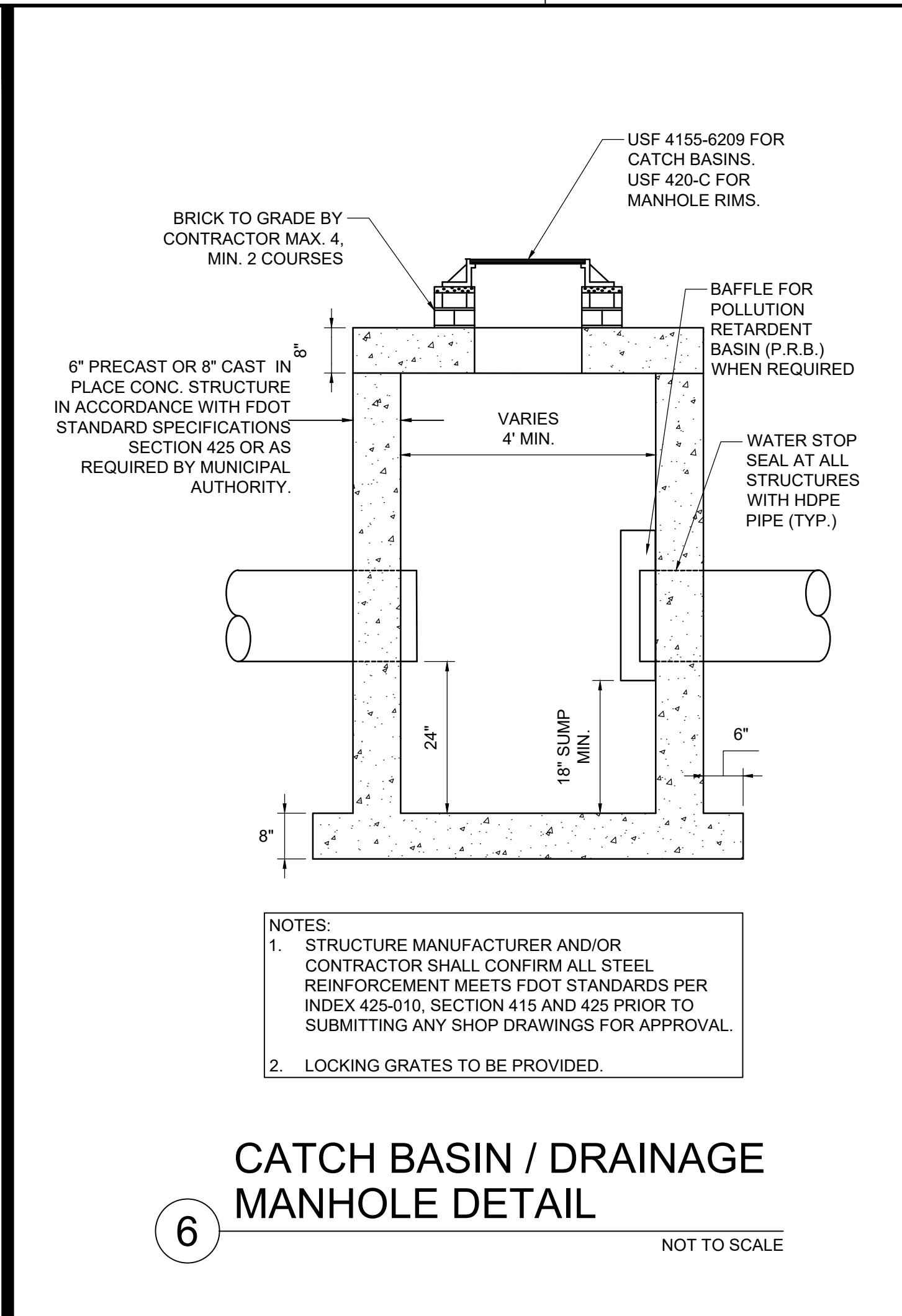
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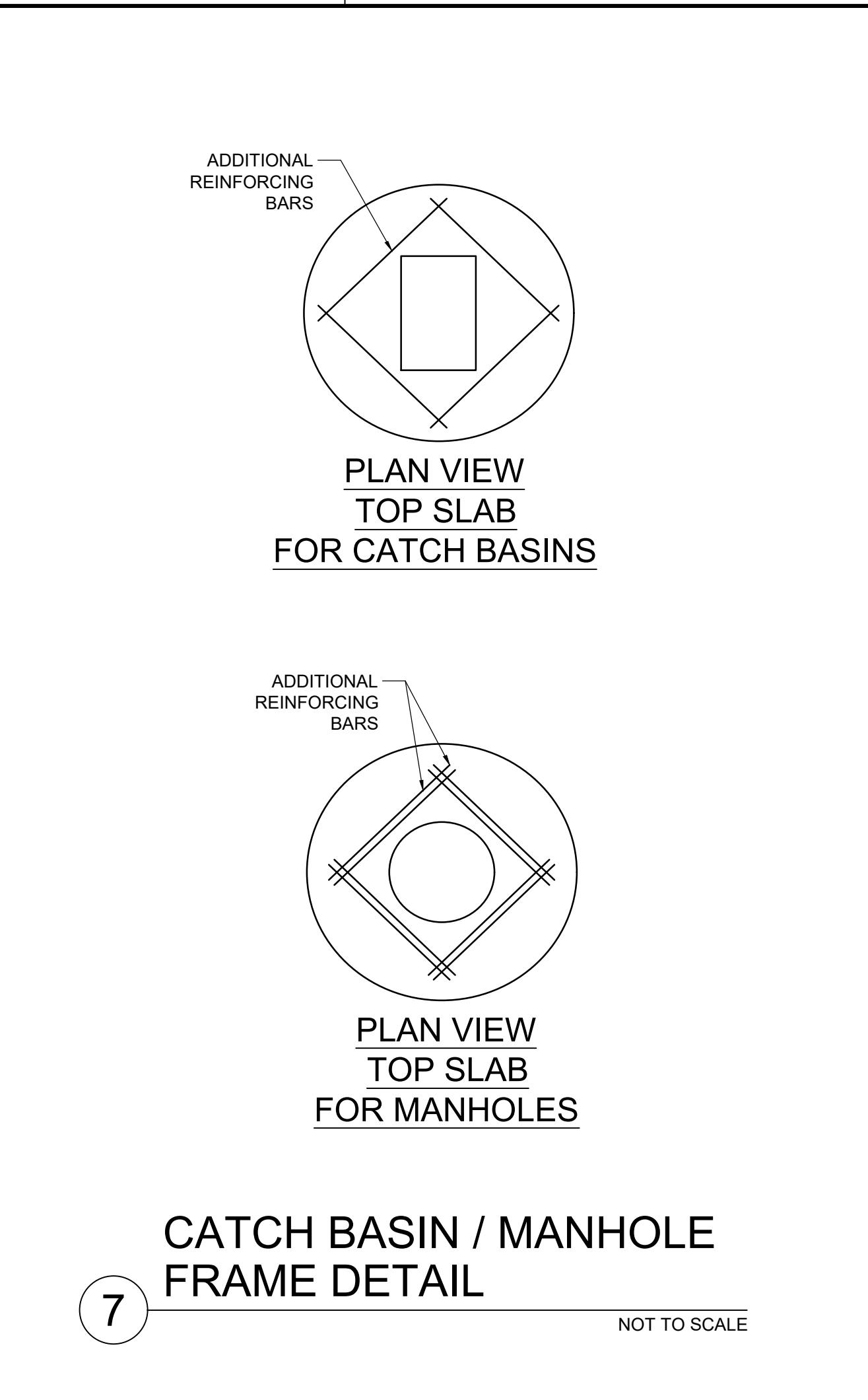
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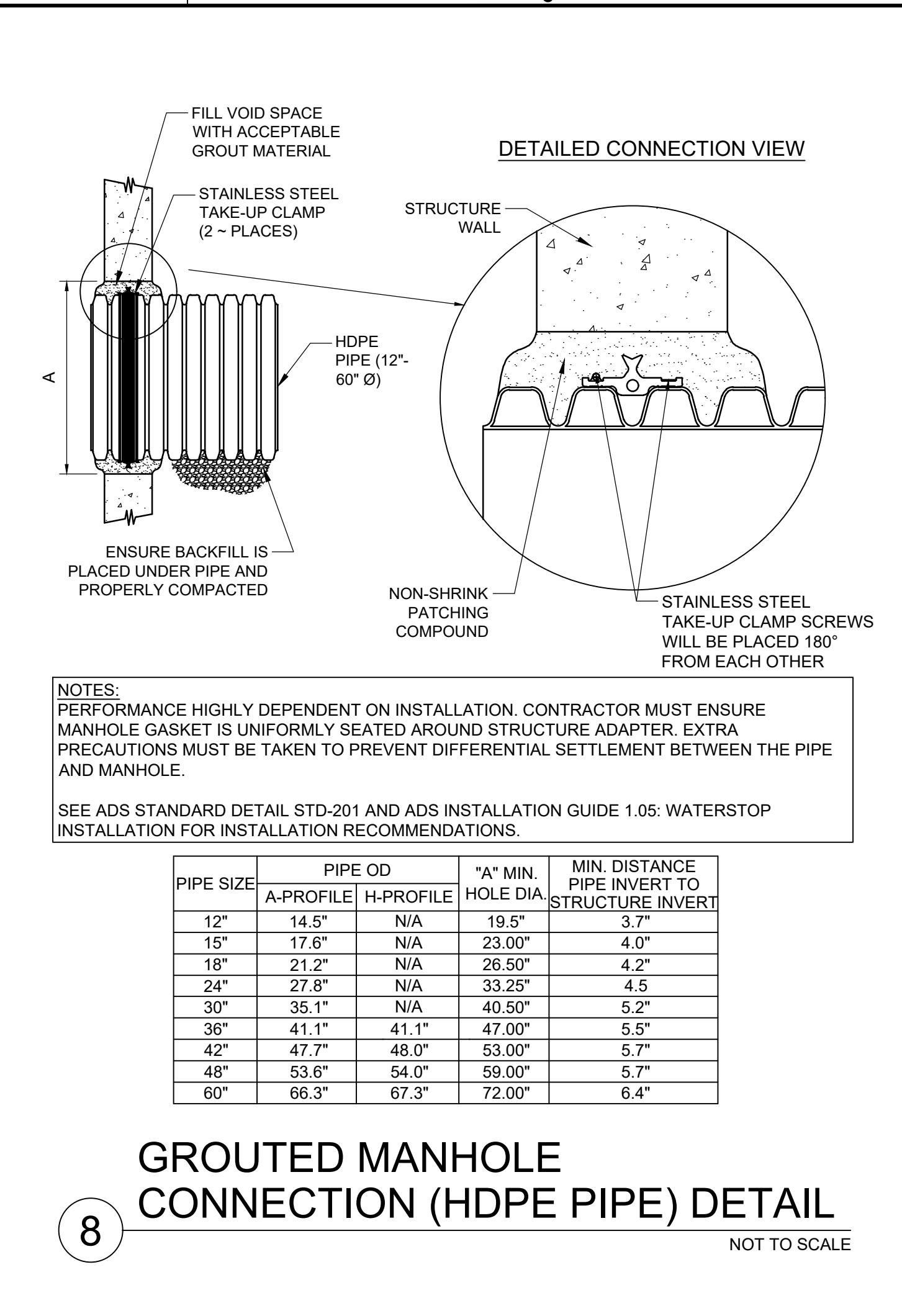
**5 ASPHALT PAVEMENT DETAIL**  
NOT TO SCALE



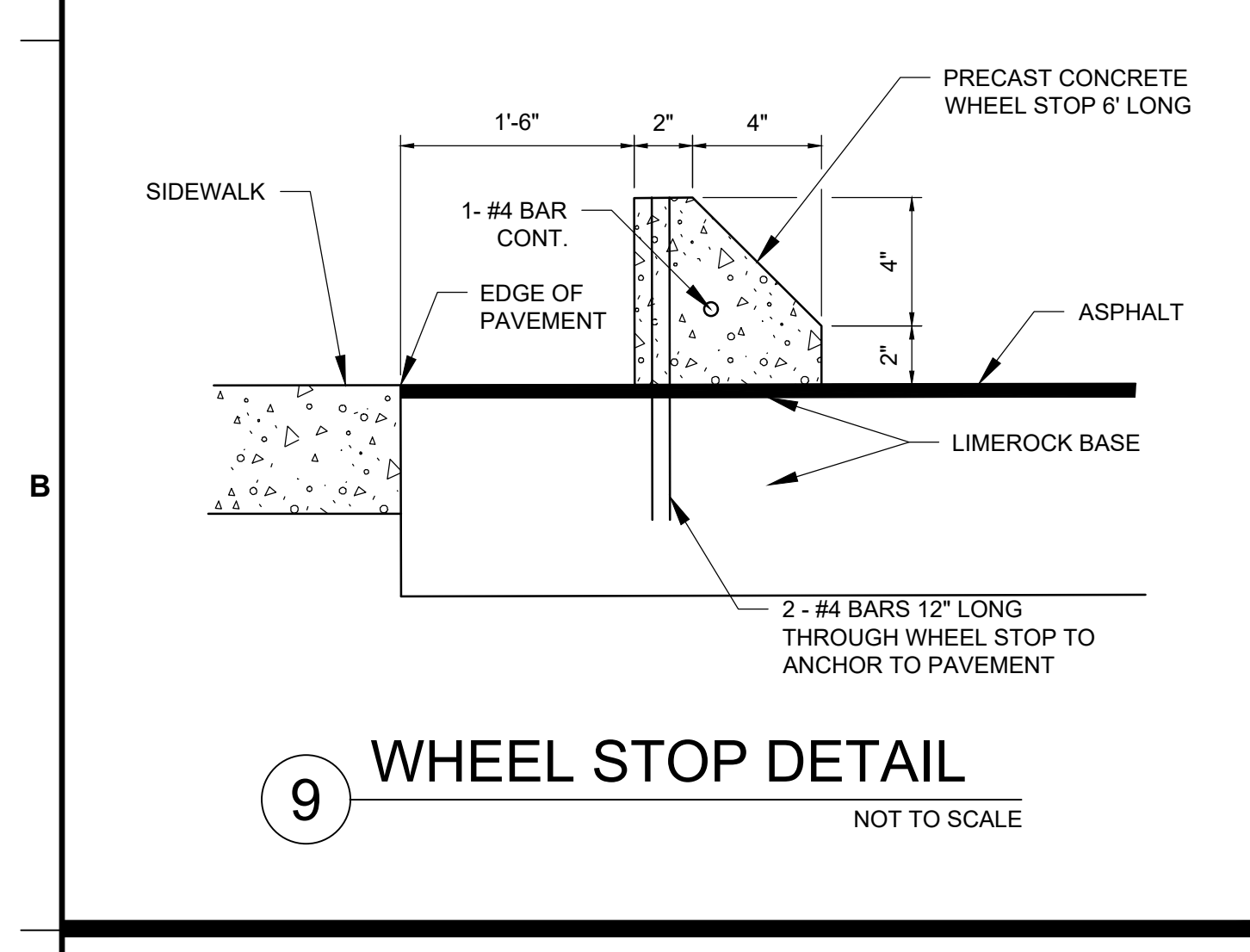
**6 CATCH BASIN / DRAINAGE MANHOLE DETAIL**  
NOT TO SCALE



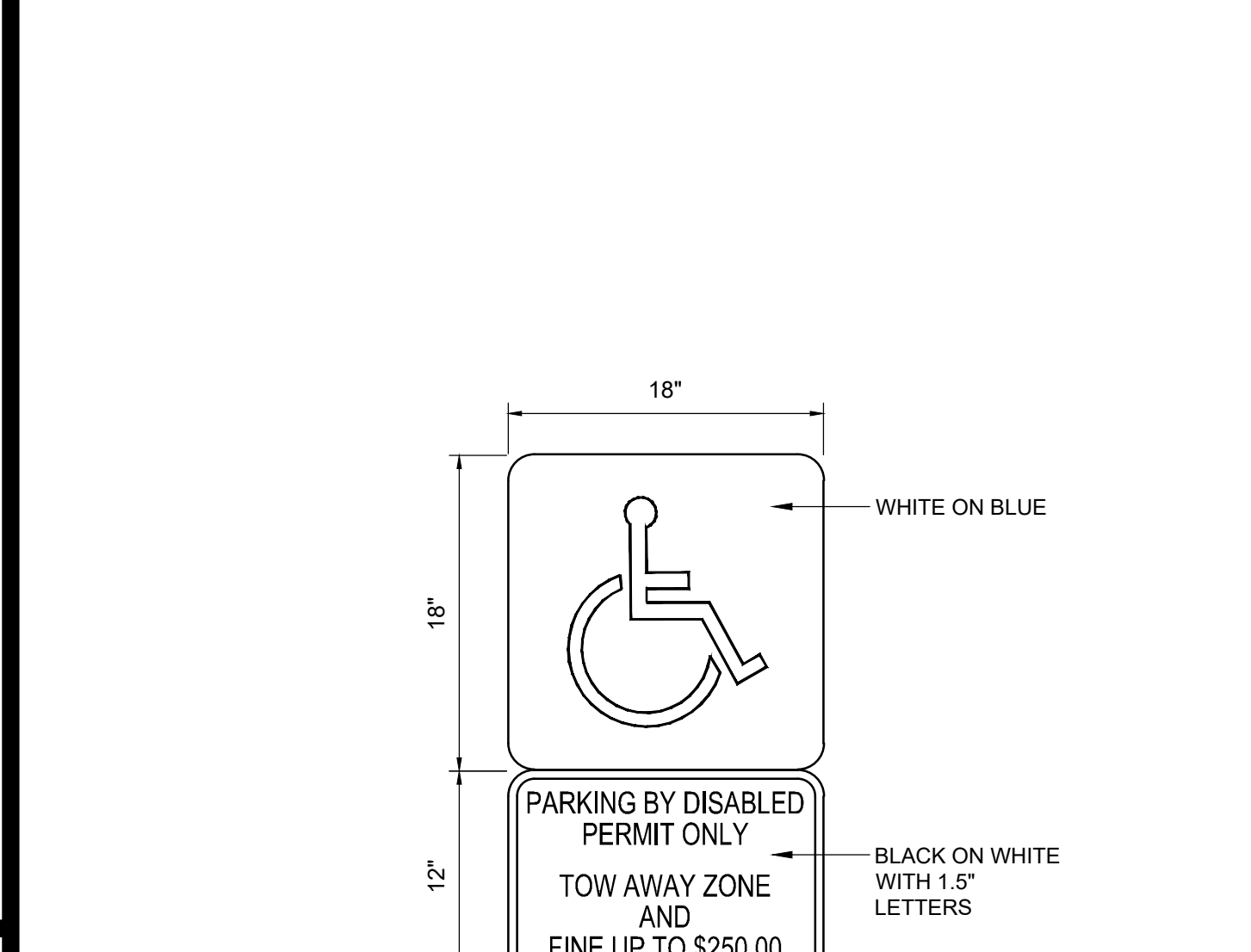
**7 CATCH BASIN / MANHOLE FRAME DETAIL**  
NOT TO SCALE



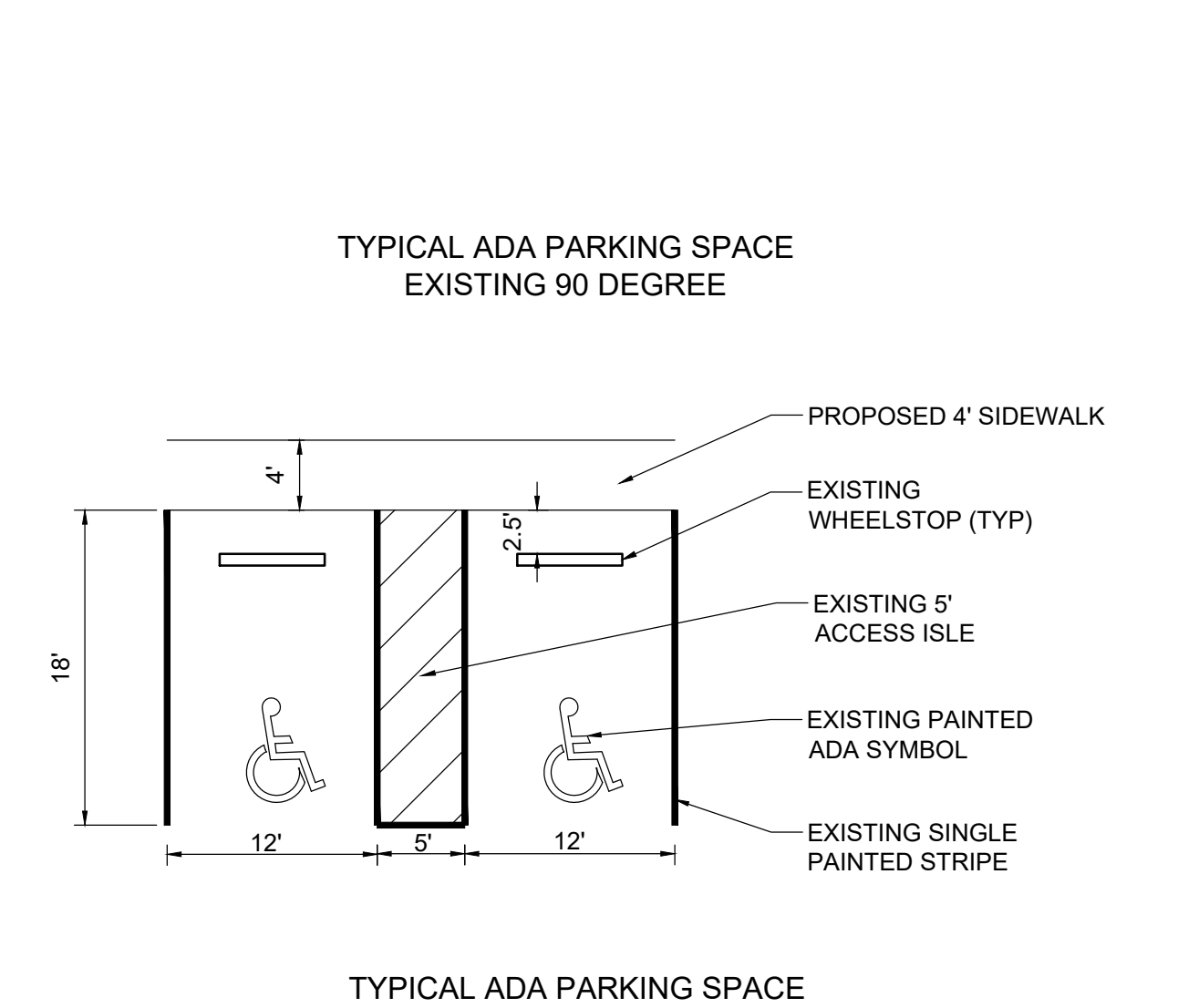
**8 GROUTED MANHOLE CONNECTION (HDPE PIPE) DETAIL**  
NOT TO SCALE



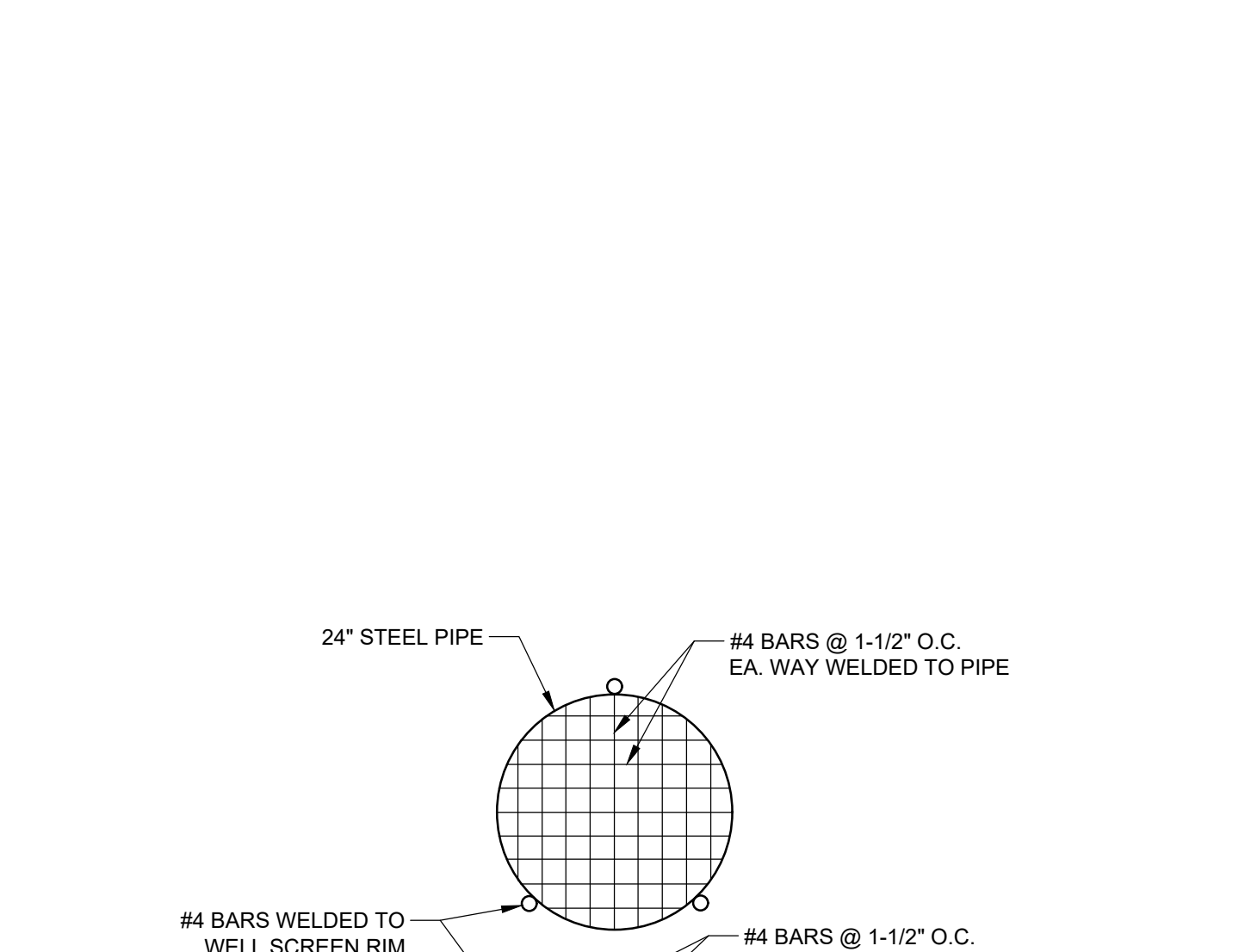
**9 WHEEL STOP DETAIL**  
NOT TO SCALE



**11 HANDICAP PARKING SIGN DETAIL**  
NOT TO SCALE



**12 TYPICAL ADA PARKING SPACE DETAIL**  
NOT TO SCALE



**13 WELL SCREEN DETAIL**  
NOT TO SCALE

**SPACING OF REQUIRED ROADWAY, PARKING AREA, AND UTILITY TRENCH TESTS**

	Proctor Maximum Density		L.B.R.		DENSITY / Per Lift		THICKNESS	
	MAX. SPACING LIN. FEET	SQ. FEET	MAX. SPACING LIN. FEET	SQ. FEET	MAX. SPACING LIN. FEET	SQ. FEET	MAX. SPACING LIN. FEET	SQ. FEET
COMPACTED OR STABILIZED SUBGRADE	1000	12,000	1000	12,000	500	6,000	200	2,400
LIMEROCK BASE	4000	24,000	--	--	500	6,000	200	2,400
ASPHALT	--	--	--	--	1500	18000	Every 200 Tons	--
UTILITY TRENCH	One per Soil Type	--	--	--	500	6,000	--	--
Embankment / Backfill	One per Soil Type	--	--	--	500	6,000	--	--

ALL TESTING SHALL BE TAKEN IN A STAGGERED SAMPLING PATTERN FROM A POINT 12" INSIDE THE LEFT EDGE OF THE ITEM TESTED TO THE CENTER, TO A POINT 12" INSIDE THE RIGHT EDGE. A MINIMUM OF 2 TESTS SHALL BE TAKEN INCLUDING UTILITY TRENCHES AND ROADWAY RESTORATION. SEE FDOT STANDARD SPECIFICATIONS FOR FURTHER DETAILS AND REQUIREMENTS.

**10 COMPACTION TEST SCHEDULE**  
NOT TO SCALE

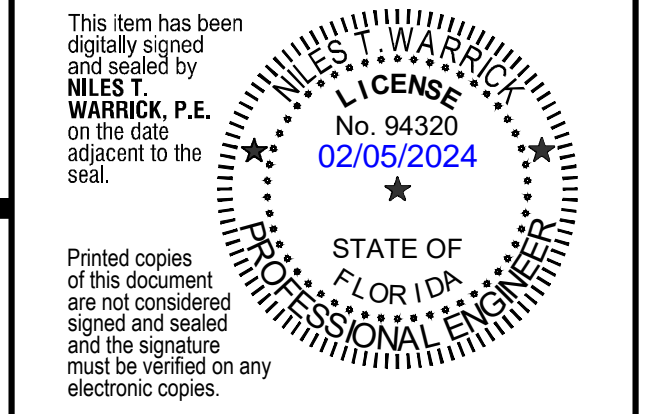
**KEITH**  
301 East Atlantic Blvd.  
Pompano Beach, FL 33060  
PH: (954) 788-3400

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PROJECT  
**700 NW 1ST AVE**

SHEET TITLE  
**PAVING, GRADING, AND DRAINAGE DETAILS**

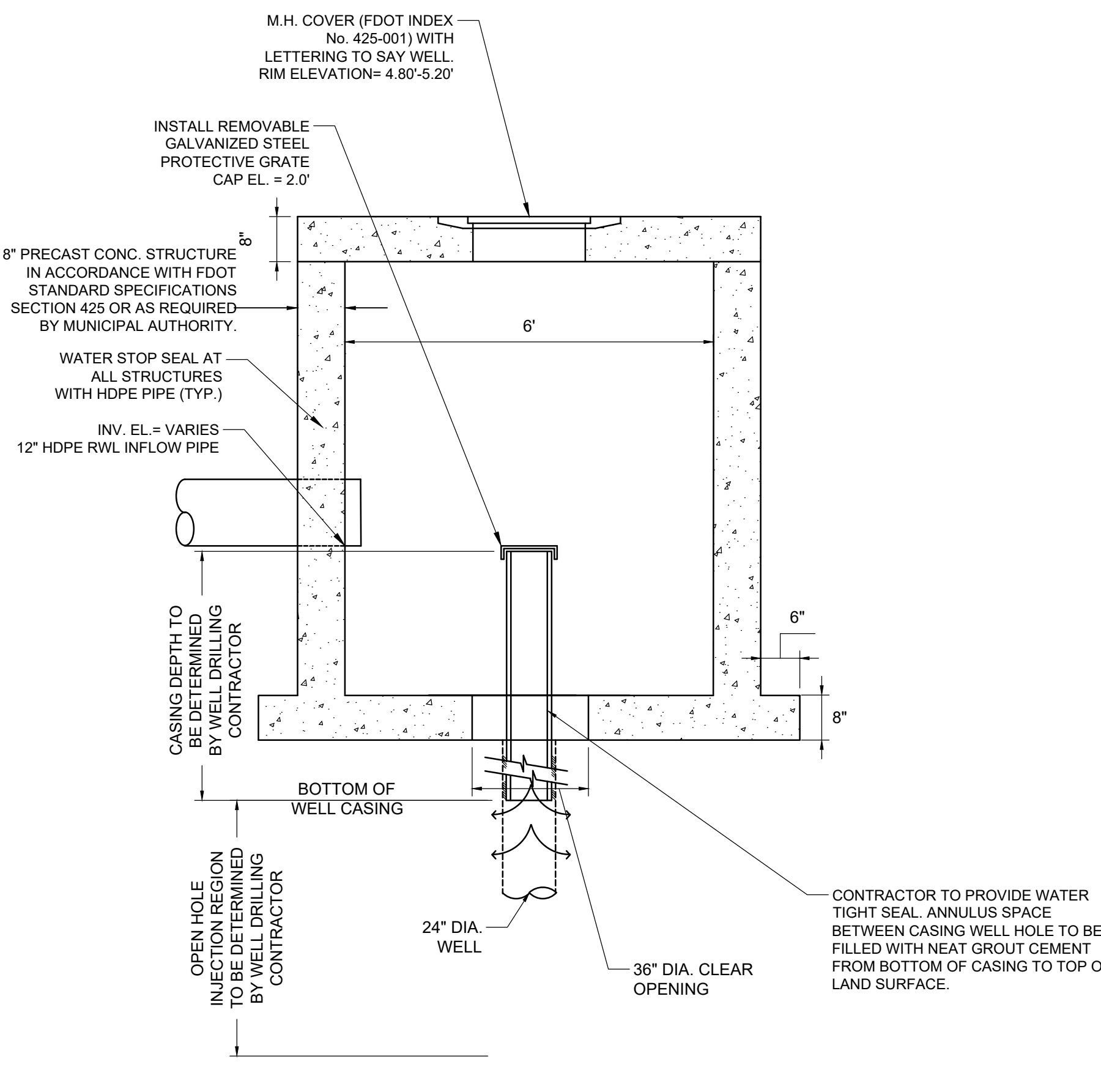
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PROJECT NUMBER **13336.00**

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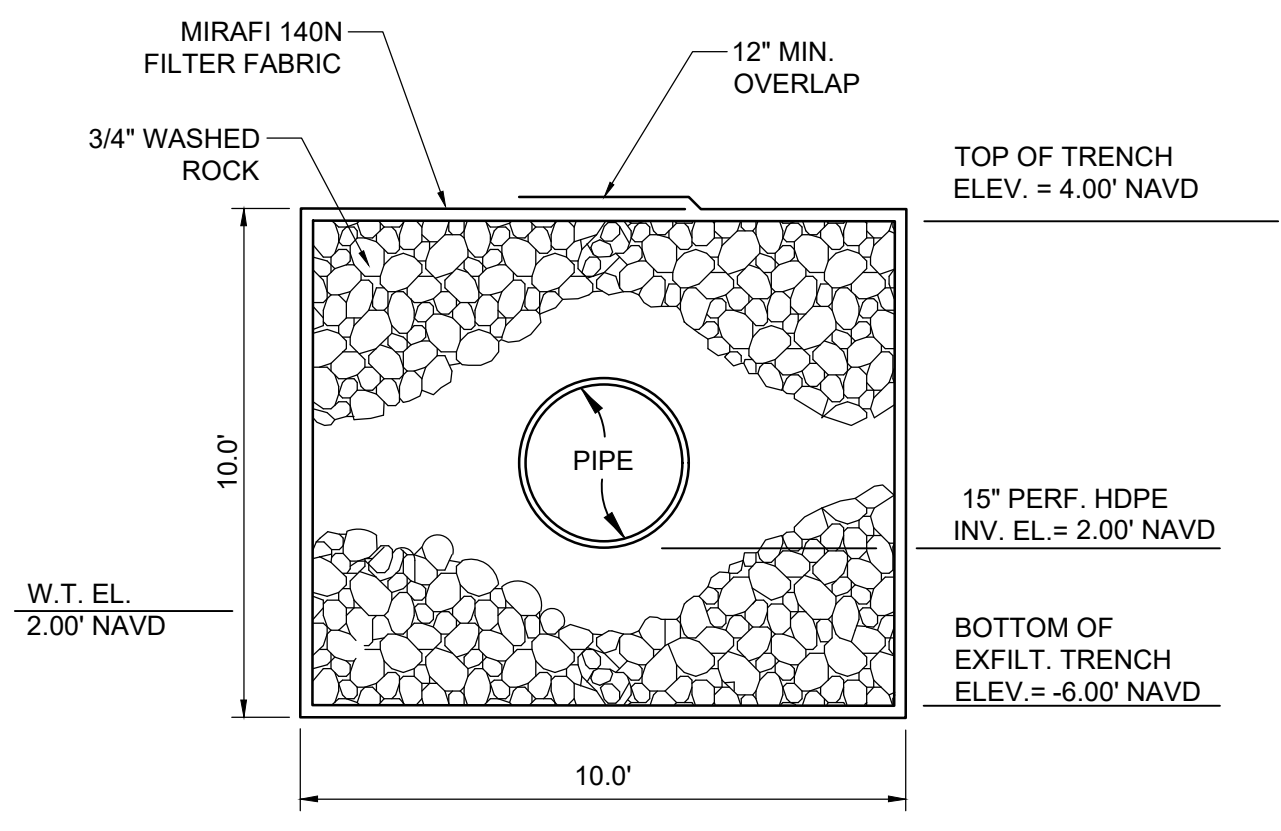
NO.	DESCRIPTION	DATE

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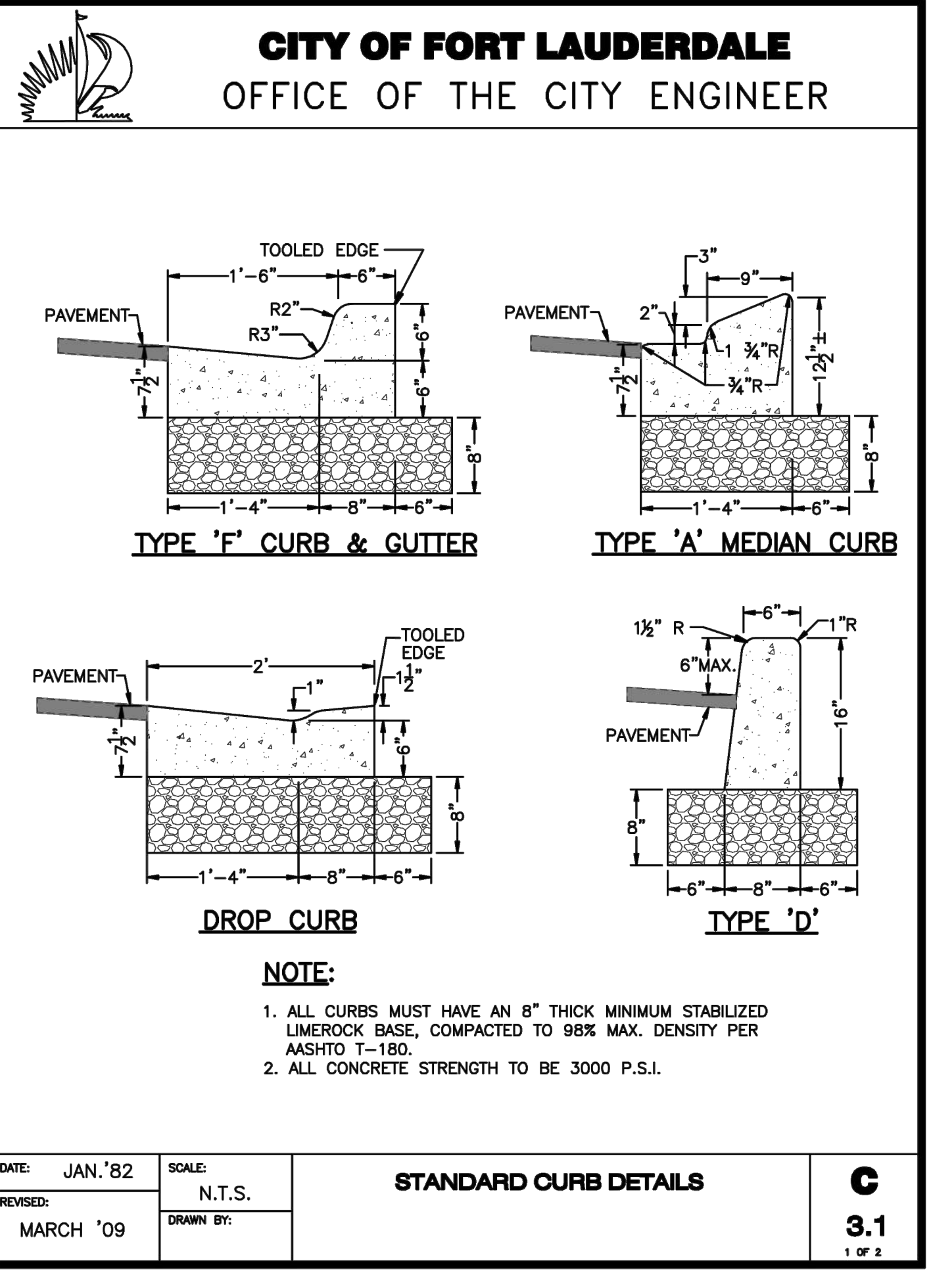
ISSUE DATE: 01/26/24  
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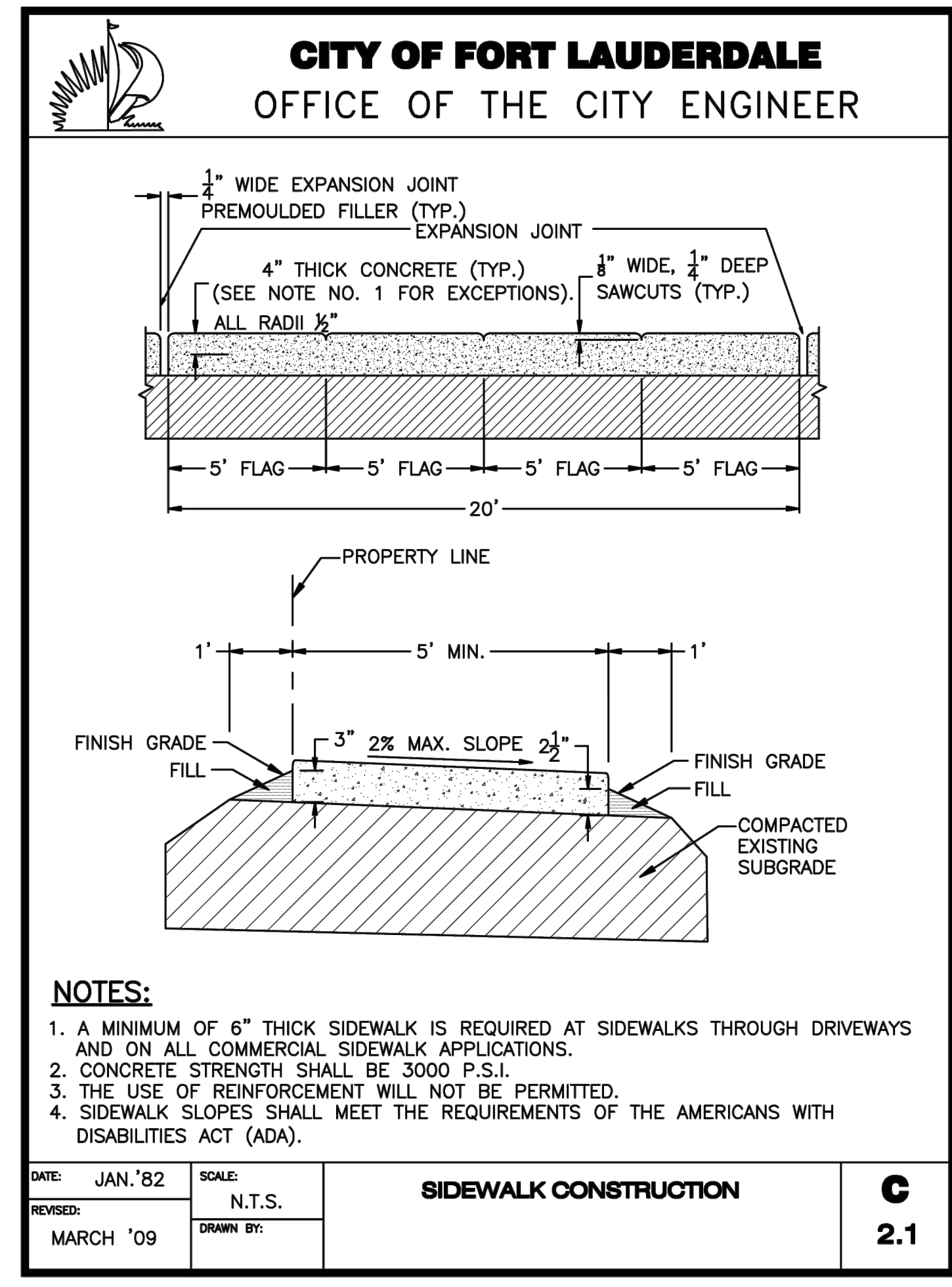
15 WELL MANHOLE  
 NOT TO SCALE



16 EXFILTRATION TRENCH DETAIL  
 NOT TO SCALE



DATE: JAN. '82 SCALE: N.T.S. STANDARD CURB DETAILS C  
 REVISIONS: MARCH '09 DRAWN BY: 3.1  
 1 OF 2



DATE: JAN. '82 SCALE: N.T.S. SIDEWALK CONSTRUCTION C  
 REVISIONS: MARCH '09 DRAWN BY: 2.1

P:\pws\INTERNAL\DETAILS\Blue Book blocks\CFL-BB-C2.1.dwg, 3/12/2009 11:06:38 AM, RomonC

P:\pws\INTERNAL\DETAILS\Blue Book blocks\CFL-BB-C2.1.dwg, 3/12/2009 11:06:27 AM, RomonC

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NILES T. WARRICK, P.E.  
 LICENSE No. 94320  
 02/05/2024  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER

CLIENT: **FSMY ARCHITECTS & PLANNERS**

PROJECT: **700 NW 1ST AVE**

SHEET TITLE: **PAVING, GRADING, AND DRAINAGE DETAILS**

SHEET NUMBER: **CP-504**

PROJECT NUMBER: **13336.00**

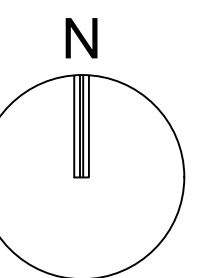
STATUS: DRC SUBMITTAL

Plotted by: dillingworth On 2/28/2024 2:00 PM

Drawing name: K:\13336.00 - NW 1st Avenue - FSMY\Engineering\Cad\13336.00-CP-504.dwg

D  
C  
B  
A





GRAPHIC SCALE  
0 20 40  
SCALE: 1" = 20'  
NOTE: PRINTED DRAWING SIZE  
MAY HAVE CHANGED FROM  
ORIGINAL. VERIFY SCALE USING  
BAR SCALE ABOVE.

**KEITH**  
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REVISIONS		
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PROJECT  
**700 NW 1ST AVE**

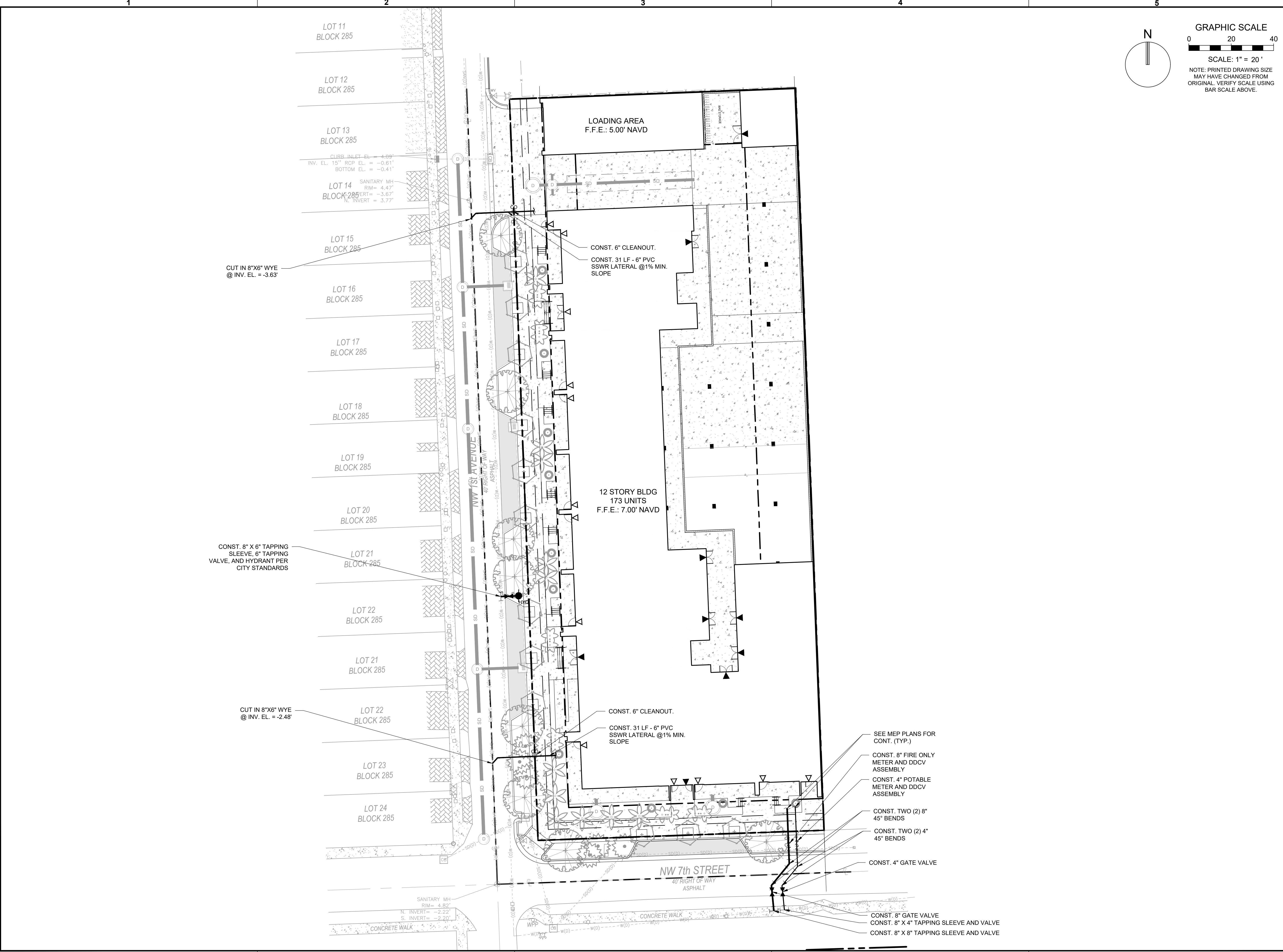
SHEET TITLE  
**WATER AND SEWER  
PLAN**

SHEET NUMBER **CU-101**  
PROJECT NUMBER **13336.00**

Plotted by: dillingworth On 2/6/2024 2:00 PM

Drawing name: K:\13336.00 - NW 1st Avenue - FSMY\Engineering\Cust\13336.00-CU-101.dwg

STATUS: DRC SUBMITTAL



CUT IN 8"X6" WYE  
@ INV. EL. = -3.63'

CONST. 8" X 6" TAPPING  
SLEEVE, 6" TAPPING  
VALVE, AND HYDRANT PER  
CITY STANDARDS

CUT IN 8"X6" WYE  
@ INV. EL. = -2.48'

LOADING AREA  
F.F.E.: 5.00' NAVD

CONST. 6" CLEANOUT.  
CONST. 31 LF - 6" PVC  
SSWR LATERAL @1% MIN.  
SLOPE

12 STORY BLDG  
173 UNITS  
F.F.E.: 7.00' NAVD

CONST. 6" CLEANOUT.  
CONST. 31 LF - 6" PVC  
SSWR LATERAL @1% MIN.  
SLOPE

SEE MEP PLANS FOR  
CONT. (TYP.)  
CONST. 8" FIRE ONLY  
METER AND DDCV  
ASSEMBLY  
CONST. 4" POTABLE  
METER AND DDCV  
ASSEMBLY  
CONST. TWO (2) 8"  
45° BENDS  
CONST. TWO (2) 4"  
45° BENDS  
CONST. 4" GATE VALVE

CONST. 8" GATE VALVE  
CONST. 8" X 4" TAPPING SLEEVE AND VALVE  
CONST. 8" X 8" TAPPING SLEEVE AND VALVE

1 2 3 4 5

D  
C  
B  
A

1 2 3 4 5

LEGEND:

SYMBOL	DESCRIPTION
	WATER METER BOX
	EXISTING VALVE
	PROPOSED VALVE
	FIRE HYDRANT
	BENCH MARK
	TREE
NBC	NAIL IN BOTTLE CAP
NIA	NAIL IN ASPHALT
	GAS LINE
	WATER MAIN
	BURIED TELEPHONE
	TELEPHONE
	UNDERGROUND ELECTRIC
	FORCE MAIN
	OVERHEAD WIRES
	CABLE TELEVISION
	CHAIN LINK FENCE
	WOOD FENCE
	EXISTING ELEVATION
	SOIL BORING LOCATION MARK
	SOIL TYPE SEPERATION MARK

WATER SYSTEM NOTES:

PIPE D.I.P.

- Ductile Iron water main pipe shall conform to the requirements of A.N.S.I./ A.W.W.A. C-151/A 21.51-02 and lined and coated per A.N.S.I./A.W.W.A. C-104/A-214-03. 20" and smaller pipe shall be pressure class 350; 24" and larger, pipe shall be pressure class 250.
- All DIP shall have adequate protective measures against corrosion and it shall be used only if as determined by the design engineer, based on field conditions.
- All DIP shall be installed in accordance with A.N.S.I./A.W.W.A. C-600-99, or latest revision.

PIPE P.V.C.

- All P.V.C. mains shall be series 1120, class 150 (DR 18) pressure pipe, conforming to A.N.S.I./A.W.W.A. C-900-07', or latest revision, and shall have push on joints, and iron pipe O.D.
- All P.V.C. pipe shall be installed in accordance with the Uni-Bell plastic pipe Association's "Guide for installation of P.V.C. pressure pipe for Municipal water distribution system". Water distribution pipe shall be of "BLUE" color. All water main installations shall comply with the color coding requirements of Chapter 62-555.320(21)(b)3 F.A.C. (Florida Administrative Code).

FITTINGS

- Detector tape on all P.V.C. mains shall be installed 18" above the water main.
- All P.V.C. mains must have #6 copper wire, single strand, placed on top of pipe, shall be electrically continuous over the entire length of the pipe, and fastened every 10' with a #12 wire.

VALVES

- Fittings shall be ductile iron meeting A.N.S.I./A.W.W.A. C153/21.00 and shall be coated with 6 to 8 mil. Thickness coal tar epoxy conforming to the requirements of A.N.S.I./A.W.W.A. C550-05 and C116/A21.03.
- Restrained joint pipe shall be used for all bends, tees, crosses, plugs, and fire hydrants. Thrust blocks shall not be allowed.
- Retainer glands/mechanical joint restraint shall be used only if authorized by the Engineer and shall conform to A.N.S.I./A.W.W.A. standards C 111/A-21.11-03, or latest revision.
- All glands shall be manufactured from ductile iron as listed by underwriter's laboratory for 250 P.S.I. minimum water pressure rating.
- Glands shall be CLOW Corporation model F-1058, standard fire protection equipment company, or approved equal.

VALVES

- Tapping valves shall be Mueller H667 or approved equal.
- Tapping sleeves shall be Mueller H615 or approved equal.
- Gate valves 3" or less shall be NIBCO T-133 OR T-136 with malleable hand wheels. No substitutions allowed.
- Gate valves 4" or larger shall meet A.W.W.A. C-500-02 specification (latest revision). Valves shall be Mueller Co. or approved equal.
- All valves shall be furnished with extension type cast iron valve boxes of proper length for pipe depth. All boxes shall conform with A.W.W.A. specifications with a shaft of no less than 5 inches and have the word "WATER" cast in the cover. Base of valve box shall have a flared section to fit over stuffing box of valve.

HYDRANTS

- Fire hydrants shall be breakaway Mueller Super Centurion 250, US Pipe Metropolitan 250, American Darling B-84B, Clow Medallion, or approved equal.
- Fire hydrants shall be installed with the center of the nozzle 18" above finished grade.
- Dead-end water mains 6" or larger shall terminate with a fire hydrant.

PLACEMENT

- All water mains shall be installed with a minimum cover of 36" for P.V.C and 30" for DIP except where shown differently on plans.
- A continuous and uniform bedding shall be provided. Backfill material shall be tamped in layers around the pipe as shown on the plans and/or City of Fort Lauderdale Construction Standards and Specifications, January 1982. Rocks or stones larger than 3/4" diameter found in the trench shall be removed for a depth of at least 6" below the bottom of the pipe.
- Pipe deflection shall not exceed 75% of the maximum deflection recommended by the manufacturer.

SEPARATION

- Sanitary sewers and force mains should cross under water mains whenever possible. Sanitary sewers and force mains crossing water mains shall be laid to provide a minimum vertical distance of 18" between the invert of the upper pipe and the crown of the lower pipe whenever possible.
- Where sanitary sewer force mains must cross a water main with less than 18" vertical separation, both the sewer and water main shall be constructed of ductile iron pipe (DIP) at the crossing. Sufficient lengths of DIP must be used to provide a minimum separation of 10 feet between any two joints. All joints on the water main within 20 feet of the crossing must be mechanically restrained. A minimum vertical clearance of 6" must be maintained at all crossings.
- A minimum 10 foot horizontal separation shall be maintained between any type of sewer and water main in parallel installations whenever possible.
- The preferred separation between water mains and sewer mains shall be 10 feet. In cases where it is not possible to maintain a 6 foot horizontal separation between the water mains and sewer mains, one of the following conditions must be met. The minimum separation between water and sewer mains shall be 3 feet:

SEPARATION (CONT'D)

- The water main must be laid in a separate trench or on an undisturbed earth shelf located on one side of the sewer or force main at such elevation that the bottom of the water main is at least 18 inches above the top of the sewer.
- The sewer or force main is encased in concrete or a watertight carrier pipe.
- Both the sewer and the water main are constructed of pressure pipe tested to 150 p.s.i.
- Where it is not possible to maintain a vertical distance of 18" in parallel installations, the water main shall be constructed of DIP and the sanitary sewer or force main shall be constructed of DIP, with a minimum vertical clearance of 6". The water main should be above the sewer. Joints on the water main shall be located as far apart as possible from the joints on the sewer or force main (staggered joints).
- All crossings shall be arranged so that the sewer pipe joints and the water main pipe joints are equidistant from the point of crossing (pipes centered on the crossing).
- Where a new pipe conflicts with an existing pipe with less than 18" vertical clearance, the new pipe shall be arranged to meet the crossing requirements above.

TESTING, DISINFECTION

- Pipe shall be tested under constant pressure of 150 P.S.I. for a minimum test period of 2 hours and shall not exceed the leakage requirements as per A.N.S.I./A.W.W.A. specifications of C-600-05 leakage formula:  $Q = (LD\sqrt{P}) / 148,000$   
Q = QUANTITY OF MAKEUP WATER, (IN GALLONS PER HOUR)  
L = LENGTH OF PIPE SECTION BEING TESTED, (IN FEET).  
D = NOMINAL DIAMETER OF THE PIPE, (IN INCHES).  
P = AVERAGE TEST PRESSURE DURING THE HYDROSTATIC TEST, (IN POUNDS PER SQUARE INCH GAUGE).

CONNECTION

- The City of Fort Lauderdale Public Services Department will take all bacteriological tests, to be scheduled via inspector. If otherwise specified in contract detailed specification and/or authorized by the engineer of record, bacteriological tests may be performed by a certified environmental testing laboratory.
- Disinfection of mains shall comply with A.N.S.I./A.W.W.A. C-651-05 standard. Bacteriological sampling points shall be designated on the engineering plans. Minimum one sampling point at each end. Maximum space between sampling points is 1200 feet.

SERVICE CONNECTIONS

- All connections to existing mains shall be made under the direction of the City of Fort Lauderdale.
- There shall be no connection to an existing water main until pressure and bacteriological tests have been conducted and the results are approved and accepted by the City of Fort Lauderdale.
- All meter service connections shall be bronze from plug valve. No gate valves are to be used (2" or less).
- Service saddles shall be ductile iron with stainless steel straps. Saddles shall be double strap type. All service saddles shall conform to A.N.S.I./A.W.W.A. C 111/A-21.11-00 and A.S.T.M. A588.
- All service lines shall be copper tubing, type "K", or plasticized polyethylene 3408, A.S.T.M. D-2737, S.D.R. 9, 200 P.S.I.

GENERAL NOTE:

ALL EXISTING 2" WATER MAINS ARE TO BE CAPPED AND ABANDONED IN PLACE. NEW WATER SERVICE LINES SHALL BE INSTALLED TO SERVICE THE EXISTING PROPERTIES.

**KEITH**  
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PH: (954) 788-3400

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STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
NILES T. WARRICK, P.E.  
No. 94320  
02/05/2024

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**FSMY ARCHITECTS & PLANNERS**

PROJECT

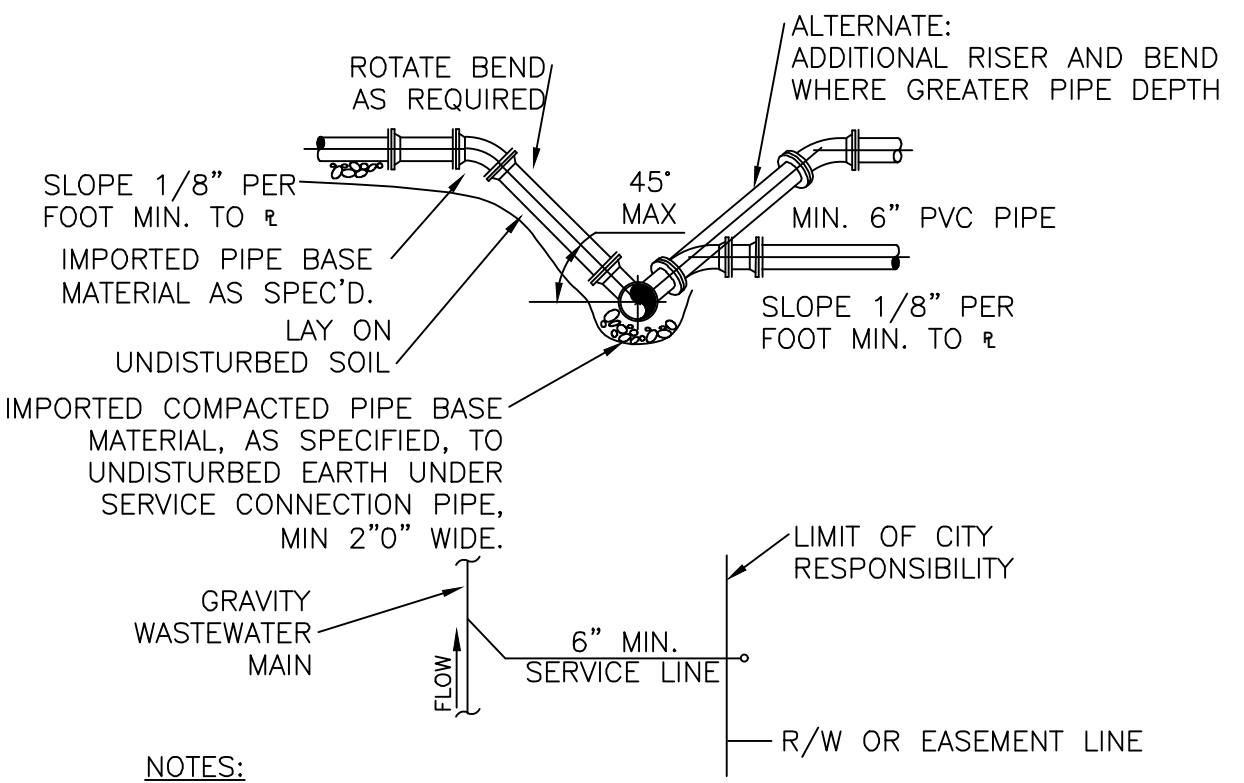
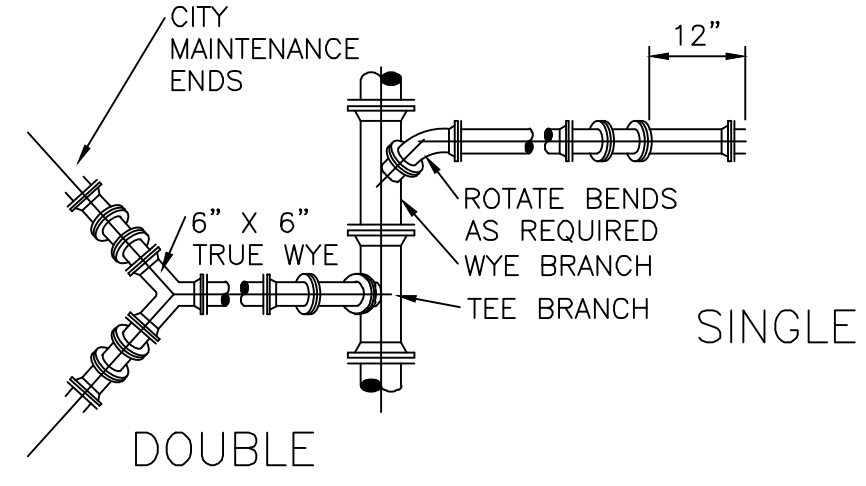
**700 NW 1ST AVE**

SHEET TITLE

**WATER AND SEWER STANDARD DETAILS**

SHEET NUMBER	CU-501
PROJECT NUMBER	13336.00

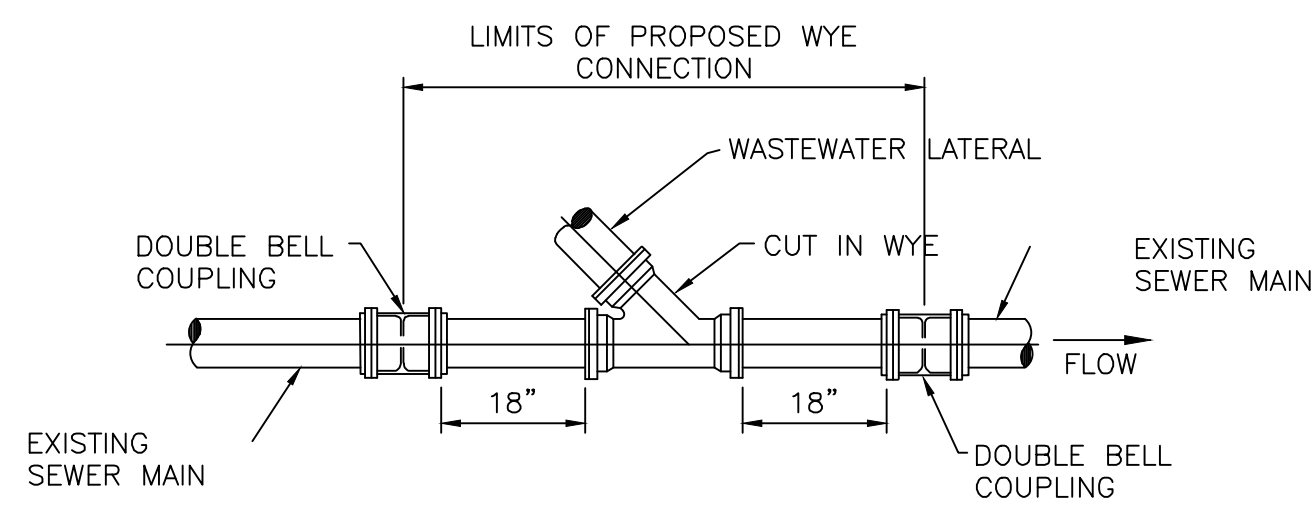
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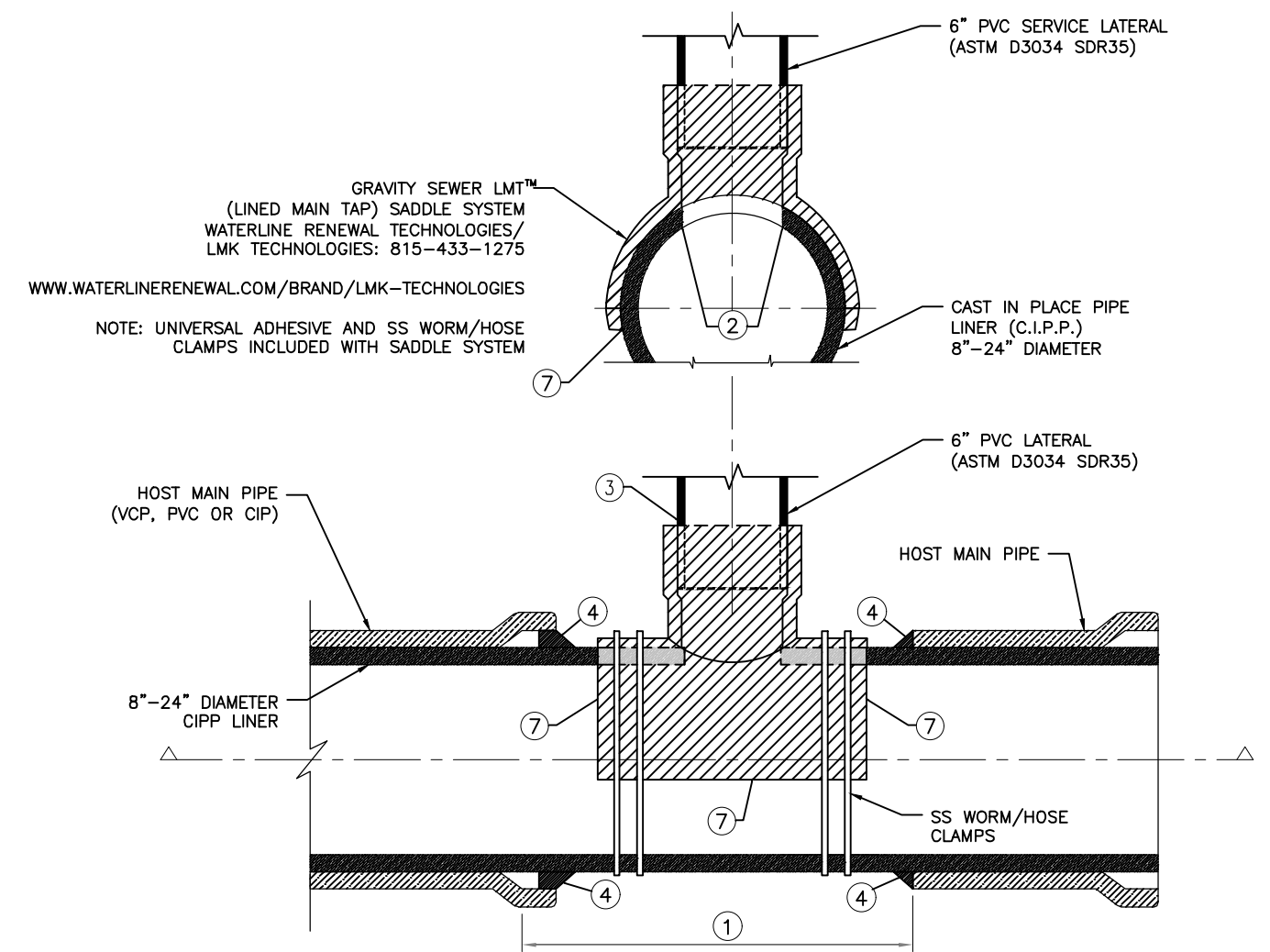
- NOTES:**
1. WASTEWATER MAIN WYE BRANCH TO MATCH MAIN PIPE MATERIAL.
  2. NO 90° BENDS SHALL BE USED FOR WASTEWATER SERVICE AND CLEANOUT INSTALLATIONS.
  3. SERVICE LATERALS SHALL TERMINATE AT 12" INSIDE THE PROPERTY LINE AT A DEPTH OF 3 FEET EXCEPT WHERE A DEEPER INVERT IS REQUIRED BY EXISTING BUILDING CONDITIONS.

208 TYPICAL WASTEWATER SERVICE CONNECTION N.T.S.

C



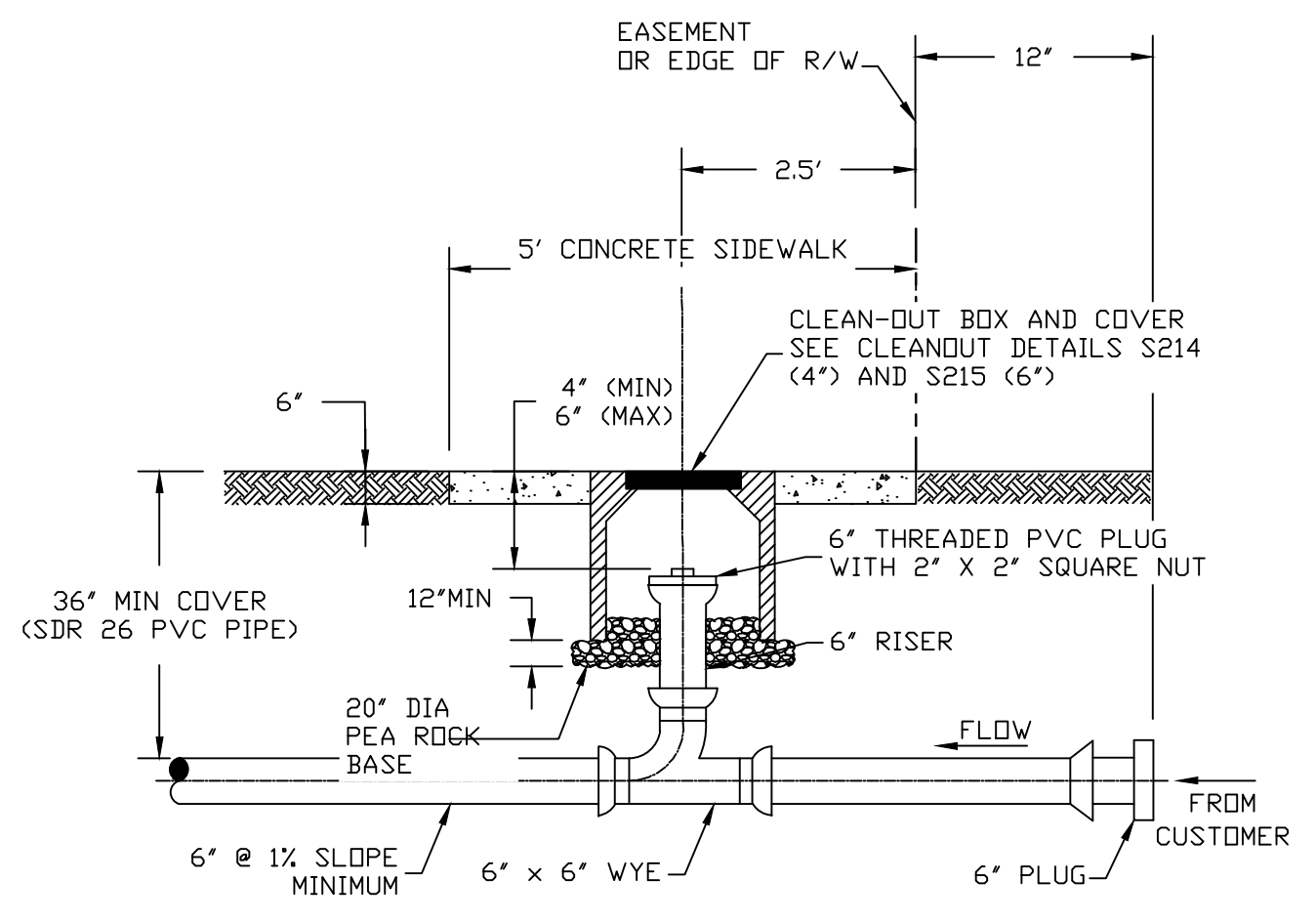
210 NEW LATERAL ON EXISTING GRAVITY WASTEWATER MAIN N.T.S.



- LEGEND**
- 1 CUT & REMOVE SECTION OF HOST PIPE WHERE SERVICE CONNECTION IS TO BE MADE WITHOUT DAMAGING CIPP LINER.
  - 2 CUT HOLE FOR LATERAL WITH DIAMETER EQUAL TO INSIDE DIAMETER OF THE PVC LATERAL IN MAIN SEWER LINER WITH POWER TOOL.
  - 3 CONNECT 6" PVC SEWER LATERAL BY LMT (LINED MAIN TAP) SADDLE SYSTEM.
  - 4 SEAL THE PIPE CUTS WITH HYDRAULIC CEMENT.
  - 5 IF NEW LATERAL SERVICE CONNECTION IS BEING CONSTRUCTED SEE TYPICAL WASTEWATER SERVICE CONNECTION DETAIL 208.
  - 6 IF A NEW CLEAN-OUT COVER ASSEMBLY MUST BE INSTALLED SEE STANDARD DETAILS 213, 213A, 214, 215 AND 216 FOR REFERENCE.
  - 7 UNIVERSAL ADHESIVE TO BE ON THE INSIDE OF SADDLE TO FORM WATER TIGHT SEAL BETWEEN LINER AND HOST PIPE. SEE MANUFACTURE'S SPECIFICATIONS FOR MORE APPLICATION INSTRUCTIONS.

218 SADDLE TEE FASTENED TO LINED GRAVITY MAIN N.T.S.

B

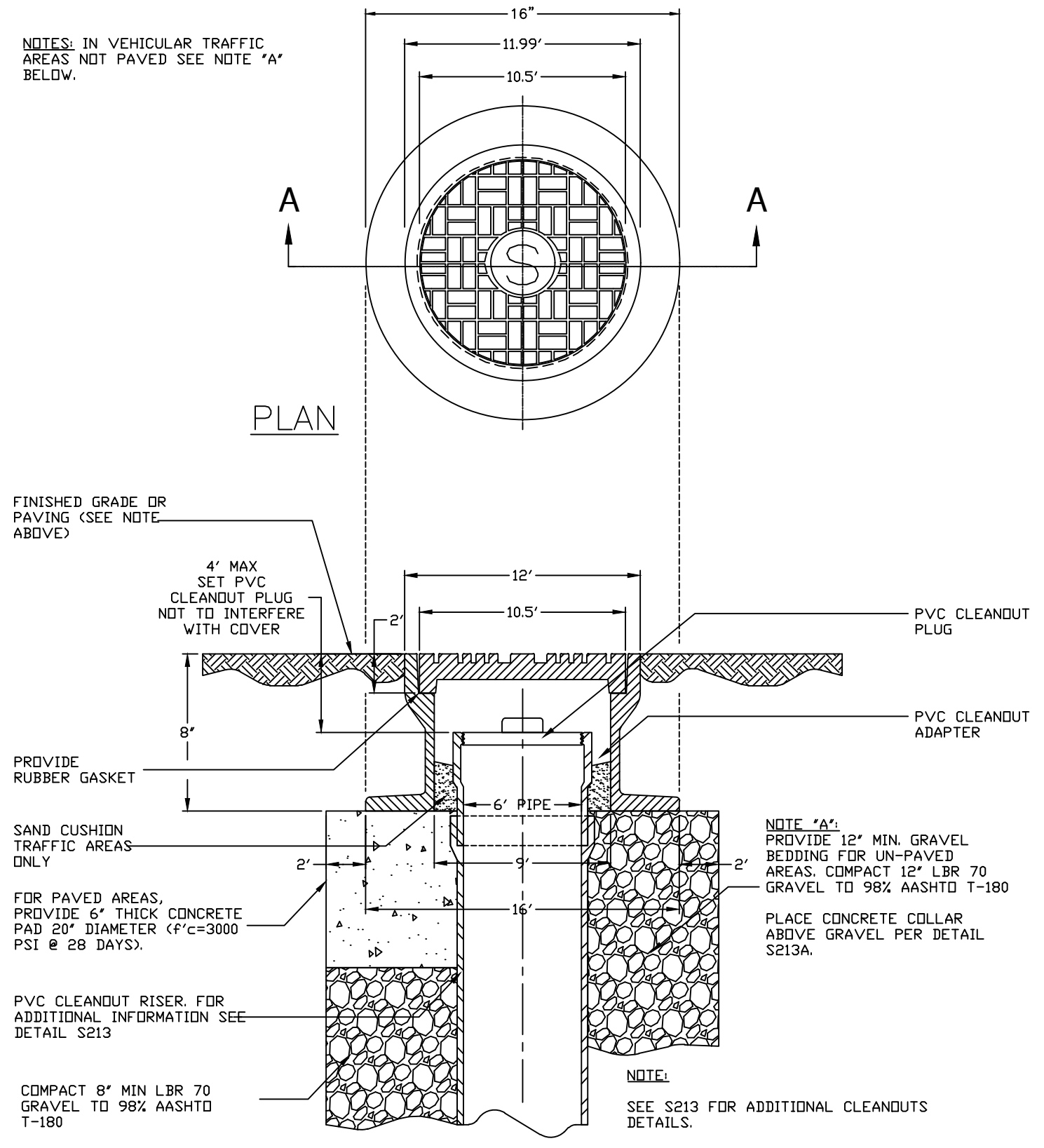


1. THE CLEAN OUT SHALL BE INSTALLED IN THE MIDDLE OF THE SIDEWALK. THIS DIMENSION WILL VARY DEPENDING UPON THE WIDTH OF THE SIDEWALK. 2.5' APPLIES TO 5' SIDEWALK WIDTH. IF SIDEWALKS DO NOT EXIST, THE CLEAN OUT SHALL BE INSTALLED 2.5' FROM THE RIGHT OF WAY LINE.
2. A NEW SECTION OF SIDEWALK SHALL BE POURED AROUND THE CLEAN-OUT BOX WHEN WORKING IN AN AREA WITH EXISTING SIDEWALKS.
3. IN UNPAVED AREAS 24 INCH-SQUARE OR 24 INCH DIAMETER CONCRETE COLLAR (3,000 PSI AT 28 DAYS), FORMED UP AROUND THE CLEAN-OUT BOX HAVING A DEPTH OF 6 INCHES. THE COMPLETED CONCRETE COLLAR SHALL BE BROOM FINISHED AND LEVEL WITH THE CLEAN-OUT BOX COVER AND FINISHED GRADE. ELEVATION OF SURROUNDING GRASS, MULCH, GRAVEL, OR OTHER SLOPE COLLAR FROM CENTER TO EDGE 1/4 INCH PER DETAIL S213A.

213A CONCRETE COLLAR FOR CLEANOUTS N.T.S.

213 SANITARY SERVICE CONNECTION AT PROPERTY LINE OR EASEMENT LINE (PROFILE) N.T.S.

A



215 CLEAN-OUT COVER ASSEMBLY FOR 6-INCH CLEANOUTS N.T.S.

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN  
NOT FOR CONSTRUCTION**  
THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS.  
RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 01/26/24  
DESIGNED BY: NW  
DRAWN BY: DI  
CHECKED BY: NW  
BID-CONTRACT:

This item has been digitally signed and sealed by  
**NILES T. WARRICK, P.E.**  
No. 94320  
02/05/2024  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

**NILES T. WARRICK, P.E.**  
FLORIDA REG. NO. 94320  
(FOR THE FIRM)

CLIENT  
**FSMY ARCHITECTS & PLANNERS**

PROJECT  
**700 NW 1ST AVE**

SHEET TITLE  
**WATER AND SEWER STANDARD DETAILS**

SHEET NUMBER **CU-502**  
PROJECT NUMBER **13336.00**

Plotted by: dillingworth On 2/6/2024 2:01 PM

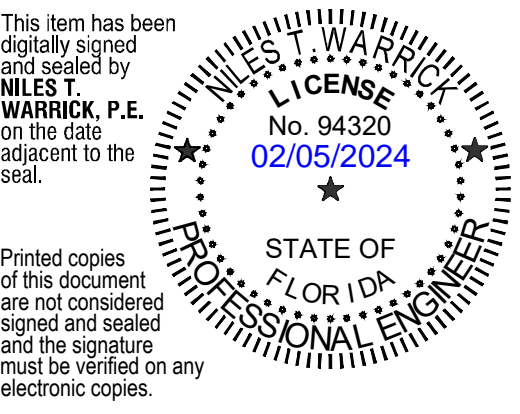
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STATUS: DRC SUBMITTAL

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN  
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ISSUE DATE: 01/26/24  
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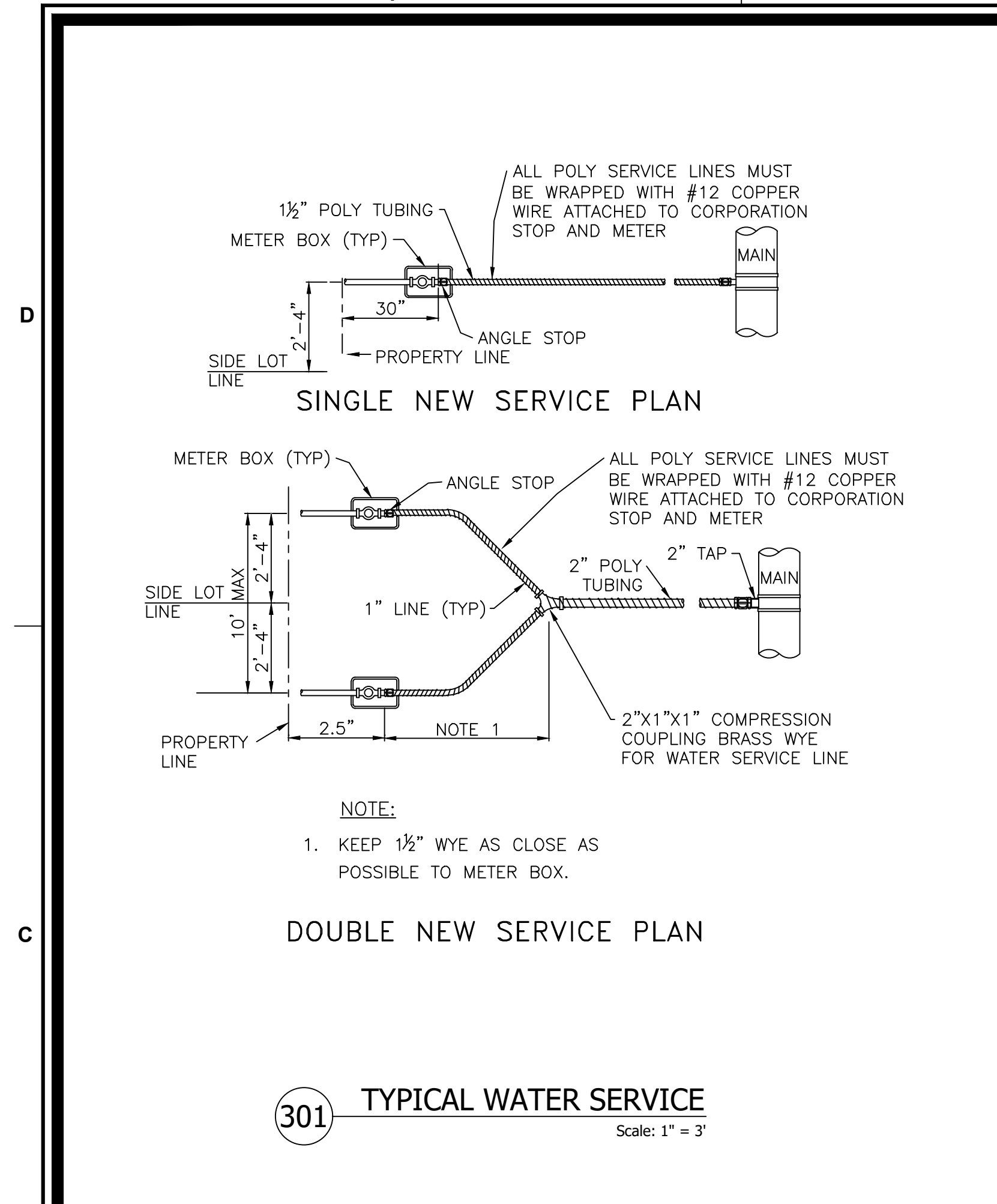
NILES T. WARRICK, P.E.  
 FLORIDA REG. NO. 94320  
 (FOR THE FIRM)

CLIENT  
**FSMY ARCHITECTS & PLANNERS**

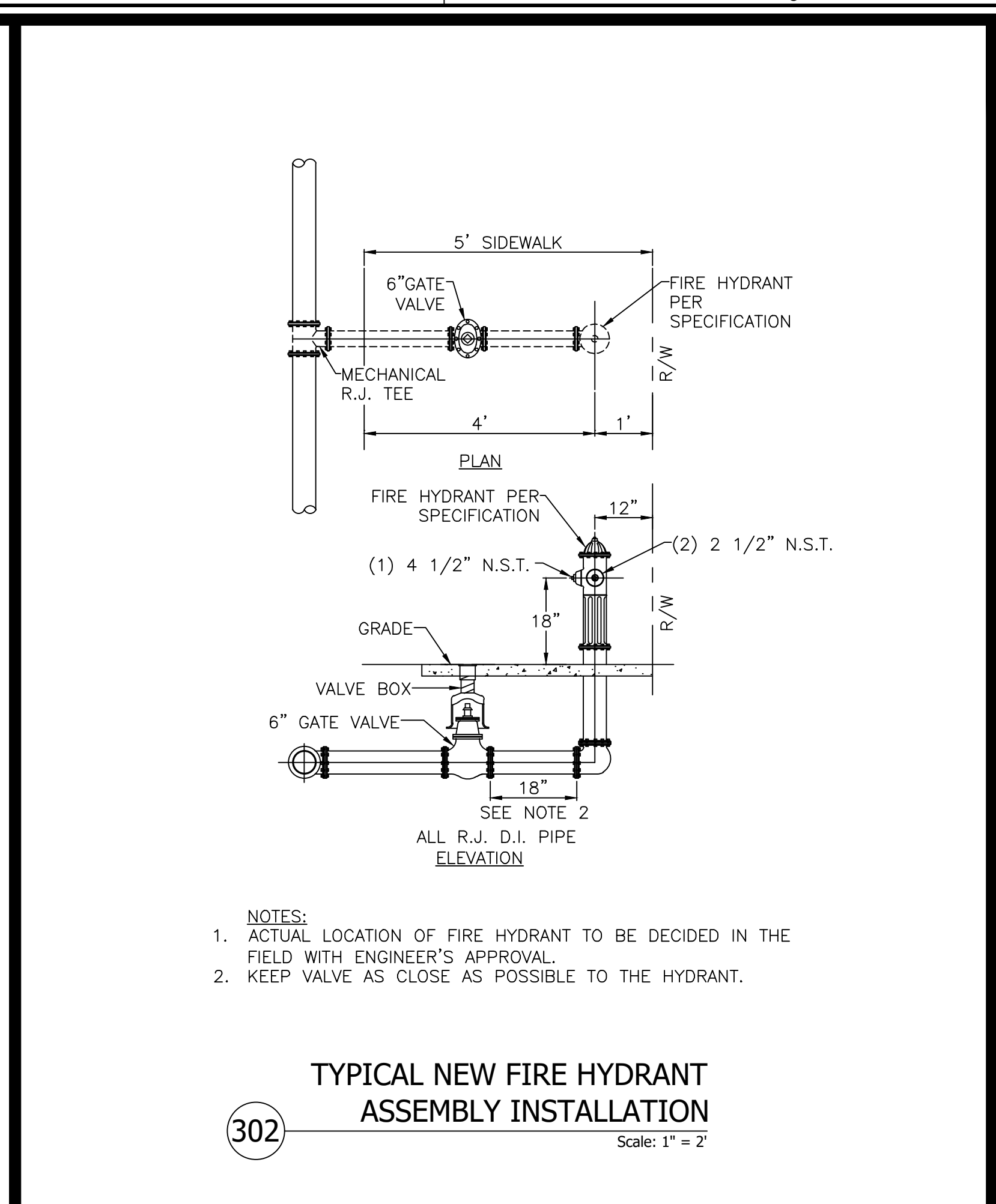
PROJECT  
**700 NW 1ST AVE**

SHEET TITLE  
**WATER AND SEWER STANDARD DETAILS**

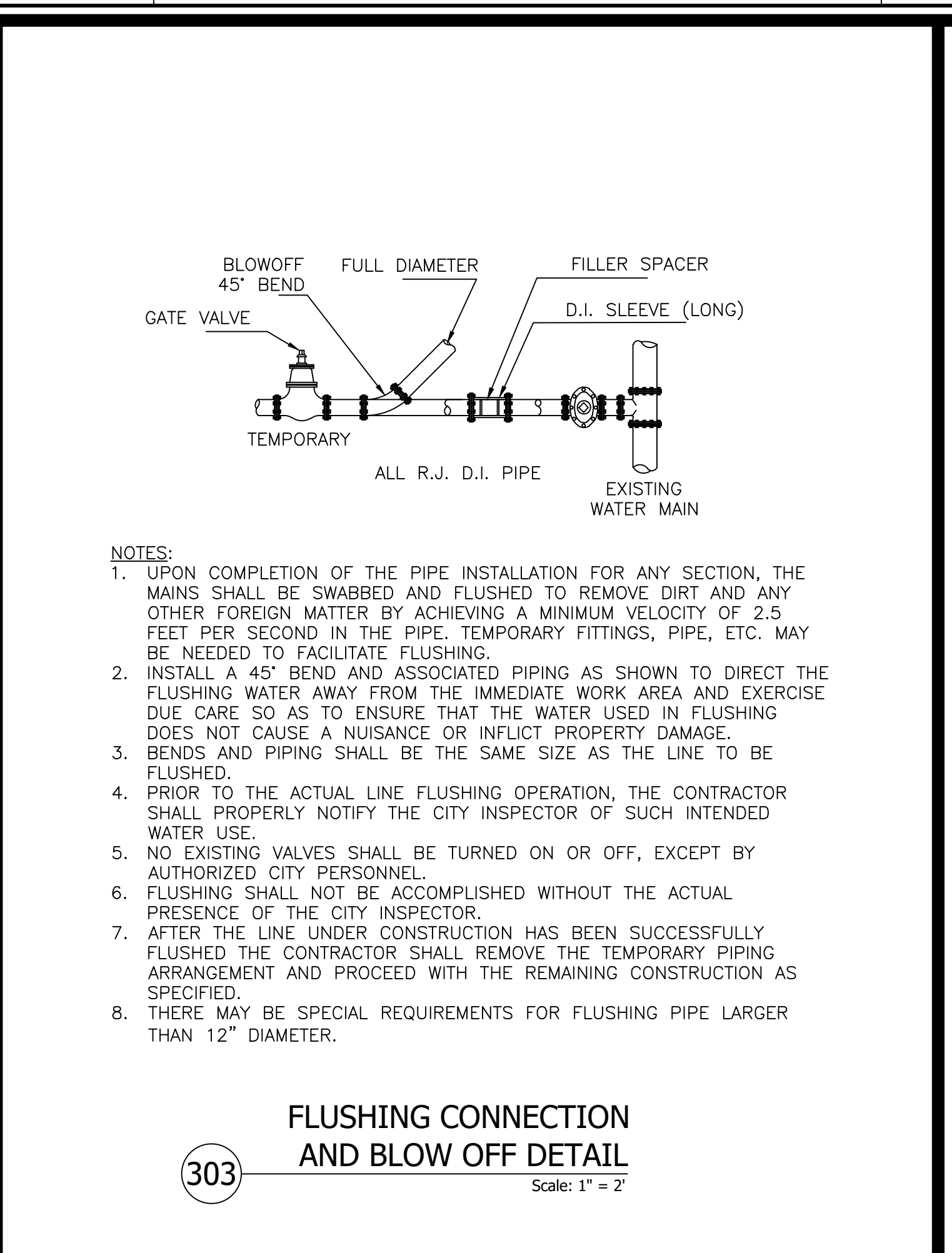
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 PROJECT NUMBER **13336.00**



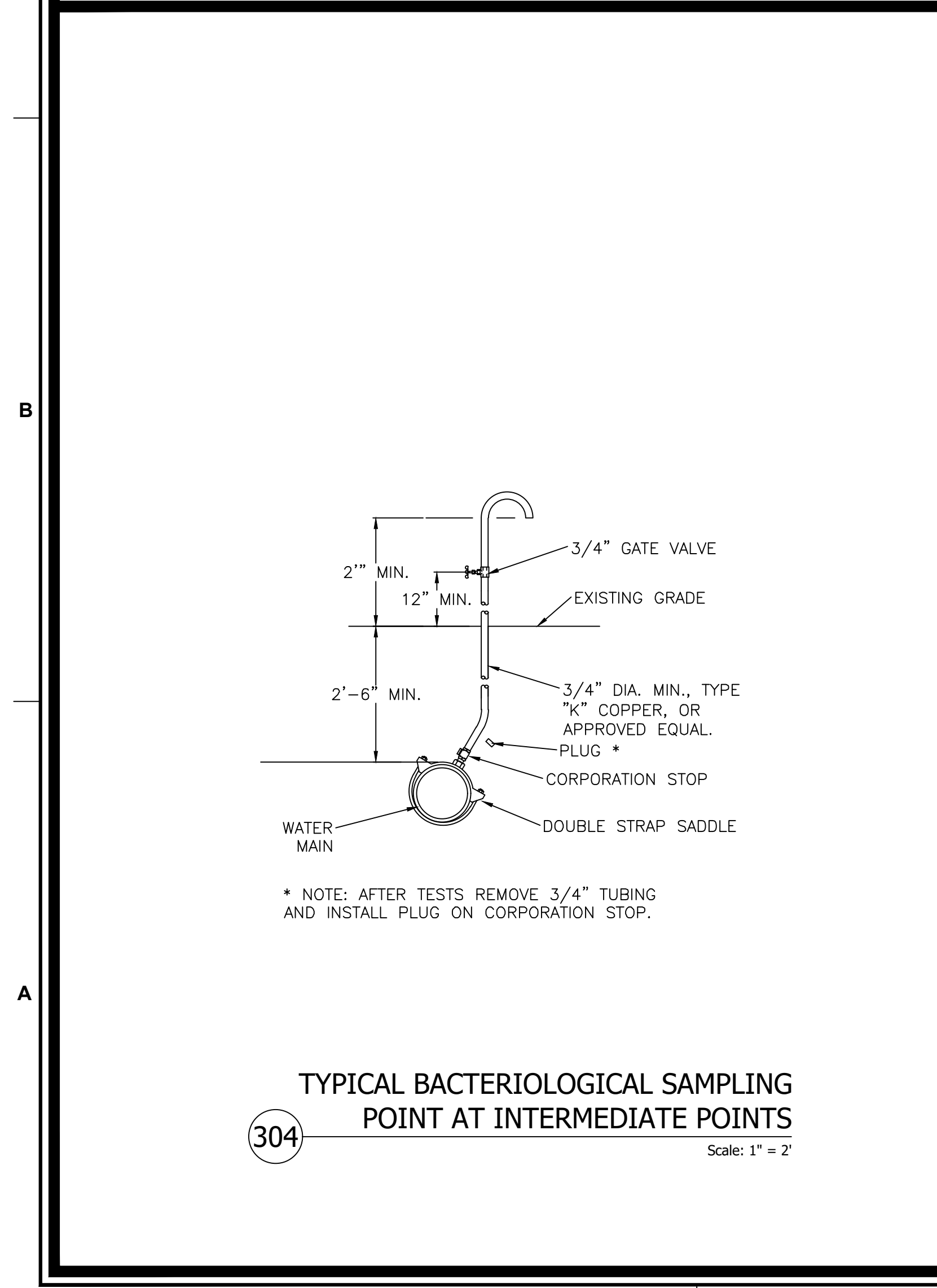
**301 TYPICAL WATER SERVICE**  
 Scale: 1" = 3'



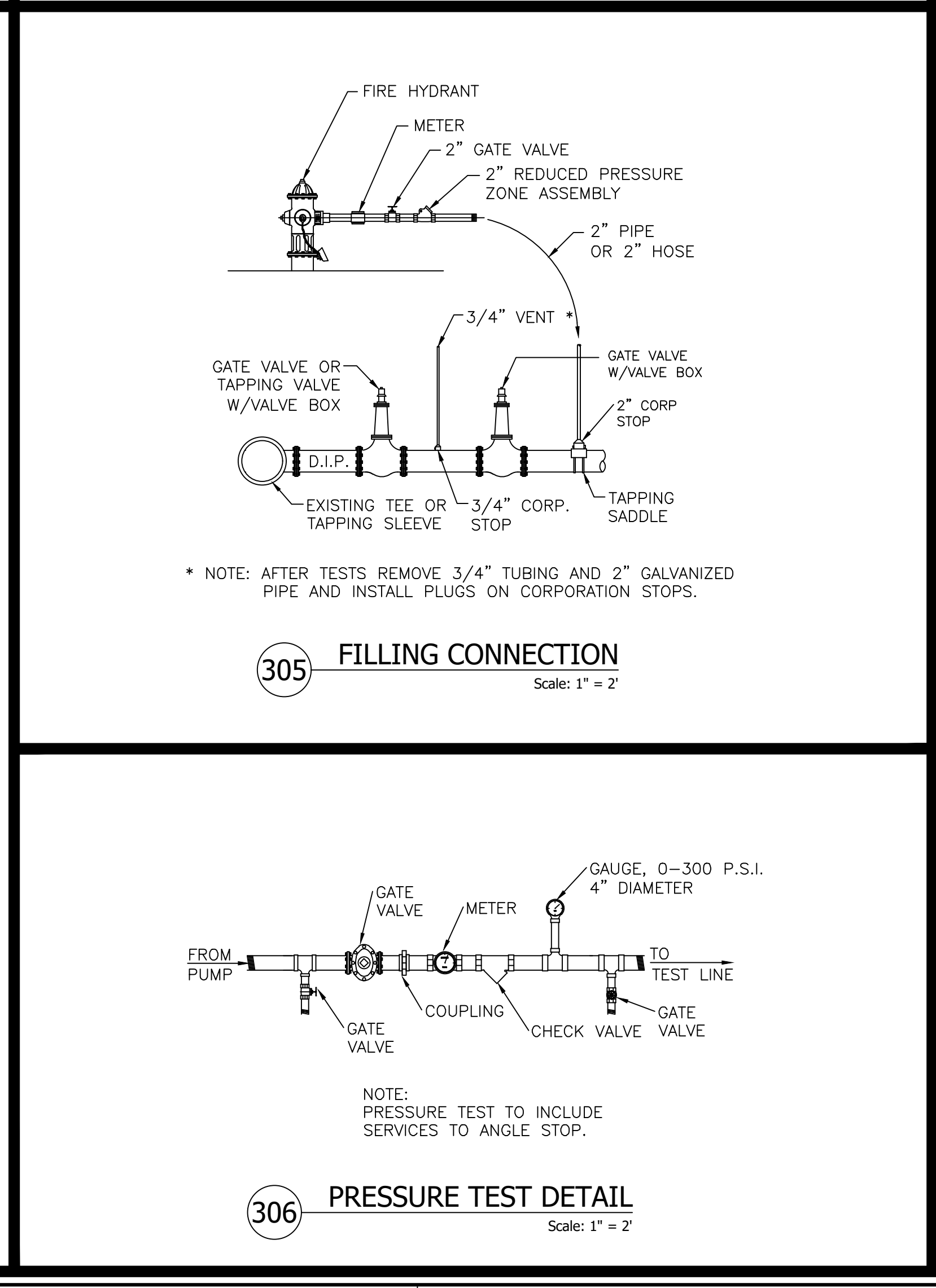
**302 TYPICAL NEW FIRE HYDRANT ASSEMBLY INSTALLATION**  
 Scale: 1" = 2'



**303 FLUSHING CONNECTION AND BLOW OFF DETAIL**  
 Scale: 1" = 2'

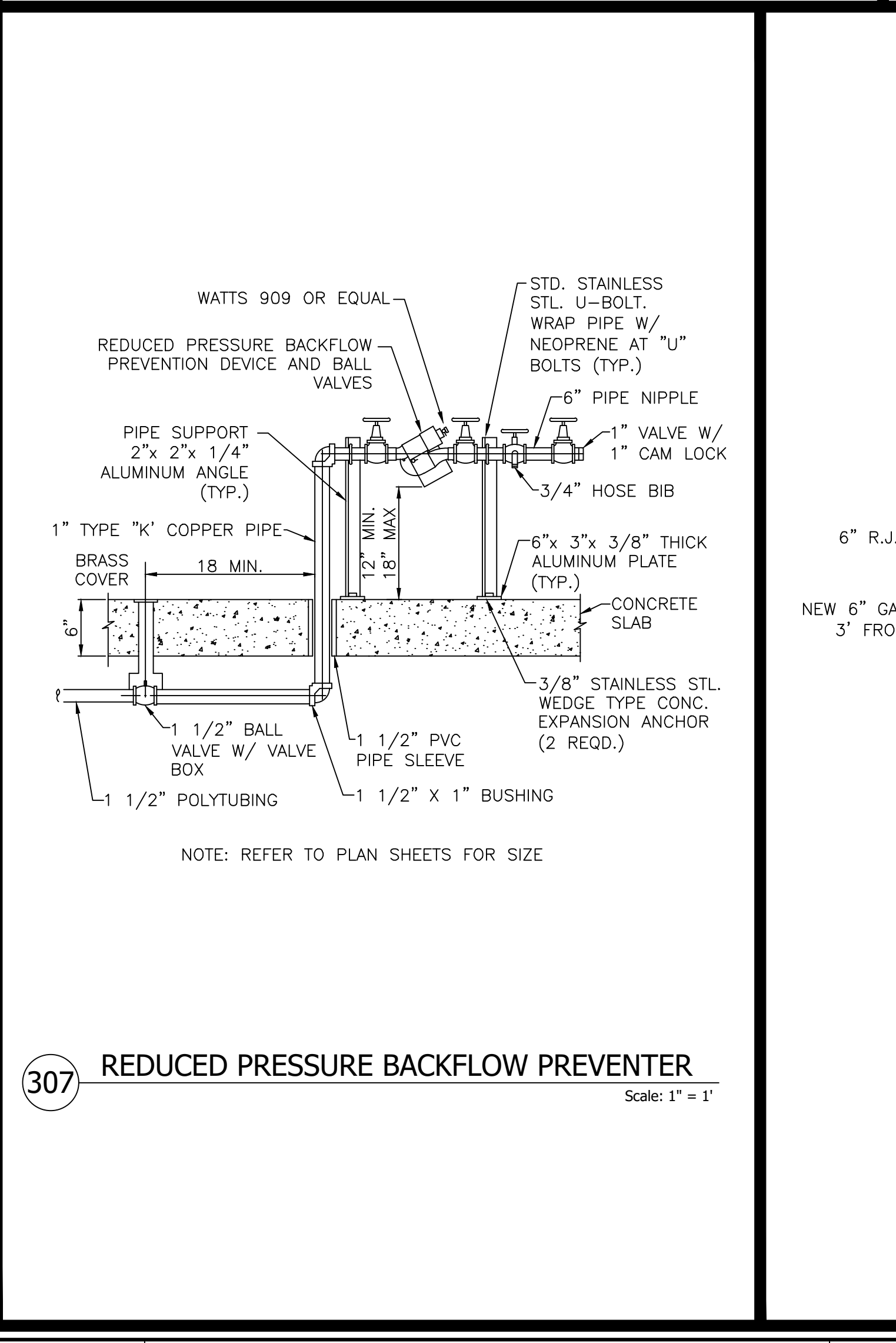


**304 TYPICAL BACTERIOLOGICAL SAMPLING POINT AT INTERMEDIATE POINTS**  
 Scale: 1" = 2'

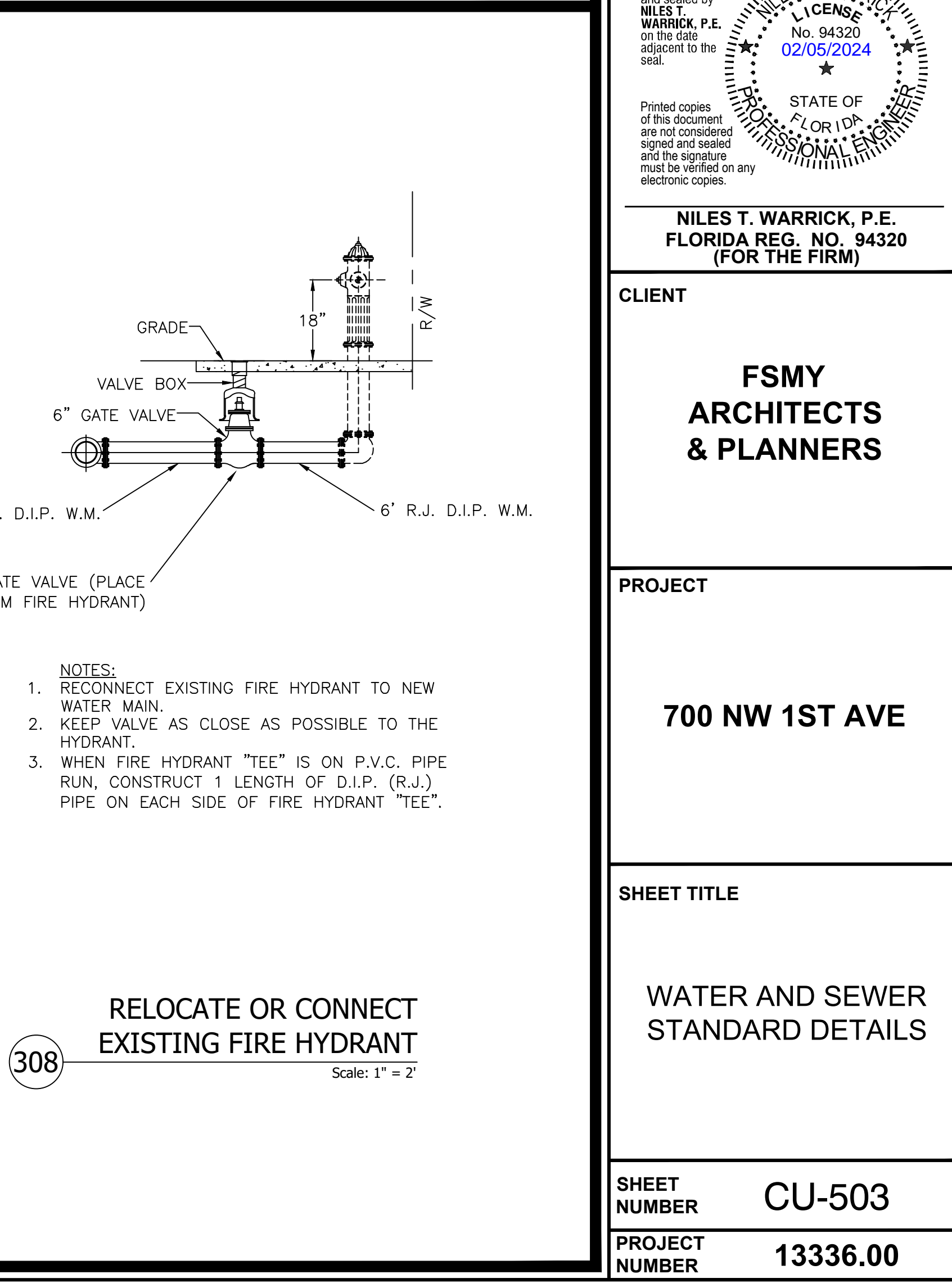


**305 FILLING CONNECTION**  
 Scale: 1" = 2'

**306 PRESSURE TEST DETAIL**  
 Scale: 1" = 2'



**307 REDUCED PRESSURE BACKFLOW PREVENTER**  
 Scale: 1" = 1'



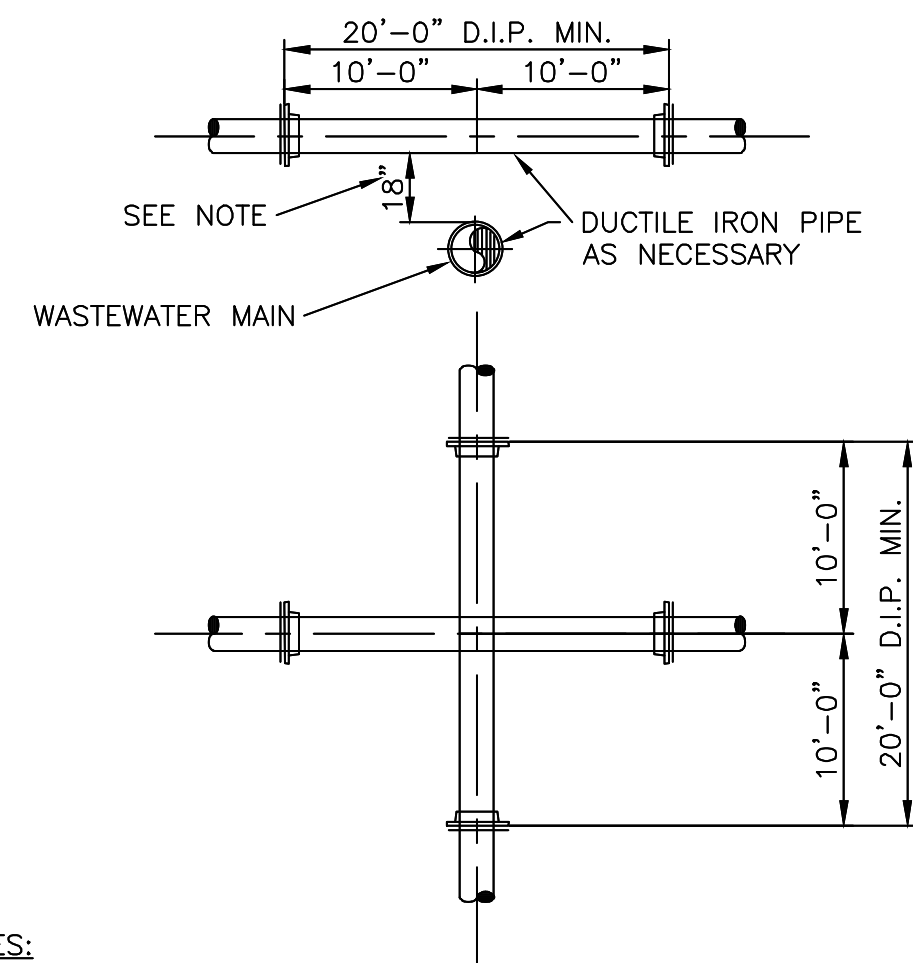
**308 RELOCATE OR CONNECT EXISTING FIRE HYDRANT**  
 Scale: 1" = 2'

NOTES:

1. STORM SEWER, GRAVITY WASTEWATER AND RECLAIMED WATER MAIN CROSSING UNDER POTABLE WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF EIGHTEEN (18) INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE STORM/WASTEWATER/RECLAIMED WATER PIPE JOINTS AND POTABLE WATER MAIN JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN TEN (10) FEET BETWEEN ANY TWO JOINTS, BOTH PIPES SHALL BE D.I.P., AND THE MINIMUM VERTICAL SEPARATION SHALL BE 6 INCHES. WHERE THERE IS NO ALTERNATIVE TO STORM/WASTEWATER/RECLAIMED WATER PIPES CROSSING OVER A POTABLE WATER MAIN, THE CRITERIA FOR MINIMUM 18" VERTICAL SEPARATION BETWEEN LINES AND JOINT ARRANGEMENT, AS STATED ABOVE, SHALL BE REQUIRED, AND BOTH PIPES SHALL BE D.I.P. IRRESPECTIVE OF SEPARATION. D.I.P. IS NOT REQUIRED FOR STORM SEWERS.
2. MAINTAIN MIN. TEN (10) FEET HORIZONTAL DISTANCE BETWEEN POTABLE WATER MAIN AND STORM SEWER, WASTEWATER MAIN, OR FORCE MAIN. MAINTAIN MIN. THREE (3) FEET HORIZONTAL DISTANCE (WALL TO WALL) BETWEEN RECLAIMED WATER MAIN AND POTABLE WATER MAIN, STORM SEWER, WASTEWATER GRAVITY MAIN OR FORCE MAIN. VERTICAL DISTANCE OF EIGHTEEN (18) INCHES BETWEEN THE OUTSIDE OF THE FORCE MAIN AND OUTSIDE OF THE POTABLE WATER MAIN OR RECLAIMED WATER MAIN WITH THE POTABLE WATER MAIN OR RECLAIMED WATER MAIN CROSSING OVER THE FORCE MAIN.
3. FORCE MAIN CROSSING POTABLE WATER MAIN OR RECLAIMED WATER MAIN SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF EIGHTEEN (18) INCHES BETWEEN THE OUTSIDE OF THE FORCE MAIN AND OUTSIDE OF THE POTABLE WATER MAIN OR RECLAIMED WATER MAIN WITH POTABLE WATER MAIN OR RECLAIMED WATER MAIN CROSSING OVER THE FORCE MAIN.
4. FITTINGS SHALL BE RESTRAINED.
5. THE DEFLECTION TYPE CROSSING IS PREFERRED.
6. DO NOT EXCEED 75% OF MANUFACTURER'S RECOMMENDED MAXIMUM JOINT DEFLECTION FOR DUCTILE IRON PIPE. NO DEFLECTION AT THE JOINT IS ALLOWED FOR P.V.C. PIPE. BENDING OF P.V.C. PIPE SHALL NOT EXCEED THE FOLLOWING PARAMETERS:

PVC PIPE SIZE (INCH)	MIN. ALLOWED RADIUS (FT.)	MAX. DEFLECTION (INCH) PER 20' LENGTH
6"	300	8"
8"	400	6"
10"	600	4"
12"	600	4"

**401** PRESSURE PIPE CONFLICT NOTES  
Scale: N/A



NOTES:

1. STORM SEWER, GRAVITY WASTEWATER AND RECLAIMED WATER MAIN CROSSING UNDER POTABLE WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF EIGHTEEN (18) INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE STORM/WASTEWATER/RECLAIMED WATER PIPE JOINTS AND POTABLE WATER MAIN JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN TEN (10) FEET BETWEEN ANY TWO JOINTS, BOTH PIPES SHALL BE D.I.P., AND THE MINIMUM VERTICAL SEPARATION SHALL BE 6 INCHES. WHERE THERE IS NO ALTERNATIVE TO STORM/WASTEWATER/RECLAIMED WATER PIPES CROSSING OVER A POTABLE WATER MAIN, THE CRITERIA FOR MINIMUM 18" VERTICAL SEPARATION BETWEEN LINES AND JOINT ARRANGEMENT, AS STATED ABOVE, SHALL BE REQUIRED, AND BOTH PIPES SHALL BE D.I.P. IRRESPECTIVE OF SEPARATION. D.I.P. IS NOT REQUIRED FOR STORM SEWERS.
2. MAINTAIN MIN. TEN (10) FEET HORIZONTAL DISTANCE BETWEEN POTABLE WATER MAIN AND STORM SEWER, WASTEWATER MAIN, OR FORCE MAIN. MAINTAIN MIN. THREE (3) FEET HORIZONTAL DISTANCE (WALL TO WALL) BETWEEN RECLAIMED WATER MAIN AND POTABLE WATER MAIN, STORM SEWER, WASTEWATER GRAVITY MAIN OR FORCE MAIN.
3. FORCE MAIN CROSSING POTABLE WATER MAIN OR RECLAIMED WATER MAIN SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF EIGHTEEN (18) INCHES BETWEEN THE OUTSIDE OF THE FORCE MAIN AND OUTSIDE OF THE POTABLE WATER MAIN OR RECLAIMED WATER MAIN WITH THE POTABLE WATER MAIN OR RECLAIMED WATER MAIN CROSSING OVER THE FORCE MAIN.

**402** STANDARD WATER AND SEWER SEPARATION DETAIL  
Scale: 1" = 10'

I. FORCE MAIN AND WATER MAIN OUTSIDE OF WELLFIELD PROTECTION ZONE

MAXIMUM QUANTITY OF WATER (GALLONS PER HOUR) THAT MAY BE SUPPLIED TO MAINTAIN PRESSURE WITHIN 5 P.S.I. OF THE SPECIFIED TEST PRESSURE.

(MECHANICAL OR PUSH-ON JOINT, 18 FT. NOMINAL LENGTHS, PER 1000 FT. OF PIPE)

AVG. TEST PRESSURE (PSI)	2	3	4	6	8	10	12	14	16	18	20	24	30
	0.10	0.14	0.18	0.27	0.37	0.46	0.55	0.64	0.73	0.83	0.92	1.10	1.38

NOTES:

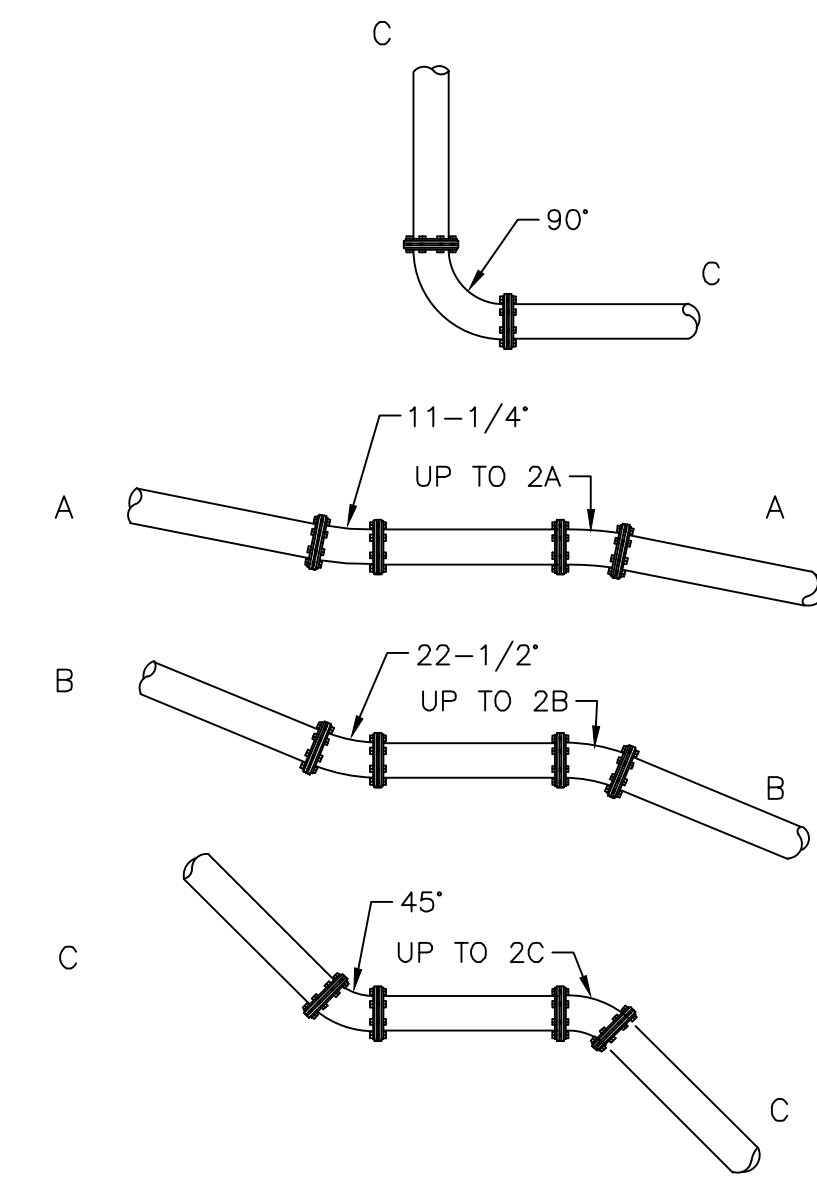
1. TO OBTAIN THE MAXIMUM QUANTITY OF WATER FOR PIPE WITH 20 FT. NOMINAL LENGTHS, MULTIPLY THE QUANTITY CALCULATED FROM THE TABLE BY 0.9.<<
2. THE MAXIMUM QUANTITY OF ADDED WATER FOR A PIPELINE IS CALCULATED BY MULTIPLYING THE QUANTITY PER HOUR AS OBTAINED FROM THE ABOVE TABLE, BY THE DURATION OF THE TEST IN HOURS, AND BY THE TOTAL LENGTH OF THE LINE BEING TESTED DIVIDED BY 1,000. IF THE LINE UNDER TEST CONTAINS SECTIONS OF VARIOUS DIAMETERS, THE MAXIMUM QUANTITY ADDED WILL BE THE SUM OF THE COMPUTED QUANTITIES FOR EACH SIZE.<<
3. MAXIMUM TEST LENGTH = 2,500 FEET PER SECTION.<<
4. THIS STANDARD SHALL REFLECT ANY REVISION OF A.W.W.A. C-600-05. HOWEVER, THE MAXIMUM QUANTITY OF WATER ADDED SHALL NOT EXCEED 50% OF RECOMMENDED LIMIT PER APPLICABLE AWWA C-600-05 STANDARD.<<
5. STANDARD TEST PRESSURE = 150 P.S.I.
6. FORMULA BASIS:  $L = \frac{(S)(D)(P)^2}{148,000}$   
L = MAXIMUM QUANTITY OF WATER TO BE ADDED (GALLONS PER HOUR)  
S = LENGTH OF PIPE TESTED (FEET)  
D = DIAMETER OF PIPE (INCHES)  
P = TEST PRESSURE (P.S.I.)
7. PRESSURE TEST DURATION TO BE MIN. 2 HOURS.
8. DISINFECTION OF MAINS SHALL COMPLY WITH A.N.S.I./A.W.W.A. C-651-05 STANDARD.
9. DUCTILE IRON WATER MAIN PIPE SHALL CONFORM TO THE REQUIREMENTS OF A.N.S.I./A.W.W.A. C-151-02.

II. FORCE MAIN AND WATER MAIN WITHIN WELLFIELD PROTECTION ZONE.

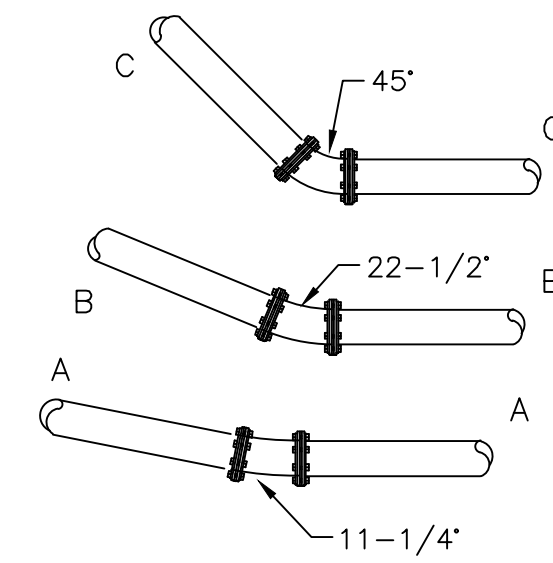
NOTES:

1. PRESSURE TEST PROCEDURE TO FOLLOW THE CURRENT AWWA C-600-05 STANDARD (150psi, (2) HOUR DURATION). THERE SHALL BE NO PRESSURE DROP IN THE PIPE DURING THE TEST ("ZERO" FILL-UP TOLERANCE).

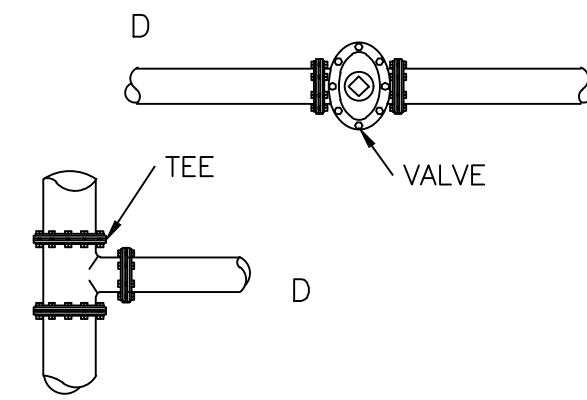
**403** PRESSURE TEST CRITERIA  
Scale: N/A



OFFSETS



DEFLECTIONS

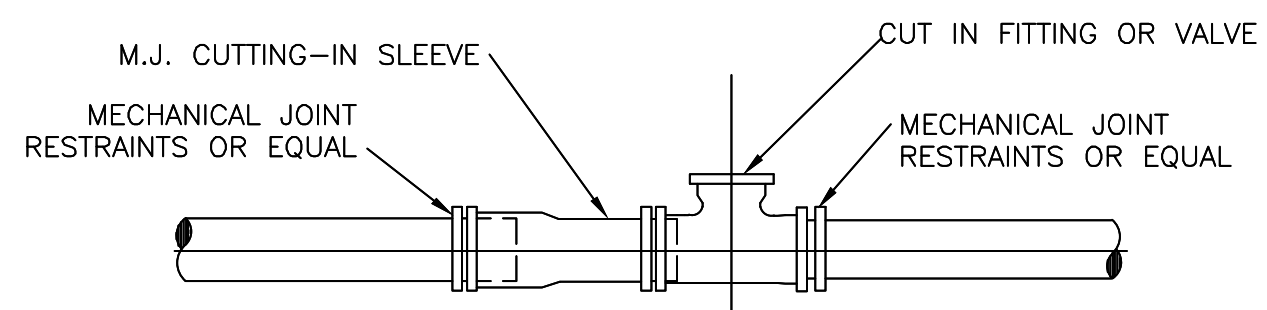


DEAD ENDS

SIZE	A & B	C	D
4"	18	18	54
6"	18	18	72
8"	18	36	90
10"	18	36	108
12"	18	36	126
14"	18	54	144
16"	18	54	162
18"	18	54	180
20"	18	72	198
24"	18	72	216

- NOTE:
1. FOR PIPE SIZE OVER 24" SEE SPECIFICATIONS
  2. RESTRAIN AS SHOWN ON DRAWINGS.

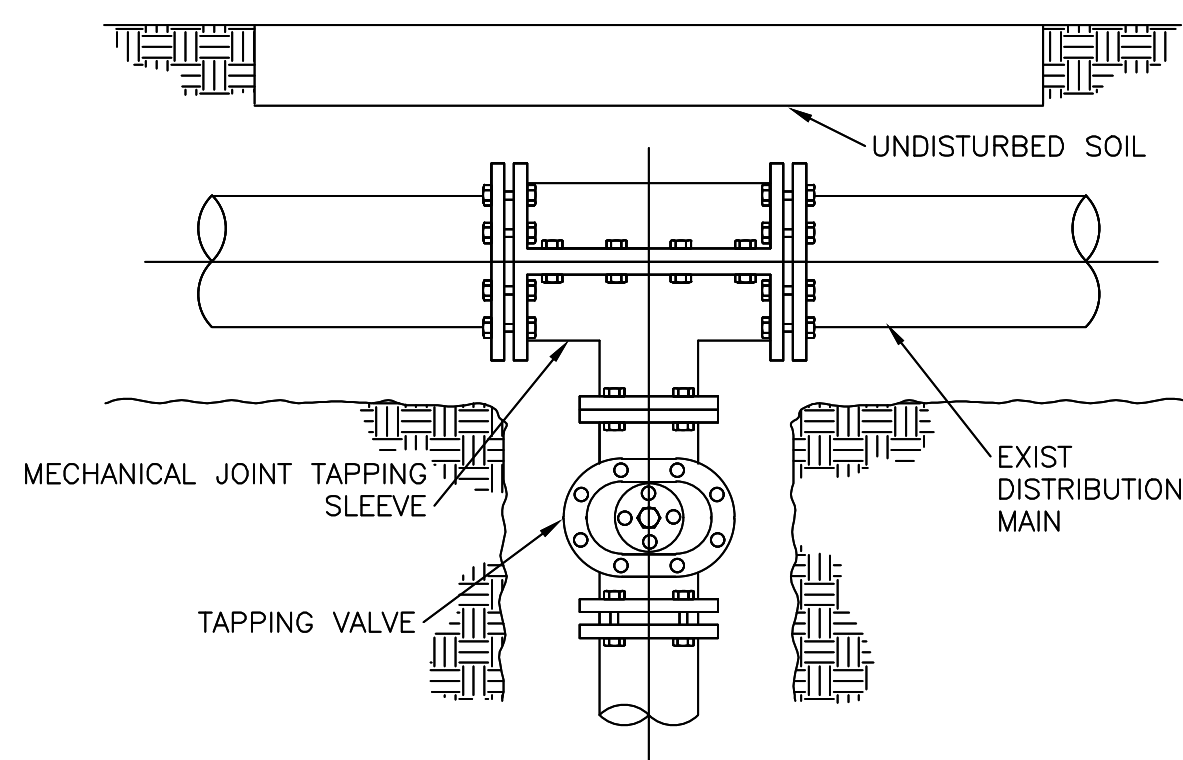
**409** MINIMUM RESTRAINED JOINT LENGTH FOR PRESSURE MAINS  
Scale: 1" = 10'



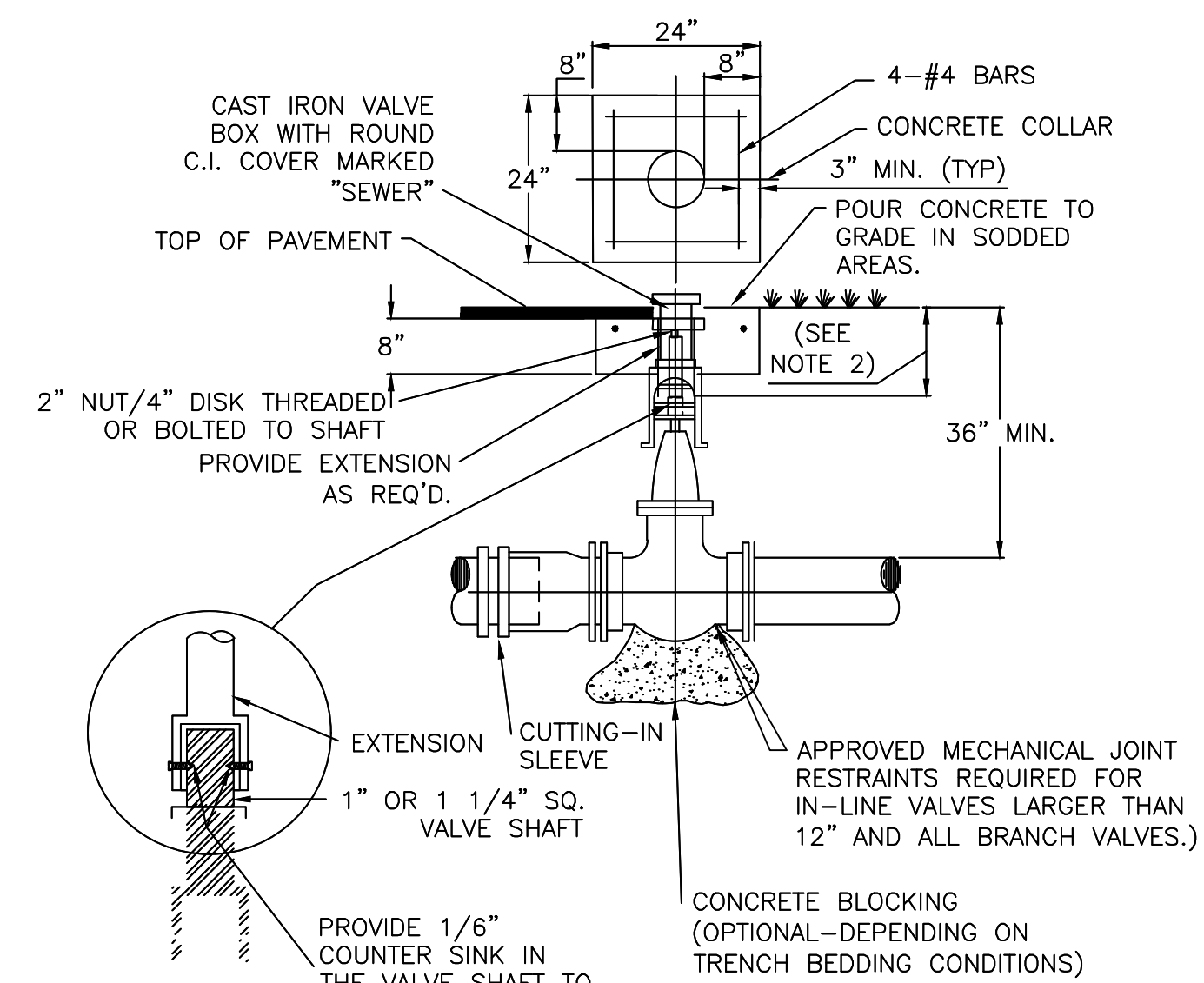
DUCTILE IRON-MECHANICAL JOINT (FORCE MAIN)

1. MECHANICAL JOINTS RESTRAINTS ARE REQUIRED THROUGHOUT ASSEMBLY.

**404** PRESSURE PIPE STANDARD CUT-IN DETAIL  
Scale: 1" = 10'



**405** PLAN TAPPING TEE ASSEMBLY DETAIL  
Scale: 1" = 10'



NOTES:

1. CONCRETE COLLAR IS NOT REQUIRED IN PAVED AREAS IF PAVEMENT SURFACE IS FINISHED PRIOR TO CONDITIONAL FINAL INSPECTION.
2. WHEN VALVE NUT IS DEEPER THAN 36" AN EXTENSION WITH UNIVERSAL JOINT SHALL BE REQUIRED TO BRING OPERATING NUT 24"-30" BELOW FINISHED GRADE. EXTENSION BOLTS & NUTS SHALL BE 316 STAINLESS STEEL. A 316 STAINLESS STEEL CENTERING PLATE SHALL ALSO BE REQUIRED. VALVE BOXES SHALL HAVE LOCKING COVERS MARKED "SEWER" OR "WATER".
3. EXTENSION RISER TO BE D.I.P.
4. AT DEAD END OR WHERE MAIN LINES CHANGE DIRECTION, VALVES SHALL BE RESTRAINED USING MECHANICAL JOINT RESTRAINT.

**406** TYPICAL VALVE DETAIL  
Scale: 1" = 2'

NO.	DESCRIPTION	DATE

PRELIMINARY PLAN  
NOT FOR CONSTRUCTION

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ISSUE DATE: 01/26/24

DESIGNED BY: NW

DRAWN BY: DI

CHECKED BY: NW

BID-CONTRACT:

This item has been digitally signed and sealed by NILES T. WARRICK, P.E. on the date adjacent to the seal.

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NILES T. WARRICK, P.E.  
FLORIDA REG. NO. 94320  
(FOR THE FIRM)

CLIENT

**FSMY ARCHITECTS & PLANNERS**

PROJECT

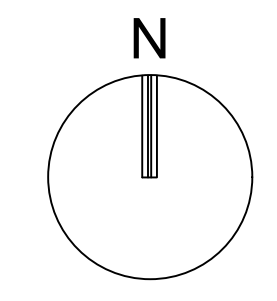
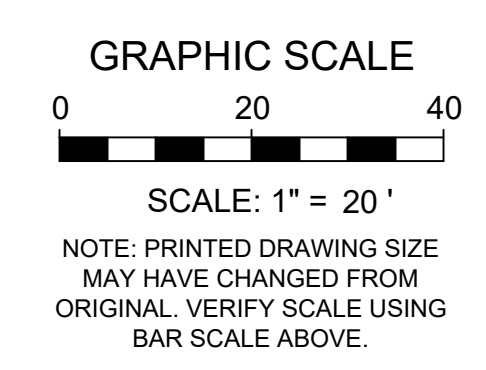
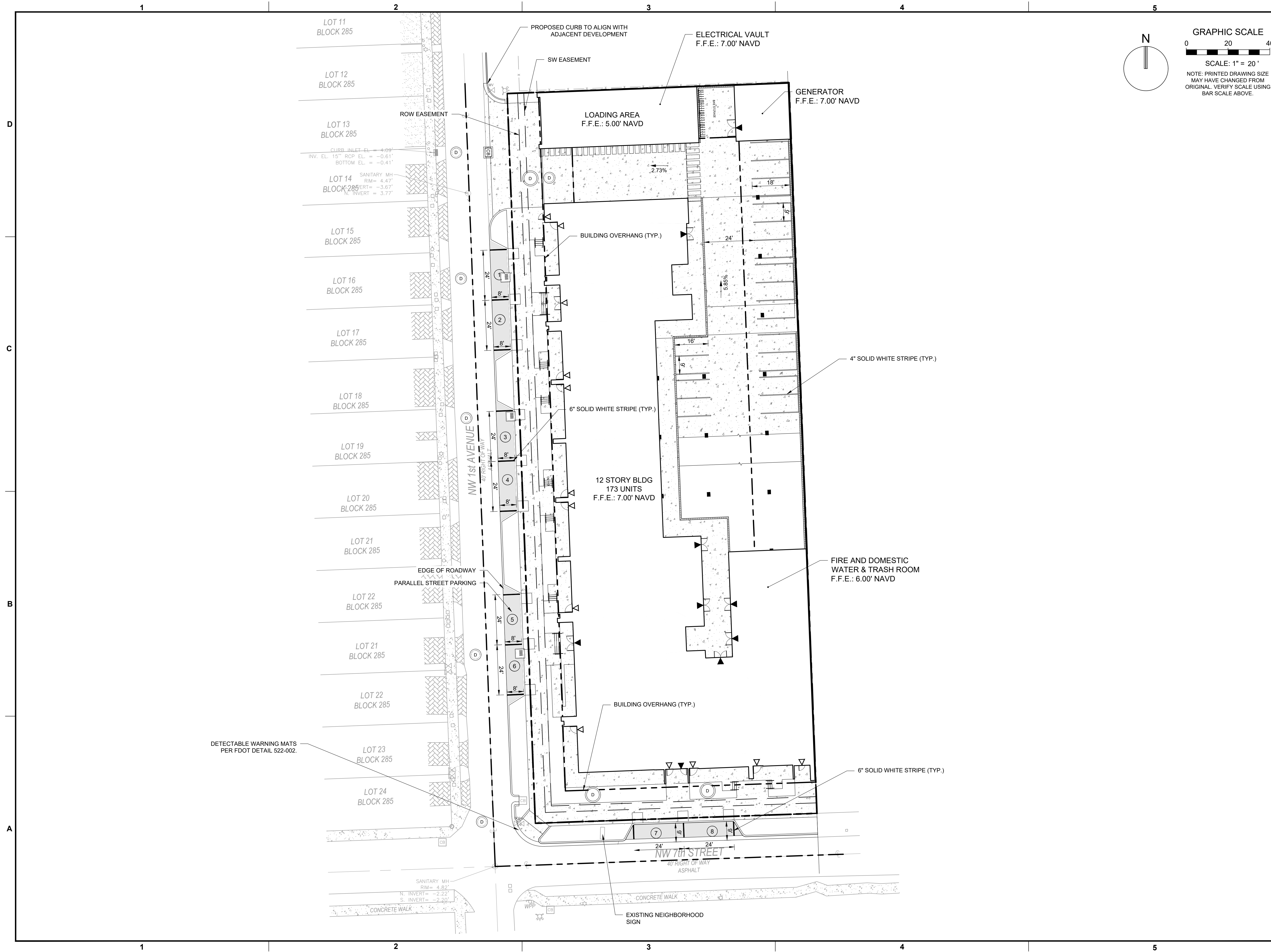
**700 NW 1ST AVE**

SHEET TITLE

WATER AND SEWER STANDARD DETAILS

SHEET NUMBER CU-504

PROJECT NUMBER 13336.00



**KEITH**  
 301 East Atlantic Blvd.  
 Pompano Beach, FL 33060  
 PH: (954) 788-3400

Florida Engineering Business License: CA7928  
 Florida Surveyor and Mapper Business License: LB6860  
 Florida Landscape Architecture Business License: LC26000457

REVISIONS		
NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN  
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**FSMY ARCHITECTS & PLANNERS**

PROJECT

**700 NW 1ST AVE**

SHEET TITLE

**PAVEMENT MARKING AND SIGNAGE PLAN**

SHEET NUMBER **CM-101**

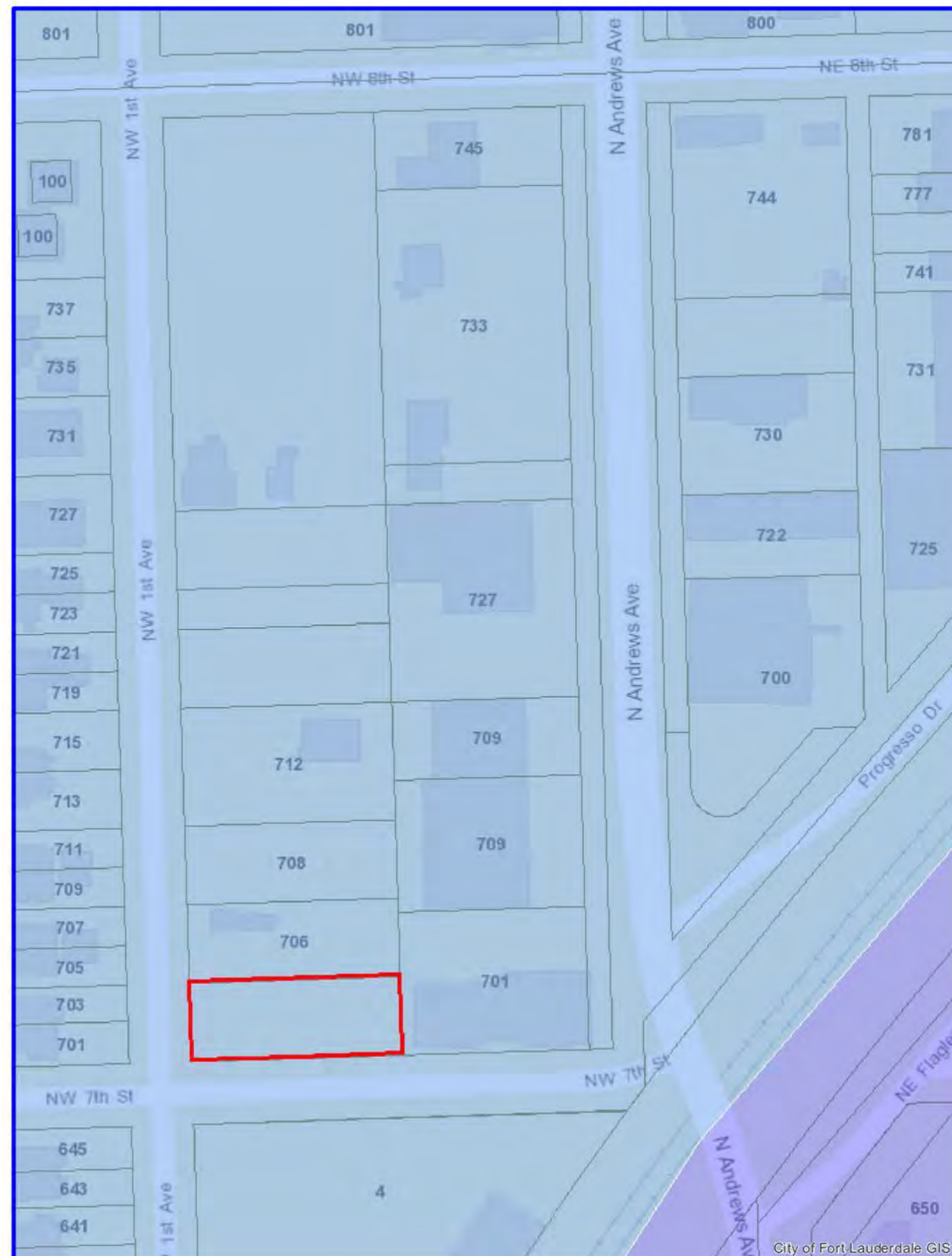
PROJECT NUMBER **13336.00**

Plotted by: dillingworth On 2/6/2024 2:01 PM

Drawing name: K13336.00 - NW 1st Avenue - FSMY/Engineering/Cad13336.00-CM-101.dwg

STATUS: DRC SUBMITTAL

DESIGNED	DRAWN	CHECKED
Designer	Author	Checker



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City of Fort Lauderdale GIS  
Map Created by Property Reporter GIS  
Printed on: 2/17/2023



Property Reporter Map  
City of Fort Lauderdale GIS  
Map Created by Property Reporter GIS  
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1 DRC Submittal 02/02/2024

REVISIONS

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04/06/2024	22033

700 NW 1ST AVE

888 S Andrews Ave Suite 300  
Fort Lauderdale, FL 33316

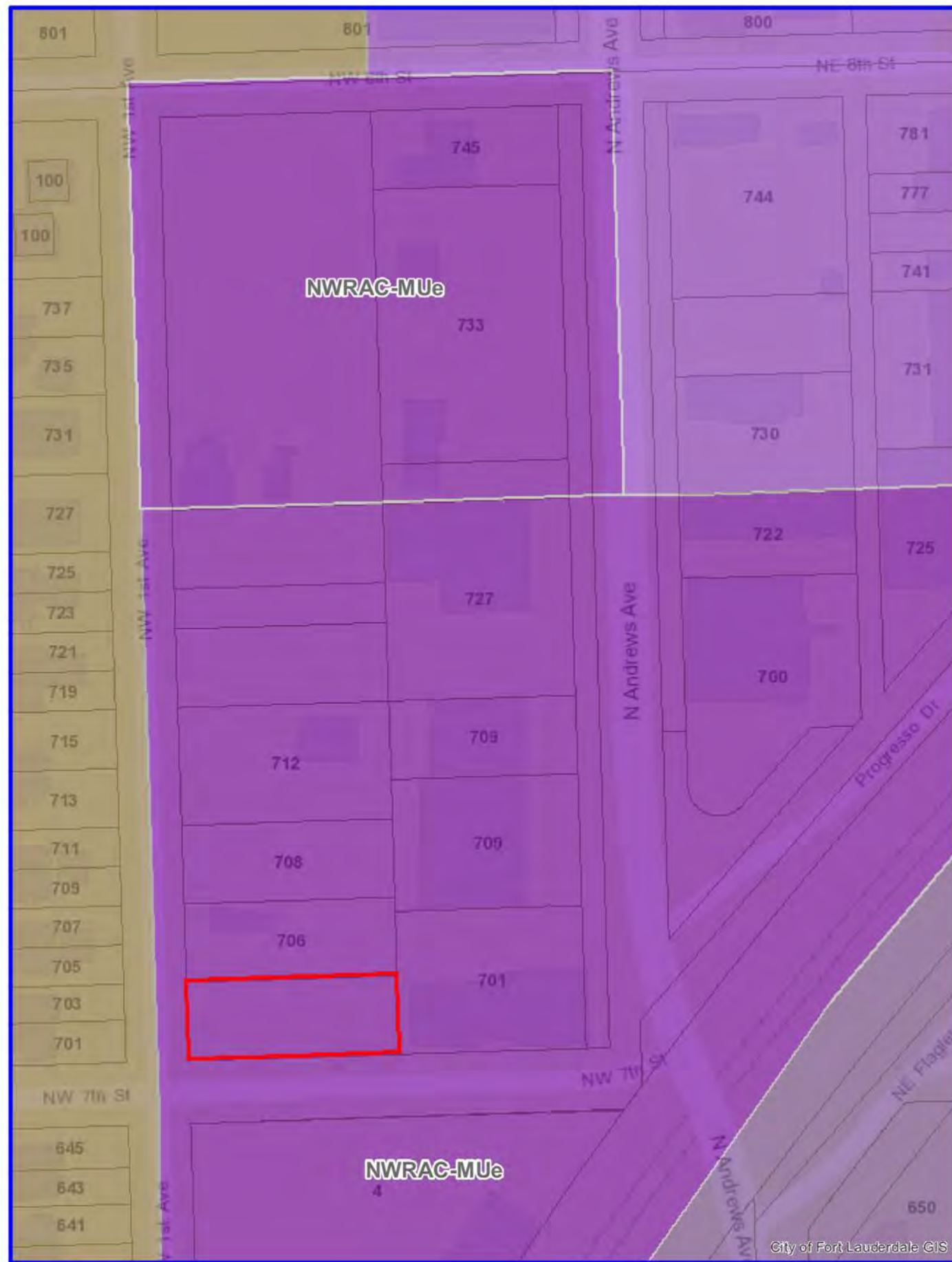
FUTURE LAND USE MAPS

DRC SET

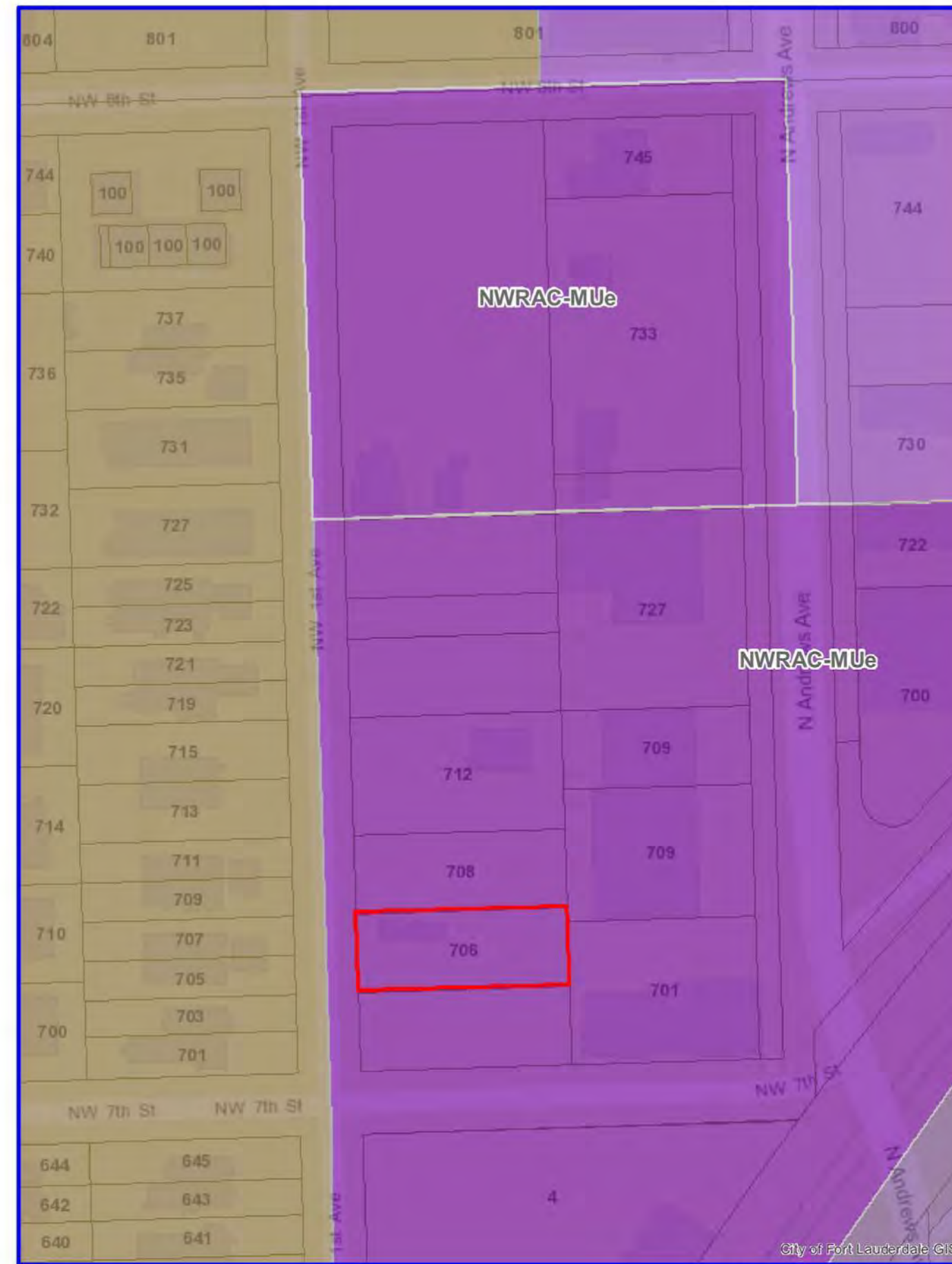
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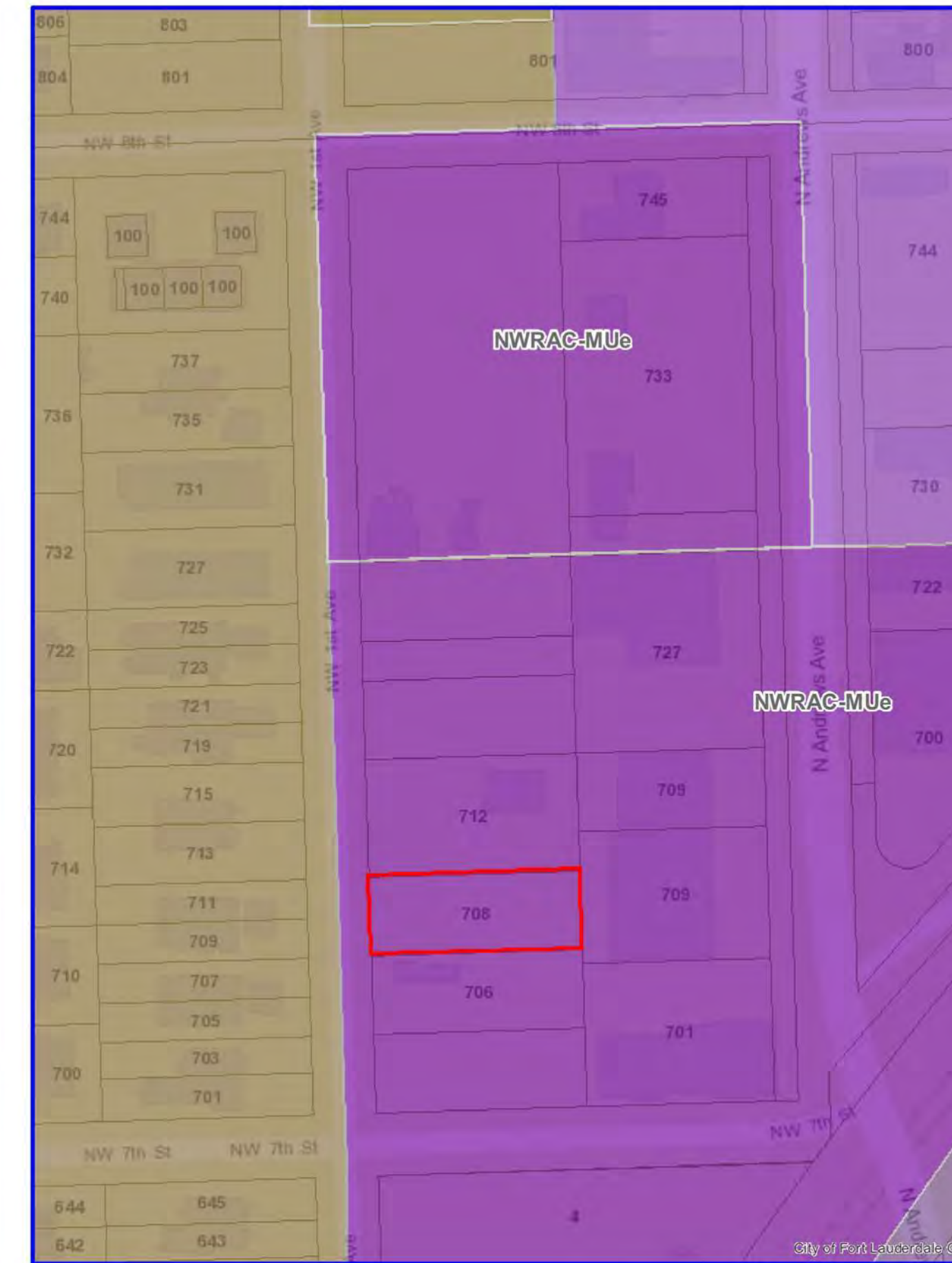
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Designer	Author	Checker



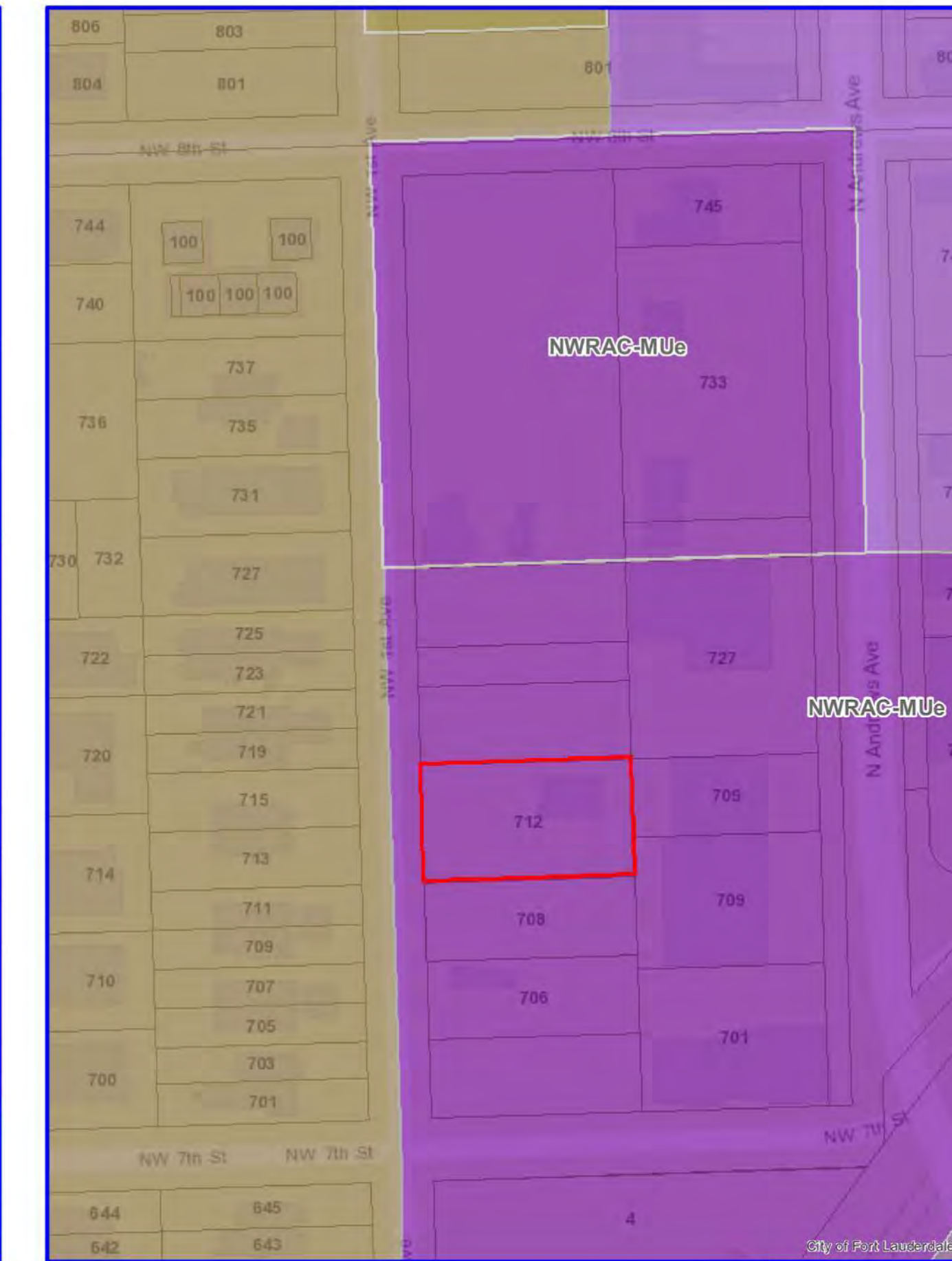
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Map Created by Property Reporter GIS  
Printed on: 2/17/2023



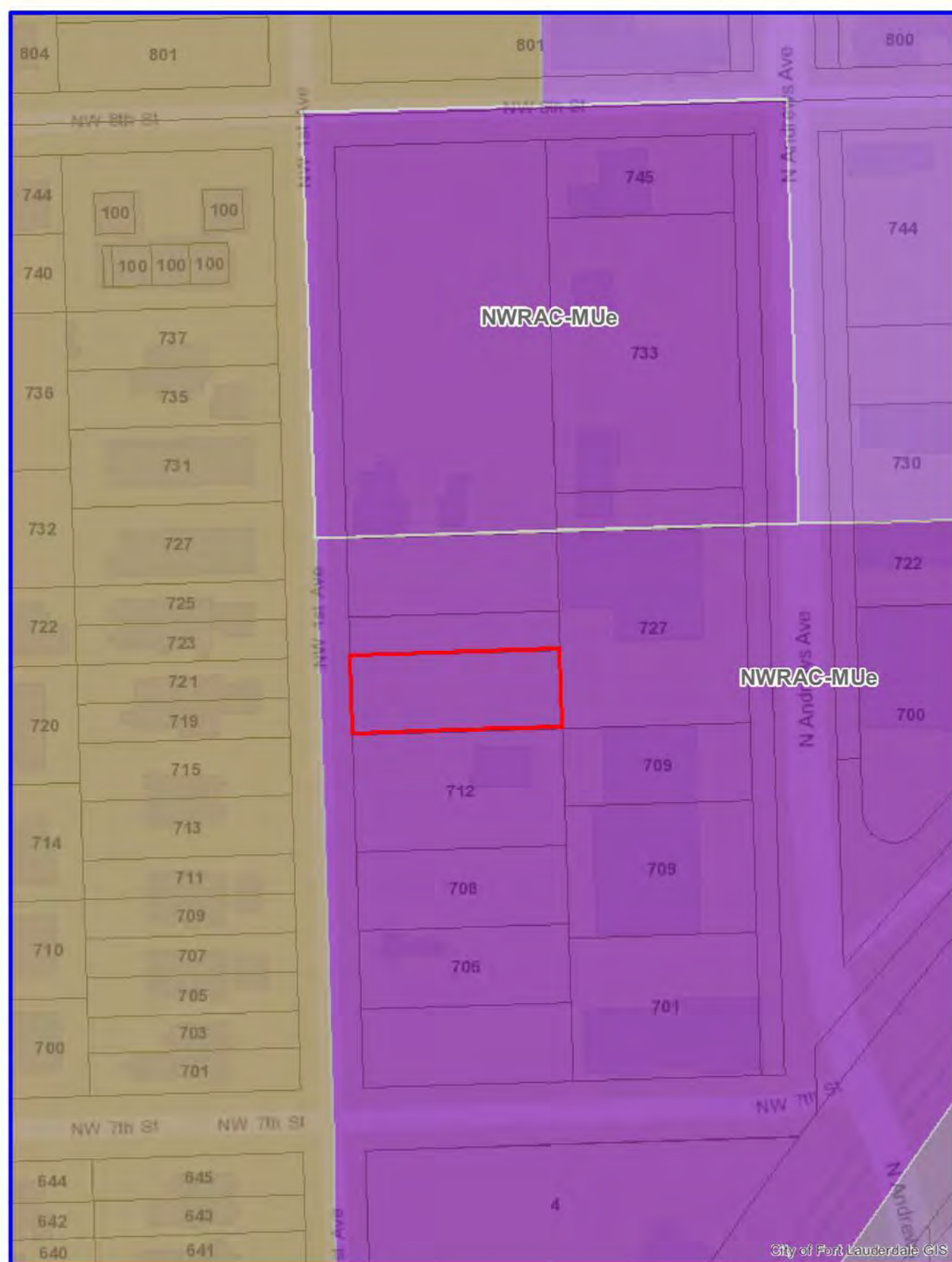
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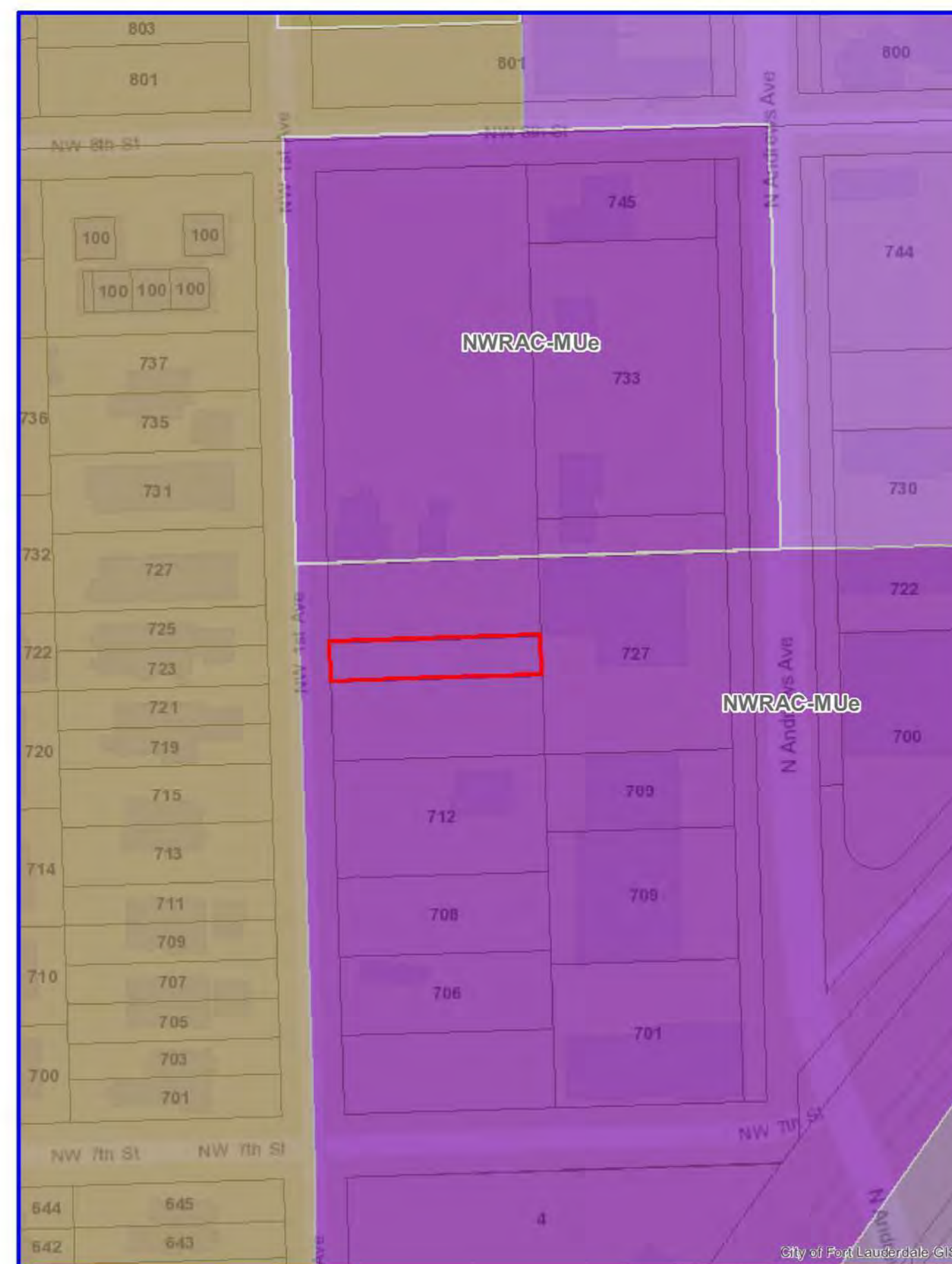
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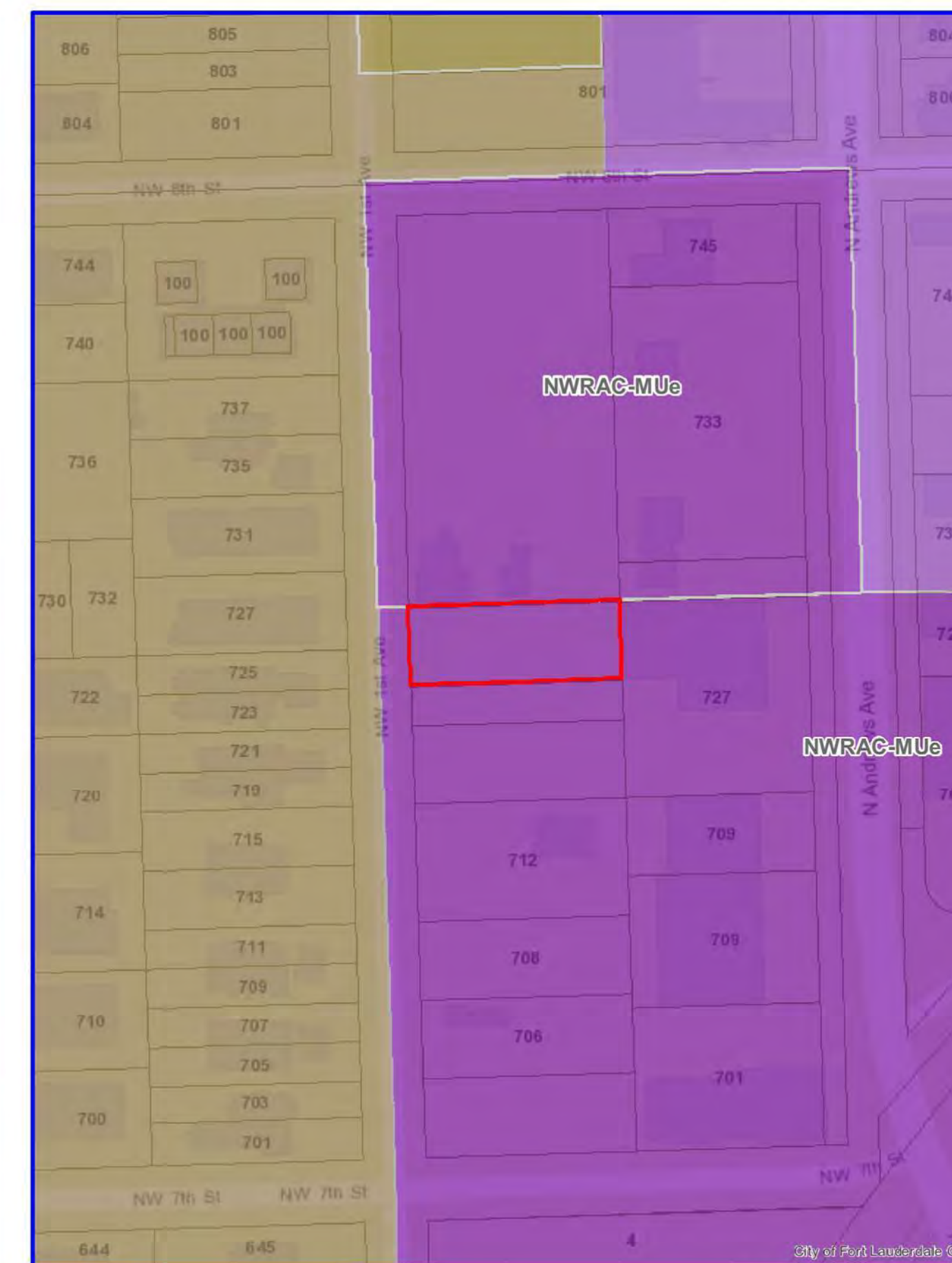
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Property Reporter Map  
Map Created by Property Reporter GIS  
Printed on: 2/17/2023



Property Reporter Map  
Map Created by Property Reporter GIS  
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Property Reporter Map  
Map Created by Property Reporter GIS  
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ZONING MAP

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**LEGAL DESCRIPTION**

**PARCEL 1**  
LOT(S) 27 AND 28, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE(S) 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
**PARCEL 2**  
LOT(S) 34 AND 35, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE(S) 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
**PARCEL 3**  
LOT(S) 37 AND 38, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE(S) 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
**PARCEL 4**  
LOT(S) 31, 32, AND 33, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE(S) 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
**PARCEL 5**  
LOT(S) 29 AND 30, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE(S) 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
**PARCEL 6**  
LOT(S) 25 AND 26, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE(S) 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
**PARCEL 7**  
LOT 36, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE(S) 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**CODE DATA**

- PROJECT SHALL BE PERMITTED UNDER THE 2020 FLORIDA BUILDING CODE, 7TH EDITION, AND COMPLY WITH FAIR HOUSING ACT DESIGN PRINCIPLES WHERE APPLICABLE.
- OCCUPANCIES UNDER THE BUILDING PERMIT SHALL BE CLASSIFIED "B", "S-2", "A-2", AND "R-2" PER FBC 2020 CHAPTER 3.
- PARKING GARAGE SHALL BE "CLOSED" AND MECHANICALLY VENTILATED PER FBC 2020 SECTION 406.6.
- LIFE SAFETY PLANS UNDER THE BUILDING PERMIT SHALL BE SUBJECT TO FBC 2020, CHAPTER 10 MEANS OF EGRESS - TYPICAL ALL FLOORS.
- BUILDING SEPARATIONS SHALL COMPLY WITH FBC 2020 CHAPTER 6, TABLES 601 AND 602.
- EXTERIOR WALL OPENINGS SHALL COMPLY WITH FBC 2020 CHAPTER 7, TABLE 705.8.
- PARKING GARAGE SLOPES SHALL COMPLY WITH ULDR SECTION 47-20.9.A.
- DUMPSTERS SHALL COMPLY WITH ULDR SECTION 47-19.4.

**TRANSPORTATION AND MOBILITY**

- OFF-SITE PARKING:** 8 PARKING SPACES PROVIDED.
- BICYCLE PARKING:** 1 PER 10 DWELLING UNITS (INTERIOR)
  - A. BIKE INTERIOR (B.I.) SPACES = 19 PROVIDED FOR 189 UNITS
  - SPECIFICATION: DOUBLEUP - SINGLE SIDED FREE-STANDING VERTICAL BIKE RACK FROM THE PARK AND FACILITIES CATALOG OR APPROVED EQUAL

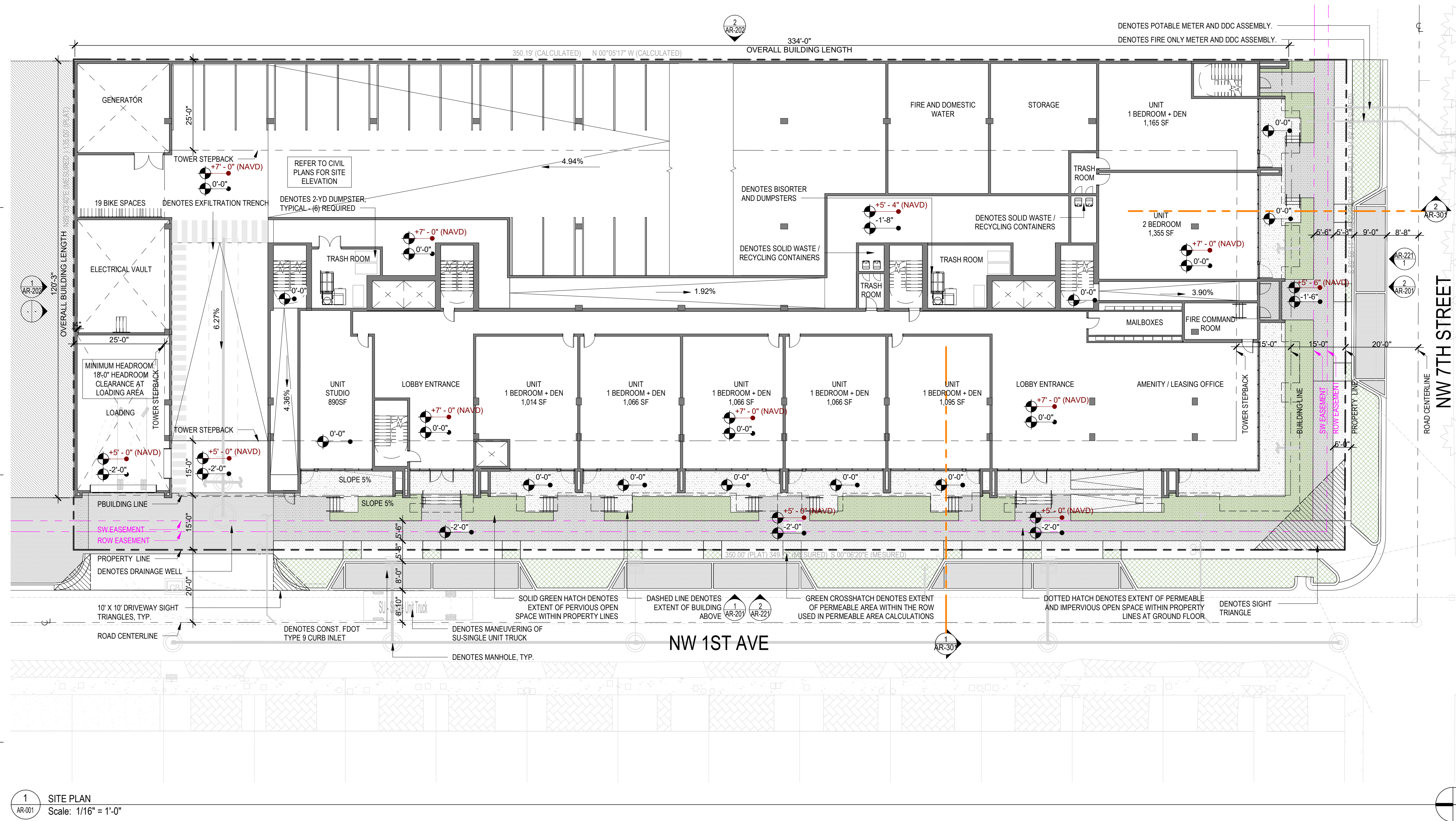
**NOTES**

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1 SITE PLAN  
Scale: 1/16" = 1'-0"

**POLICE**

ALL EXTERIOR WINDOWS AND DOORS SHALL BE IMPACT RATED.  
STAIRWELLS SHALL BE EGRESS ONLY ON GROUND LEVEL.  
BUILDING SHALL BE FITTED WITH INTERCOM/VIDEO ACCESS CONTROL SYSTEMS AT ENTRY/EXIT POINTS, ELEVATORS, PARKING GARAGE, AND COMMON AREAS.  
EACH RESIDENTIAL AND COMMERCIAL UNIT SHALL BE WIRED FOR A MONITORED SECURITY SYSTEM AND THE POOL DECK SHALL INCORPORATE SAFETY FEATURES TO PREVENT UNSUPERVISED CHILDREN FROM ACCESSING THE POOL.  
ELEVATORS SHALL BE ACCESS CONTROLLED.  
UNIT ENTRY DOORS SHALL BE SOLID, IMPACT RESISTANT WITH DEADBOLT AND SHALL EACH BE FITTED WITH 180 DEGREE PEEPHOLE DOOR VIEWERS.  
ACCESS CONTROL SHALL BE PROVIDED FOR MECHANICAL, ELECTRICAL, AND MAINTENANCE ROOMS WHERE APPLICABLE.  
THE INTERIOR OF THE GARAGE SHALL BE PAINTED A LIGHT COLOR.  
EMERGENCY COMMUNICATION DEVICES SHALL BE PLACED IN THE PARKING GARAGE, POOL, AND COMMON AREAS.  
PARKING GARAGE SHALL PROVIDE ACCESS CONTROL FOR RESIDENTS.

**FIRE PROTECTION**

PROJECT SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF NFPA SEVENTH EDITION AND THE FLORIDA BUILDING CODE 2020  
PER FBC 903.2.11.3. THE BUILDING SHALL HAVE FIRE SPRINKLERS.

**SITE PLAN DATA**

<b>A. LAND USE DESIGNATION</b>	NORTH WEST REGIONAL ACTIVITY CENTER	<b>PARKING PROVIDED</b>	STANDARD 27	COMPACT 15	PARALLEL 0	ADA/FA 0	TOTAL 42	<b>N. BUILDING YARDS</b>	REQUIRED	PROVIDED
<b>B. ZONING DESIGNATION</b>	MWRAC-MUe	<b>LEVEL 01</b>	34	19	4	1	58	<b>FRONT - WEST</b>	5' FEET TO PROP LINE	15' FEET
<b>C. SITE AREA - GROSS</b>	47,227.04 SF (1.08 ACRES)	<b>LEVEL 02</b>	42	19	4	1	66	<b>FRONT - SOUTH</b>	5' FEET TO PROP LINE	15' FEET
<b>D. WATER/WASTEWATER SERVICE PROVIDER</b>	CITY OF FORT LAUDERDALE	<b>LEVEL 03</b>	27	0	4	1	32	<b>SIDE - EAST</b>	0' FEET	0' FEET
<b>E. RESIDENTIAL DEVELOPMENT DWELLING UNIT BREAKDOWN AND TYPE:</b>		<b>LEVEL 04</b>					198	<b>SIDE - NORTH</b>	0' FEET	0' FEET
STUDIO (481 - 890 SF)	41 UNITS	<b>TOTAL PROVIDED</b>						<b>P. OPEN SPACE</b>	REQUIRED	PROVIDED
1 BEDROOM (704 - 865 SF)	66 UNITS	<b>LEVEL 01 GROUND LEVEL W / UNITS</b>					37,152 SF	<b>OPEN SPACE</b>	100 SF X 189 = 18,900 SF	8,838 SF
1 BEDROOM + DEN (853 - 1,165 SF)	34 UNITS	<b>LEVEL 02 GARAGE</b>					35,142 SF	<b>GROUND FLOOR</b>	18,900 SF X 40% = 7,560 SF	9,795 SF
2 BEDROOM (859 - 1,355 SF)	48 UNITS	<b>LEVEL 03 GARAGE</b>					37,751 SF	<b>LEVEL 5</b>		7,223 SF
<b>TOTAL</b>	<b>189 UNITS</b>	<b>LEVEL 04 GARAGE</b>					28,044 SF	<b>LEVEL 5.5 AMENITIES</b>		7,223 SF
<b>F. NON-RESIDENTIAL FLOOR AREA</b>	<b>COMMERCIAL</b>	<b>LEVEL 05 UNITS</b>					16,382 SF	<b>TOTAL</b>		<b>25,556 SF</b>
	<b>0 SF</b>	<b>LEVEL 05.5 AMENITIES</b>					4,744 SF	<b>PERMEABLE</b>	7,560 SF X 25% = 1,890 SF	1,900 SF
<b>G. PARKING DATA (100% SELF-PARK, NO VALET PROPOSED)</b>		<b>LEVEL 06 UNITS</b>					16,382 SF	<b>ON SITE</b>		1,010 SF
<b>PARKING REQUIRED:</b>		<b>LEVEL 07 UNITS</b>					20,615 SF	<b>ROW 50% W/ROW</b>	50% X 1,890 SF = 945 SF	2,851 SF
RESIDENTIAL 1.75 PER STUDIO/1BDR - 2.00 PER 1BDR-DEN/2BDR = 351.2 SPACES		<b>LEVEL 08-12 UNITS (16,952 X 5)</b>					84,760 SF	<b>TOTAL</b>		
COMMERCIAL N/A		<b>TOTAL F.A.R. SQUARE FOOTAGE</b>					280,972 SF	<b>Q. TYPE OF CONSTRUCTION</b>		
<b>TOTAL</b>	<b>351.2 PARKING SPACES REQUIRED</b>	<b>280,972 SF / 47,227.04 SF =</b>					5.94 F.A.R.	<b>TYPE 1-A, SPRINKLERED</b>		
		<b>12 STORIES</b>						<b>(# OF STORIES AND AREA "UNLIMITED"</b>		
		<b>M. BUILDING HEIGHT OVERALL =</b>						<b>TABLES 504.3a AND 504.4)</b>		
		<b>120'-0" ABOVE FINISH GROUND FLOOR / 127'-0" NAVD</b>								

**AERIAL**



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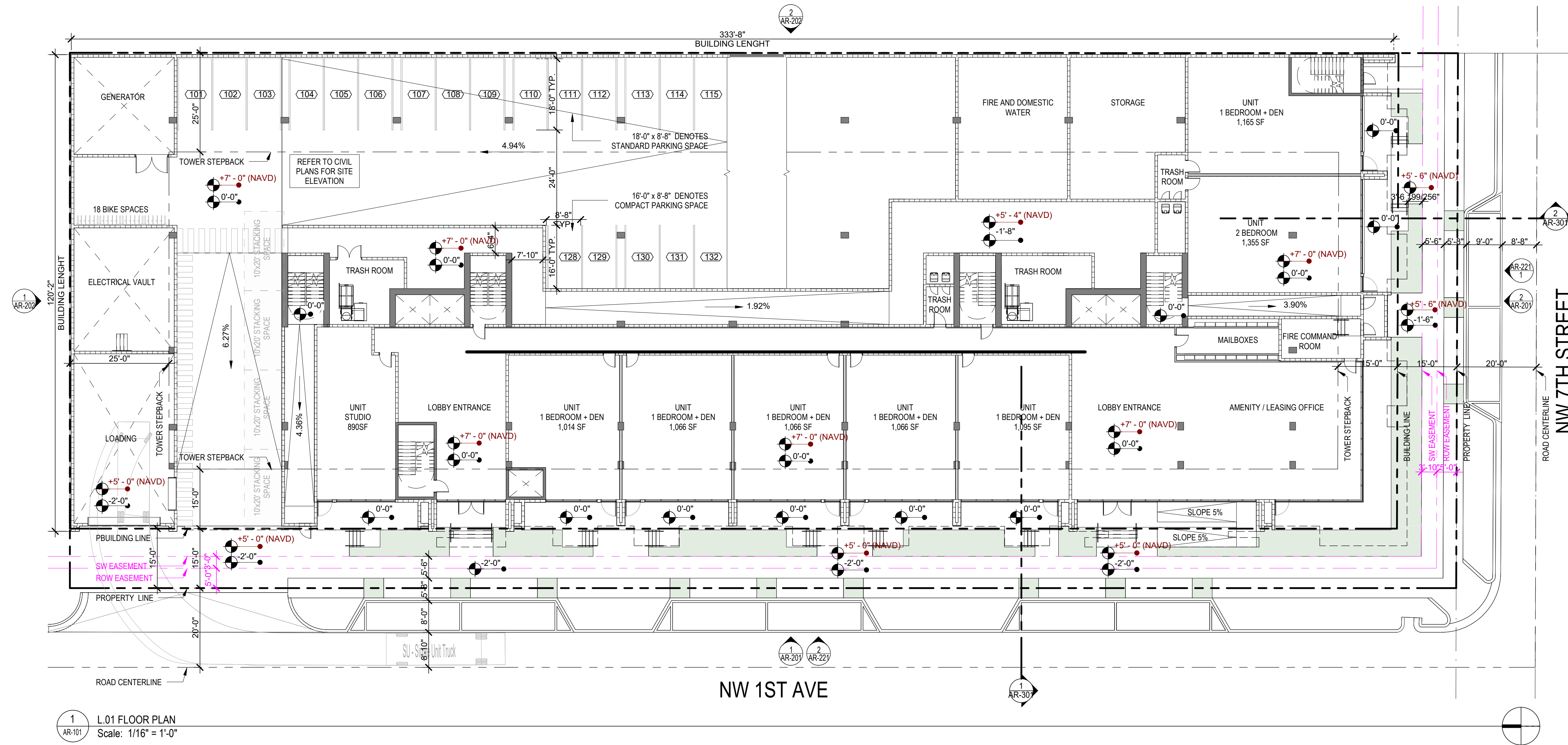
SITE PLAN

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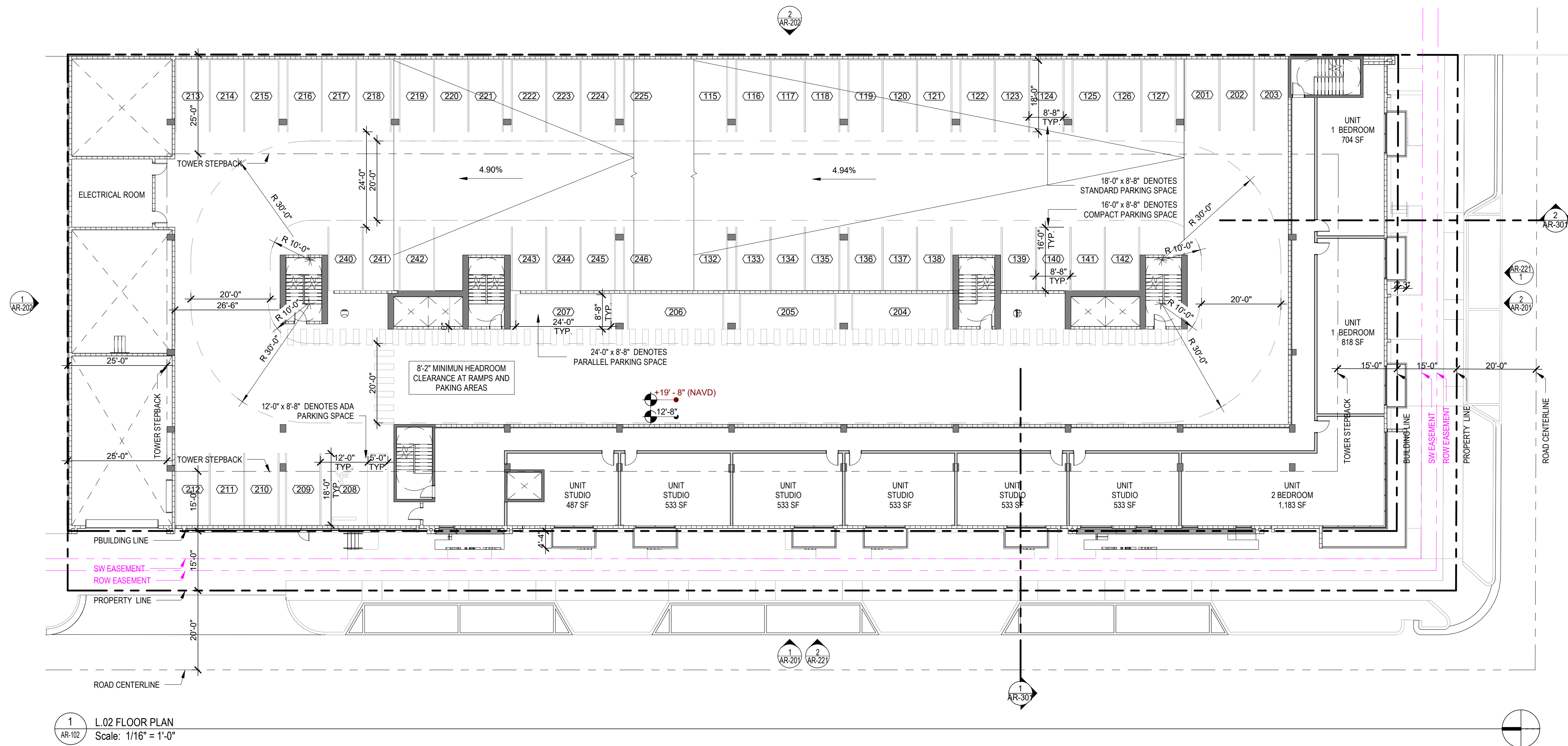
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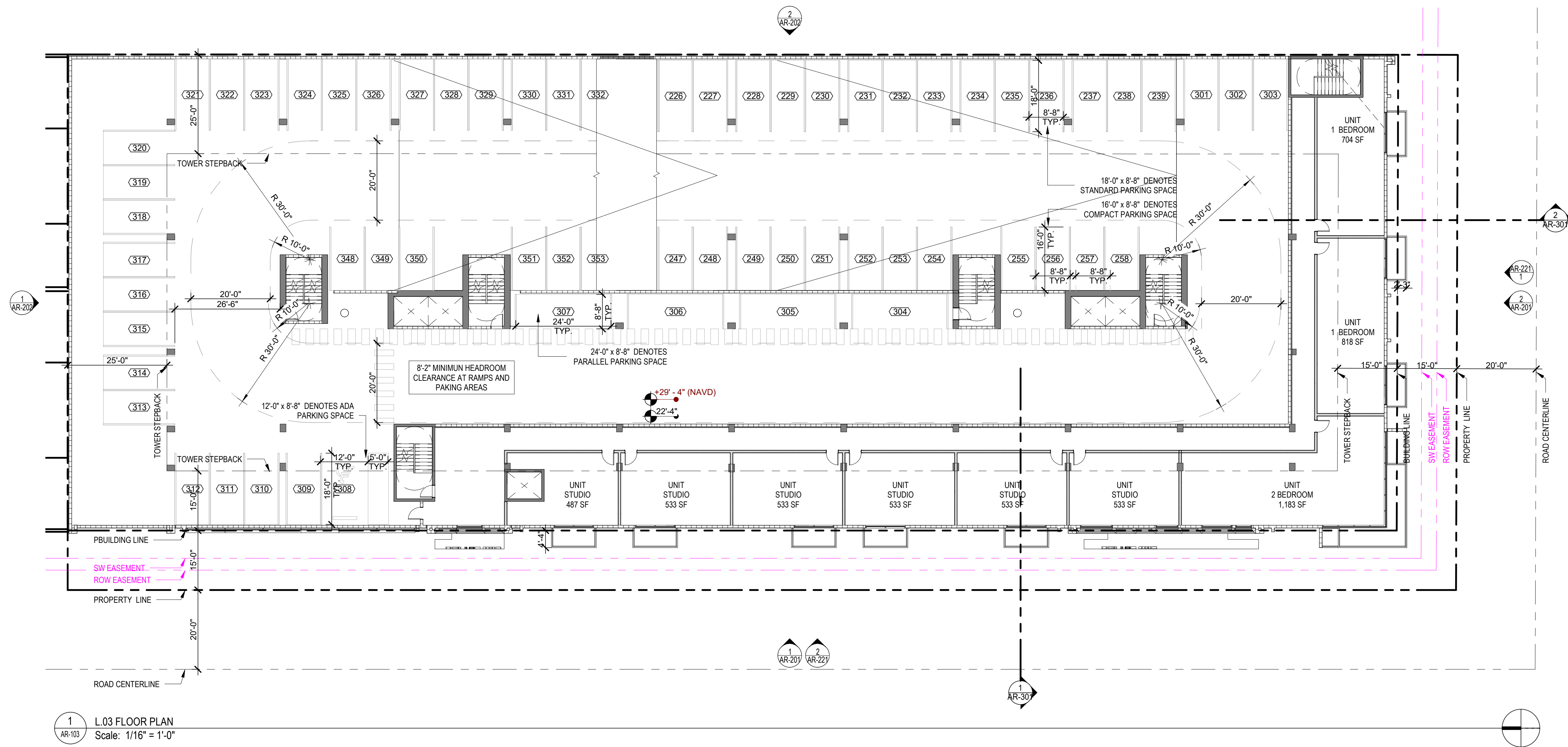
L.02 FLOOR PLAN

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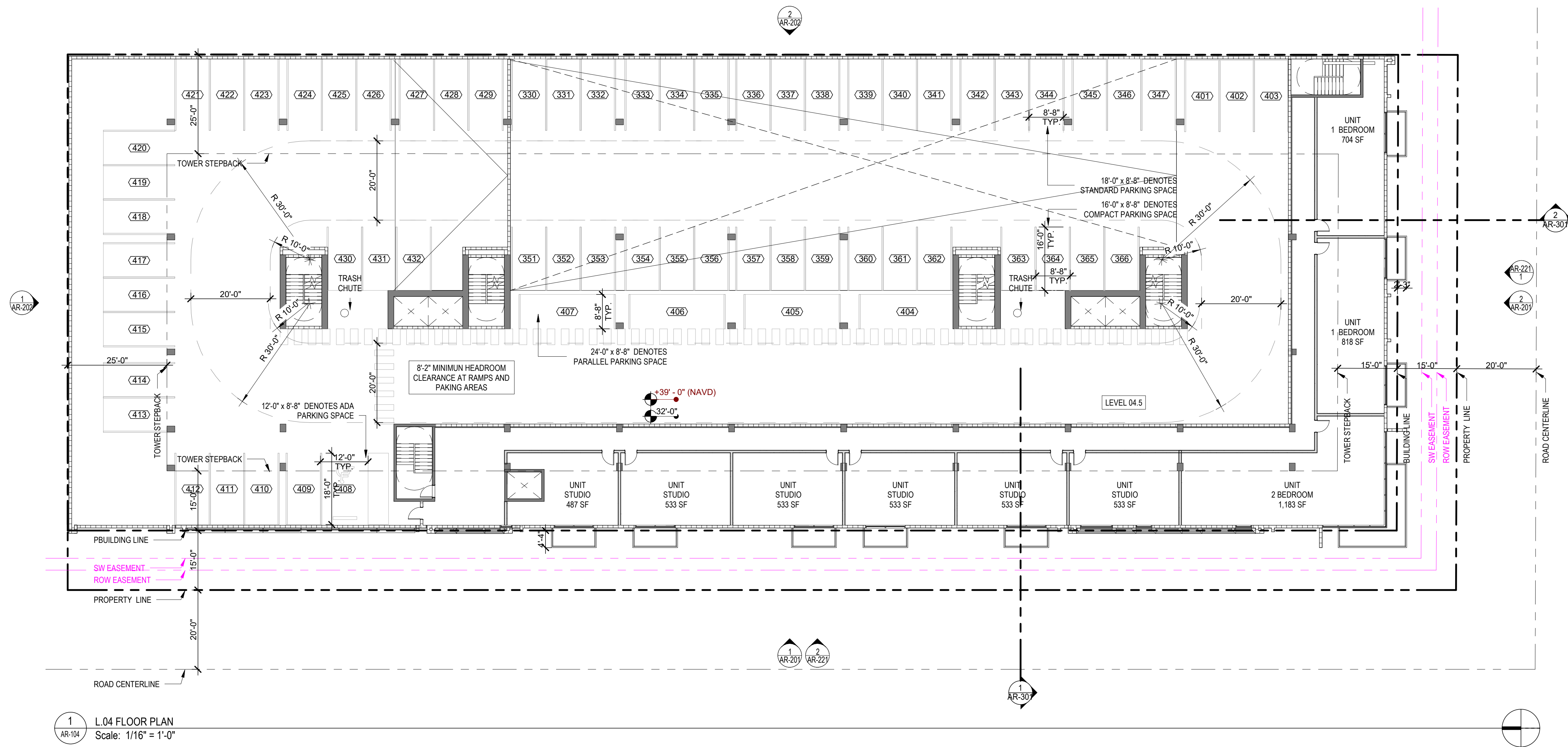
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1 AR-104 L.04 FLOOR PLAN  
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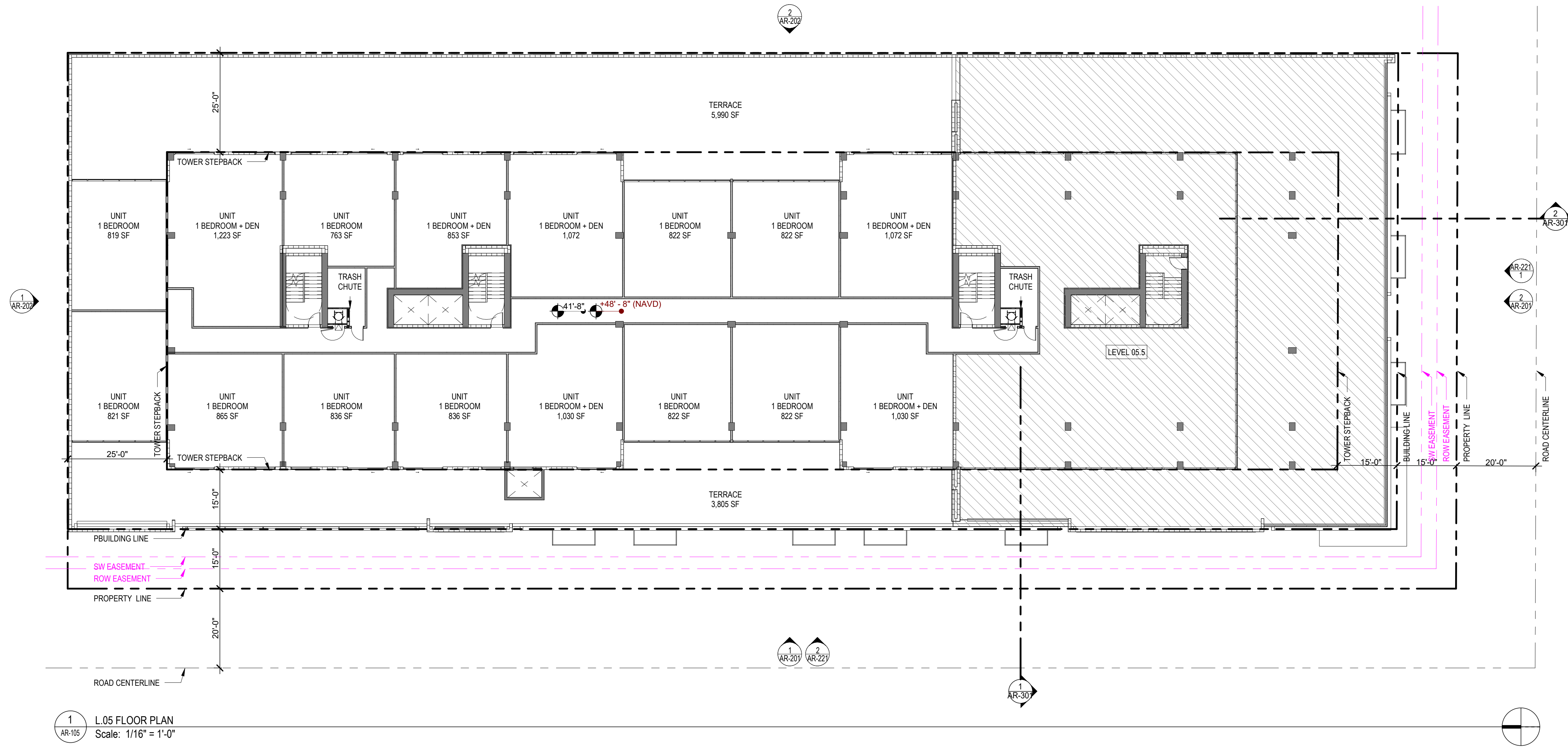
L.04 FLOOR PLAN

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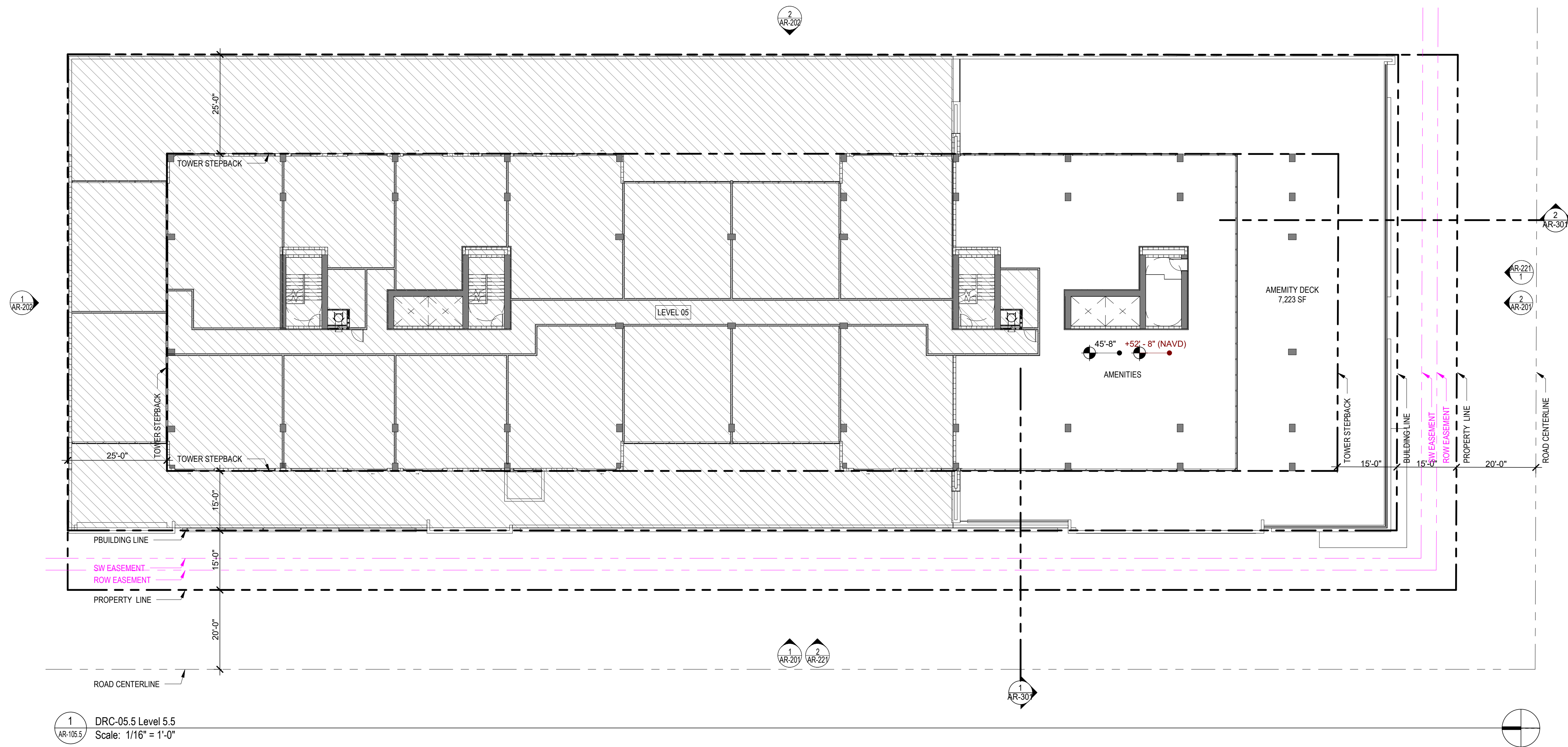
L.05 FLOOR PLAN

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AR-105.5 Scale: 1/16" = 1'-0"

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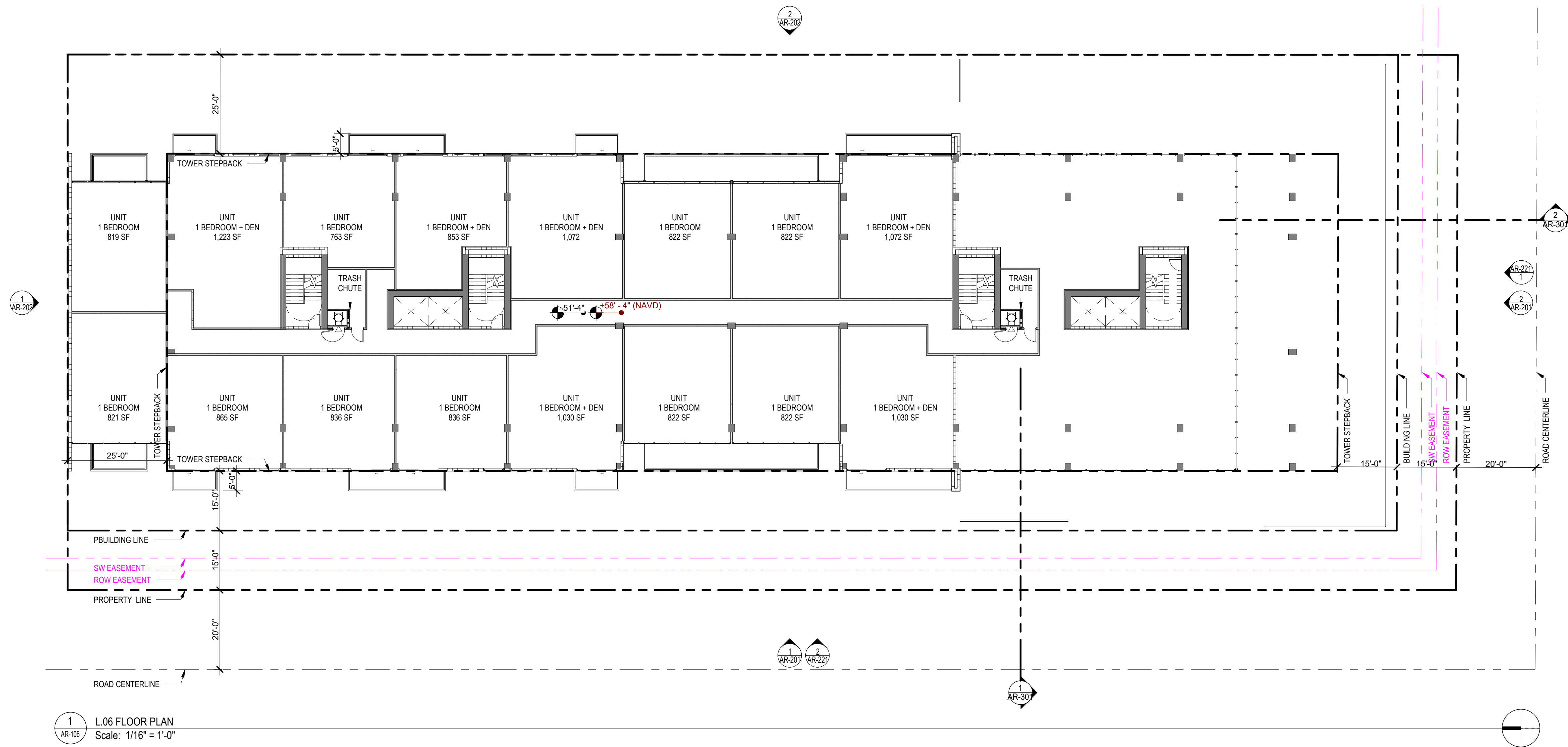
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L.06 FLOOR PLAN

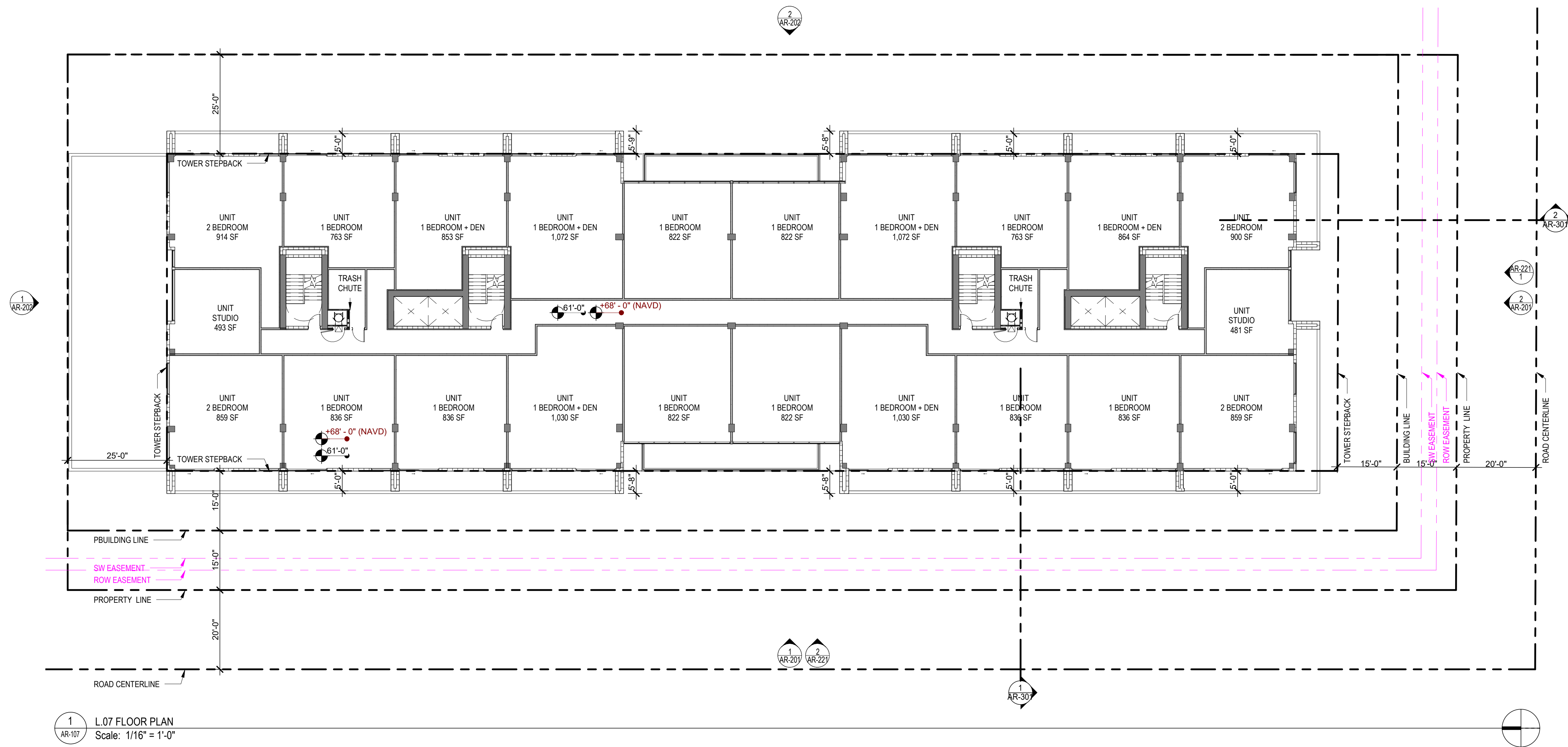
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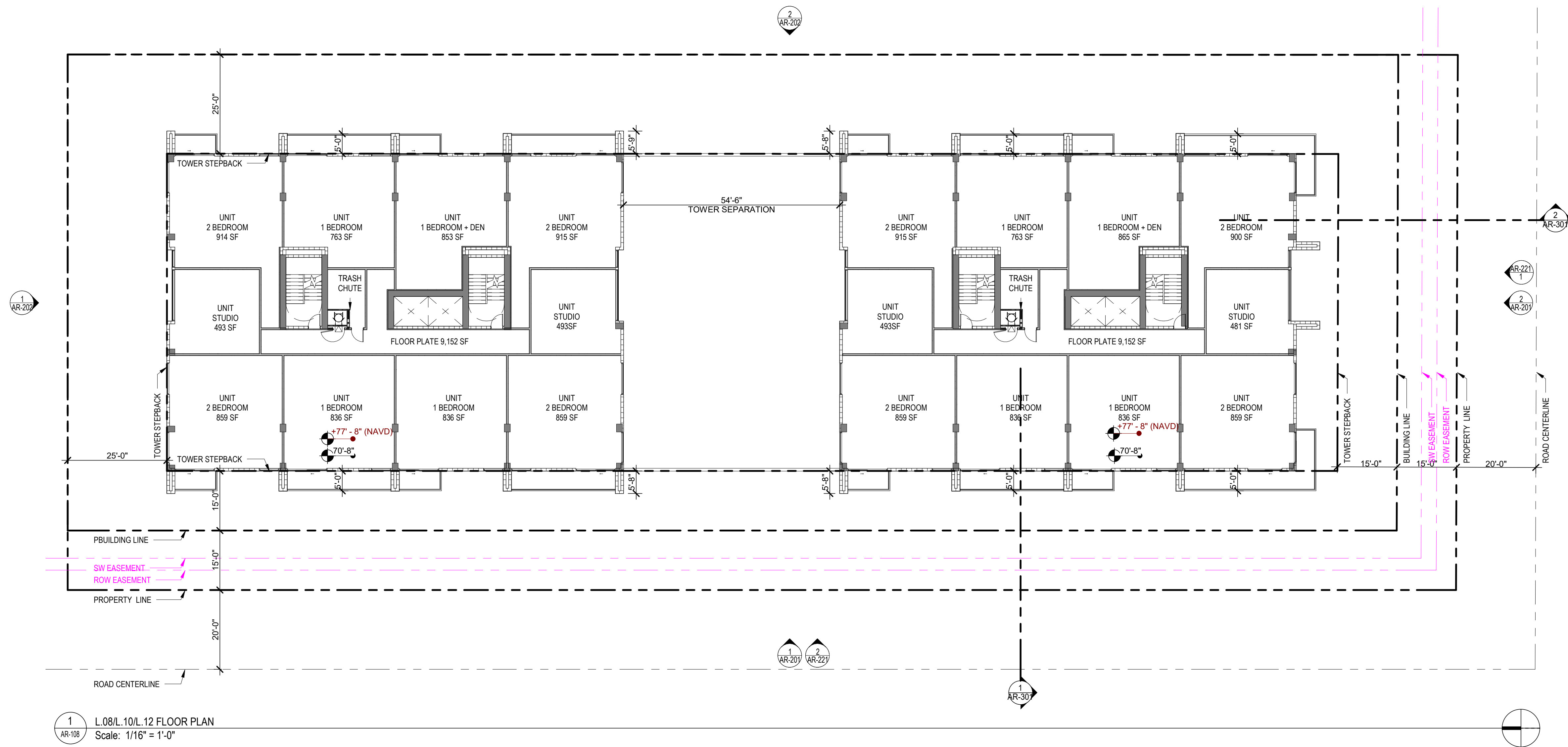
L.07 FLOOR PLAN

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1 AR-108 L.08/L.10/L.12 FLOOR PLAN  
Scale: 1/16" = 1'-0"

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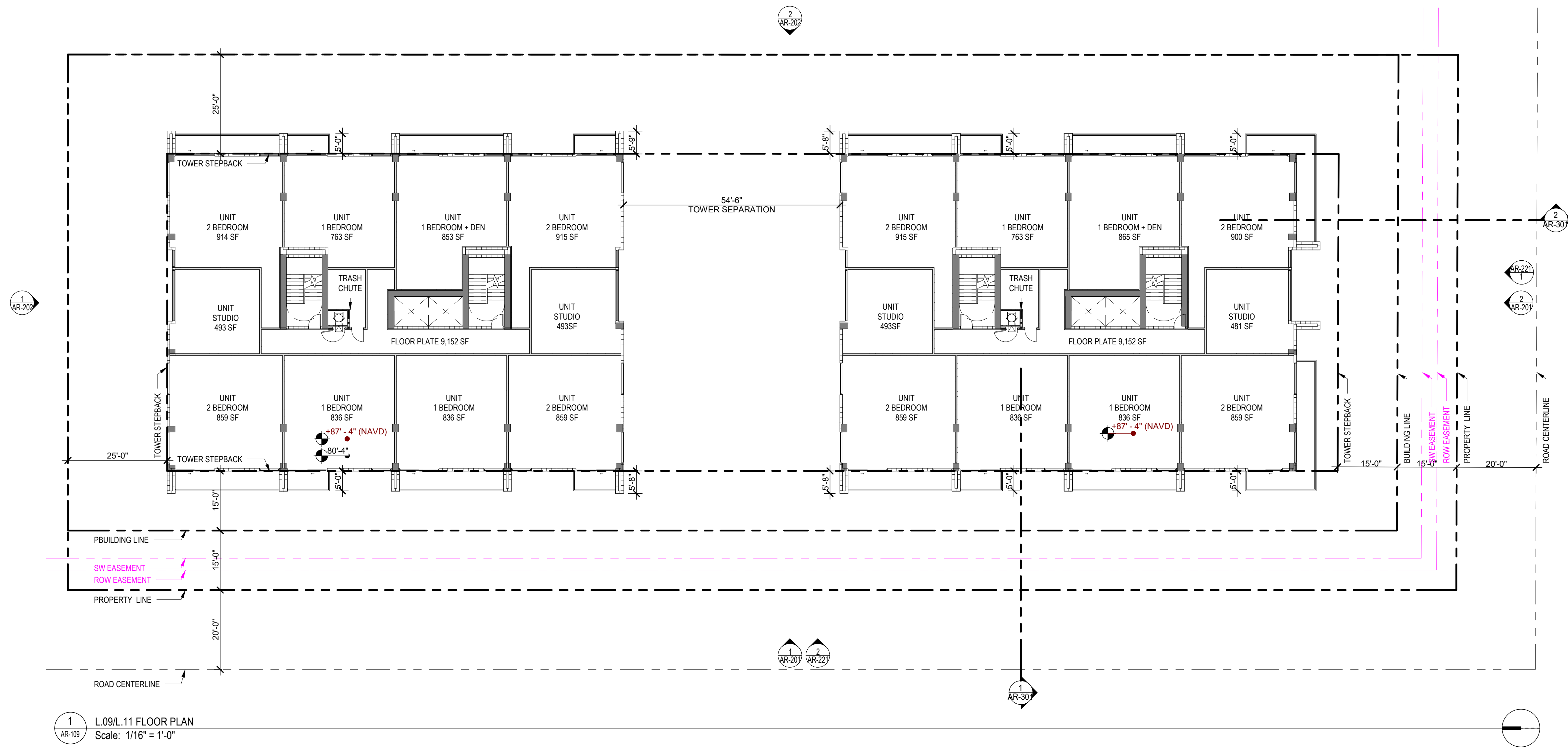
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1 AR-109 L.09/L.11 FLOOR PLAN  
Scale: 1/16" = 1'-0"

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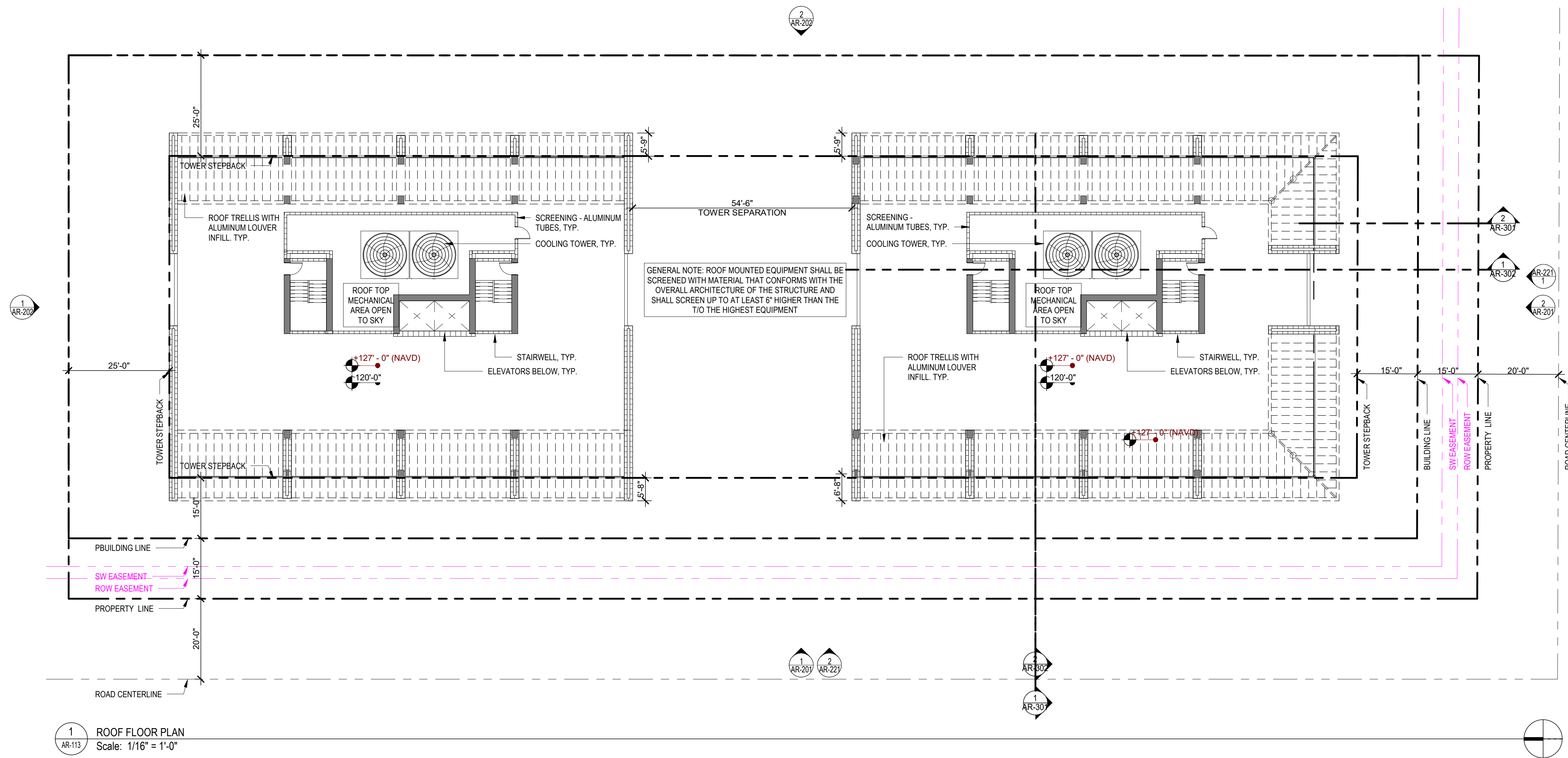
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ROOF FLOOR PLAN

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AR-113

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**1 WEST ELEVATION**  
Scale: 1/16" = 1'-0"



**2 SOUTH ELEVATION**  
Scale: 1/16" = 1'-0"

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EXTERIOR ELEVATION

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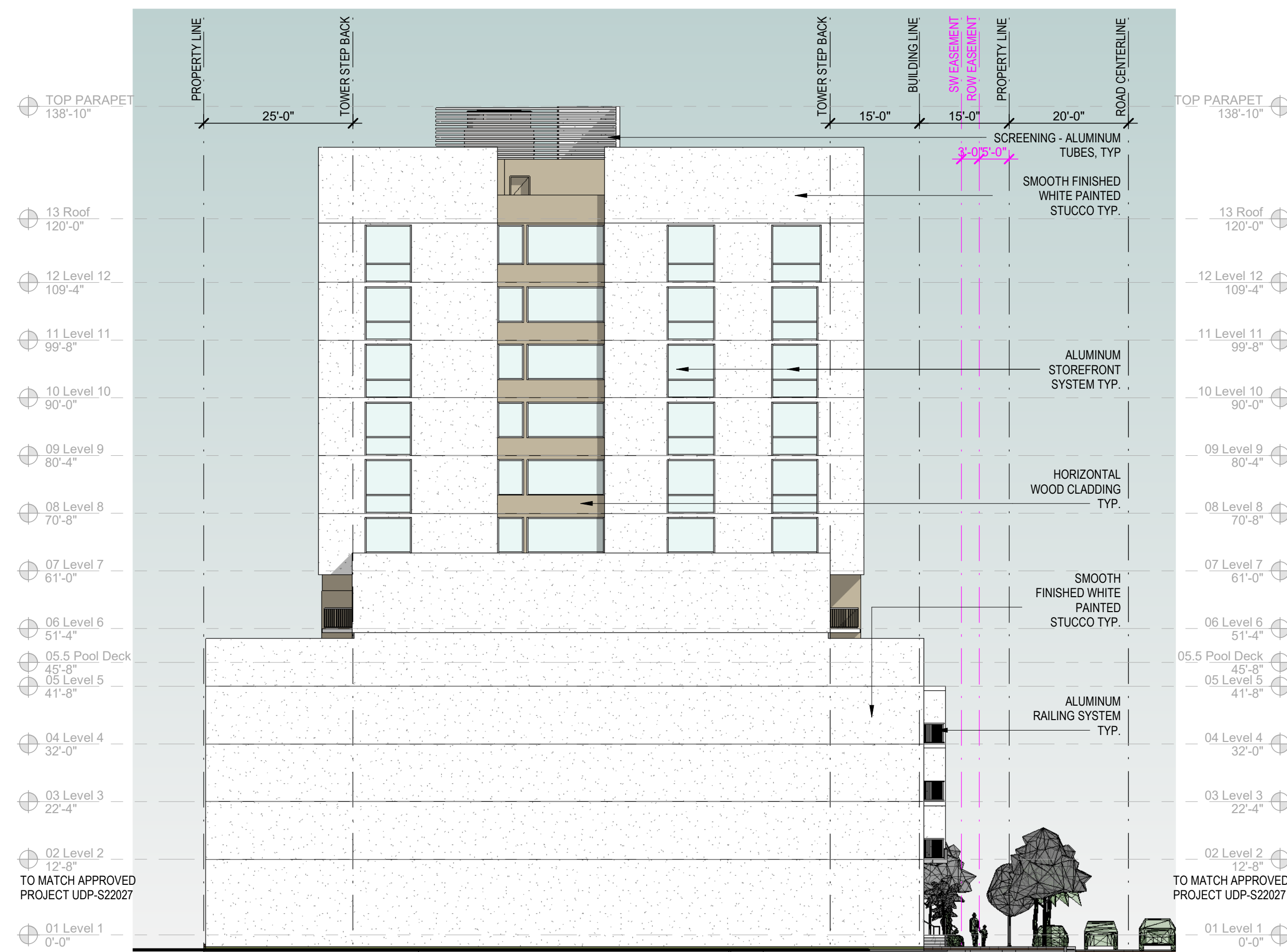
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Designer	Author	Checker



**2 EAST ELEVATION**  
Scale: 1/16" = 1'-0"



**1 NORTH ELEVATION**  
Scale: 1/16" = 1'-0"

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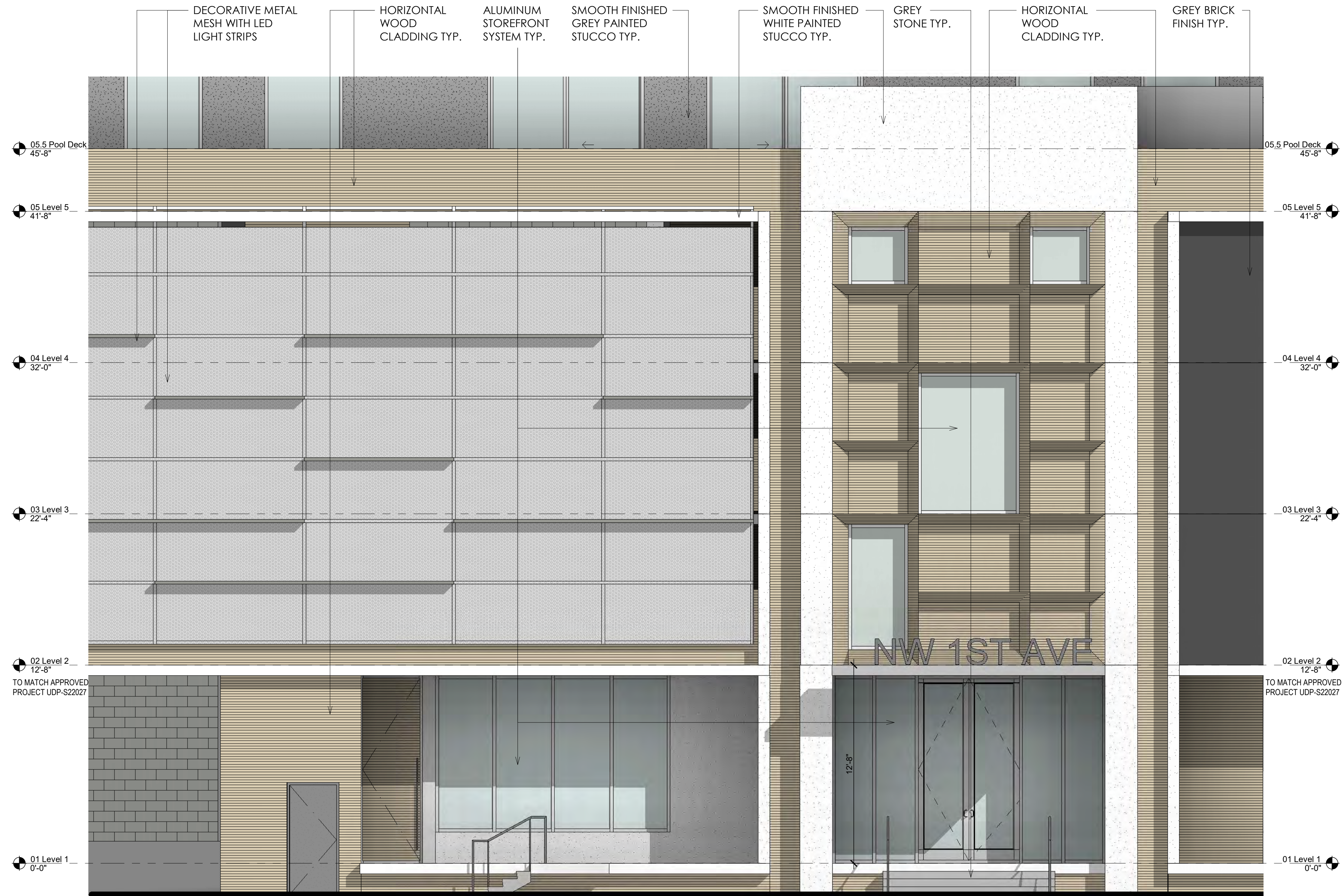
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EXTERIOR ELEVATION

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1 WEST ELEVATION - ENLARGE - MAIN ENTRANCE  
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Designer	Author	Checker

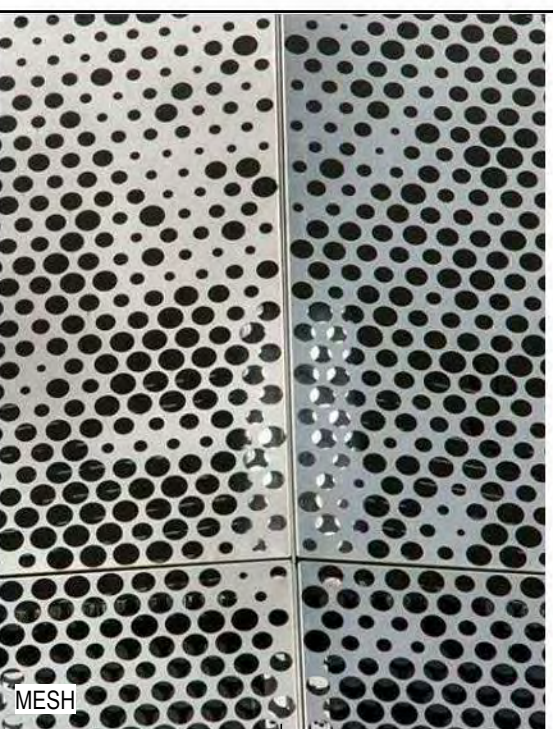
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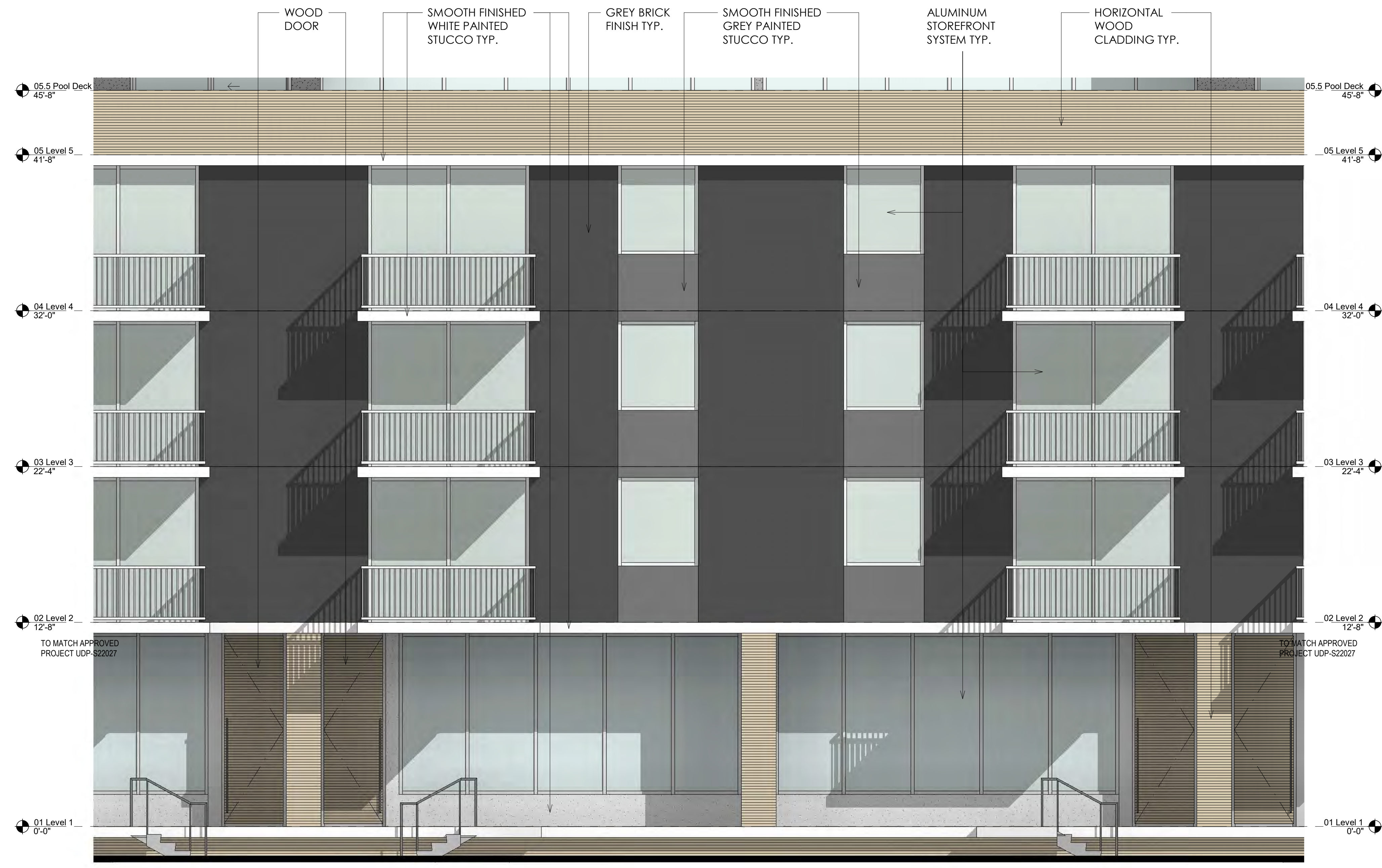
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EXTERIOR ELEVATION  
ENLARGEMENTS  
DRC SET

AR-211

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1 WEST ELEVATION - ENLARGE - GROUND FLOOR UNITS  
Scale: 1/4" = 1'-0"

DESIGNED	DRAWN	CHECKED
Designer	Author	Checker

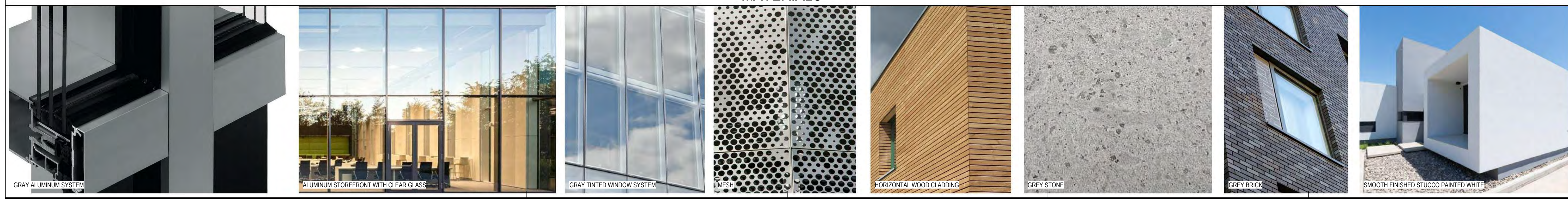
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MATERIALS



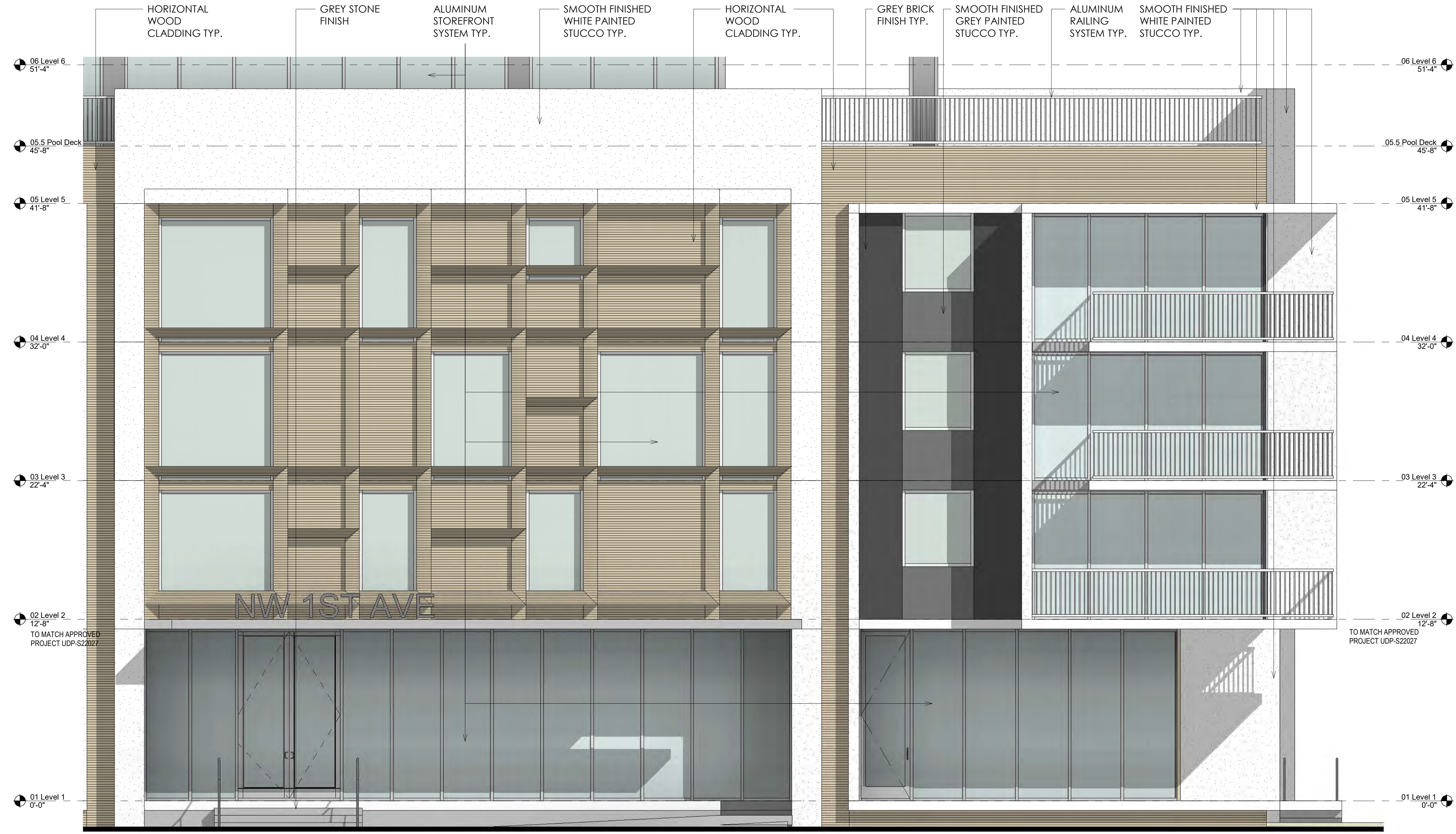
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ENLARGEMENTS  
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AR-212

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1 WEST ELEVATION - ENLARGE - CORNER  
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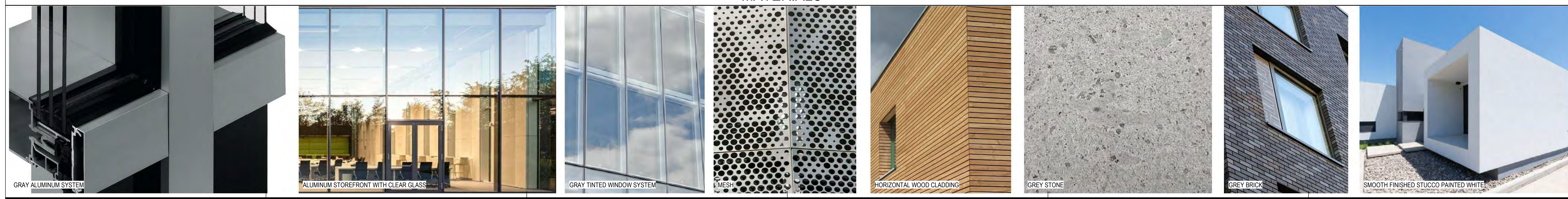
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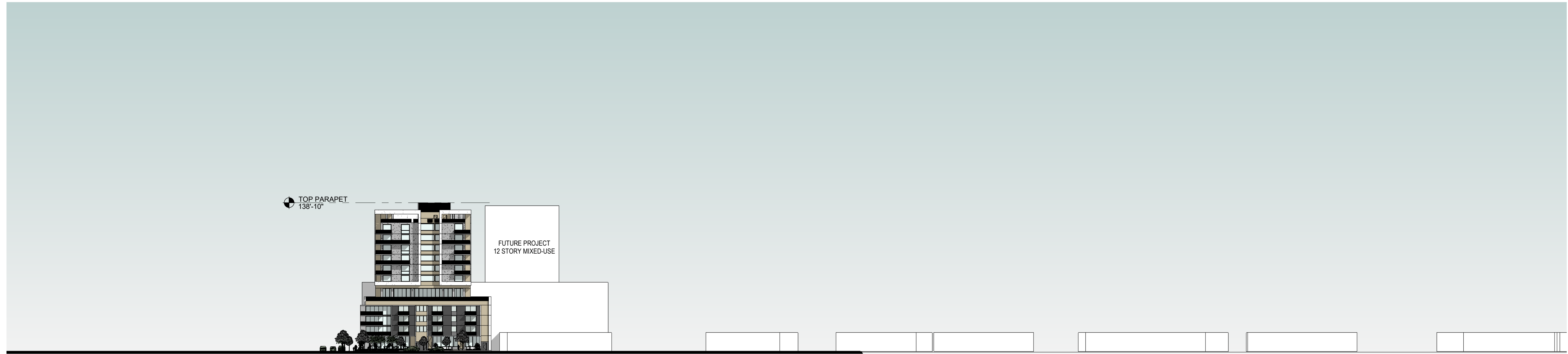


EXTERIOR ELEVATION  
ENLARGEMENTS  
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AR-213

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1 NORTH CONTEXT ELEVATION  
Scale: 1" = 50'-0"



2 WEST CONTEXT ELEVATION  
Scale: 1" = 50'-0"

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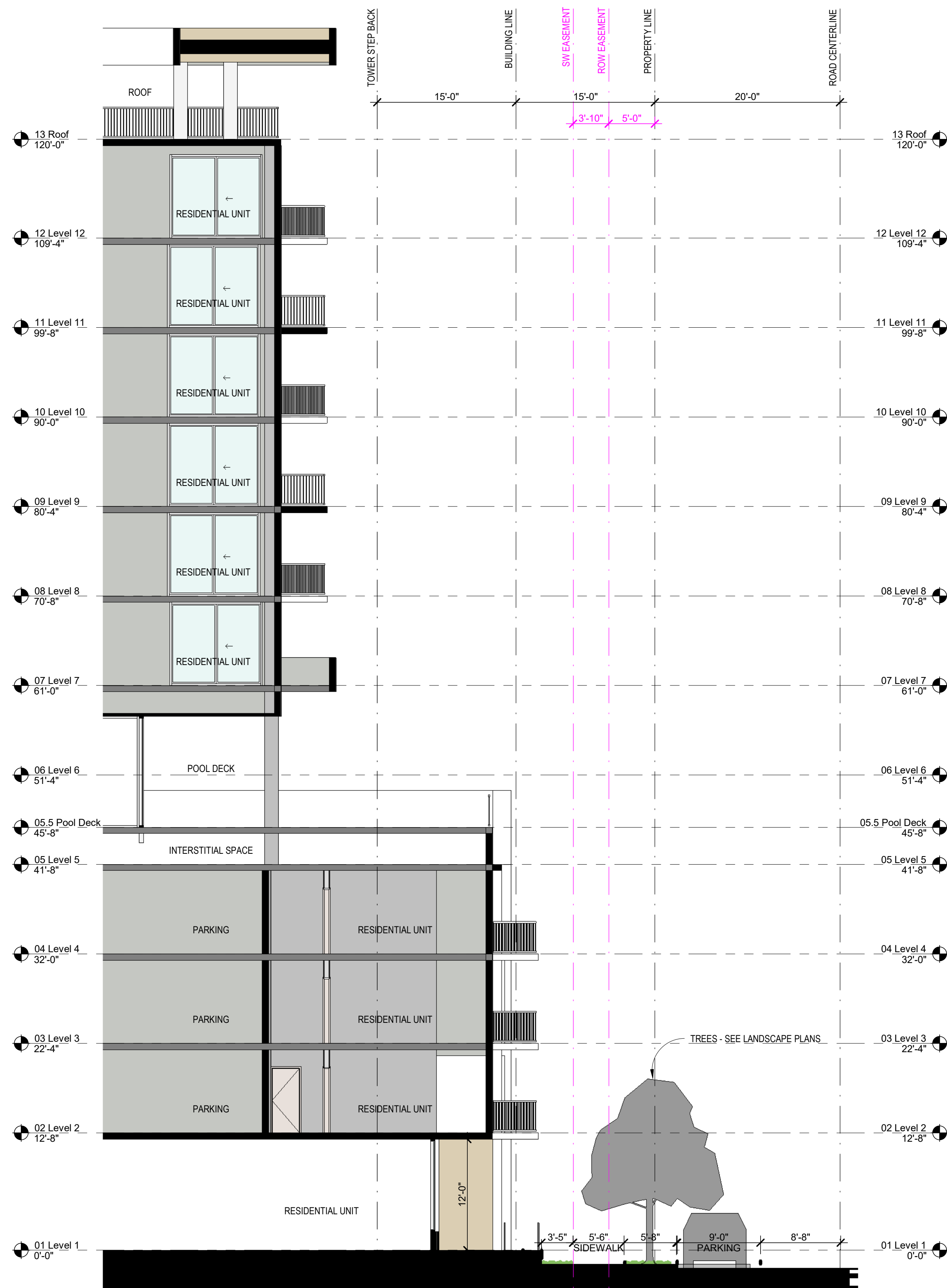
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CONTEXT ELEVATION

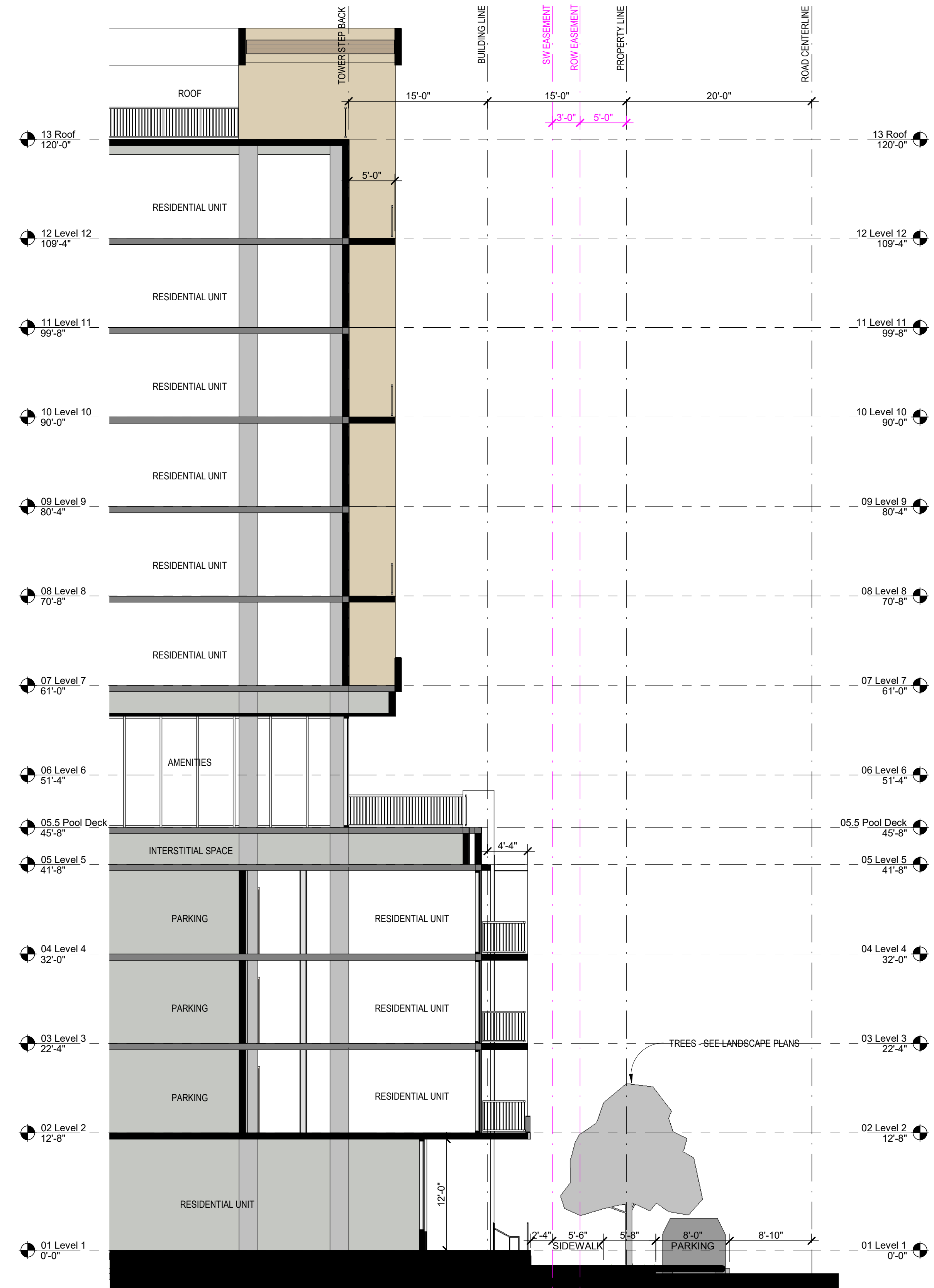
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2 SOUTH SECTION  
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1 WEST SECTION  
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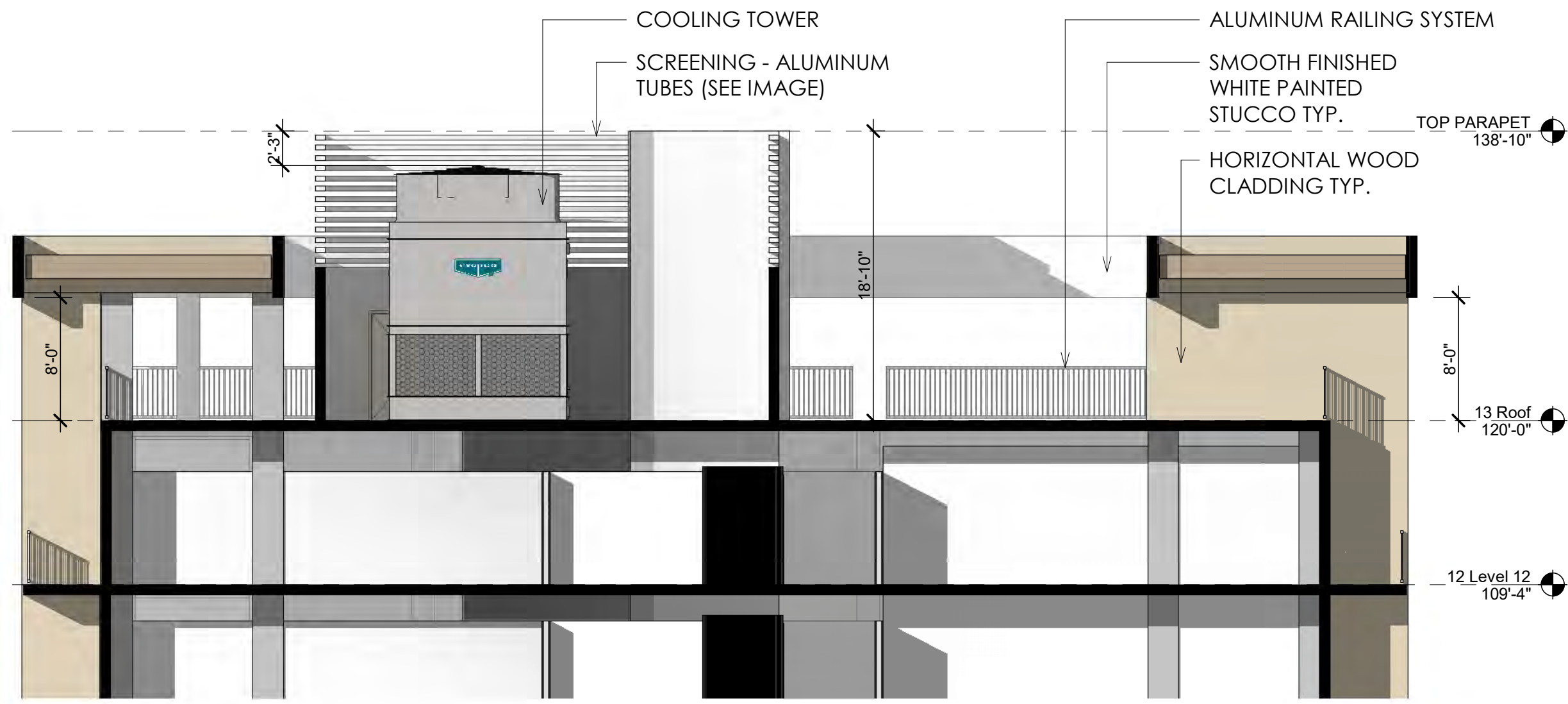
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BUILDING SECTION

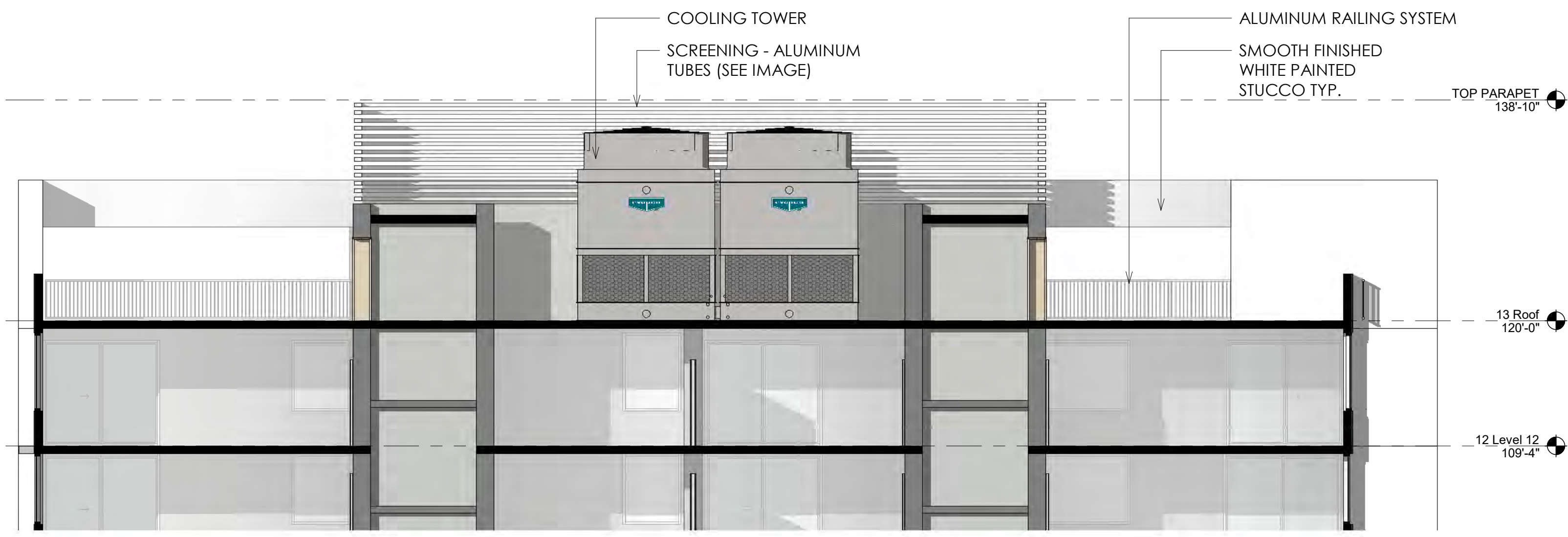
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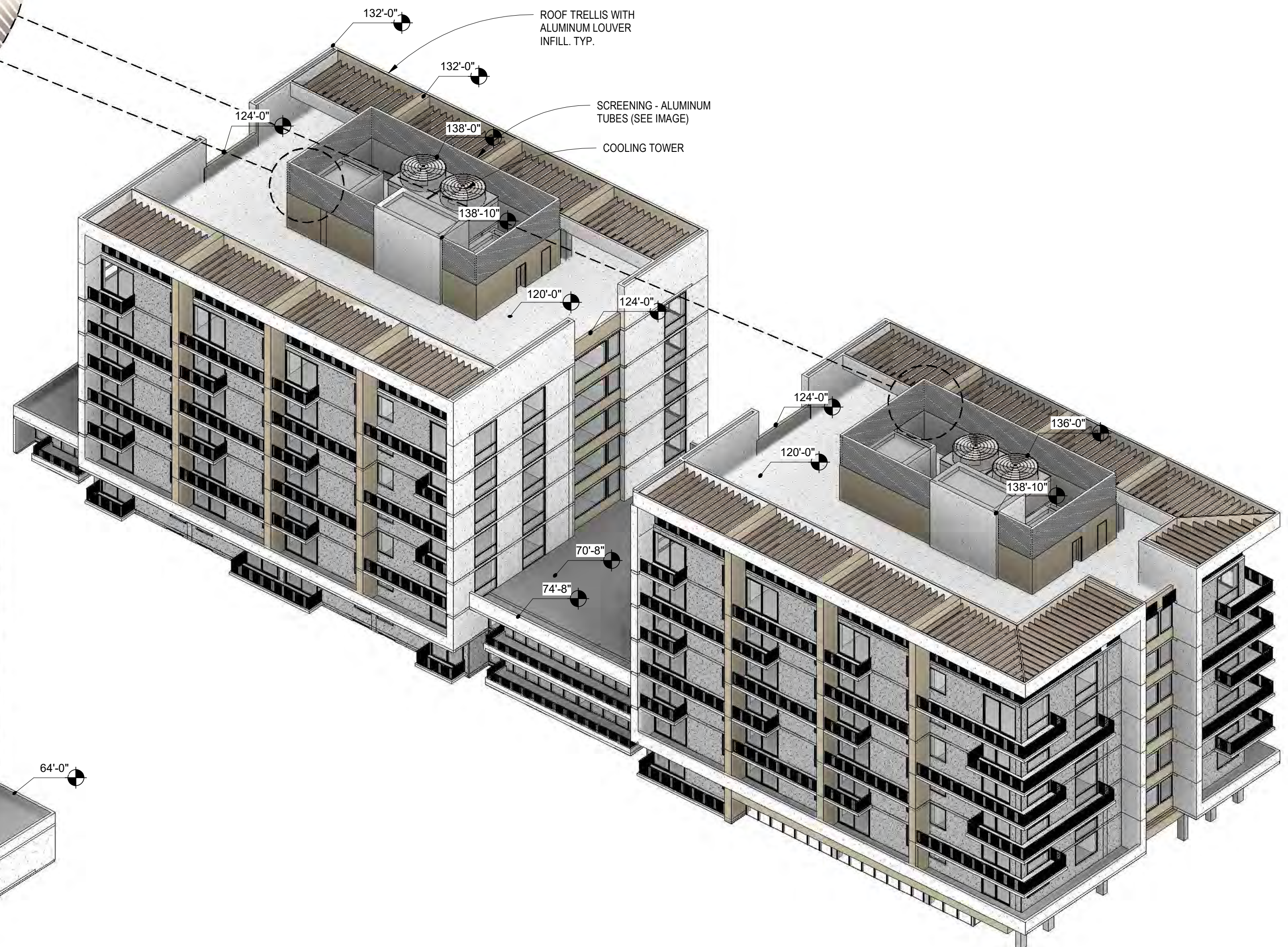
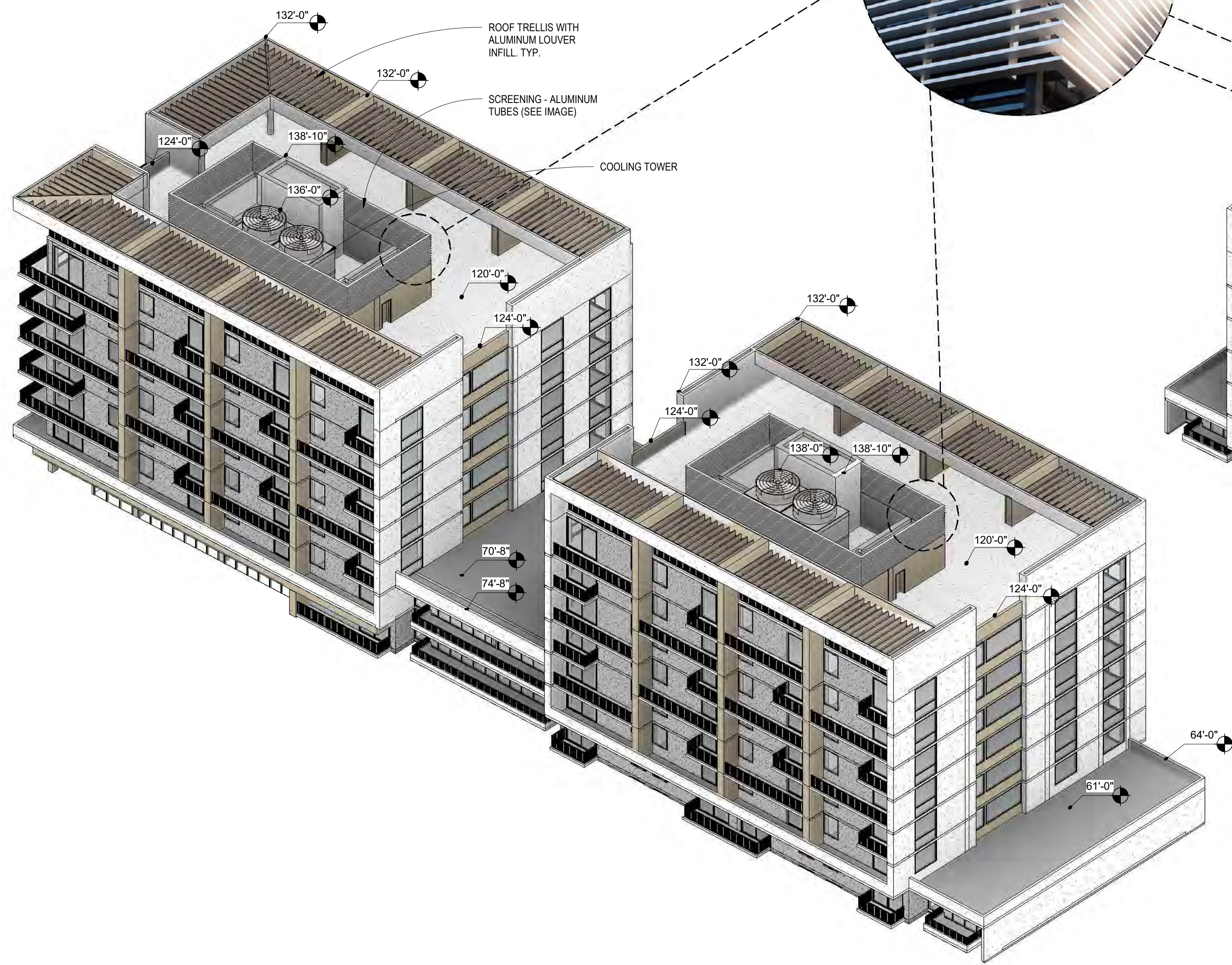
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2 ROOF - EASTWEST SECTION  
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1 ROOF - NORTH/SOUTH SECTION  
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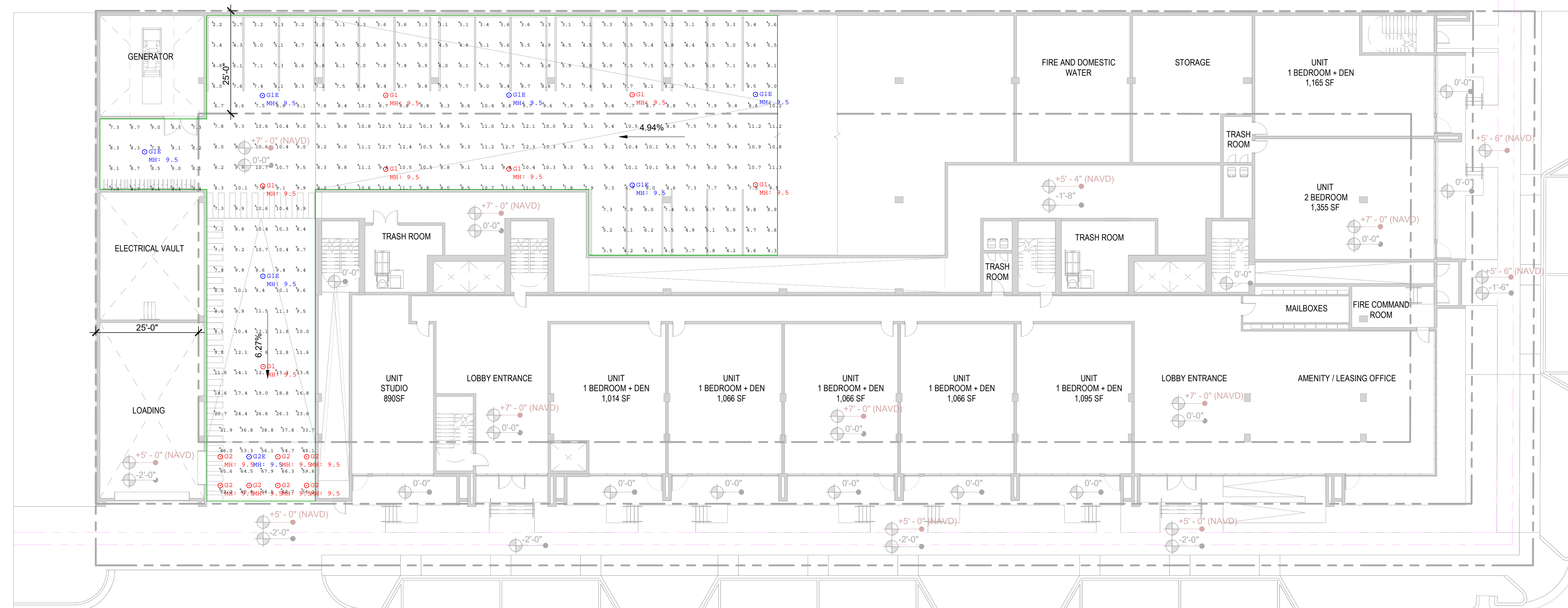
ROOF SECTION

DRC SET

AR-302

2/7/2024 6:58:56 PM

DESIGNED: Designer  
DRAWN: Author  
CHECKED: Checker



Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Total Watts
⊙	7	G1	Single	LSI Industries EXN-D-EGLED-06L-T5W-UNV-DIM-40-80CRI-XX	0.900	6263	308
⊙	6	G1E	Single	LSI Industries EXN-D-EGLED-06L-T5W-UNV-DIM-40-80CRI-XX (Connected to Generator)	0.900	6263	264
⊙	7	G2	Single	LSI Industries EXN-D-EGLED-06L-T5W-UNV-DIM-40-80CRI-XX	0.900	6380	308
⊙	1	G2E	Single	LSI Industries EXN-D-EGLED-06L-T5W-UNV-DIM-40-80CRI-XX (Connected to Generator)	0.900	6380	44

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
Entrance	Illuminance	Fc	52.41	67.9	31.9	1.64	2.13	
Parking Spaces_Floor	Illuminance	Fc	6.08	9.1	2.2	2.76	4.14	
Ramp and Drive Lane	Illuminance	Fc	10.19	26.6	6.7	1.52	3.97	

1 L.01 PHOTOMETRIC PLANS  
AR-401 Scale: 1/16" = 1'-0"

REVISIONS

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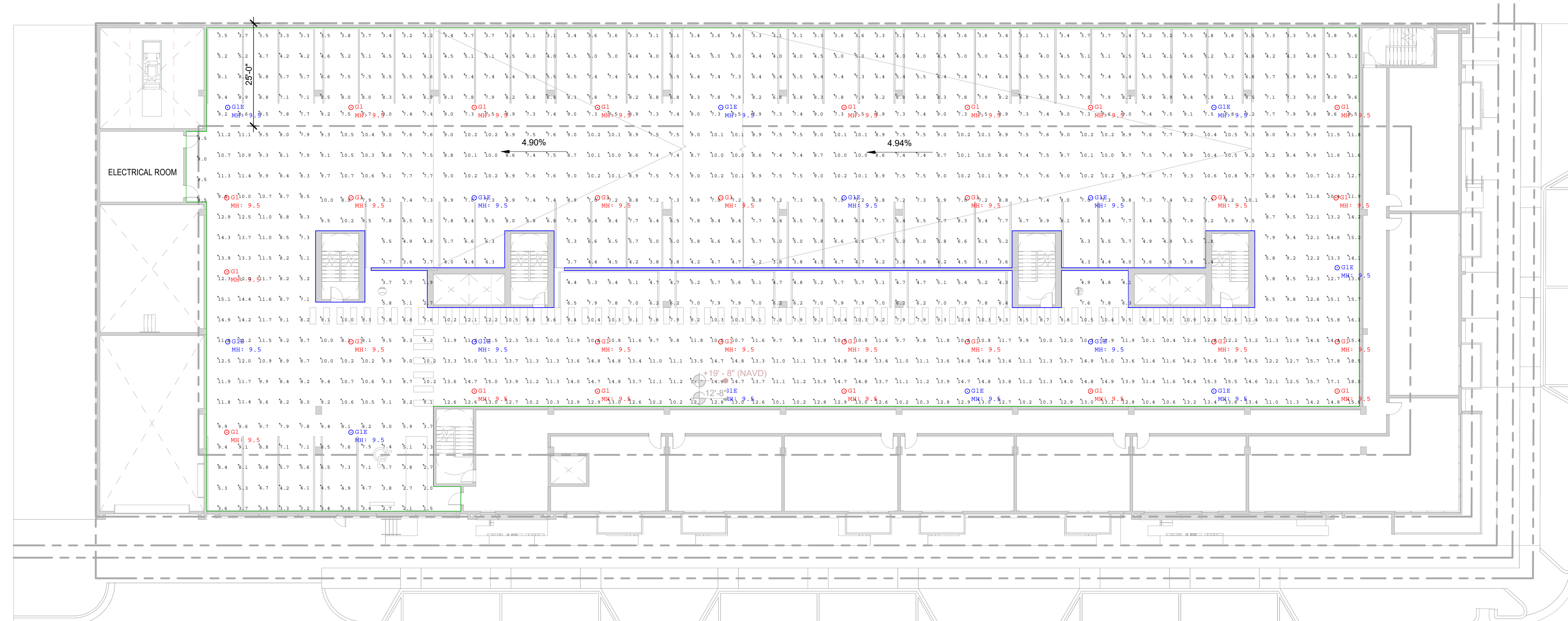
L.01 PHOTOMETRIC PLANS

DRC SET

AR-401

2/7/2024 7:02:21 PM

DESIGNED: Designer  
DRAWN: Author  
CHECKED: Checker



Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
⊙	14	G1E	Single	LSI Industries EXN-D-EGLED-06L-T5W-UNV-DIM-40-80CRI-XX (Connected to Generator)	0.900	6263	44	616
⊙	28	G1	Single	LSI Industries EXN-D-EGLED-06L-T5W-UNV-DIM-40-80CRI-XX	0.900	6263	44	1232

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
Parking Spaces_Floor	Illuminance	Fc	5.97	10.2	1.4	4.26
Ramp And Drive Lane	Illuminance	Fc	10.49	18.5	5.1	2.06

1 L02 PHOTOMETRIC PLANS  
AR-02 Scale: 1/16" = 1'-0"

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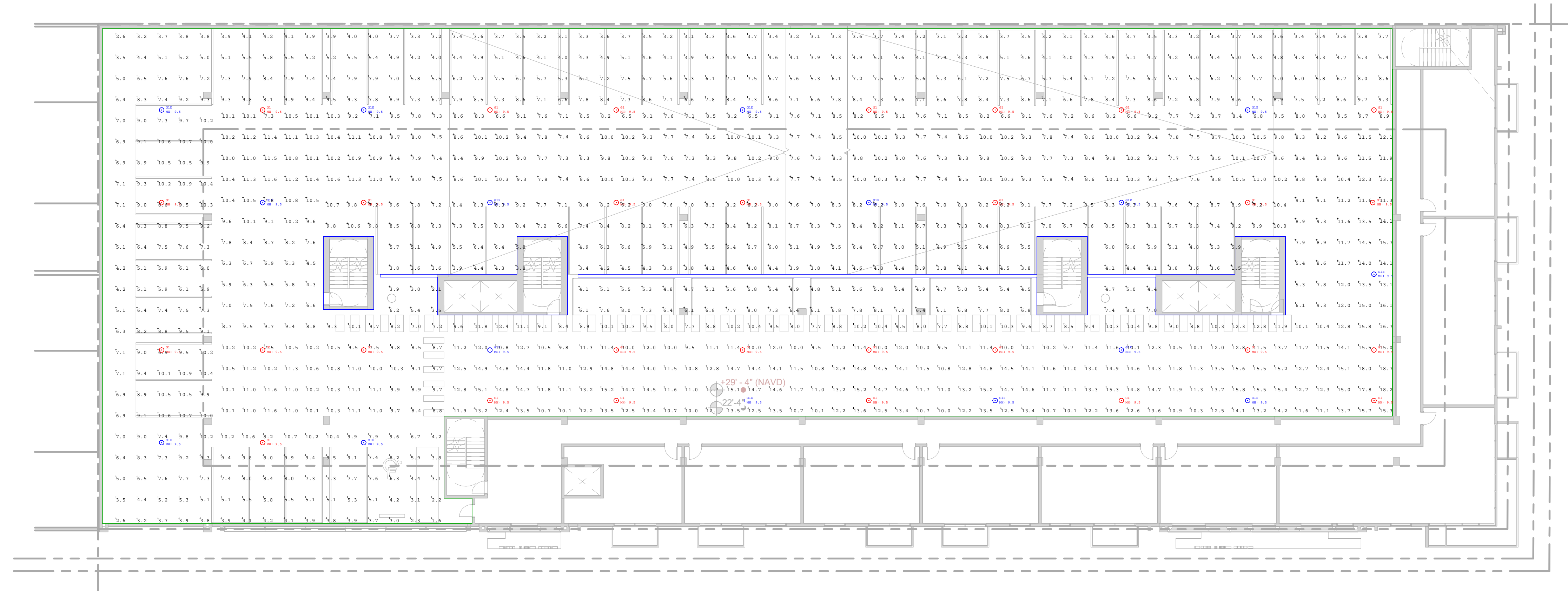
L02 PHOTOMETRIC PLANS

DRC SET

AR-402

2/7/2024 7:02:23 PM

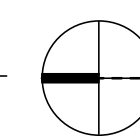
DESIGNED	DRAWN	CHECKED
Designer	Author	Checker



Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
⊙	29	G1	Single	LSI Industries EXN-D-EGLED-06L-T5W-UNV-DIM-40-80CRI-XX	0.900	6263	44	1276
⊙	16	G1E	Single	LSI Industries EXN-D-EGLED-06L-T5W-UNV-DIM-40-80CRI-XX (Connected to Generator)	0.900	6263	44	704

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
Parking Spaces_Floor	Illuminance	Fc	6.36	10.9	1.5	7.27
Ramp and Drive Lane	Illuminance	Fc	10.42	18.7	4.3	4.35

1 L.03 PHOTOMETRIC PLANS  
AR-03 Scale: 1/16" = 1'-0"



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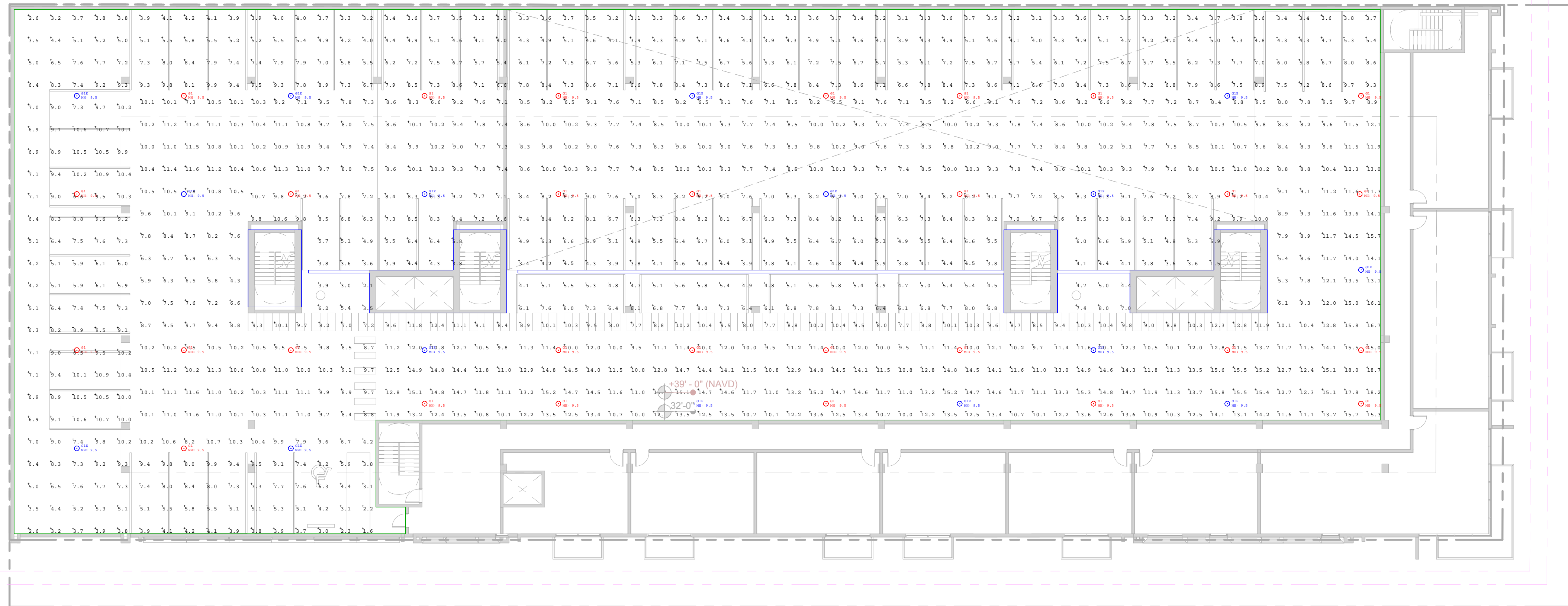
L.03 PHOTOMETRIC PLANS

DRC SET

AR-403

2/7/2024 7:02:25 PM

DESIGNED DRAWN CHECKED  
Designer Author Checker



Luminaire Schedule							LLF	Luminaire Lumens	Luminaire Watts	Total Watts
Symbol	Qty	Label	Arrangement	Description						
⊙	16	G1E	Single	LSI Industries EXN-D-EGLLED-06L-T5W-UNV-DIM-40-80CRI-XX (Connected to Generator)	0.900	6263	44	704		
⊙	29	G1	Single	LSI Industries EXN-D-EGLLED-06L-T5W-UNV-DIM-40-80CRI-XX	0.900	6263	44	1276		

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	
Parking Spaces_Floor	Illuminance	Fc	6.36	10.9	1.5	4.24 7.27
Ramp and Drive Lane	Illuminance	Fc	10.42	18.7	4.3	2.42 4.35

1 L04 FLOOR PLAN  
AR-04 Scale: 1/16" = 1'-0"

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L04 PHOTOMETRIC PLANS

DRC SET

AR-404



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4 SUN STUDY-MAR 21-9AM  
AR-601 Scale: 1" = 400'-0"



1 SUN STUDY-DEC 21-9AM  
AR-601 Scale: 1" = 400'-0"



5 SUN STUDY-MAR 21-12PM  
AR-601 Scale: 1" = 400'-0"



2 SUN STUDY-DEC 21-12PM  
AR-601 Scale: 1" = 400'-0"



6 SUN STUDY-MAR 21-5PM  
AR-601 Scale: 1" = 400'-0"



3 SUN STUDY-DEC 21-5PM  
AR-601 Scale: 1" = 400'-0"

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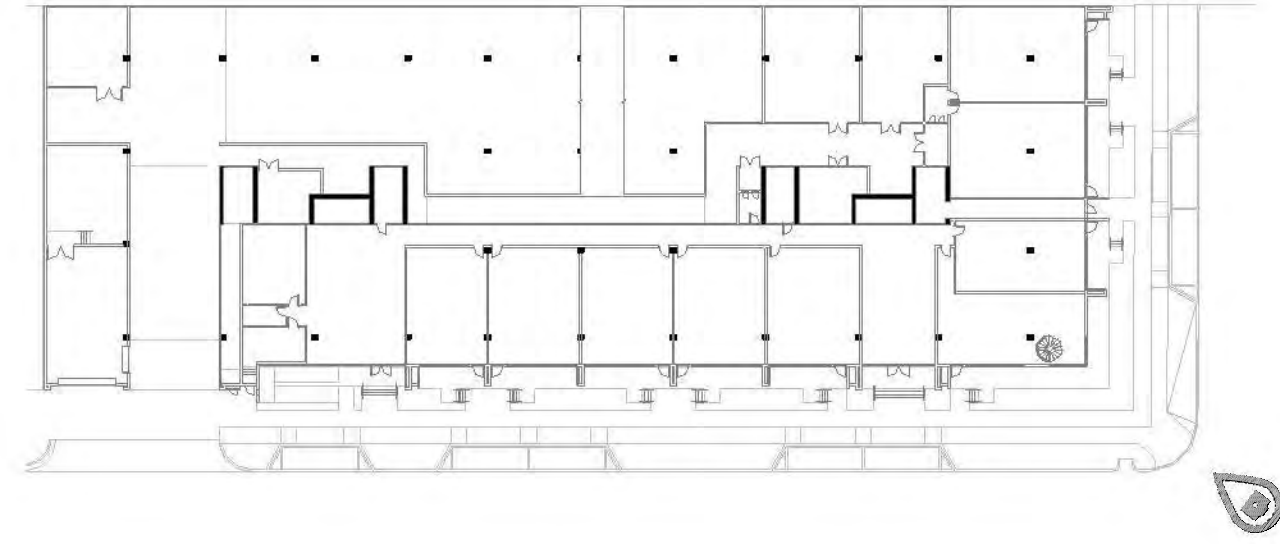
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SHADOW STUDY

DRC SET

AR-601

2/7/2024 6:59:20 PM



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Designer	Author	Checker



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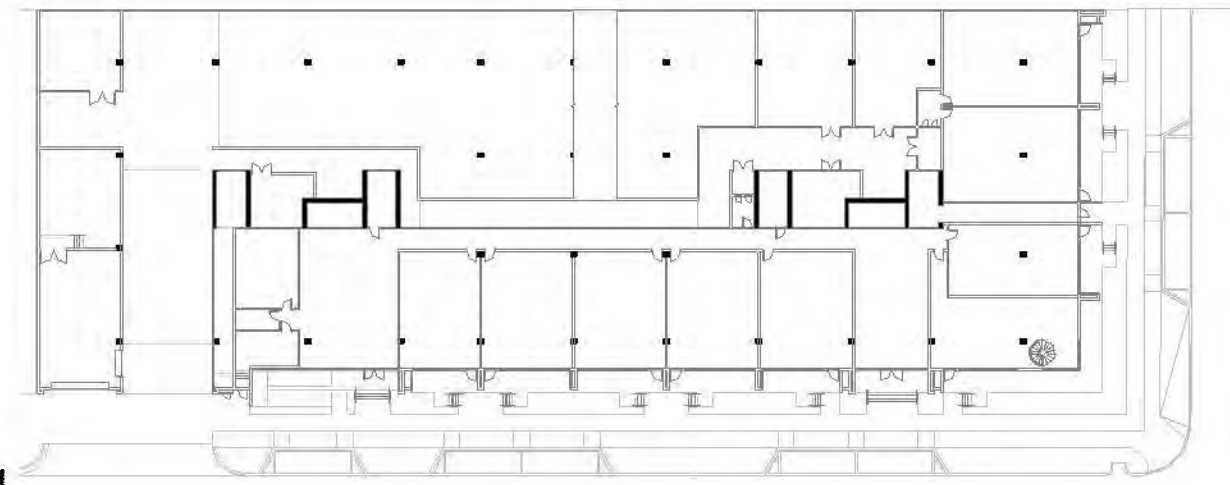
PERSPECTIVES & RENDERINGS

DRC SET

AR-801

1 PERSPECTIVE - SW CORNER  
N.T.S.

2/7/2024 6:59:22 PM



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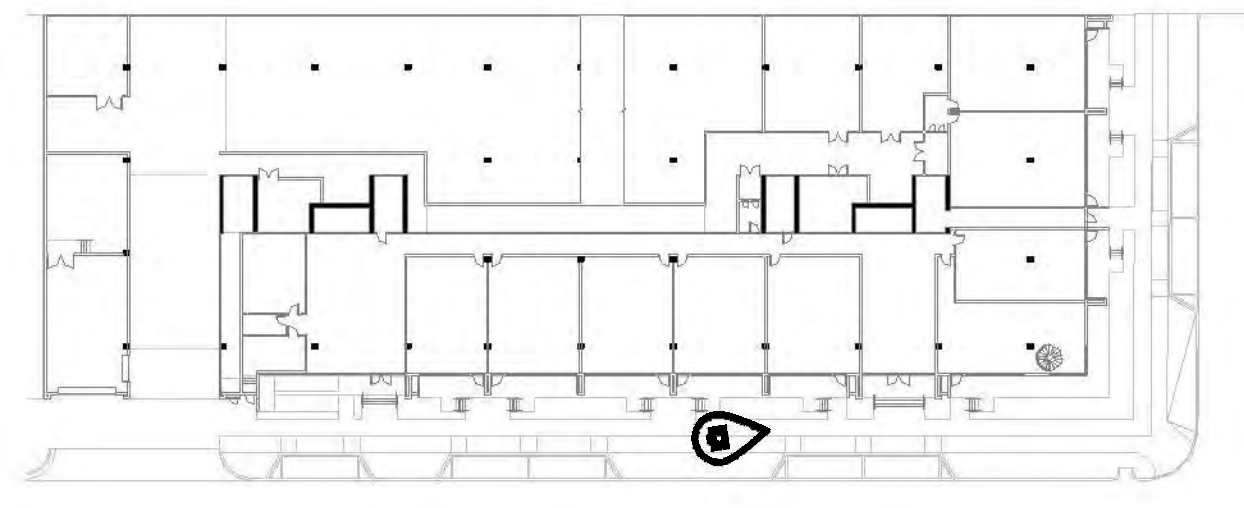
PERSPECTIVES & RENDERINGS

DRC SET

AR-802

1 PERSPECTIVE - NW CORNER  
AR-802 Scale: 1" = 1'-0"

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DESIGNED Designer	DRAWN Author	CHECKED Checker
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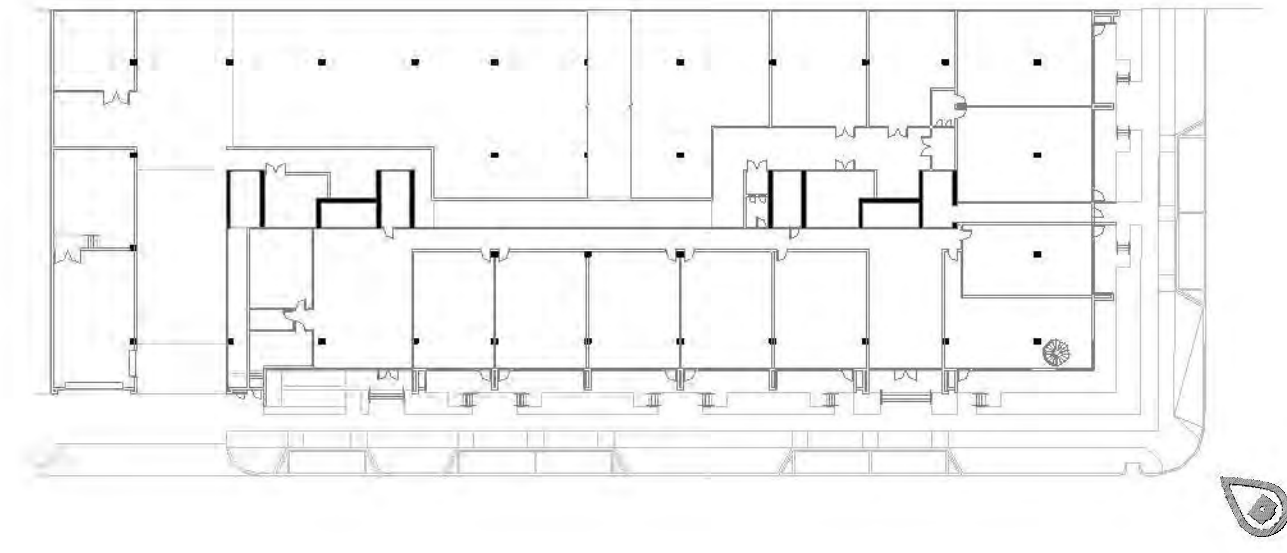
PERSPECTIVES & RENDERINGS

DRC SET

AR-803

1 PERSPECTIVE - MAIN ENTRANCE  
AR-803 Scale: 1" = 1'-0"

2/7/2024 6:59:25 PM



DESIGNED	DRAWN	CHECKED
Designer	Author	Checker



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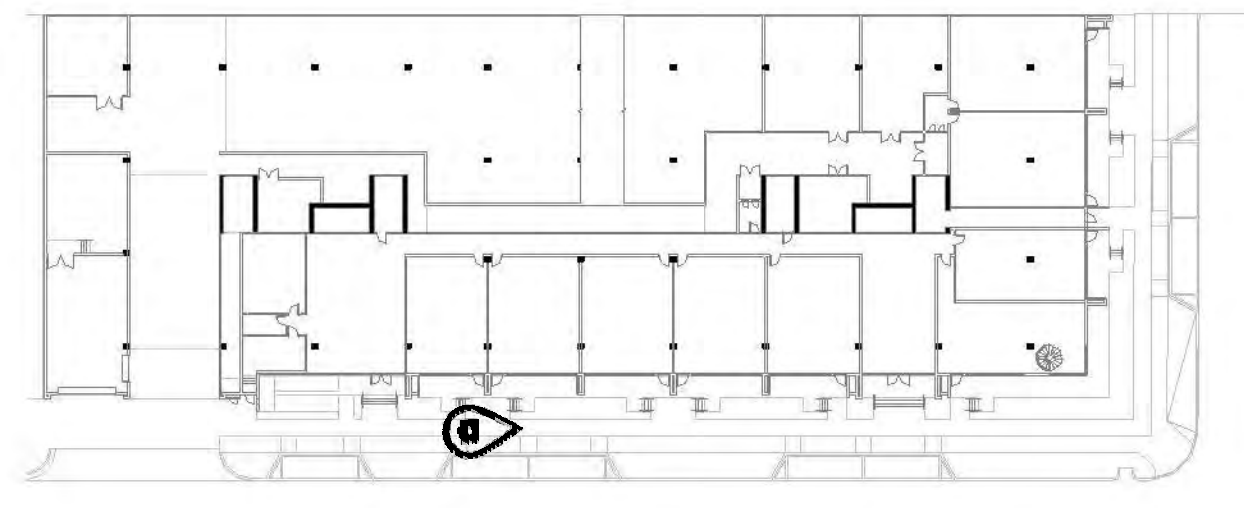
PERSPECTIVES & RENDERINGS

DRC SET

AR-804

1 PERSPECTIVE - STREET VIEW - SW CORNER  
Scale: 1" = 1'-0"

2/7/2024 6:59:26 PM



DESIGNED Designer	DRAWN Author	CHECKED Checker
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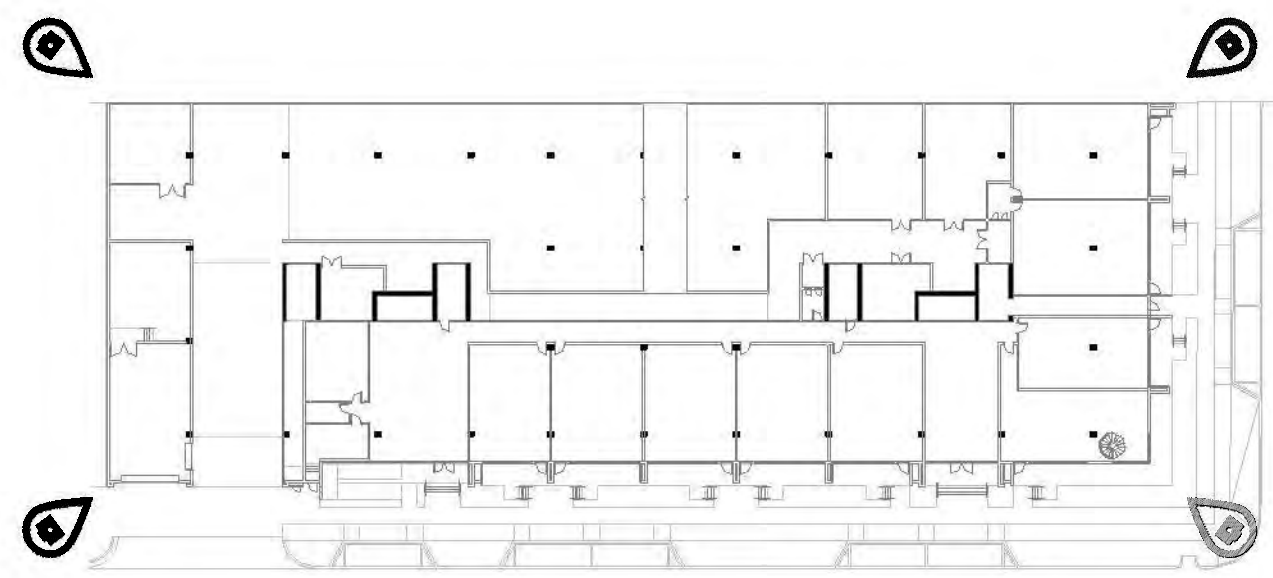
PERSPECTIVES & RENDERINGS

DRC SET

AR-805

1 PERSPECTIVE - STREET VIEW - LOOKING SOUTH  
AR-805 Scale: 1" = 1'-0"

2/7/2024 6:59:27 PM



3  
AR-806 SOUTHEAST CORNER - AERIAL  
Scale: 1" = 1'-0"



2  
AR-806 SOUTHWEST CORNER - AERIAL  
Scale: 1" = 1'-0"



1  
AR-806 NORTHEAST CORNER - AERIAL  
Scale: 1" = 1'-0"



11  
AR-806 NORTHWEST CORNER - AERIAL  
Scale: 1" = 1'-0"

DESIGNED	DRAWN	CHECKED
Designer	Author	Checker

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PERSPECTIVES & RENDERINGS

DRC SET

AR-806

2/7/2024 6:59:30 PM

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1 AERIAL NE  
AR-901 Scale: 1" = 1'-0"



2 AERIAL NW  
AR-901 Scale: 1" = 1'-0"



3 AERIAL SE  
AR-901 Scale: 1" = 1'-0"



4 AERIAL SW  
AR-901 Scale: 1" = 1'-0"

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EXISTING SITE PHOTOS - AERIALS

DRC SET

AR-901

2/7/2024 6:59:33 PM



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Designer	Author	Checker



3 STREET VIEW 1.3  
AR-902 N.T.S.



2 STREET VIEW 1.2  
AR-902 N.T.S.



1 STREET VIEW 1.1  
AR-902 N.T.S.



6 STREET VIEW 2.2  
AR-902 N.T.S.



5 STREET VIEW 2.1  
AR-902 N.T.S.



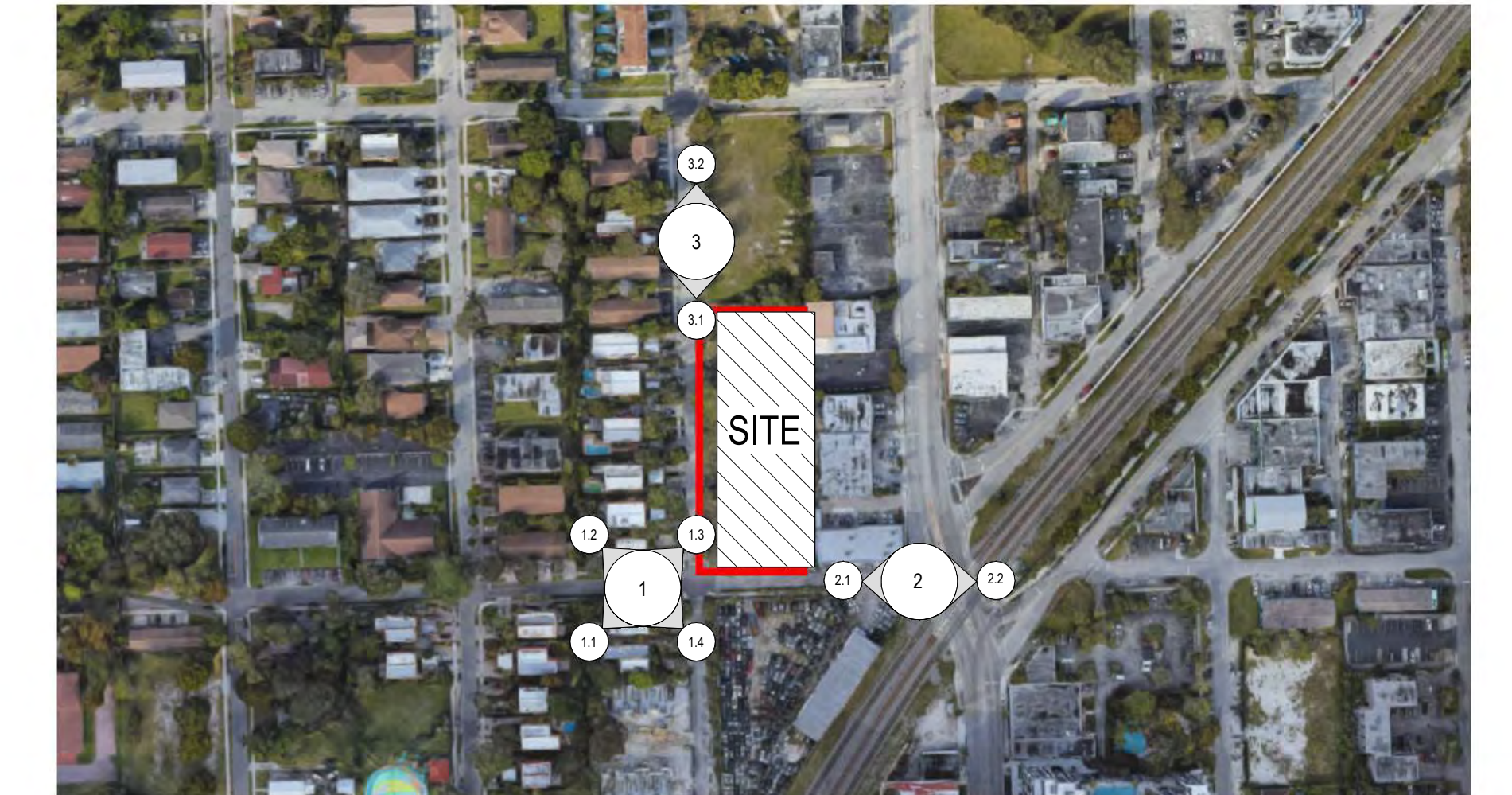
4 STREET VIEW 1.4  
AR-902 N.T.S.



8 STREET VIEW 3.2  
AR-902 N.T.S.



7 STREET VIEW 3.1  
AR-902 N.T.S.



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EXISTING SITE PHOTOS - STREET  
VIEWS  
DRC SET

AR-902

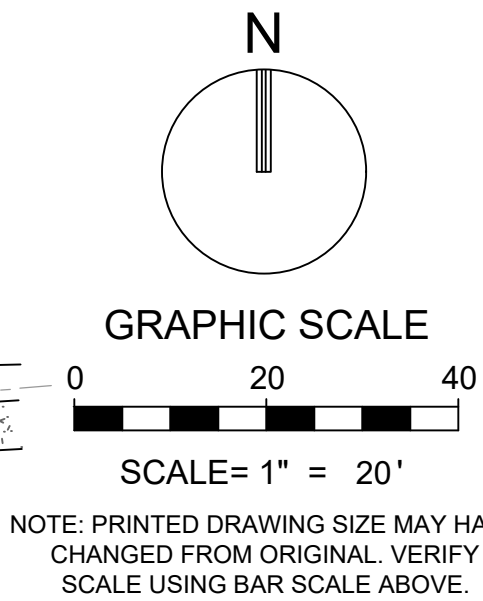
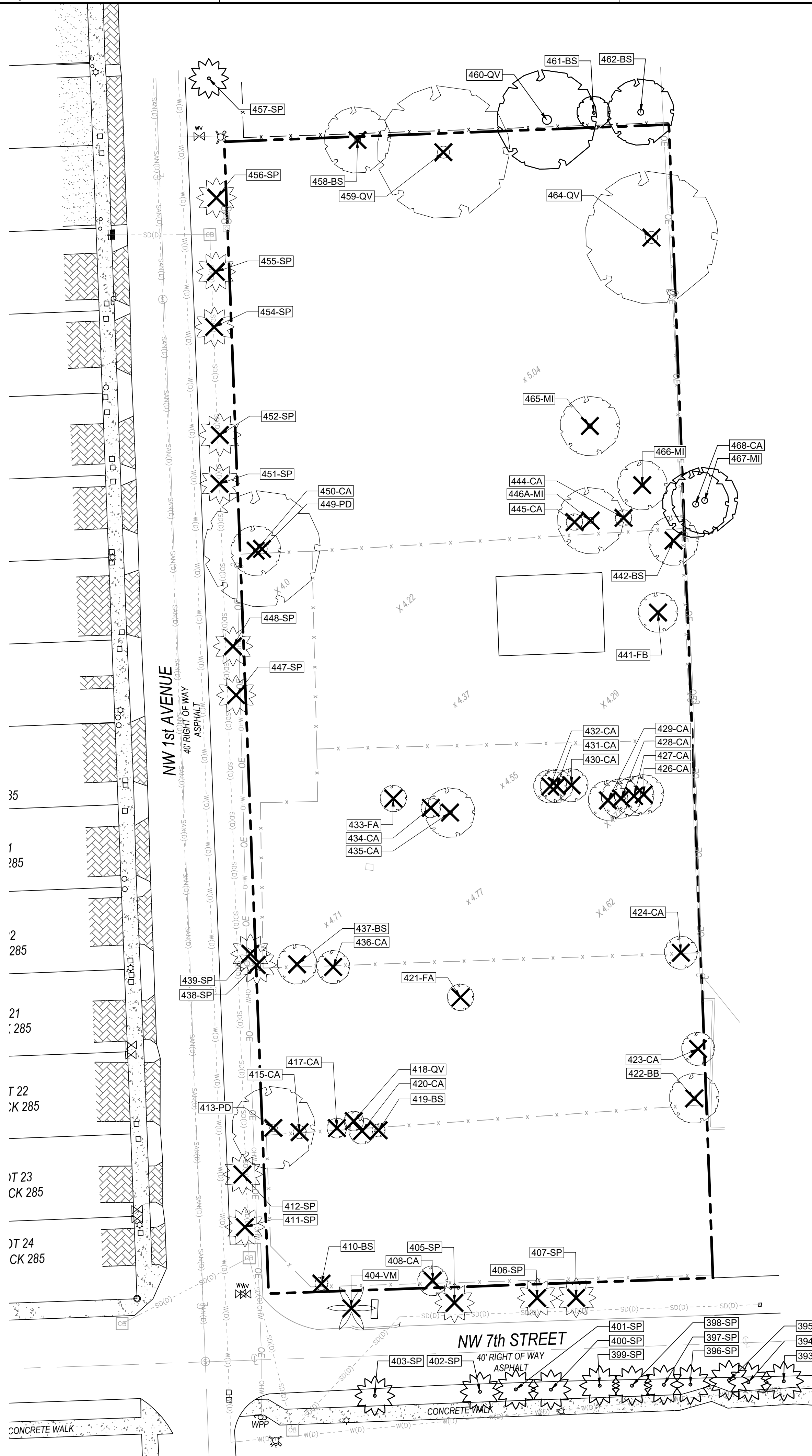
TREE DISPOSITION LEGEND	
SYMBOL	DESCRIPTION
(No symbol)	EXISTING TREE / PALM TO REMAIN (NO SYMBOL) TO BE PROTECTED DURING CONSTRUCTION
△	EXISTING TREE / PALM TO RELOCATE. REFER TO LANDSCAPE PLAN FOR NEW LOCATION
X	EXISTING TREE / PALM TO REMOVE. REMOVE ALL CAT 1 INVASIVE EXOTICS. (EX. BRAZ. PEPPER)
XXX-xx	EXISTING TREE / PALM NUMBER. REFER TO TREE DISPOSITION TABLE

**TREE DISPOSITION NOTES**

- EXISTING TREES TO REMAIN SHALL BE TRIMMED PER ANSI-A300 STANDARDS, REMOVING WEAKEST RUBBING BRANCHES AND DEAD BRANCHES, BUT RETAINING 80% OF FOLIAGE. LARGE TREES SHALL HAVE LOWER BRANCHES CLEARED UP TO 8'.
- SYMBOLS MAY BE SHOWN OFFSET FROM ACTUAL TREE LOCATION FOR CLARITY.
- CONTACT LANDSCAPE ARCHITECT / ISA CERTIFIED ARBORIST FOR CLARIFICATION ON ANY DISCREPANCIES.
- TRIMMING AND ANY NECESSARY ROOT PRUNING SHALL BE PERFORMED OR SUPERVISED BY A CERTIFIED ARBORIST.
- ALL TREE WORK REQUIRE PERMITTING BY A REGISTERED COUNTY TREE TRIMMER.
- BUBBLERS SHALL BE PROVIDED FOR ALL RELOCATED TREES AND PALMS.
- REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN "TREE REMOVAL PERMIT" FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL. CONFIRM WITH LOCAL GOVERNING AGENCY THAT TREES CLASSIFIED AS NUISANCE/EXOTIC INVASIVE MAY BE EXEMPT.
- ALL TREES AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. REFER TO TREE PROTECTION DETAIL. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, ROOT ZONES AND GRADE.
- ALL CATEGORY 1 EXOTIC/INVASIVE TREES TO BE REMOVED PER LOCAL ORDINANCE.

**TREE DISPOSITION TABLE**

TREE #	COMMON NAME	SCIENTIFIC NAME	DBH		HT	CNPY	TREE %	TREE	TREE REPL.	COMMENTS
			IN.	FT. (PALM)						
393	SABAL PALM	Sabal palmetto	N/A	N/A	N/A	N/A	N/A	REMAIN		OFFSITE
394	SABAL PALM	Sabal palmetto	N/A	N/A	N/A	N/A	N/A	REMAIN		OFFSITE
395	SABAL PALM	Sabal palmetto	N/A	N/A	N/A	N/A	N/A	REMAIN		OFFSITE
396	SABAL PALM	Sabal palmetto	N/A	N/A	N/A	N/A	N/A	REMAIN		OFFSITE
397	SABAL PALM	Sabal palmetto	N/A	N/A	N/A	N/A	N/A	REMAIN		OFFSITE
398	SABAL PALM	Sabal palmetto	N/A	N/A	N/A	N/A	N/A	REMAIN		OFFSITE
399	SABAL PALM	Sabal palmetto	N/A	N/A	N/A	N/A	N/A	REMAIN		OFFSITE
400	SABAL PALM	Sabal palmetto	N/A	N/A	N/A	N/A	N/A	REMAIN		OFFSITE
401	SABAL PALM	Sabal palmetto	N/A	N/A	N/A	N/A	N/A	REMAIN		OFFSITE
402	SABAL PALM	Sabal palmetto	N/A	N/A	N/A	N/A	N/A	REMAIN		OFFSITE
403	SABAL PALM	Sabal palmetto	N/A	N/A	N/A	N/A	N/A	REMAIN		OFFSITE
404	MONTGOMERY PALM	Veitchia montgomeryana	N/A	14	12	65%	75%	REMOVE		DOUBLE
405	SABAL PALM	Sabal palmetto	N/A	14	12	80%	75%	REMOVE		DOUBLE
406	SABAL PALM	Sabal palmetto	N/A	16	12	80%	75%	REMOVE		DOUBLE
407	SABAL PALM	Sabal palmetto	N/A	18	12	80%	75%	REMOVE		DOUBLE
408	CARROTWOOD	Cupaniopsis anacardoides	3	15	9	N/A	N/A	REMOVE		INVASIVE EXOTIC
410	GUMBO LIMBO	Bursera simaruba	4	12	4	60%	75%	REMOVE	2.40	
411	SABAL PALM	Sabal palmetto	N/A	14	12	75%	80%	REMOVE		
412	SABAL PALM	Sabal palmetto	N/A	12	12	75%	80%	REMOVE		
413	MADRAS THORN	Pithecellobium dulce	13	25	25	65%	75%	REMOVE	0.00	CO-D, DOUBLE, SHADED, LEANS, ROOTS
415	CARROTWOOD	Cupaniopsis anacardoides	4	16	4	N/A	N/A	REMOVE		INVASIVE EXOTIC
417	CARROTWOOD	Cupaniopsis anacardoides	4	15	6	N/A	N/A	REMOVE		INVASIVE EXOTIC
418	FICUS BENJAMINA	Ficus benjamina	6	16	6	60%	75%	REMOVE	2.16	
419	GUMBO LIMBO	Bursera simaruba	3	12	4	40%	75%	REMOVE	1.20	
420	CARROTWOOD	Cupaniopsis anacardoides	4	12	8	N/A	N/A	REMOVE		INVASIVE EXOTIC
421	STRANGLER FIG	Ficus aurea	4	10	8	30%	75%	REMOVE	0.96	
422	HONG KONG ORCHID	Bauhinia blakeana	7	18	15	80%	75%	REMOVE	3.36	
423	CARROTWOOD	Cupaniopsis anacardoides	4	13	10	N/A	N/A	REMOVE		INVASIVE EXOTIC
424	CARROTWOOD	Cupaniopsis anacardoides	7	10	10	N/A	N/A	REMOVE		DOUBLE, INVASIVE EXOTIC
426	CARROTWOOD	Cupaniopsis anacardoides	7	12	12	N/A	N/A	REMOVE		INVASIVE EXOTIC
427	CARROTWOOD	Cupaniopsis anacardoides	4	12	12	N/A	N/A	REMOVE		INVASIVE EXOTIC
428	CARROTWOOD	Cupaniopsis anacardoides	4	12	12	N/A	N/A	REMOVE		INVASIVE EXOTIC
429	CARROTWOOD	Cupaniopsis anacardoides	12	12	12	N/A	N/A	REMOVE		INVASIVE EXOTIC
430	CARROTWOOD	Cupaniopsis anacardoides	3	10	10	N/A	N/A	REMOVE		INVASIVE EXOTIC
431	CARROTWOOD	Cupaniopsis anacardoides	4	10	10	N/A	N/A	REMOVE		INVASIVE EXOTIC
432	CARROTWOOD	Cupaniopsis anacardoides	3	10	10	N/A	N/A	REMOVE		INVASIVE EXOTIC
433	STRANGLER FIG	Ficus aurea	10	15	8	50%	75%	REMOVE	4.00	MULTI, ROOTS GROWING IN UTILITY POLE
434	CARROTWOOD	Cupaniopsis anacardoides	4	15	6	N/A	N/A	REMOVE		INVASIVE EXOTIC
435	CARROTWOOD	Cupaniopsis anacardoides	11	15	15	N/A	N/A	REMOVE		INVASIVE EXOTIC
436	CARROTWOOD	Cupaniopsis anacardoides	4	10	10	N/A	N/A	REMOVE		INVASIVE EXOTIC
437	GUMBO LIMBO	Bursera simaruba	7	20	12	75%	80%	REMOVE	5.25	
438	SABAL PALM	Sabal palmetto	N/A	12	12	80%	80%	REMOVE		BOOTED
439	SABAL PALM	Sabal palmetto	N/A	12	12	75%	80%	REMOVE		BOOTED
441	FICUS BENJAMINA	Ficus benjamina	6-10	25	12	30%	75%	REMOVE	1.80	OLD HEDGE, MULTI-STEM
442	GUMBO LIMBO	Bursera simaruba	3,5	8	15	40%	75%	REMOVE	3.20	UP
444	CARROTWOOD	Cupaniopsis anacardoides	3	12	5	N/A	N/A	REMOVE		INVASIVE EXOTIC
445	CARROTWOOD	Cupaniopsis anacardoides	3	12	5	N/A	N/A	REMOVE		INVASIVE EXOTIC
446A	MANGO	Mangifera indica	15	14	20	30%	75%	REMOVE	2.70	
447	SABAL PALM	Sabal palmetto	N/A	12	12	80%	80%	REMOVE		
448	SABAL PALM	Sabal palmetto	N/A	14	12	80%	80%	REMOVE		
449	MADRAS THORN	Pithecellobium dulce	21	35	35	70%	75%	REMOVE	\$ 5,195.41	CO-D, BD, DB, 3 LEADERS
450	CARROTWOOD	Cupaniopsis anacardoides	6	15	15	N/A	N/A	REMOVE		INVASIVE EXOTIC
451	SABAL PALM	Sabal palmetto	N/A	18	12	75%	80%	REMOVE		
452	SABAL PALM	Sabal palmetto	N/A	14	12	80%	80%	REMOVE		
454	SABAL PALM	Sabal palmetto	N/A	14	12	75%	80%	REMOVE		
455	SABAL PALM	Sabal palmetto	N/A	12	12	75%	80%	REMOVE		
456	SABAL PALM	Sabal palmetto	N/A	18	12	80%	80%	REMOVE		
457	SABAL PALM	Sabal palmetto	N/A	N/A	N/A	N/A	N/A	REMAIN		OFFSITE
458	GUMBO LIMBO	Bursera simaruba	10	20	20	60%	75%	REMOVE	6.00	
459	LIVE OAK	Quercus virginiana	12,17,18	25	40	65%	75%	REMOVE	30.55	CONTAINED, MULTI-B-DMG, DB, VINES, SHARED CANOPY
460	LIVE OAK	Quercus virginiana	16	30	30	70%	75%	REMAIN		OFFSITE
461	GUMBO LIMBO	Bursera simaruba	12	15	10	60%	75%	REMAIN		OFFSITE, CO-D, SHADED
462	GUMBO LIMBO	Bursera simaruba	13	25	15	70%	75%	REMAIN		OFFSITE, UTILITY, SHARED CANOPY
464	LIVE OAK	Quercus virginiana	20	30	40	70%	75%	REMOVE	\$ 7,853.98	CO-D WITH IB, FUSED MULTI, CHE, UP
465	MANGO	Mangifera indica	16	18	18	70%	75%	REMOVE	6.72	
466	MANGO	Mangifera indica	5	15	15	70%	75%	REMOVE	2.10	
467	MANGO	Mangifera indica	18	N/A	N/A	N/A	N/A	REMAIN		OFFSITE
468	CARROTWOOD	Cupaniopsis anacardoides	4	N/A	N/A	N/A	N/A	REMAIN		OFFSITE
		(Qty) TOTAL TREES REMOVED						17		
		TOTAL DBH REMOVED						165 IN		
		(Per trees removed) TOTAL EQUIVALENT REPLACEMENT REQUIRED						72 IN		
		(Per Specimen Trees Removed) TOTAL PAYMENT INTO TREE CANOPY TRUST FUND						\$13,049.39		
		(Cocos, Royals, Dates) TOTAL PALM DOLLAR REPLACEMENT REQUIRED						\$0.00		
		(Replaced at 1:1) TOTAL PALMS TO BE REMOVED						16		



301 East Atlantic Blvd.  
Pompano Beach, FL 33060  
PH: (954) 788-3400

Florida Engineering Business License: CA7928  
Florida Surveyor and Mapper Business License: LB6860  
Florida Landscape Architecture Business License: LC26000457

REVISIONS		
NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN  
NOT FOR CONSTRUCTION**

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS.

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: **01/26/24**

DESIGNED BY: **RP**

DRAWN BY: **RP**

CHECKED BY: **PW, KS**

BID-CONTRACT:

PAUL H. WEINBERG, PLA  
FLORIDA REG. NO. LA666804  
(FOR THE FIRM)

CLIENT  
**FSMY ARCHITECTS & PLANNERS**

PROJECT  
**700 NW 1ST AVE**

SHEET TITLE  
**TREE DISPOSITION PLAN**

SHEET NUMBER  
**LD-101**

PROJECT NUMBER  
**13336.00**

STATUS: DRC SUBMITTAL

Plotted by: rpowell On 2/5/2024 1:45 PM

Drawing name: K13336.00 - NW 1st Avenue - FSMT/Landscape Architecture/CAD/13336.00-LD-101-PLX.dwg

1 SCOPE

1. The location of plants, as shown on the plans, is approximate. The final locations may be adjusted slightly to accommodate unforeseen field conditions, to comply with safety setback criteria, to avoid creating unsafe sight conditions, or as otherwise directed or approved by the Landscape Architect / owner in writing. All other location adjustments to the layout are to be approved in advance in writing by the Landscape Architect and owner.

2. Contractors shall ensure that the design of this project is meeting landscape ordinances with a design fare that includes symmetry, alignment, focal points and / or smooth curvilinear forms where applied and contractor shall follow and instruct the working crews accordingly. In the event of any doubt as to how to execute the plans, Contractor shall immediately consult with Architect and/or Owner.

3. Landscape Contractor shall fine grade, prepare site as outlined in the following notes and per plans; furnish and install all plants, shrubs, trees and / or palms meeting minimum requirements and brace them per details provided. Furnish and install sod, gravel, boulders, sod and mulch as specified in plans and notes below.

4. Landscape contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, fertilizer, herbicide, pre-emergence herbicide, seed, and mulch.

D BIDDING

1. Contractor to have liability insurance including Owner and Landscaper as insured's in excess of \$10,000 as well as Worker's Compensation.

2. Contractors and Subs must ensure they are doing take offs from Bldg Dept. Revised sets and / or Bid Set documents. Verify with this Office that you are bidding from latest available plans.

3. Read ALL notes and typical planting details sheets prior to submitting RFIs and prior to bidding.

4. When submitting an RFI reference sheet number, detail number and/or note category and number.

5. Landscape contractor shall verify all estimated quantities of material shown on the drawings prior to submitting their bid. Plant list pricing (if shown) is for permitting / mitigation comparison purposes only, any prices shown that are to be disregarded by Landscape Contractor.

6. All Plant Material shall meet or exceed height and spread requirement. Heights are local code requirement and / or design intent related and always governs over container size. Container size given for reference only and must be sized-up to meet minimum requirements of plant list. Plant material available with excessive height beyond specifications must be consulted with Landscape Architect for design intent.

7. All landscape material was confirmed to be available at the time of design. Landscape contractor understands that some material may not be available locally, however is available in Tri-County Region. Plant material supply is the responsibility of the Landscape Contractor that is awarded the contract and he/she shall take steps to ensure availability at the time of installation. Bring to the attention of Landscape Architect if specific material is no longer available at the time of bidding and / or prior to actual construction. Substitutions must be approved prior to construction.

8. Pre-inspections of site required prior to bidding.

9. The plant list is intended only as an aid to bidding. Any discrepancies found between the quantities on the plan and the quantities on the plant list shall be brought to the attention of the Landscape Architect for clarification.

10. All labor and material for soil amendments and fertilizer that is required to ensure the successful establishment and survival of the proposed vegetation, as well as all the cost for the removal of unsuitable or excess backfill material from plant beds, in addition to fine grading and mulching all plant beds and individual trees shall be included in the contractor's bid to perform the work represented in this plan set.

11. Bid shall be itemized for possible value engineering.

12. Sod and Rocks (if specified) shall be estimated by scaling plans. Include price per square foot for sod. Rocks (include price per ton). Small rocks and gravel beds shall have landscape fabric material and minimum 4" depth. Boulders to be bid by unit.

C GENERAL LANDSCAPE NOTES

1. All S.F. if noted is approximate and shall not be considered all inclusive; it is the contractor's responsibility to do his or her take off, submit price per S.F. and in the end, sod all areas that are not covered either by plants, mulch and/or rocks. It shall be the responsibility of the contractor to include in the bid, the repair of any existing sod which may be damaged during construction.

2. All plant amendments and fertilizers for actual plants installed on the project.

3. Contractor shall be responsible for obtaining and paying for costs of all permits described in bid whether permit costs are reimbursable by owner or included in bid. Research permit status and research all permits and additional documentation and certifications required such as separate tree removal permit for example, and consider prior to bidding.

16. General / Landscape Contractor shall leave a 5% unforeseen conditions allowance such as for additional root barriers determined on site and as job progresses.

17. Refer to Section T, Watering, for supplemental watering requirement.

18. Landscape contractor is responsible for verifying all plant quantities prior to bidding and within 7 calendar days of receipt of these plans shall notify the landscape architect in writing of any and all discrepancies. In case of discrepancies, planting plans shall take precedence over plant list. No substitutions are to be made without prior consent of the Landscape Architect.

C. GENERAL LANDSCAPE NOTES

1. Plants grown in containers prior to installation shall be removed from their containers before they are planted in the ground and have circling roots removed. All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary. All hedge material required for screening purposes shall be planted with branches touching. Adjust spacing as necessary and/or provide additional plants to provide an adequate screen as required by code. Leave access to utility or clearance as required.

2. All landscaping shall be installed according to sound nursery practices. Contractor shall comply with federal, state and local laws and regulations pertaining to the inspection for plant disease and insect infestation.

3. All site, design and plan details indicated or represented by this drawing are owned by and are the exclusive property of Keith and Associates and may not be duplicated without authorization or used for other projects than the intended.

4. The Landscape Contractor shall exercise caution to protect any existing sod, electrical and irrigation. Any damage to the sod, electrical or irrigation shall be replaced or repaired to the original state by the Landscape Contractor at no additional cost to the owner.

5. Tree, palm, accent shrubs and bed lines are to be located in the field and approved by the Landscape Architect / owner prior to planting. Landscape Contractor acknowledges that material planted without approval of location may be subject to relocation by Landscape Architect to maintain design intent if not followed properly.

6. All trees must be pruned as per Landscape Architect's direction.

7. In areas where asphalt is removed in order to receive landscape material, the lime rock sub-base material must also be removed and replaced with approved planting soil mix.

8. Landscape contractor is responsible for sending photographs to the landscape architect to pre-approve all trees, palms, and shrubs prior to delivery to project site.

9. Landscape contractor shall coordinate his or her work with that of the irrigation, landscape lighting, and hardscape contractor if different.

10. The landscape contractor shall treat plant areas with pre-emergence herbicide after weeds and grass have been removed. Landscape contractor shall wait 7 days after pre-emergence treatment prior to planting.

D. PERMITS & REGULATIONS

1. Contractor(s) must obtain separate landscape, irrigation and tree relocation/removal permits from the governing authority prior to the issuance of the first building permit for the project.

2. Landscape contractor to call the local Landscape Inspector to schedule a pre-construction meeting prior to installation if required.

3. All mandatory requirements by local Landscape Departments and their inspectors shall govern and landscape contractor commits by accepting contract to comply promptly for builder/owner to obtain C.O.

E. TREE REMOVAL

1. Removal of any trees or palms will require a written "tree removal permit" from the local governing agency prior to removal. Non-native trees classified as "prohibited" trees may be exempt from the permit if listed as Category 1 by Florida Exotic Pest Plant Council. Confirm with Local Municipality.

2. Landscape Contractor is responsible to remove ALL invasive nuisance trees such as Brazilian Pepper, Melaleuca, Australian Pine and all invasive trees as categorized by the governing agencies, whether listed on plans or not.

3. The Landscape Contractor is responsible for coordinating tree and palm removals and transplants shown on the tree/palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, ground covers, sod and weeds within landscape areas.

F. EXISTING TREES

1. Existing trees designated to remain shall be protected during all construction phases. Any trees or shrubs designated to remain that are scarred or destroyed will be replaced at the contractor's expense, per the appraised value.

2. Existing plant material not shown on the plan and in conflict with new planting shall be evaluated at the time of new planting installation by the Landscape Architect. Trees and plant material indicated to be relocated with no new location provided in plans shall be moved to a location on site designated as a nursery holding area with the root ball protected from direct sunlight, maintained and irrigated until new location is determined.

3. Prune trees to remove damaged branches and improve natural shape and thin out structure. Do not remove more than 15% of branches. Do not prune back terminal leader.

4. Prune existing shrubs to remove damaged branches and improve natural shape.

5. Existing trees to remain shall be trimmed per ANSI-A300 standards. Supervision of the trimming shall be performed by an ISA Certified Arborist to ensure quality work.

6. All existing trees shall be "lifted and thinned" to provide an 8' minimum clearance for sidewalks and pedestrian walkways and a 14' minimum clearance for roadways, driveways and all vehicular use areas.

7. Selective canopy and root pruning of existing trees can be conducted (only as necessary and in no event more than 35%) to accommodate for new approved construction. Pruning shall be conducted / supervised by an ISA Arborist.

8. If plans call for relocation of trees, palms or plants. High level of care should be exercised to assure that they are not damaged in the process and that they are promptly replanted upon being dug up.

9. All underground utilities and drain or irrigation lines shall be routed outside the tree protection zone. If lines must traverse the protection area, they shall be tunneled or bored under the tree.

10. Erosion control devices such as silt fencing, debris basins, and water diversion structures shall be installed to prevent siltation and/or erosion within the tree protection zone.

11. Roots shall be cut manually by digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root pruning equipment.

G. TREE RELOCATION (These notes for relocation trees only and if applicable)

1. Flag all trees and palms to be transplanted with differentiating color than those to be saved or removed.

2. Tree Relocation process must be performed or supervised by ISA Certified Arborist.

3. Water the root zones to field capacity for 5 continuous days before root pruning. At a minimum soak the soil to a 4'-0" depth within a 6' radius.

4. Root prune a minimum of six weeks before relocation. Prune away all dead or damaged limbs or fronds. For trees, prune out 1/3 of the existing canopy by selectively trimming small internal branches. For palms, gather fronds above the bud and tie them loosely with jute twine to avoid damage.

5. Brace root pruned trees awaiting relocation.

6. Root prune 3rd of the root system, irrigate daily for 2 weeks then root prune another  $\frac{1}{3}$  rd, irrigate daily and prune last  $\frac{1}{3}$  rd on actual relocation date, no less than two weeks (six weeks total minimum root pruning by stages). ISA Arborist on staff shall observe for intense shock. Canopy pruning may be deemed necessary by Arborist on staff to balance for intense root ball loss, canopy shall be trimmed only as necessary to increase survival.

6. Root prune with proper clean equipment to sever roots. Ensure roots are not torn or pulled apart.

7. With hand tools, dig a 2'-0" wide by 3'-0" deep trench at a minimum distance as determined by the consulting arborist to expose roots. Cut all roots 1.5" and larger in diameter with a clean, sharp pruning saw. Treat all cuts with a fungicidal barrier. Backfill the trench within 4 hours of digging, with a 1:1 mixture of site soil and sandwist or other fine organic material. Do not compact.

8. Form a rootball size in compliance with Florida grades and Florida standards number 1 or better.

9. Maintain the soil moisture at field capacity throughout the six weeks.

10. Allow the plant to regenerate roots over a period of six weeks.

11. At the end of six weeks, prepare the planting pit at the new location. Overdig the hole diameter a minimum of 2' beyond the root ball, with the recipient hole to be at least 1/3 larger than the area that was trenched for transplanting.

12. With the consulting arborist present, undercut the entire root ball of the plants to be transplanted at a depth specified by the arborist. The undercutting method may be a choker cable drawn through the root ball with heavy equipment.

13. At the direction of a professional rigger, assemble slings, padding, guiding ropes and cables for attachment to the crane or derrick. The professional rigger shall determine the size of machinery necessary to execute the lifting and moving operation.

14. Install trees within 24 hours of removal from their original location to locations provided by Landscape Architect or Developer with approval of municipal / Landscape Inspector.

15. Recipient site to be within 4" of finished grade. Tree pit excavation to match the size of root ball. Top of root ball to match the finished grade.

16. Maintain trees in a healthy and vigorous condition during installation and throughout the plant establishment period. Replace trees that do not meet this requirement with the same species, size, and quality or per mitigation requirements specific to the governing authority with jurisdiction.

17. Fertilize the plant as directed by the consulting arborist.

18. When the plant is placed in the new location, backfill the planting pit with topsoil and water thoroughly to eliminate air pockets and compact the soil. Set the tree no deeper than its original condition.

19. Cover the root ball area with 3" depth of organic mulch.

20. Provide fungicide and fertility applications at the direction of the consulting arborist.

21. Post transplant watering to provide moisture and reduce any excessive stress due to root desiccation. Watering to be adjusted according to conditions and at the supervision and direction of the ISA certified arborist.

22. The diameter of the root-pruning or transplanting circle shall be at a distance away from the trunk equal to 12 times each inch of trunk diameter at breast height.

23. For all palms except Sabal palmetto, the lower fronds shall be pruned leaving 9-11 fronds that can be tied without an extensive amount of weight that may damage the heart of the palm. The Sabal palmetto shall have all fronds cut without damaging the bud.

24. Digging and preparation of the new hole for the transplant shall be done prior to removing the tree from the existing location.

25. The landscape Contractor is to verify that all new holes have appropriate percolation.

26. Over the guarantee period the landscape contractor shall be responsible for resetting any trees or palms that are not in a vertical position.

27. After transplanting trees and palms, the landscape contractor shall be responsible for obtaining water and watering to maintain soil moisture during the guarantee period at a minimum of: First month-daily, Second month - three times per week, Third and Fourth months - two times per week, Last eight months - one time per week.

H. SITE PREPARATION & GRADING

1. Landscape contractor shall loosen and till compacted soils that are overly compacted in all planting areas of the project to provide for proper soil aeration for plant establishment.

2. Planting areas shall be cleared of underground rocks, construction debris and other materials detrimental to the health of the plants. Lime rock base material shall be removed within planting pits and adjacent to pavement. The planting areas shall be clean to a depth equal to the root ball of the trees/palms proposed for the area. Planting area soils shall be tested for pH before planting. Soils showing high (alkaline) pH (over 7.5) shall be amended or replaced with native soil having a pH range of 6.5 - 7.5, as approved by Landscape Architect.

3. All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.

4. Landscape Contractor shall treat plant areas with pre-emergence herbicide after weeds and grass have been removed. Landscape Contractor shall wait (7) seven days after pre-emergence treatment prior to planting.

5. Site preparation shall include the eradication and removal of any weeds, clean-up of any dead material, debris, and rubbish.

6. General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading shall be provided by the Landscape Contractor. All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds and weed seeds. All lime rock shall be removed/cleaned down to the native soils.

7. The Landscape contractor shall ensure the planting areas are at finish grade prior to installing plant materials.

8. All trees and plant material to remain shall be protected during construction. Contractor shall install protective barriers such as "Tenax" orange safety fencing or similar, to be installed before the beginning of the project. Barriers shall be located to include the drip line of the trees, palms and plant material. The contractor shall take extra caution to prevent any damage to the trunk, root zones and grade.

9. Final grade within planting areas to be 4" below adjacent paved areas or top of curb. Sod areas to be 2" below.

10. All planting beds shall be shaped and sloped to provide proper drainage away from building and structures and to swales, if applicable.

I. IRRIGATION

1. Any Irrigation Notes and specifications included in Irrigation Sheets govern over the following Irrigation Notes.

2. The Landscape Contractor shall coordinate with the irrigation contractor if not the same and leave provisions for all individual trees in turf areas and all planting beds.

3. Irrigation / Landscape contractor to guarantee 100% coverage and 50% overlap (head to head coverage) to all landscaped areas and furnish and install a rain sensor.

4. Irrigation Contractor to adapt design to onsite conditions adjusting heads and changing nozzles as required to avoid overspray onto buildings or paved areas.

5. The contractor shall ensure that the irrigation system is operational and free of leaks prior to any planting being finalized. Plant material that is installed prior to the irrigation system being operational shall be watered by the contractor at his or her expense. Water for plant establishment should be included in the cost of the plant.

6. All guidelines as outlined by the South Florida Water Management District (SFWMD) or water management district with jurisdiction shall be strictly adhered to.

7. Irrigation water whether pumped from a lake or a well shall be treated for algae, rust, etc. to provide clean treated irrigation water that will not clog or stain property or components.

8. Any existing irrigation system shall be retrofitted to comply with the specifications as outlined above.

J. HARDSCAPE & OTHER MATERIALS

1. Face of trees and palms to be located a minimum of 2' setback from all fences, walkways, walls, and paved surfaces, unless otherwise indicated on the plans. Refer to details.

K. UTILITIES / CLEARANCES

1. The contractor shall be responsible for determining the location of and avoid and protect utility lines, buried cables, and other utilities. The owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.

2. Trees shall be placed a minimum of 5 ft. from underground utilities, unless otherwise approved in writing by Landscape Architect and Owner.

3. All canopy trees to be planted min. of 15' from light source/poles. Unless otherwise approved by the governing authority / Landscape Architect and Owner.

4. Landscape contractor shall contact the county, governing authority and/or utility companies to locate all underground utilities or structures prior to digging. Landscape contractor shall repair all damage to underground utilities, and/or construction caused by utility damage, at no cost to the owner.

5. All plant material symbols shown on landscape plan shall be considered diagrammatic and should be adjusted in the field by contractor to avoid all utilities, and all other obstructions.

6. If/ When digging in right of way needed: Two (2) full business days before digging, call toll free 1-800-432-4770, or 811, Sunshine State One Call of Florida, inc. Notification Center. In addition, call the Governing Agency's Utilities/Public Works Department. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations.

7. Above and below ground utilities shall be verified and located in the field by the contractor prior to commencing work in the project area. The contractor shall examine available utility plans and confirm conflicts between indicated or located utilities and landscape work. The contractor shall then notify the Project Engineer of said conflicts and the Engineer will coordinate any necessary adjustments with the utility provider. Tree locations will be adjusted as necessary when in conflict with existing utilities.

8. The final plant locations may be adjusted, as approved / directed by the Landscape Architect in writing, to accommodate utilities compliance. Excavations within 5' of known utilities should be done by hand.

9. Contractor shall familiarize himself with the location of and avoid and protect utility lines, buried cables, and all other utilities, noted or not, on plans.

10. Leave clearance and access to above ground or at grade meters and equipment.

11. Landscape planting shall be in conformance with FPL guidelines for setbacks from overhead utility lines.

12. Landscaping shall not interfere with light poles, fire hydrants, electrical/mechanical equipment access, signs, drainage structures, etc. Bring to the attention of Landscape Architect any conflicts.

L. ROOT BARRIERS

1. Root barriers will be installed to protect building foundations, curbing, walkways, paved areas, roadway base material and utilities from existing large trees or proposed new trees that are within 5' of existing or new approved construction or as may be deemed necessary as job progresses.

2. Mechanical Root barriers will be used for large existing Canopy Trees and chemical type barriers will be used for new trees.

3. Mechanical Root barriers will be "DeepRoot" and Chemical Root barriers will be "Biobarrier". Substitutions must be of approved equal or better quality.

4. Root barriers will be installed per manufacturer specifications.

5. Root barrier depths will be determined by the manufacturer recommended depth chart and as required by on-site conditions in a case by case basis as deemed necessary by Landscape Architect / ISA Arborist and Landscape Inspector.

M. LANDSCAPE BACKFILL & SOIL AMENDMENT

1. All building construction material and foreign material shall be removed from the planting areas and replaced with 70/30 mix (70% sand / 30% organic compost) or amend existing soils per section H.2.

2. Planting soil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and shrubs, the top 6" of all shrubs and ground cover beds and top 2" of all grassed areas. This soil shall be filled into the existing soil after the existing soil has been cleaned of all undesirable foreign materials. Recycled compost is encouraged as a soil amendment alternative. Planting soil to be weed free.

3. Planting backfill for palms shall be clean coarse native sand unless specified elsewhere.

4. Do not allow air pockets to form when backfilling. All trees shall be watered-in utilizing water probe or a tree bar.

N. PLANT SIZE & QUALITY

1. All plant material must meet or exceed the minimum size requirements as specified on the plant list. Height specification governs over container size if both specifications given cannot be met. Any other requirements for specific shape or effect as noted on the plan shall also be required for acceptance.

2. Material specified as Balled and Burlapped (B&B) can be accepted in container if not available as B&B and at the discretion of Landscape Architect; if so, root bound and/or circling roots shall be removed and root ball must be proportionate to Tree / Palm.

3. U.O.N. All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trunks on palms shall be uniform in thickness for the entire length of the palm and shall not taper off to disproportionate thinness towards the crown. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.

4. Use nursery grown plant materials that complies with all required inspection, grading standards, and plant regulations in accordance with the latest edition of Florida Department of Agriculture, "Grade & Standards for Nursery Plants".

5. All trees and palms shall be free of open wounds and unsightly visible scars.

6. All substitutions must be approved by the governing authority if it is required Canopy and by Landscape Architect / Owner if supplementary accent material.

7. Contractor shall comply with Federal, State, and Local laws and regulations pertaining to the inspection for plant disease and insect infestation.

8. Trees, palms, shrubs, ground covers: Plant species and sizes shall conform to those indicated on the drawings. All nursery stock shall be in accordance with grades and standards for nursery plants parts 1 and 2, latest edition published by the Florida Department of Agriculture and Consumer Services, unless specified otherwise. All plants shall be Florida grade number 1 or better as determined by the Florida Division of Plant Industry and lightly knit plant, so trained or favored in its development that first appearance is unquestionable and it is outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be freshly dug, sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and palms shall be uniform in size and shape. All materials shall be subject to approval by the Landscape architect.

9. Plants shall be pruned prior to delivery only upon the approval of the Landscape Architect.

10. All container grown material shall be healthy, vigorous, well-rooted plants and established in the container in which they are sold. The plants shall have top of good quality and be in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container sufficiently long enough for the new fibrous roots to have developed so that the root mass will retain its shape and hold together when removed from the container.

11. Field grown trees and palms previously root pruned shall obtain a root ball with sufficient roots for continued growth without resulting shock.

12. Root suckers on any tree are not acceptable and must be properly pruned.

13. Contractor shall coordinate with Landscape Architect and Owner to obtain prior approval for the selection of the specific specimens of all palms and any trees of more than six feet in height. Contractor to supply photograph of trees prior to purchase and installation.

O. PLANTING NOTES

1. At the discretion of the Landscape Architect, plants are subject to review for approval for size, variety, condition and appropriateness to the design intent.

2. All synthetic burlap, synthetic string or cords, or wire baskets shall be removed before any trees are planted. All synthetic tape (i.e., tagging tape) shall be removed from trunks, branches, etc. before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before the trees are back filled.

3. All "groundcover" requires 75% coverage and 100% within 3 months of installation. Bring to the attention of Landscape Architect in writing before commencing if this is not achievable with the design.

4. Set tree no deeper than it was in its original growing condition with the top of the root ball even with, or slightly higher (+/- 1") than the finished grade.

5. All trees/palms shall be planted so the top of the root ball, root fair are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade.

6. All trees and palms shall be braced / staked per accepted standards by the Florida Nursery, Growers & Landscape Association (FNGLA). Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details.

7. All trees, new or relocated, to be staked and guyed as detailed.

8. Layout shrubs to create a continuous smooth front line and fill in behind with triangular spacing.

9. Excavate pit or trench to 1-1/2 times the diameter of the balls or containers or 1' wider than the spread of roots and 3" deeper than required for positioning at proper height. Compact a layer of topsoil in bottom before placing plants. Backfill around plants with planting mixture, compacted to eliminate voids and air pockets. Form grade slightly dishd and bermed at edges of excavation. Apply 3" of mulch.

10. Groundcover and shrubs to be spaced in a uniform and consistent pattern per planting details.

11. All mechanical equipment, irrigation pumps, FPL transformers, pool pumps, etc. shall be screened on a minimum of three sides by landscape shrubs.

12. Contractor shall not mark or scar trunks in any fashion.

13. When requested by Landscape Architect, demonstration of healthy root system if not previously approved, can include tree removal and re-installation for inspection at no additional cost to the owner.

14. Remove rejected Plant material from the Site immediately and replace with acceptable plants.

P. FERTILIZATION

1. All Fertilization shall comply with state fertilization laws. Fertilization shall be Agriform "20-10-5 Plus minors" or similar approved slow-release tablets applied per manufacturer suggested application rate chart:

Agriform® 21-gm Tablets (SKU# 90026": 500 tablets/case)  
NEW Tree / Shrub Container Size  
1 Gal 2 Gal 3 Gal 5 Gal 7 Gal 15 Gal 24" Box  
Installation: 1 1 to 2 2 to 3 2 to 3 3 to 5 7 to 10 15 to 24

• Place plant in the hole and backfill to halfway point.  
• Do not place tablets in the bottom of the planting hole.  
• Place Agriform Tablets in the hole about 1 to 2 inches away from root tips.  
• Finish filling the hole around the plant to grade level.  
SCOTTS: 1-800-492-8255 or visit www.scottsspro.com

Q. SOD

1. All areas disturbed during construction shall be sodded with St. Augustine 'Seville' unless otherwise noted. These disturbed areas shall have proper irrigation established or re-established if they were disrupted or non-functional.

2. Landscape Contractor to supply and install 2" soil layer 50/50 mix blanket for all new sod areas.

3. All open areas not covered by trees, palms, shrubs, vines, ground covers or existing sod in good condition to remain, shall receive St. Augustine 'Seville' sod. Whether labeled on the plans or not, unless a different species is indicated on the planting plan. Sod shall be strongly rooted, free from weed, fungus, insects and disease. Contractor shall be paid by the total sodded area x the unit price submitted (field verified). Sod shall be machine stripped no more than 24 hours prior to laying.

4. Lay sod strips with tight joints, do not overlap, stagger strips to offset joints in adjacent courses. Work sifted soil mix into minor cracks between pieces of sod and remove excess soil deposits from sodded areas. Sod on slopes greater than 3:1 shall be immediately staked after planting.

R. SUBMITTALS

1. Submit 1 gallon container of all planting media for landscape architect review. Samples to include specified planting mix, topsoil, container planting mix (if applicable) and mulch.

2. Submit representative nursery photos of all Trees and Palms for review prior to delivery to the site. Include scale for height.

3. Submit representative nursery photos of all shrub and groundcover material for review prior to delivery to the site.

S. INSPECTION & ACCEPTANCE

1. Notify the governing Agency if required and Landscape Architect of commencement.

2. Onsite plant deliveries shall occur on Monday through Friday only unless otherwise directed by the Landscape Architect / Owner. The contractor shall ensure that plant material is delivered undamaged from transportation or digging operations. The Landscape Architect may reject material that has been damaged or rendered unacceptable due to relocation or transportation from the point of origin. All plant material shall be available for inspection and approval by the Landscape Architect prior to final installation.

3. There shall be one final inspection for approval by each of the presiding governing agency, Landscape Architect and owner. Contractor shall ensure that the plans, details, specifications and notes have been adhered to and that the landscape and irrigation installation is compliant to all items as directed on the plans prior to scheduling of the final inspection.

4. Upon completion of the work, the Landscape Contractor shall notify the Landscape Architect and request a final inspection. Any items that are judged incomplete or unacceptable by the Landscape Architect or owner shall be promptly corrected by the Landscape Contractor.

5. No substitution of plant material, type or sizes will be permitted without prior written authorization from the Landscape Architect and owner.

6. To obtain final payment, Contractor must provide release of all mechanic's liens and material liens.

T. MULCH

1. All planting beds shall be mulched to a depth of 3" with an organic mulch approved by Landscape Architect. No heavy metals, such as arsenic, etc. are to be contained in the mulch. The contractor shall provide certification if requested or proof that all mulch is free of heavy metals or similar environmental contaminants.

2. Shredded approved organic mulch to be used beyond trunk in all directions and throughout all hedges and plant material.

3. All trees in sodded areas shall have a clean cut 4" diameter mulch ring.

4. Preferred mulch is shredded melaleuca. Cypress, red, gold and green mulch is prohibited.

5. All mulch shall have a minimum 3" separation from the trunk of the tree/palm trunk to avoid rotting.

U. WATERING

1. All plant material shall be watered in thoroughly at the time of planting.

2. It is the sole responsibility of the Landscape Contractor to ensure that all new plantings receive adequate water during the installation and until completion of contract. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to ensure proper plant establishment and development and shall be provided by Contractor as a part of this contract.

V. CLEAN UP

1. The Landscape Contractor is responsible for maintaining all landscape planting areas until final acceptance of the owner.

2. The contractor is responsible for mowing the entire project during planting and establishment periods, based on mowing project once a month from October to April, and twice a month from April to October. (During installation and plant establishment only and until final inspection and owner accepts and takes ownership).

3. Any excess soil, undesired stones or debris resulting from landscape operations shall be removed promptly, keeping the site clean as work progresses.

4. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.

W. MAINTENANCE

1. Landscape Contractor to return to job site 12 months after tree bracing and remove all tree braces. Owner may choose to retain 5% of payment to ensure compliance.

2. The Landscape Contractor shall water, mulch, weed, prune, and otherwise maintain all plants, including sod, until completion of contract or acceptance by landscape architect. Settled plants shall be reset to proper grade, planting saucers restored, and defective work corrected.

3. Trees and shrubs shall be maintained to keep clearance of stop signs and safety clearance for visibility at traffic intersection.

X. GUARANTEE & REPLACEMENT

1. By accepting the contract, the Contractor is thereby guaranteeing all plant materials and design for a period of not less than one (1) year from the time of final acceptance by the owner. Contractor shall replace any plants which die or wither within such period with healthy plants that meet specifications of the same species and size without additional cost to the owner unless such death or withering is due to Owner's failure to do ordinary maintenance on such plants after final acceptance in accordance with any maintenance instructions given by Landscape Architect for such plants. Such replacement shall include all plants and labor to plant the replacement plants. Any plant materials damaged by lightning, storms, freeze damage or other "acts of God" as well as plants damaged by vehicles, vandalism or neglect are not included in this replacement agreement. If requested, the Landscape Architect may act as a mediator between owner and Landscape Contractor on a time material basis. "Plants" includes all trees, palms, shrubs, grass and other plants provided or planted by Contractor.

Y. MISCELLANEOUS

1. All work to be done in a professional manner.

2. No change order shall be valid, due or paid unless it is approved by Owner in writing in advance.

3. These notes shall be an integral part of the contract of Contractor and shall be deemed incorporated therein by reference. In the event of a conflict among the terms among the plans and these notes, the terms of this document shall control.

Z. ABBREVIATIONS IN NOTES AND PLANS

UNO = Unless Otherwise Noted  
L.A = Landscape Architect  
S.F. = Square Feet  
STD = Standard (single trunk)  
B&B = Balled and Burlapped  
BLDG DEP = Building Department  
RFI = Request for Information  
FPL = Florida Power & Light  
C.O. = Certificate of Occupancy  
ISA CA = ISA Arborist = International Society of Arboriculture Certified Arborist

700 NW 1ST AVE

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REVISIONS		
NO.	DESCRIPTION	DATE

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**RESPONSIBILITY FOR THE USE OF THESE  
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THE PROJECT WILL FALL SOLELY UPON THE  
USER.**

ISSUE DATE:	01/26/24
DESIGNED BY:	RP
DRAWN BY:	RP
CHECKED BY:	PW, KS
BID-CONTRACT:	

Paul H. Weinberg, PLA  
FLORIDA REG. NO. LA666804  
(FOR THE FIRM)

CLIENT	<b>FSMY ARCHITECTS &amp; PLANNERS</b>
PROJECT	<b>700 NW 1ST AVE</b>
SHEET TITLE	<b>PLANTING NOTES &amp; SCHEDULES</b>
SHEET NUMBER	<b>LP-001</b>
PROJECT NUMBER	<b>13336.00</b>

Plotted By: rpowell On 2/5/2024 1:45 PM  
Drawing Name: K13336.00 - NW 1st Avenue - FSMY Landscape Architecture CAD/13336.00-LP-001.dwg  
STATUS: DRC SUBMITTAL

REVISIONS		
NO.	DESCRIPTION	DATE

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ISSUE DATE: 01/26/24  
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 BID-CONTRACT:

This item has been digitally signed and sealed by Paul H. Weinberg, on the date below using a Digital Signature.

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**PAUL H. WEINBERG, PLA**  
 FLORIDA REG. NO. LA6666804  
 (FOR THE FIRM)

CLIENT  
**FSMY ARCHITECTS & PLANNERS**

PROJECT  
**700 NW 1ST AVE**

SHEET TITLE  
**PLANTING PLAN**

SHEET NUMBER **LP-101**  
 PROJECT NUMBER **13336.00**

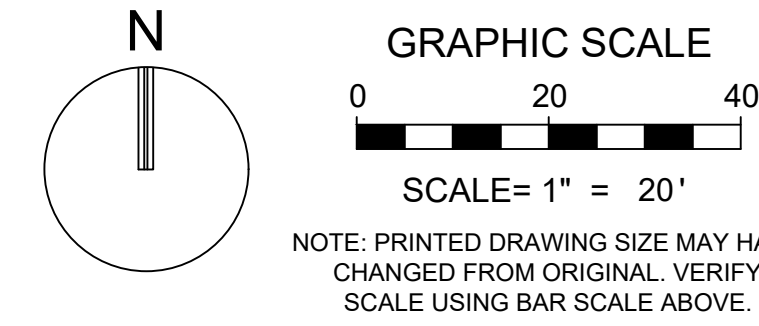
**NOTES:**

- SOD TO BE ST. AUGUSTINE 'FLORATAM', EXCEPT IN RETENTION AREAS. CONTRACTOR TO DETERMINE QUANTITY.
- ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
- ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
- BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.
- CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLANT LIST. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.
- PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.
- ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.
- NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.
- ALL CATEGORY 1 INVASIVE/EXOTIC TREES TO BE REMOVED PER LOCAL ORDINANCE.

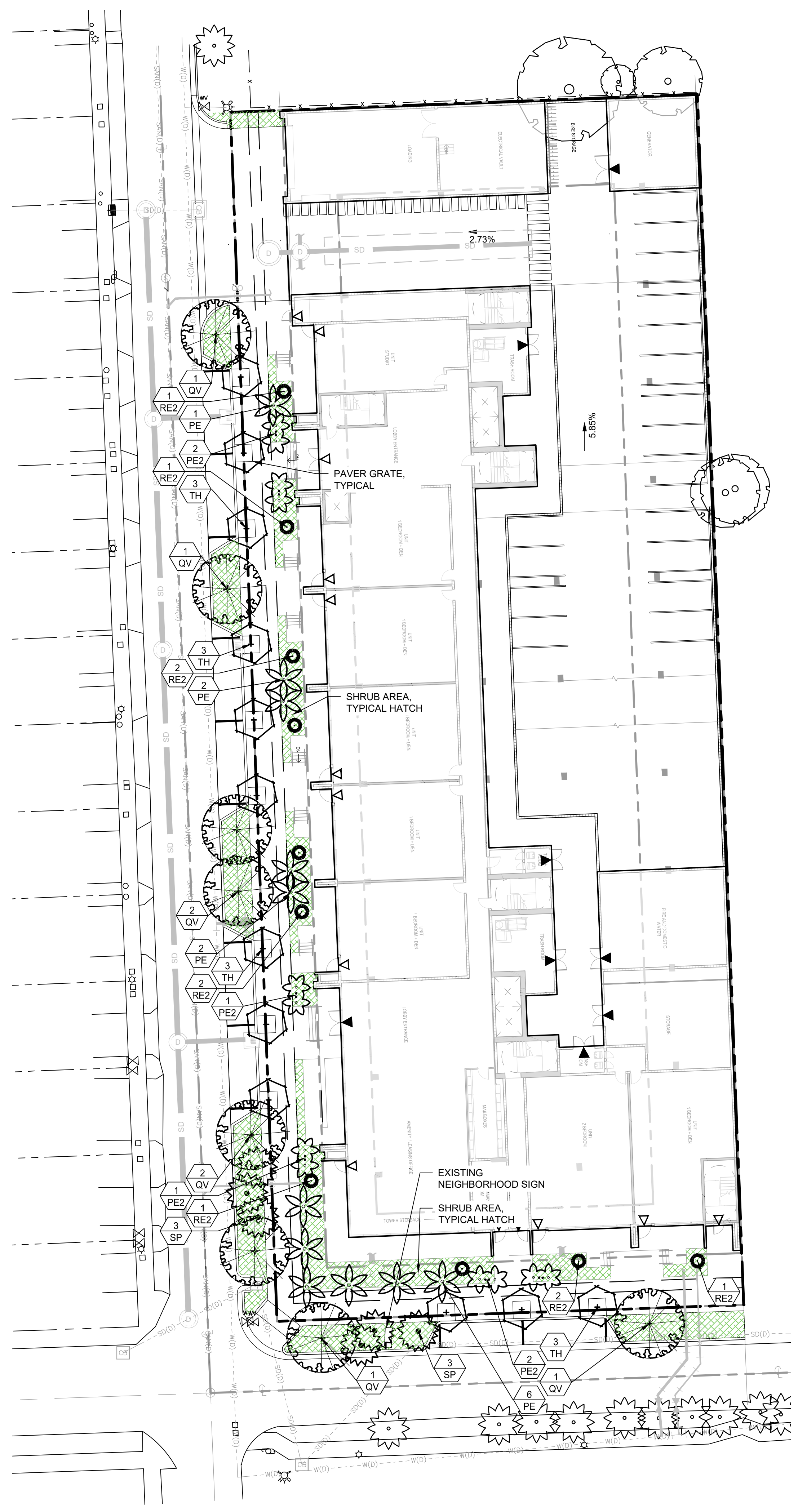
CITY OF FORT LAUDERDALE - LANDSCAPE REQUIREMENTS					
[UNIFIED LAND DEVELOPMENT REGULATIONS, CHAPTER 47, ARTICLE III, SECTION 47-21 LANDSCAPE AND TREE PRESERVATION REQUIREMENTS]					
SITE LANDSCAPE REQUIREMENTS [SEC. 47-21.10 LANDSCAPE REQUIREMENTS FOR ALL ZONED DISTRICTS]					
LOT ZONING DESIGNATION	MWRAC-MUe		REQUIRED	PROVIDED	
NET LOT AREA	0	S.F.			
<b>STREET TREES:</b>					
1 SHADE TREE/30 LF OF STREET FRONTAGE		350	L.F.	15	TREES
1 PALM OR ORNAMENTAL TREE/20 LF OF STREET FRONTAGE				20	TREES
<b>PROVIDED BREAKDOWN:</b>					
EXISTING SMALL TREES	0	TREES			
EXISTING FLOWERING TREES	0	TREES			
EXISTING PALM TREES	0	TREES			
PROPOSED SHADE TREES	6	TREES			
PROPOSED PALM TREES	6	TREES			
PROPOSED ORNAMENTAL TREES	8	TREES			
<b>SHRUB AREA REQUIREMENTS:</b>					
1 SHADE TREE/30 LF OF STREET FRONTAGE		135	L.F.	6	TREES
1 PALM OR ORNAMENTAL TREE/20 LF OF STREET FRONTAGE				8	TREES
<b>PROVIDED BREAKDOWN:</b>					
EXISTING SMALL TREES	0	TREES			
EXISTING FLOWERING TREES	0	TREES			
EXISTING PALM TREES	0	TREES			
PROPOSED SHADE TREES	2	TREES			
PROPOSED PALM TREES	3	TREES			
PROPOSED ORNAMENTAL TREES	3	TREES			
SHADE SPECIES (50% MIN.)					
				8	SHADE TREES
				8	SHADE TREES

PLANT SCHEDULE							
CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	DBH/CAL	NATIVE	REMARKS
<b>TREES</b>							
QV	8	QUERCUS VIRGINIANA CATHEDRAL LIVE OAK	20' HT	10' SPR	6" DBH	N**	MIN. 8' CT
TH	12	TABEBUIA HETEROPHYLLA PINK TABEBUIA	12' HT	6' SPR	2" DBH	**	MIN. 6' CT
<b>PALMS</b>							
PE	11	PTYCHOSPERMA ELEGANS ALEXANDER PALM	14' CT				
PE2	6	PTYCHOSPERMA ELEGANS ALEXANDER PALM	14' CT				DOUBLE
SP	6	SABAL PALMETTO CABBAGE PALMETTO	14', 20', 26' CT			N**	STAGGERED HTS, SLICK
CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	SPACING	NATIVE	REMARKS
<b>SHRUBS</b>							
RE2	10	RHAPIS EXCELSA LADY PALM	3' HT	3' SPR			

N DENOTES NATIVE SPECIES  
 \*\* DENOTES HIGH DROUGHT TOLERANT SPECIES  
 \* DENOTES MODERATE DROUGHT TOLERANT SPECIES



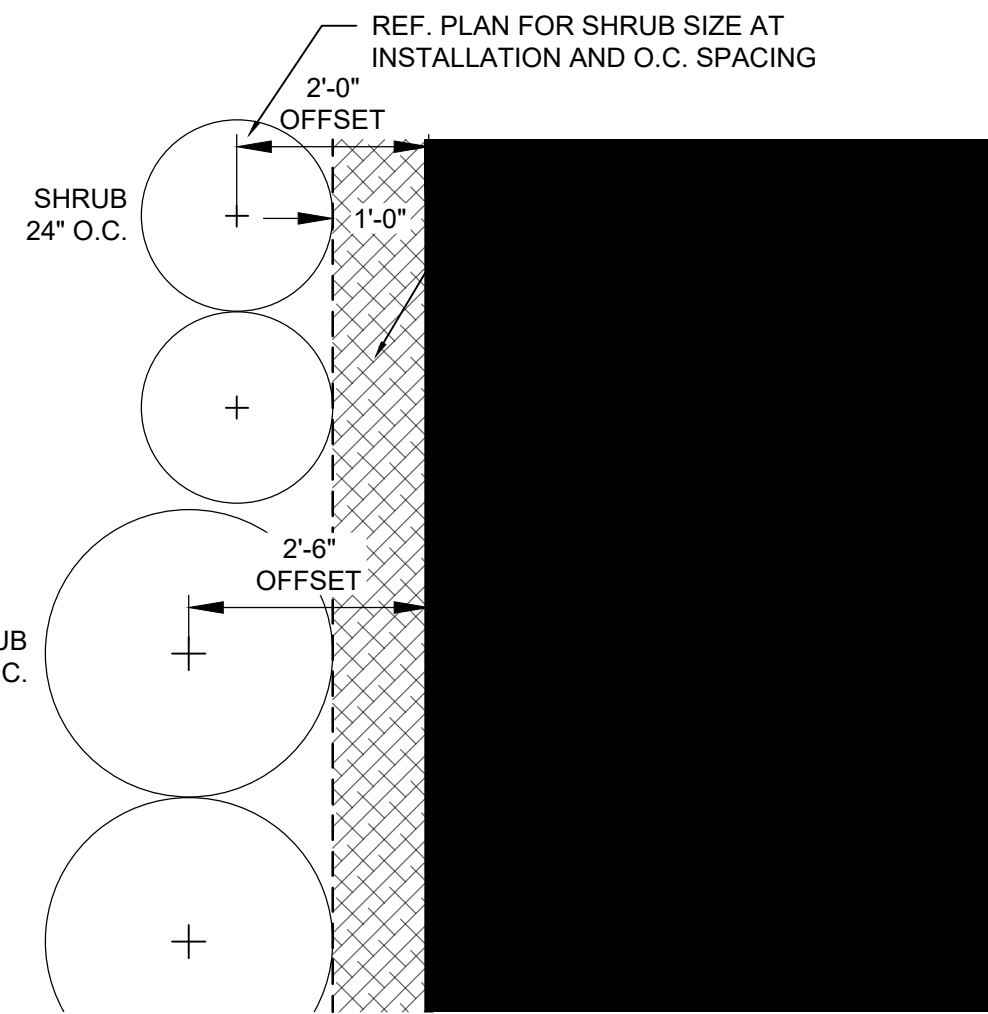
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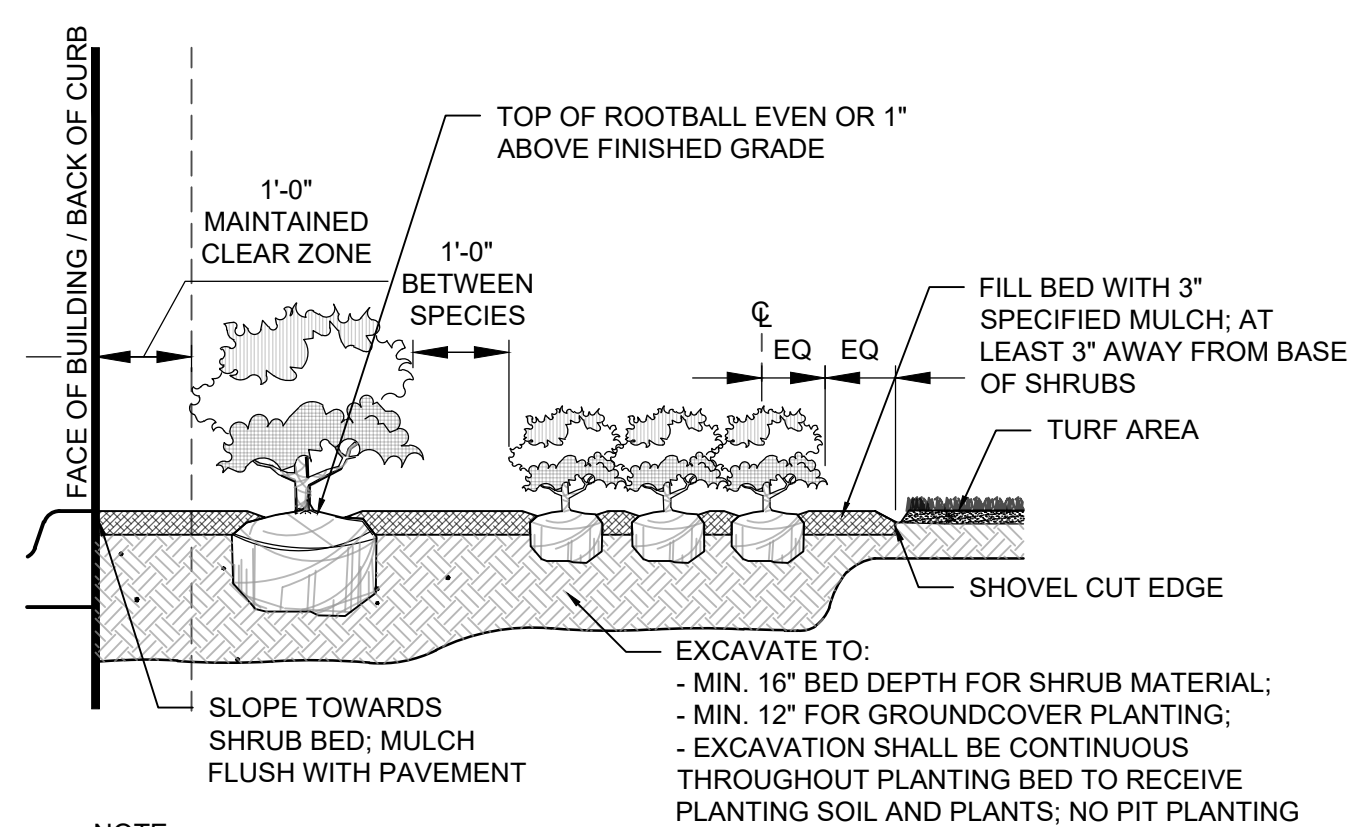
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STATUS: DRC SUBMITTAL



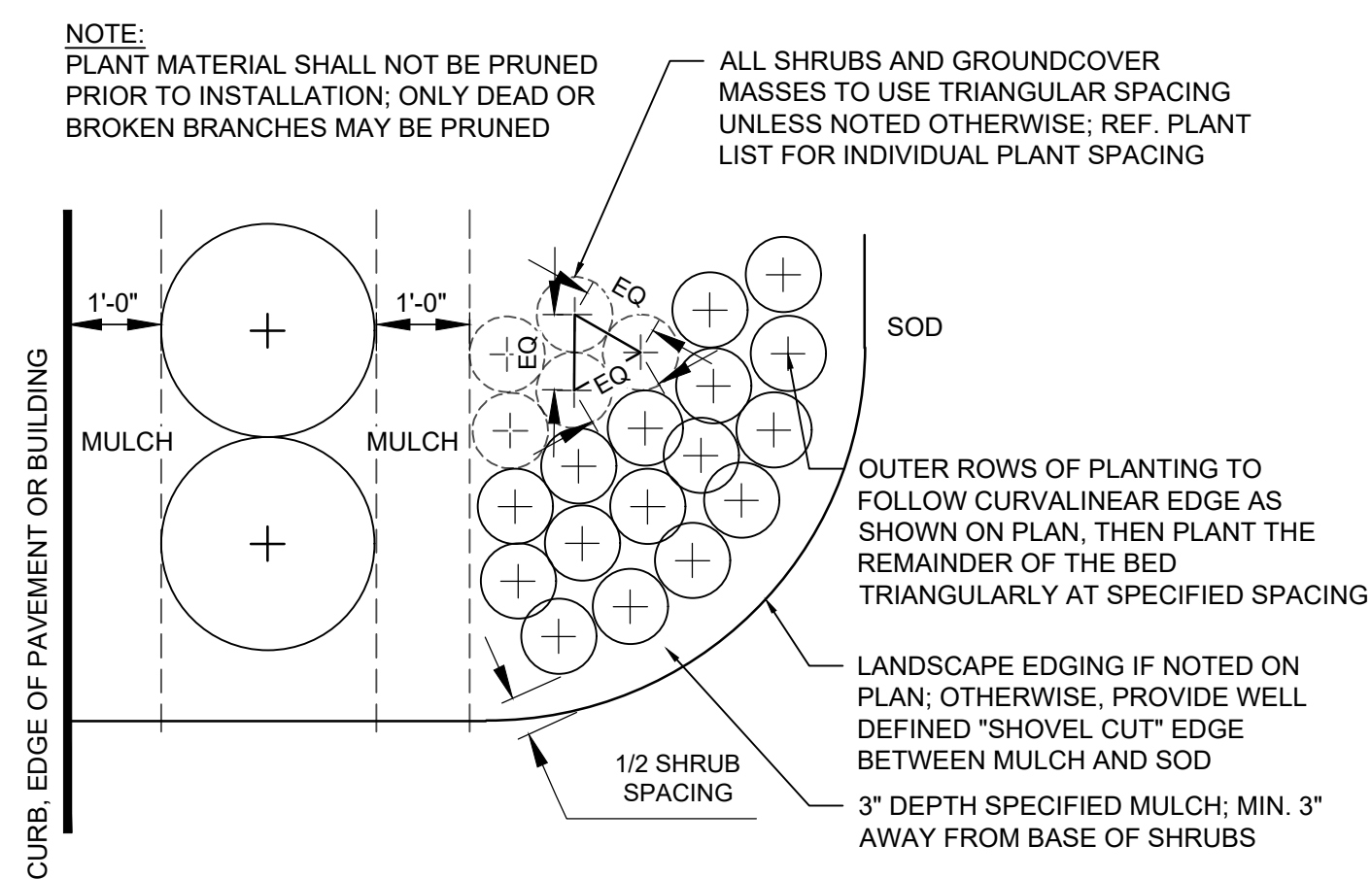
**8** TYPICAL SHRUB OFFSET AT BUILDING / CURB

PLAN NOT TO SCALE



**7** SHRUB AND GROUNDCOVER PLANTING

SECTION NOT TO SCALE

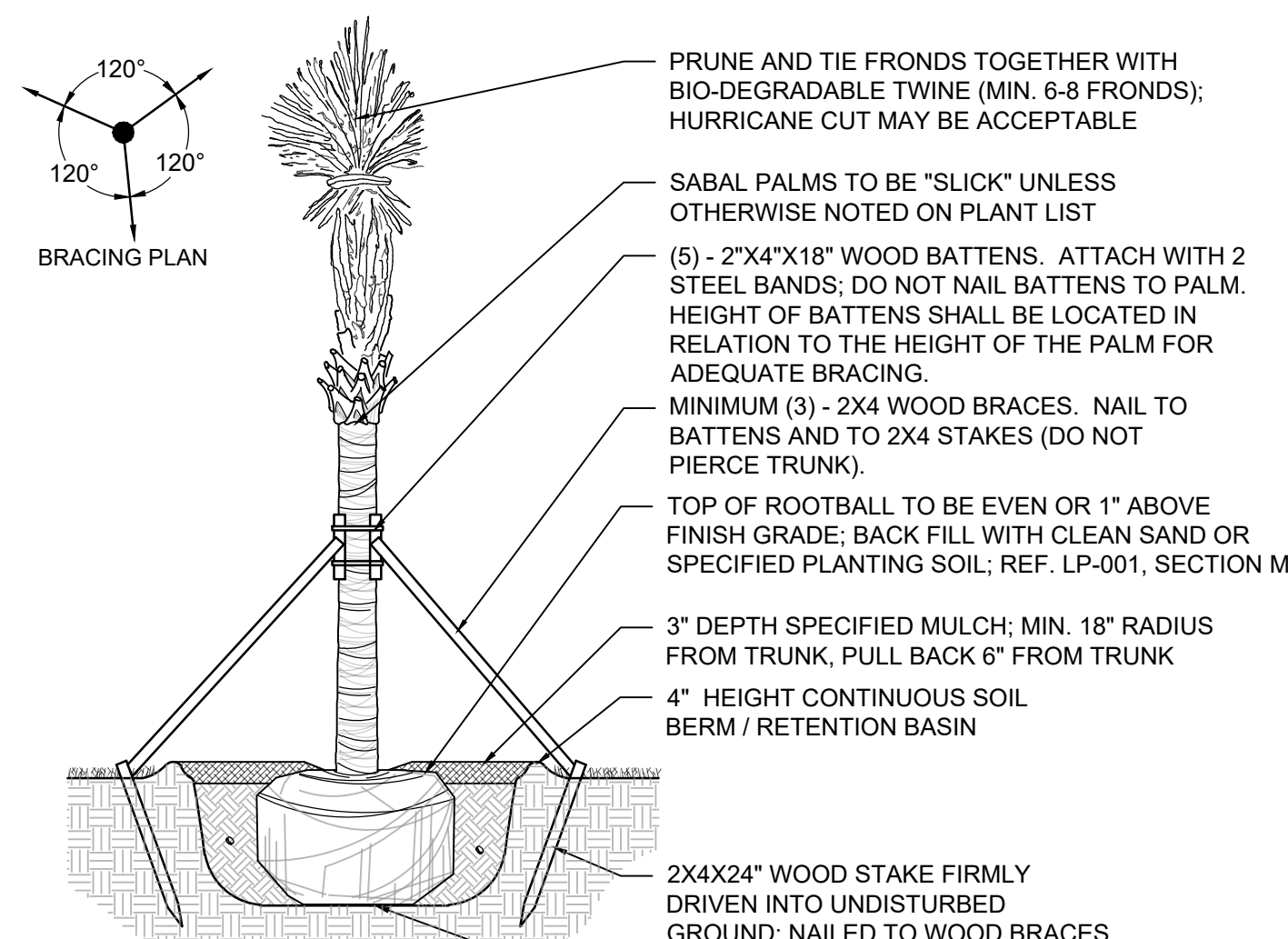


**6** SHRUB AND GROUNDCOVER PLANTING

PLAN NOT TO SCALE

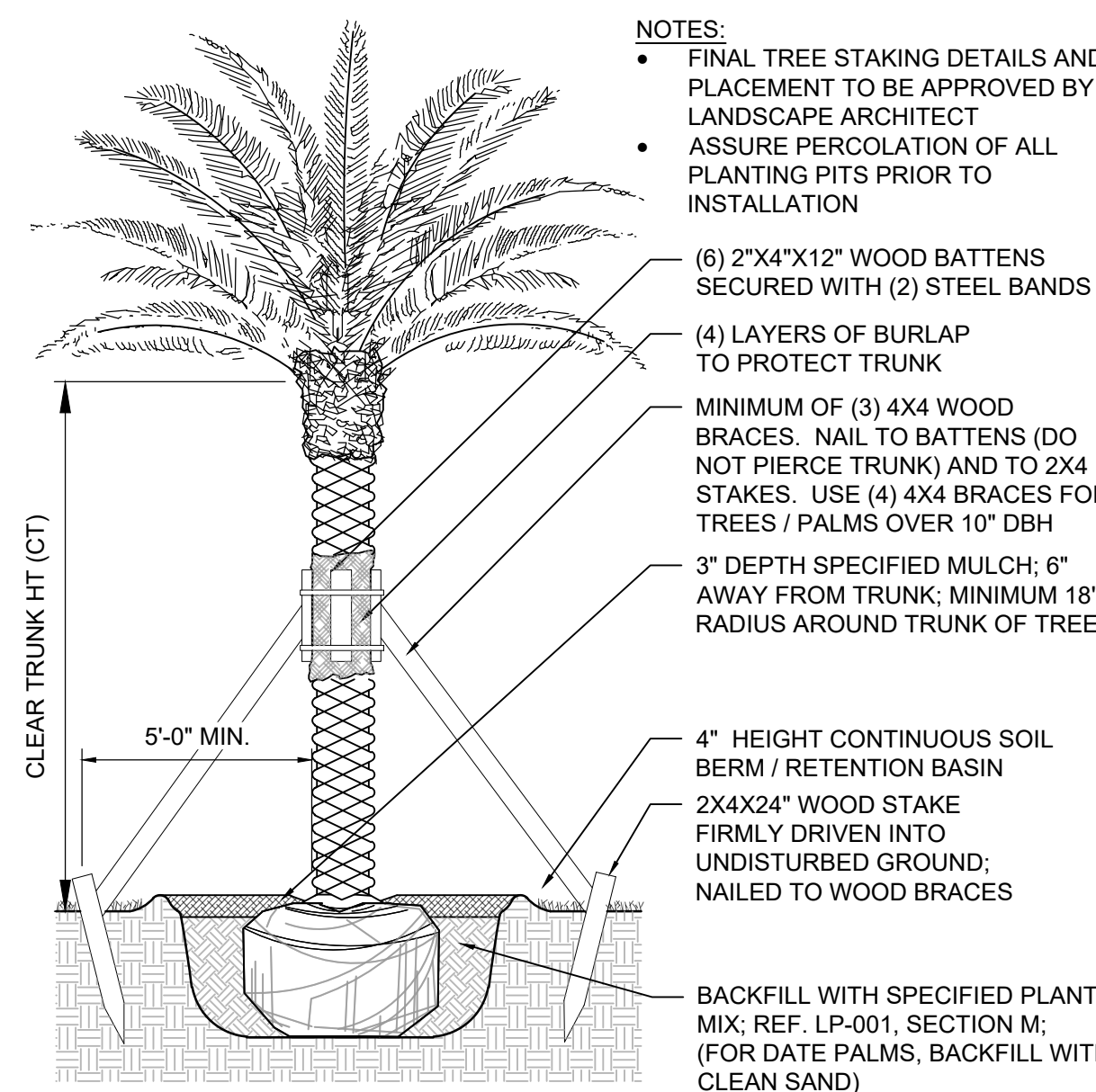
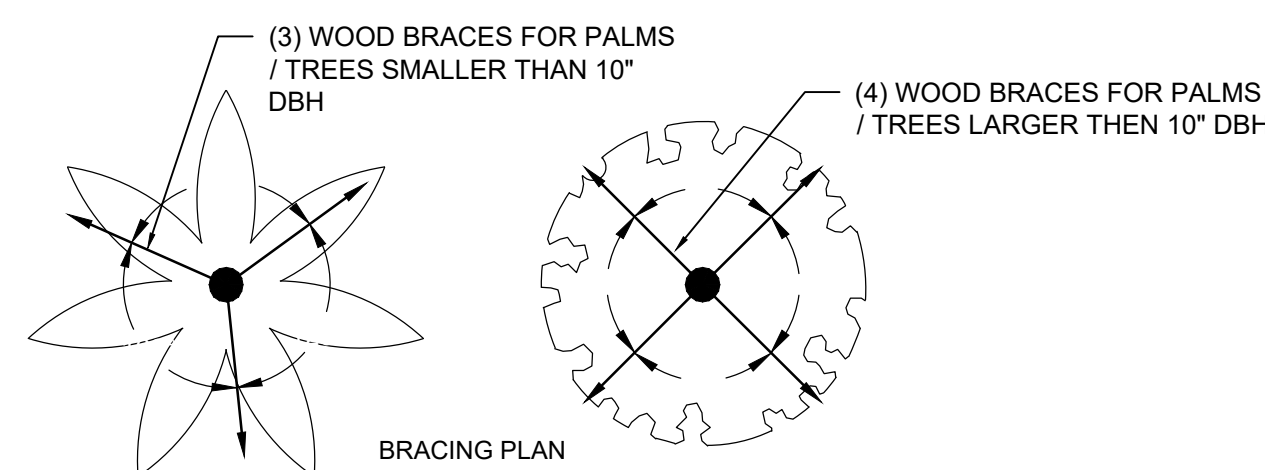
**NOTE:**

- REF. LP-001, LANDSCAPE NOTES, FOR ADDITIONAL REQUIREMENTS.
- ROOT BALL SIZE FOR ALL TREES AND PALMS TO BE IN PROPORTION TO SIZE AND TYPE OF PALM PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.



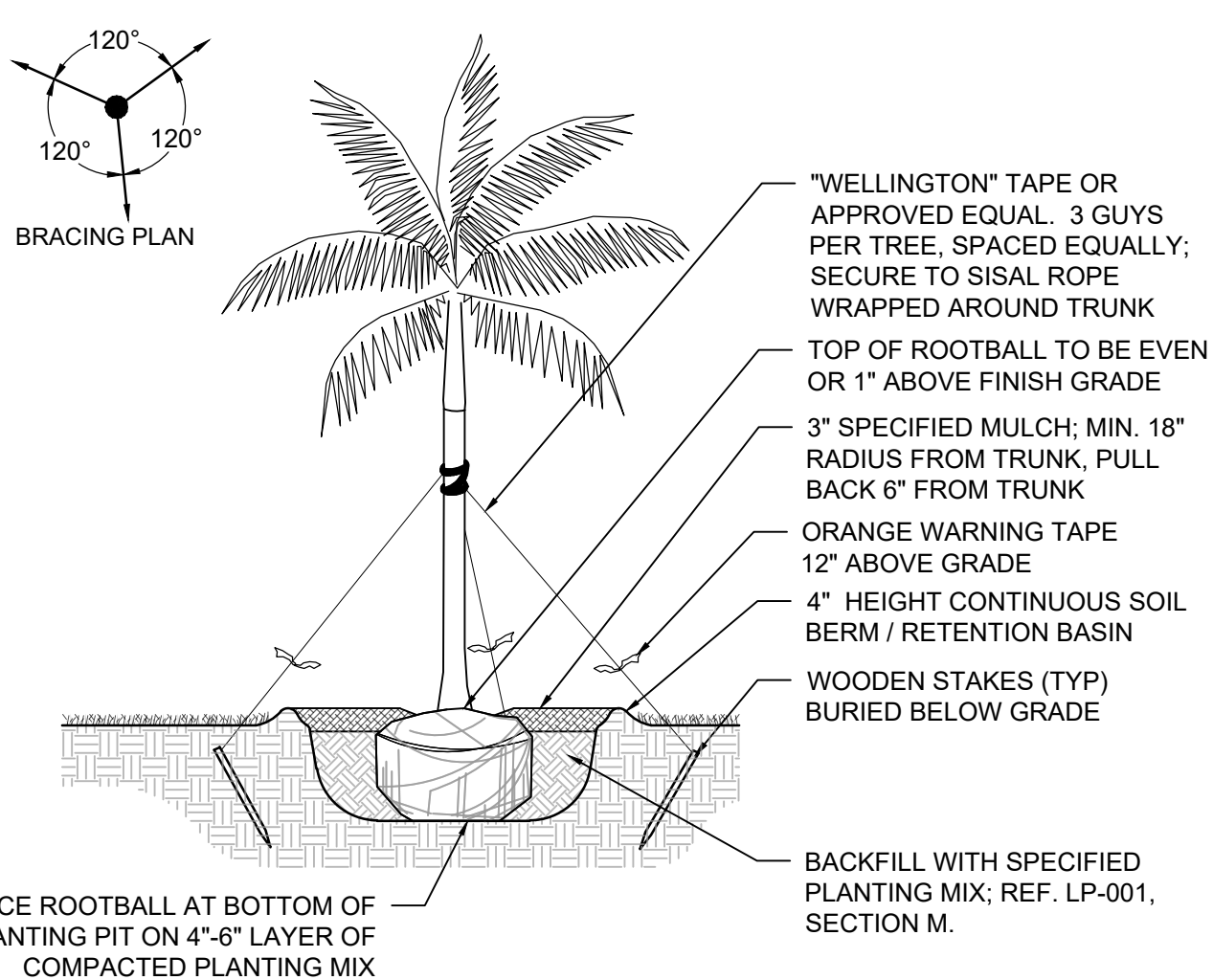
**5** SABAL PALM PLANTING DETAIL

SECTION NOT TO SCALE



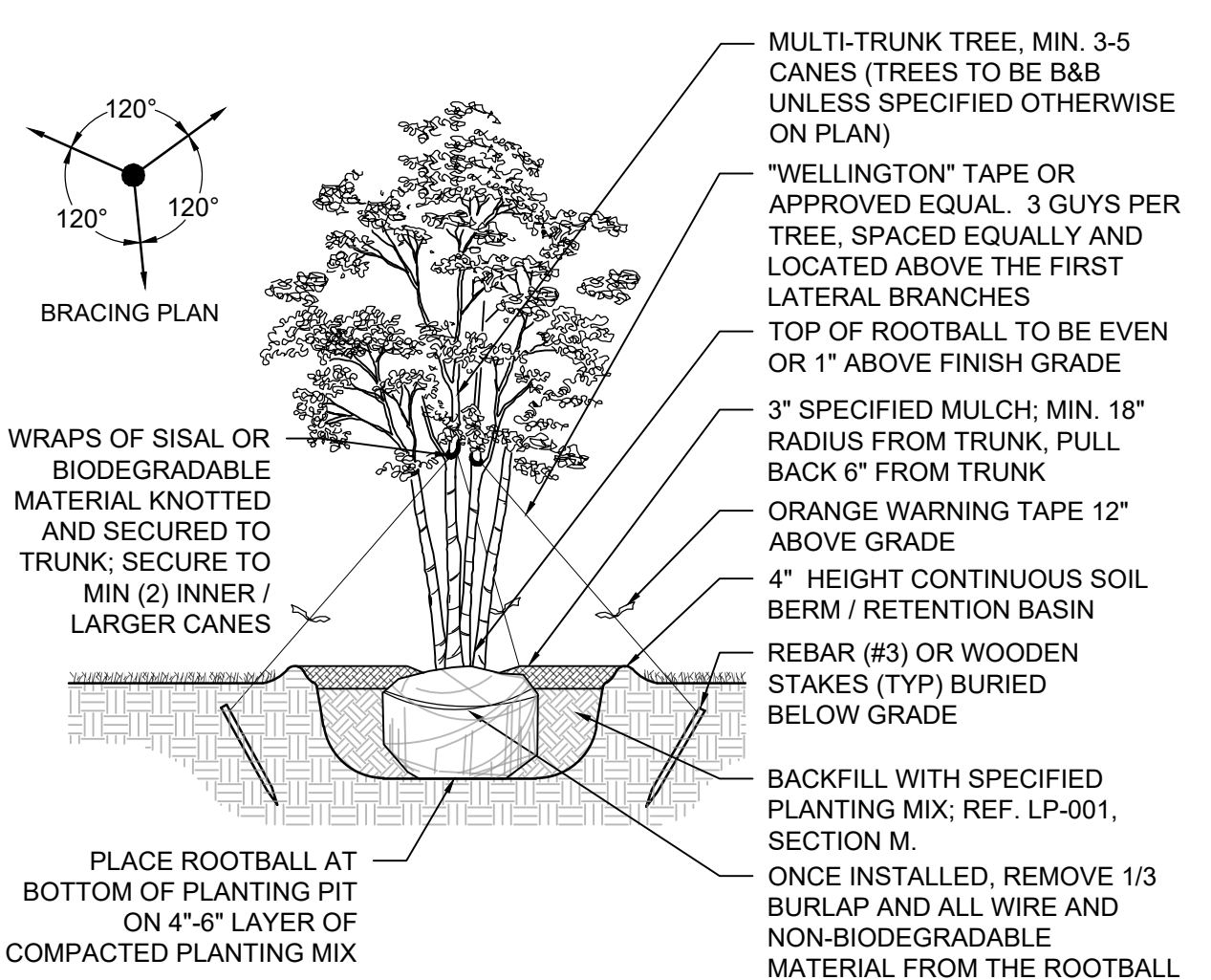
**4** LARGE PALM / TREE PLANTING DETAIL

SECTION NOT TO SCALE



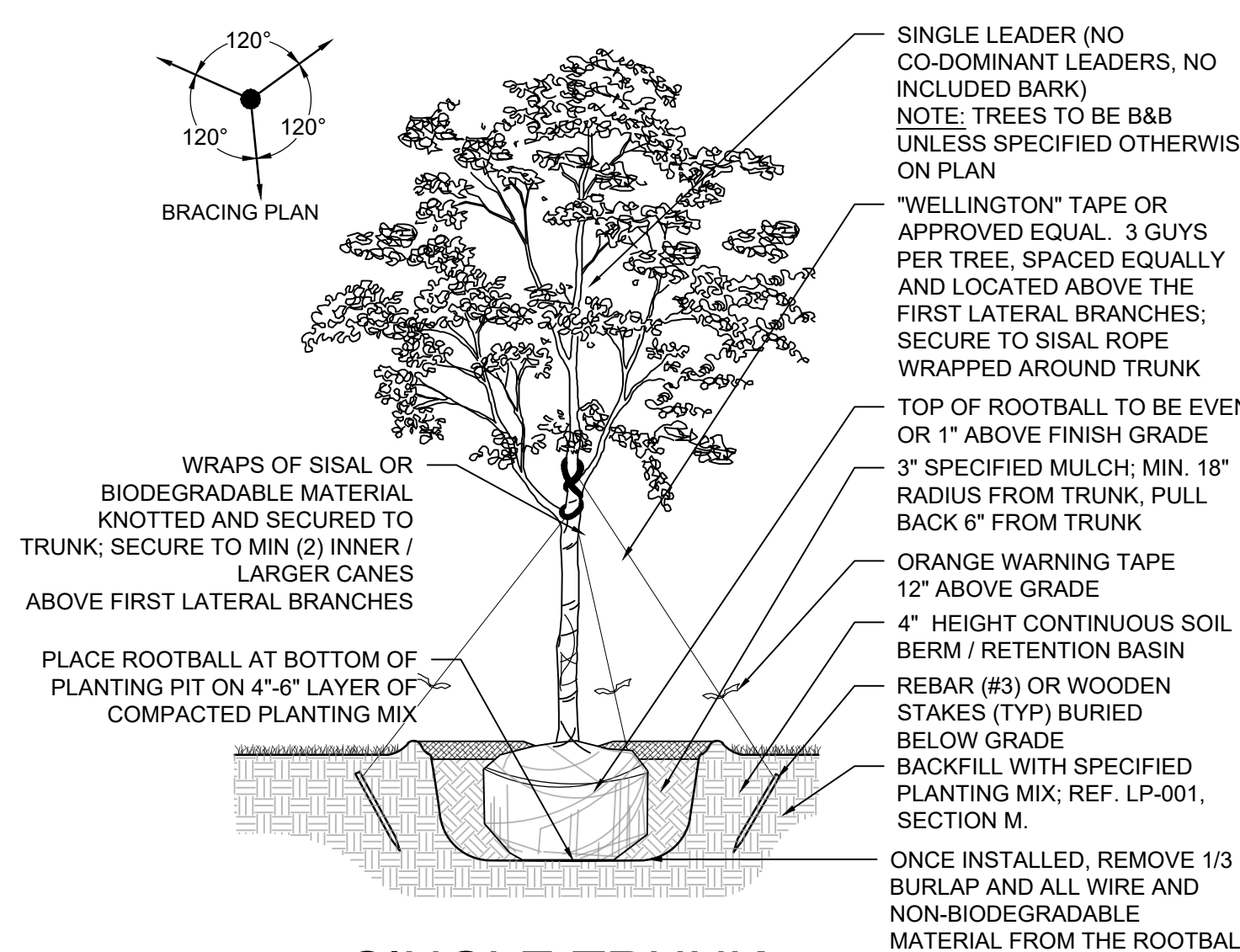
**3** SMALL / MEDIUM TREE PALM PLANTING DETAIL

SECTION NOT TO SCALE



**2** MULTI-TRUNK TREE PLANTING DETAIL

SECTION NOT TO SCALE



**1** SINGLE TRUNK TREE PLANTING DETAIL

SECTION NOT TO SCALE

**KEITH**  
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 Pompano Beach, FL 33060  
 PH: (954) 788-3400

Florida Engineering Business License: CA7923  
 Florida Surveyor and Mapper Business License: LB6860  
 Florida Landscape Architecture Business License: LC2600457

REVISIONS		
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**DRAWN BY:** RP  
**CHECKED BY:** PW, KS  
**BID-CONTRACT:**

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**PAUL H. WEINBERG, PLA**  
 FLORIDA REG. NO. LA6666804  
 (FOR THE FIRM)

**CLIENT**

**FSMY ARCHITECTS & PLANNERS**

**PROJECT**

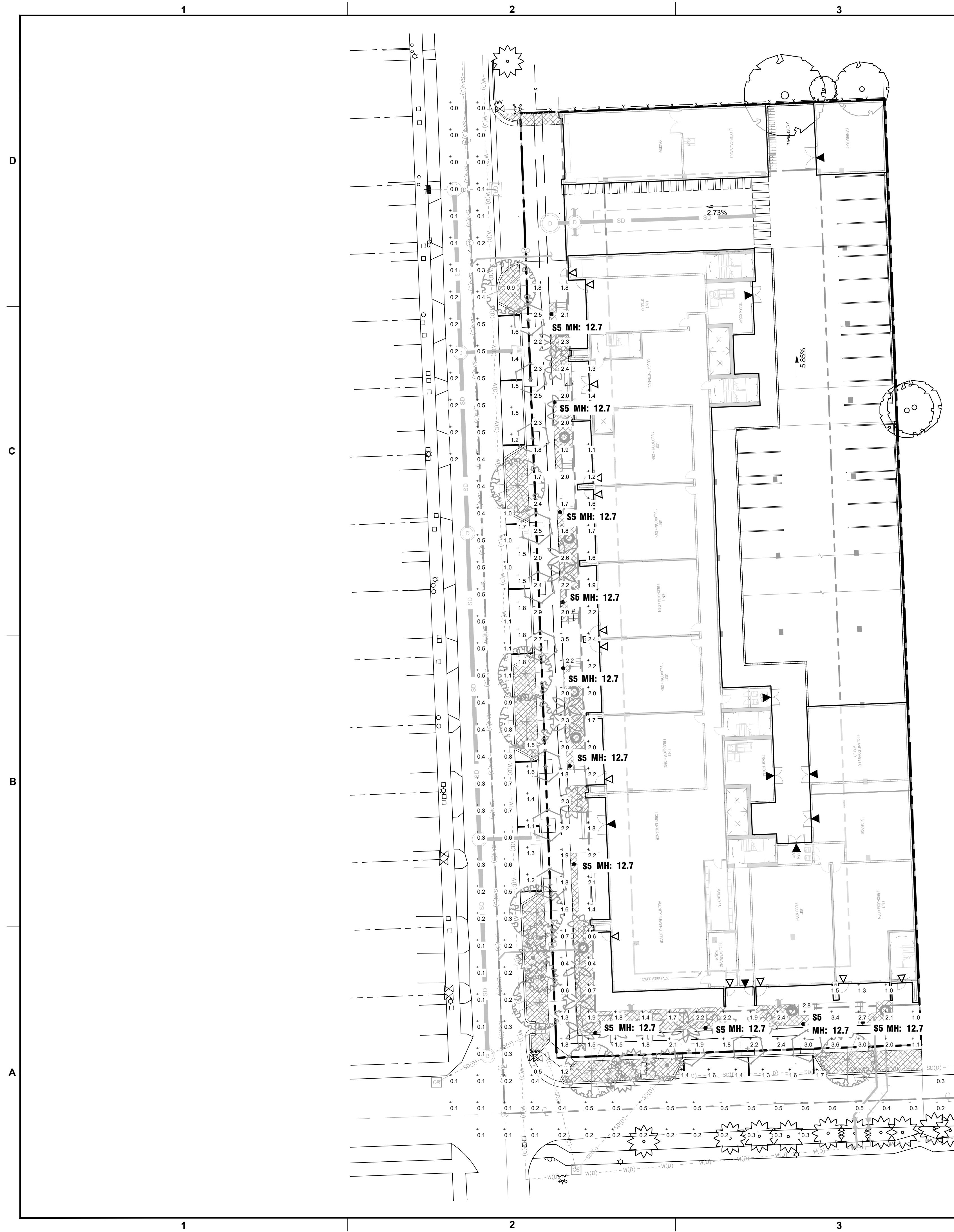
**700 NW 1ST AVE**

**SHEET TITLE**

**PLANTING DETAILS**

**SHEET NUMBER** LP-501  
**PROJECT NUMBER** 13336.00

Plotted by: rpowell On 2/5/2024 1:46 PM  
 Drawing name: K13336.00 - NW 1st Avenue - FSMY Landscape Architecture CAD13336.00-LP-501.dwg  
 STATUS: DRC SUBMITTAL



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**FSMY  
 ARCHITECTS  
 & PLANNERS**

PROJECT  
**700 NW 1ST AVE**

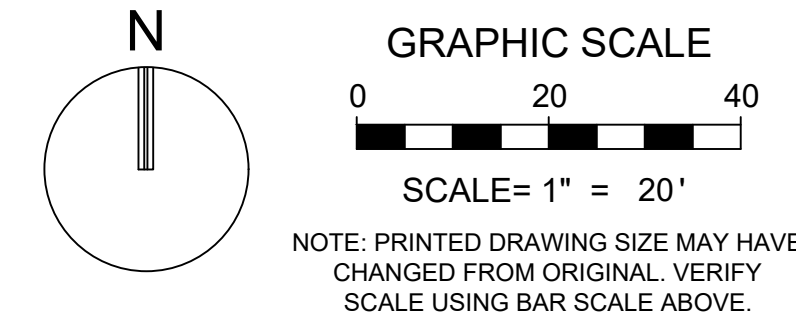
SHEET TITLE  
**PHOTOMETRICS PLAN**

SHEET NUMBER **LL-101**  
 PROJECT NUMBER **13336.00**

Luminaire Schedule									
Scene: ALL ON									
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLD	Luminaire	Total	Manufacturer	Description
						Watts	Watts		
	11	S5	Single	5596	1,000	40	440	Spring City	SPRING CITY ALMNWF-LE040-EVX-L1-40-CN5-Y MOUNTED ATOP A 12.7' POLE.
								Electrical	14.7' TO THE SOURCE OF LIGHT
								Manufacturing Co	

Calculation Summary								
Scene: ALL ON								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
PARKING 1	Illuminance	Fc	1.44	1.6	1.2	1.20	1.33	
PARKING 2 & 3	Illuminance	Fc	1.68	1.8	1.5	1.12	1.20	Readings taken at grade
PARKING 4 & 5	Illuminance	Fc	1.35	1.6	1.1	1.23	1.45	Readings taken at grade
PARKING 6 & 7	Illuminance	Fc	1.50	1.7	1.3	1.15	1.31	Readings taken at grade
SITE	Illuminance	Fc	1.90	3.6	0.4	4.75	9.00	Readings taken at grade
STREET	Illuminance	Fc	0.35	1.1	0.0	N.A.	N.A.	Readings taken at grade

NOTES:  
 - LUMINAIRE MOUNTING HEIGHT IS FROM GRADE TO THE BOTTOM OF THE LUMINAIRE  
 - LUMINAIRES PLACED AT PROPOSED LOCATIONS



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STATUS: DRC SUBMITTAL

# 700 NW 1ST AVE - Project Description Narrative

February 05, 2024

City of Fort Lauderdale  
Urban Design and Planning  
700 NW 19<sup>th</sup> Avenue  
Fort Lauderdale, Florida 33311  
954.828.6520

**700 NW 1ST AVE** is a new proposed multi-family project located on the northeast corner of NW 1st Avenue and NW 7th Street. The 12-story building proposes 189 units consisting of studios, 1 bedroom, 1 bedroom + Den, and 2 bedroom. Parking is housed within the podium (levels 1 to 4) and is completely screened and surrounded by liner units. Loading and trash are also internally placed within the ground level.

The project sits within the NWRAC-MUe Zoning district and is in the North West Regional Activity Center Character area just one block to the West of the Downtown area. The design complies with all of the North West Regional Activity Center Guidelines including but not limited to a Shoulder Height of a max of 5 levels or 65ft, Tower Step backs of 25 feet, Tower Floorplates of just under 10,000 SF, Tower Height of 120' and Tower Separation of 56'. The Street Section complies with the Local Streets Guidelines and does not sit within a Transition Zone.

The project addresses the urban fabric through scale, and façade articulation. Starting at the ground level, the tower entrances and residential units have been placed at the 7 NAVD level. Shade trees and on-street parking continue the pattern established by the newer projects to the north and south.

The scale and frontage of the podium has been designed to compliment the scale of the adjacent multi-family projects to the north and south, by matching their heights and by breaking down the scale of the lower façade. This has been accomplished through the use of glazing, accessible balconies and both vertical and horizontal elements. Careful incorporation of lighting at night will activate the facade and provide a soft ambient atmosphere.

The 05.5 level amenities distinguishes the towers from the base and will consist of primarily glass to help visually separate the tower portion from the base, while design elements from the tower and base have been carefully choreographed to compliment each other and to tie the composition together.

The two towers have been heavily articulated with vertical and horizontal elements, while the faces of the towers have been modulated with either a fine textured field of open balconies on the west and east facades. The withe frames, wrapping around the two towers, honestly reflect the internal program and serve to not only add interest to the massing but also to integrate the design of the two towers.

The rooftop mechanical screening has been completely integrated into the tower design.

All of these elements contribute to the successful integration of the project into its context.

Cordially yours,



Josh Bailey NCARB, RA, LEED GA  
Partner/Director of Operations

# 700 NW 1<sup>st</sup> AVE ULDR Narrative

February 02, 2024

City of Fort Lauderdale  
Urban Design and Planning  
700 NW 19<sup>th</sup> Avenue  
Fort Lauderdale, Florida 33311  
954.828.6520

## Contents:

**Section 1: Description**

**Section 2: Comprehensive Plan Compliance**

**Section 3: Sec. 47-13.2.1 - Intent and Purpose of RAC-CC district**

**Section 4: Sec. 47-13.10 - Permitted uses in the NWRAC-MUe District**

**Section 5: Sec. 47-13.29 - Design standard applicability**

**Section 6: Sec. 47-13.31 - Table of Dimensional Requirements for the NWRAC-MU District**

**Section 7: Sec. 47-13.50 - General regulations.**

**Section 8: Sec. 47-13.52 - NWRAC-MU special regulations**

**Section 9: Sec. 47-20.2 - Parking and loading zone requirements**

**Section 10: Sec. 47-21.11 - Landscape Requirements**

**Section 11: Sec. 47-25.2 - Adequacy Requirements**

**Section 12: Sec. 47-25.3 - Neighborhood Compatibility**

## Section 1: Description

**700 NW 1st AVE** is a new proposed multi-family project located on the northeast corner of NW 1st Avenue and NW 7th Street. The 12-story building proposes 189 units consisting of studios, 1 bedroom, 1 bedroom + Den, and 2 bedroom. Parking is housed within the podium (levels 1 to 4) and is completely screened and surrounded by liner units. Loading and trash are also internally placed within the ground level.

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The rooftop mechanical screening has been completely integrated into the tower design. All of these elements contribute to the successful integration of the project into its context.

## Section 2: Comprehensive Plan Compliance

**RESPONSE: 700 NW 1st AVE is consistent with the goals, permitted uses and development intensity set forth in the RAC land use designation which is indented to encourage quality development and give definition to the urban form.**

## Section 3: Sec. 47-13.2.1, Intent and Purpose of RAC-CC district

### Sec. 47-13.2.1. Intent and purpose of each district.

C. *Northwest Regional Activity Center (NWRAC)*. This land use designation applies to the geographical area containing a mixture of small to medium scale businesses, cultural and residential uses. The purpose is to foster an active pedestrian friendly environment while maintaining the established historic and eclectic atmosphere and cultural diversity of the area through long-term sustainable redevelopment and adaptive reuse.

1. NWRAC-MU Northwest Regional Activity Center Mixed Use is intended to promote and enhance the existing commercial and residential character of the main corridors of the NWRAC by providing a wide range of employment, shopping, services, cultural and residential opportunities through allowing a mix of residential and non-residential uses. These areas include higher densities along the corridors transitioning to the lower densities and intensities of the surrounding zoning districts subject to adopted regulations.

**RESPONSE: 700 NW 1st AVE has been designed to meet the intent and purpose of the NWRAC-MU zoning district. 700 NW 1st AVE proposes a mix of residential units that will integrate into the surrounding residential neighborhood.**

#### **Section 4: Sec. 47-13.10, Permitted uses in the NWRAC-MUe District**

Pursuant to Sec. 47-13.10 of the ULDR, residential uses are permitted.

#### **Section 5: Sec. 47-13.29 – Design standard applicability.**

- A. Sections [47-13.30](#) through [47-13.60](#) shall be read in conjunction with the following adopted design standards. Should a conflict between the requirements of the ULDR and the adopted design standards be found, the design standards shall take precedence.
1. SRAC-SA Illustrations of Design Standards.
  2. NWRAC-MU Illustrations of Design Standards.

**RESPONSE: 700 NW 1st AVE has been designed to meet the intent and purpose of the NWRAC-MU Illustrations of Design Standards.**

- B. Development shall be subject to, but shall not be limited by the following to meet the intent of the design standards as indicated in Section 47-13.29.A. above.
1. Development shall be required to meet all design standards including but not limited to the following:
    - a. Building orientation
    - b. Architectural requirements,
    - c. Open Space,
    - d. Vehicular and pedestrian access,
    - e. Building materials,
    - f. Active ground floor uses, and
    - g. Façade.

**RESPONSE: 700 NW 1st AVE has been designed to meet all the design standards of the NWRAC-MU Illustrations of Design Standards.**

2. Parking Facilities.
  - a. Off-street parking regulations are as provided in Section 47-20, Parking and Loading Requirements.
  - b. Parking garage. The minimum design standards for a parking garage are:
    - i. Sloped garage ramps facing public rights-of-way shall have ornamental grating or other architectural features which screen the sloped ramp from view of the right-of-way.

- ii. Parked vehicles shall be screened from view from abutting public rights-of-way, excluding alleys. Screening may be provided by intervening buildings, architectural detailing such as ornamental grating, or landscaping.
- iii. Pedestrian walkways shall be provided between a parking garage and any principal or accessory building it serves and to abutting public rights-of-way and public spaces.
- iv. When a parking garage is provided for a principal structure on the same plot, the design of the parking garage shall complement and contain architectural features consistent with the principal structure.

**RESPONSE: 700 NW 1st AVE has been designed to meet all the NWRAC-MU parking facilities' design standards.**

3. Landscaping. Development shall meet the following landscape requirements:

- a. *VUA landscaping.* Surface parking lots shall meet the landscape requirements for vehicular use areas as provided in [Section 47-21](#), Landscaping and Tree Preservation Requirements.
- b. *Location of Street Trees.* The requirements for street trees, as provided herein, may be located within the public rights-of-way, as provided by the entity with jurisdiction over the abutting right-of-way.
- c. All other landscape requirements in accordance with the SRAC-SA Design Standards and the NWRAC-MU Design Standards.

**RESPONSE: 700 NW 1st AVE has been designed to meet all the NWRAC-MU landscape requirements.**

4. Signage.

- a. Development shall be required to meet the signage requirement applicable in the Community Business (CB) zoning district as provided in [Section 47-22](#), Sign Requirements.

**RESPONSE: 700 NW 1st AVE has been designed to meet all the signage requirements.**

5. Streetscape.

a. Streetscape improvements are required to be made as a part of a development. The required streetscape improvements shall be required to be made to that portion of the right-of-way abutting the proposed development site. If a development is located on two Primary Streets or a Primary Street and a Secondary Street, street improvements shall be required to be made to both rights-of-way. These streetscape improvements may include but are not limited to the following:

- i. Street Trees.
- ii. Sidewalk.

- iii. Parking.
  - iv. Medians.
  - v. Curb and gutter.
  - vi. Landscaping.
  - vii. Street furniture.
  - viii. Transit Stop.
  - ix. Traffic control devices.
- b. Each applicant shall be responsible for making the streetscape improvements in accordance with the adopted design standards applicable to the abutting right-of-way. If a right-of-way is not under City of Fort Lauderdale jurisdiction and the authority with jurisdiction will not permit the improvement, or if, as determined by the City Manager, the streetscape improvement cannot reasonably be made at the time the development is constructed, the department shall estimate the cost of the streetscape improvement and the sum shall be paid by the applicant to the City to be held and earmarked for such streetscape improvement to be made in the future. If the streetscape improvement is unable to be made within five years of development approval, the sum shall be refunded to the applicant including interest accrued at a rate accrued on similar City funds.
- c. Modification to the required streetscape improvements may be permitted based on the preservation of natural barriers, avoidance of interference with overhead lines or other obstructions as approved by the City's Landscape Planner or may be modified based on an alternative design found to achieve the underlying intent of the streetscape design as indicated in the adopted design standards.
- d. Applicant shall be required to execute maintenance agreement providing for the repair, replacement and maintenance of required off-site improvements in form approved by the City Engineer, to be recorded in the public records of Broward County at applicant's expense. The City Engineer is authorized to execute said agreement on behalf of City.

**RESPONSE: 700 NW 1st AVE has been designed to meet the intent and purpose of the NWRAC-MU Streetscape Design. The proposed project has incorporated design elements that align with the adjacent developments to the north and South.**

6. Accessory structures.

- a. *Fencing.* Chain-link fencing shall not be permitted abutting any Primary or Secondary street. In all other areas of the RAC, all chain-link fencing shall be black vinyl coated. Temporary fencing may be permitted pursuant to Section 47-19.5.B.

**RESPONSE: 700 NW 1st AVE has been designed to meet all the accessory structures requirements.**

**Section 6: Sec. 47-13.31 , Table of Dimensional Requirements for the NWRAC-MU District**

**RESPONSE:** See site Data Table in Site Plan. 700 NW 1st AVE complies with the dimensional requirements of the NWRAC-MU Illustrations of Design Standards.

**Section 7: Sec. 47-13.50. - General regulations.**

A. The following regulations shall apply to all development permitted within the zoning districts as indicated herein and as specified in [Section 47-13.10](#), List of Permitted and Conditional Uses:

1. South Regional Activity Center-South Andrews east (SRAC-SAe)
2. South Regional Activity Center-South Andrews west (SRAC-SAw)
3. Northwest Regional Activity Center-Mixed Use (NWRAC-MUe)
4. Northwest Regional Activity Center-Mixed Use (NWRAC-MUw)
5. Northwest Regional Activity Center-Mixed Use (NWRAC-MUe)

**RESPONSE: 700 NW 1st AVE has been designed to meet all development permitted within the zoning district NWRAC-MUe.**

*B. Definitions.*

1. *Density Pool:* The total number of residential dwelling units permitted by the city's Comprehensive Plan for land within a regional activity center land use designation that has not been allocated to a particular development.
2. *Floorplate:* The gross square footage (GSF) for any floor of a tower. This does not include balconies that are open on three sides.
3. *NWRAC-MU Design Standards:* NWRAC-MU Illustrations of Design Standards as part of the creation of the NWRAC-MU zoning districts adopted as part of the ordinance adopted on January 21, 2015 incorporated as if fully set out herein and on file with the department.
4. *Pedestal:* The portion of a building extending from the ground to the shoulder.
5. *Shoulder:* The portion of a building below the horizontal stepback between a tower and a pedestal.

6. *SRAC-SA*: The overall area comprised of both the SRAC-SAw and SRAC-SAe zoning districts.
7. *SRAC-SA Design Standards*: SRAC-SA Illustrations of Design Standards as part of the creation of the SRAC-SA zoning districts adopted as part of the ordinance adopted on January 4, 2011, incorporated as if fully set out herein and on file with the department.
8. *Stepback*: The horizontal dimension that defines the distance between the face of the tower and the face of the pedestal.
9. *Streetscape*: Exterior public space beginning at the face of a building extending into the adjacent right-of-way, which includes travel lanes for vehicles and bicycles, parking lanes for cars, and sidewalks or paths for pedestrians. Streetscape may also include, but not be limited to, landscaped medians and plantings, street trees, benches, and streetlights as well as fences, yards, porches, and awnings.
10. *Streetwall*: The building façade adjacent to the street, along or parallel to the lot-line.
11. *Story*: The complete horizontal section of a building, having one continuous or practically continuous floor.
12. *Tower*: The portion of a building extending upward from the pedestal.

**RESPONSE: Applicant understands these definitions.**

C. *Density*. Density within the applicable zoning districts is limited in accordance with the number of units as provided in the adopted Comprehensive Plan, as amended from time to time, as per [Section 47-28](#), Flexibility Rules, and any other applicable provisions in the Unified Land Development Regulations.

1. Density may be increased as provided in the Comprehensive Plan.
2. Dwelling units are allocated at the time of development permit approval. Upon expiration of a development permit the dwelling units shall be returned to the density pool for future allocation.
3. The allocation of dwelling units shall be subject to all applicable provisions of the ULDR at the time of development permit approval.
4. Dwelling units are allocated on a first come, first serve basis.
5. A development permit requesting the allocation of flex and reserve units shall comply with [Section 47-28.1](#), Flexibility Rules, and shall not exceed a density of 50 units per gross acre. Density may be increased through the allocation of bonus density provisions for affordable housing or sleeping

rooms, and shall comply with provisions on limitation as outlined in the city's Comprehensive Plan.

**RESPONSE: Applicant understands these regulations. Developer will elect the “Payment In-Lieu of Affordable Housing” option.**

*D. Streetscape Regulations and Classification.*

1. The purpose of the streetscape regulations is to create a safe, comfortable and visually interesting experience for the pedestrian, thereby encouraging more street level activity by creating a well landscaped street corridor defined by a consistent streetwall.

The regulations are intended to accomplish streetscape goals by requiring or encouraging the following:

- a. Delineation of a streetwall through the limitation of space between buildings along the street.
- b. Enhancing pedestrian and vehicular safety through traffic calming measures and regulation of sidewalk width and quality as well as vehicular crossings and the location of off-site parking;
- c. Providing sufficient light and air through stepback regulations, while providing weather protection from rain and sunshine through the use of natural shade trees, canopies and awnings;
- d. Sidewalks that are safe to travel by regulating the width and quality of sidewalk and vehicular crossings, and the location of off-site parking;
- e. The provision of an interesting experience for pedestrian activity by locating non-residential, active uses on the first floor, principal building access to be oriented toward the street, requiring transparent glazing, architectural features or both on the first floor of a building fronting toward the street, and encouraging consolidated open areas along the street front along with street furniture.
- F. Permitting a mix of housing, retail and business uses that will create an active urban environment.
- g. Light and view to those occupying a building above a specified height by requiring stepbacks at this height.

**RESPONSE: 700 NW 1st AVE has been designed to meet the streetscape regulations of the NWRAC-MU district.**

**Section 8- Sec. 47-13.52. NWRAC-MU special regulations.**

A. Applicability. In addition to the provided for in Section 47-13.50 General Regulations, the following additional regulations shall apply to all development permitted within the NWRAC-MU zoning districts as shown on the List of Permitted and Conditional Uses, Section 47-13.10 As used herein, the NWRAC-MU Design Standards shall refer to the NWRAC-MU: Illustrations of Design Standards on file with the Department and incorporated herein as if fully set out in those sections of the ULDR that refer to the NWRAC-MU Design Standards.

**RESPONSE: 700 NW 1st AVE has been designed to meet the intent and purpose of the NWRAC-MU Illustrations of Design Standards.**

1. *Street Classifications.* In the NWRAC-MU all streets are classified as primary or secondary. This classification is made according to various functional characteristics of the street such as width, traffic volume, and suitability for human-scale, pedestrian-friendly street life. The form of development that occurs on any given street is in part determined by the street classification. The regulations for development arising from street classifications encourage development of both sides of the street in a consistent manner and in character with the established residential areas of the NWRAC-MU or development that is compatible with zoning districts outside of the NWRAC-MU. The NWRAC-MU Design Standards establishes development provisions intended to reinforce the qualities described for primary and secondary streets. For each street type, the right-of-way width and particular street section may vary depending on available space and other existing constraints.

a. *Primary Streets:* Primary streets are characterized by an active commercial ground floor, which includes walk-up residential, commercial and retail uses with taller and more intensive buildings fronting the street creating a consistent streetwall. Primary Streets typically feature a full complement of pedestrian amenities, including wide sidewalks, on street parking, and a well-developed streetscape, which may include open space for public use. Primary Streets are the principal urban streets and are intended to be well used by vehicles and pedestrians and to be the primary transit routes. In the NWRAC, the Primary streets are:

i. 7<sup>th</sup> Avenue.

ii. 6<sup>th</sup> Street (Sistrunk Boulevard).

iii. Sunrise Boulevard.

iv. Broward Boulevard.

v. Andrews Avenue.

vi. Progresso Drive.

b. *Secondary Streets:* Secondary streets are more residential in nature, and have smaller scale compatible non-residential uses transitioning from the higher intensity primary streets that are more urban in nature to the



existing residential and commercial neighborhoods, which are lower in scale and intensity. Secondary streets offer a combination of a mix of uses, but at less intensity and with less vehicular traffic while maintaining a pedestrian friendly environment. Secondary streets are: streets other than Primary Streets listed in subsection (a) above.

**RESPONSE: Applicant understands these regulations. 700 NW 1st AVE is located in the intersection of two local streets, NW 1st Avenue and NW 7th Street.**

2. All dimensional requirements shall be as provided in Section 47-13.31.

**RESPONSE: See Site Plan. 700 NW 1st AVE has been designed to meet all dimensional requirements.**

3. Dumpsters shall be located to allow access from existing alleys and away from existing residential property to the greatest extent possible.

**RESPONSE: In 700 NW 1st AVE the dumpster and loading area will be located in the interior of the building.**

B. Performance standards and criteria for additional height bonus.

The following performance standards and criteria shall be met by developments requesting an increase in maximum height pursuant to Note B of [Section 47-13.31](#), Table of Dimensional Requirements for the following NWRAC-MU zoning districts:

- NWRAC-MUe (west of NW 2<sup>nd</sup> Avenue)—up to one hundred ten (110) feet
- NWRAC-MUw—up to sixty-five (65) feet

**RESPONSE: 700 NW 1st AVE is not requesting additional height. According to the Note B of Sec. 47-13.31: “NWRAC-MUe east of NW 2<sup>nd</sup> Avenue: up to one hundred twenty (120) feet”. 700 NW 1st AVE is located at the east of NW 2<sup>nd</sup> Avenue, therefore a height of 120’ has been adopted.**

1. The purpose of Affordable Housing height incentive is to maintain a balanced community that provides housing for people of all income levels and to ensure the opportunity of affordable housing for employees of businesses that are located or will be located in the community.

a. Definitions: As used in this section, the following words and terms shall have the meanings specified herein:

b. Affordable housing: Housing with a sales price or rental amount within the means of a household that may occupy moderate- and low-income housing. In the case of dwelling units for sale, affordable means housing in which mortgage, amortization, taxes, insurance, and condominium or association fees, if any, constitute no more than thirty percent (30%) of such gross annual household income for a

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household of the size that may occupy the unit in question. In the case of dwelling units for rent, affordable means housing for which the rent and utilities constitute no more than thirty percent (30%) of such gross annual household income for a household of the size that may occupy the unit in question.

i. Affordable housing development: Housing subsidized by the federal or state government, or any housing development in which at least twenty percent (20%) of the housing units are affordable dwelling units.

ii. Affordable housing development agreement: A written agreement between an applicant for a development and the city or county containing specific requirements to ensure the continuing affordability of housing included in the development.

iii. Affordable housing development plan: A plan prepared by an applicant for an affordable housing development under this section that outlines and specifies the development's compliance with the applicable requirements in this section.

iv. Affordable housing dwelling unit: A dwelling unit subject to covenants or restrictions requiring such dwelling units to be sold or rented at prices preserving them as affordable housing in perpetuity by deed restriction.

v. Affordable housing unit: A dwelling unit subsidized by the federal or state government or an affordable dwelling unit.

vi. Conversion: A change of a residential rental development or a mixed use development that includes rental dwelling units to a development that contains only owner-occupied individual dwelling units, or a change of a development that contains owner-occupied individual units to a residential rental development or mixed use development.

vii. Low-income housing. According to the U.S. Department of Housing and Urban Development, housing that is affordable, for either home ownership or rental, and that is occupied, reserved, or marketed for occupancy by households with a gross household income that does not exceed fifty percent (50%) of the median gross household income for households of the same size within Broward County in which the housing is located.

viii. Median gross household income: The median income level for the Broward County, as established and defined in the annual schedule published by the secretary of the U.S. Department of Housing and Urban Development, adjusted for household size.

ix. Moderate-income housing. According to the U.S. Department of Housing and Urban Development, housing that is affordable, for either home ownership or rental, and that is occupied, reserved, or marketed for occupancy by households with a gross household income that is greater than fifty percent (50%) to one hundred percent (100%) of the median gross household income for households of the same size within the Broward County in which the housing is located.

**RESPONSE: N/A. Developer will elect the "Payment In-Lieu of Affordable Housing" option.**

2. Any development requesting additional height pursuant to section 47.13.52.B above shall include at least ten percent (10%) of all units in a development as affordable housing.

**RESPONSE: Not applicable, 700 NW 1st AVE is not requesting for additional height.**

3. Application and Affordable Housing Development Plan:

a. For all developments in which affordable housing is required to be provided or in which the applicant proposes to include affordable housing, the applicant shall complete and file an application on a form required by the City with the Department of Sustainable Development ("DSD"), Urban Design & Planning Division ("UD&P"). The application shall require, and the applicant shall provide, among other things, general information on the nature and the scope of the development as the City may determine is necessary to properly evaluate the proposed development.

b. As part of the application required under subsection 2 above, the applicant shall provide to the City an affordable housing development plan. The plan shall be subject to approval by the DSD/UD&P Division and shall be incorporated into the affordable housing development agreement pursuant to subsection d. below. The affordable housing development plan shall contain, at a minimum, the following information concerning the development:

i. A general description of the development, including whether the development will contain units for rent or for sale;

ii. The total number of market-rate units and affordable housing units;

iii. The number of bedrooms in each market-rate unit and each affordable unit;

iv. The square footage of each market-rate unit and of each affordable unit measured from the interior walls of the unit and including air-conditioned and non-air-conditioned areas;

v. The location in the development of each market-rate and affordable housing unit;

vi. If construction of dwelling units is to be phased, a phasing plan stating the number of market-rate and affordable housing units in each phase;

vii. The estimated sale price or monthly rent of each market-rate unit and each affordable housing unit;

viii. Documentation and plans regarding the exterior appearances, materials, and finishes of the affordable housing development and each of its individual units; and

ix. A proposed marketing plan to promote the sale or rental of the affordable units within the development to eligible households.

**RESPONSE: N/A. Developer will elect the “Payment In-Lieu of Affordable Housing” option.**

c. Criteria for Location, Integration, Character of Affordable Housing Units:

An affordable housing development shall comply with the following criteria:

i. Affordable housing units in an affordable housing development shall be mixed with, and not clustered together or segregated in any way from market-rate units.

ii. If the affordable housing development plan contains a phasing plan, the phasing plan shall provide for the development of affordable housing units concurrently with the market-rate units. No phasing plan shall provide that the affordable housing units built are the last units in an affordable housing development.

iii. The exterior appearance of affordable housing units in an affordable housing development shall be made similar to market-rate units by the provision of exterior building materials and finishes substantially the same in type and quality.

**RESPONSE: N/A. Developer will elect the “Payment In-Lieu of Affordable Housing” option.**

d. Affordable Housing Development Agreement:

i. Prior to the issuance of a building permit for any units in a development in which an affordable unit is required pursuant to the criteria of subsection B, the applicant shall have entered into an affordable housing development agreement with the City. The development agreement shall set forth the commitments and obligations of the City and the applicant, and shall incorporate among other things, the affordable housing development plan.

ii. The applicant shall execute any and all documents deemed necessary by the City in a form to be established by the City Attorney's Office, including, without limitation, restrictive covenants, deed restrictions, and related instruments (including requirements for income qualification for tenants of for-rent units) to ensure the continued affordability of the affordable housing units in accordance with this section.

iii. Restrictive covenants or deed restrictions required for affordable units shall specify that the title to the subject property shall be transferred only with prior written approval by the City.

**RESPONSE: Understood.**

e. Enforcement of Affordable Housing Development Agreement; Affordability Controls:

i. The DSD Director or designee shall promulgate rules as necessary to implement this section. On an annual basis, the director shall publish or make available copies of the U.S. Department of Housing and Urban Development household income limits and rental limits applicable to affordable units within the local government's jurisdiction, and determine an inflation factor to establish a resale price of an affordable unit.

ii. The resale price of any affordable unit shall not exceed the purchase price paid by the owner of that unit with the following exceptions:

(a) Customary closing costs and costs of sale;

(b) Costs of real estate commissions paid by the seller if a licensed real estate salesperson is employed;

(c) Consideration of permanent capital improvements installed by the seller; or

(d) An inflation factor to be applied to the original sale price of a for-sale unit pursuant to rules established herein.

iii. The applicant or his or her agent shall manage and operate affordable units and shall submit an annual report to the City identifying, which units are affordable units in an affordable housing development, the monthly rent for each unit, vacancy information for each year for the prior year, monthly income for tenants of each affordable unit, and other information as required by the City, while ensuring the privacy of the tenants. The annual report shall contain information sufficient to determine whether tenants of for-rent units qualify as low- or moderate-income households.

iv. For all sales of for-sale affordable housing units, the parties to the transaction shall execute and record such documentation as required by the affordable housing development agreement. Such documentation shall include the provisions of this ordinance and shall provide, at a minimum, each of the following:

(a) The affordable housing unit shall be sold to and occupied by eligible households in perpetuity by deed restriction from the date of the initial certificate of occupancy.

(b) The affordable housing unit shall be conveyed subject to restrictions that shall maintain the affordability of such affordable housing units for eligible households.

v. In the case of for-rent affordable housing units, the owner of the affordable housing development shall execute and record such document as required by the affordable housing development agreement. Such documentation shall include the provisions of this ordinance and shall provide, at a minimum, each of the following:

(a) The affordable housing units shall be leased to and occupied by eligible households.

(b) The affordable housing units shall be leased at rent levels affordable to eligible households and occupied by eligible households in perpetuity by deed restriction from the date of the initial certificate of occupancy.

(c) Subleasing of affordable housing units shall not be permitted without the express written consent of the DSD Director or designee.

**RESPONSE: N/A. Developer will elect the "Payment In-Lieu of Affordable Housing" option.**

#### 4. Additional Height Criteria:

In addition to the performance standards outlined herein, the following additional criteria shall apply:

a. Land uses within the development shall be appropriate in their proposed location, compatible with their relationship to each other, and with uses and activities on abutting and nearby properties;

**RESPONSE: The proposed project is compatible with uses and activities of the adjacent developments.**

b. Where a proposed use is of larger scale and mass than existing adjacent uses, the design of the structure shall place significant consideration to transition, architectural articulation, superior lining with habitable space and screening of parking garage structures; effective transition between higher and lower density uses; or allow incompatible adjacent land uses to be developed in a manner that is not possible using a conventional zoning approach; and,

**RESPONSE: 700 NW 1st AVE has the same scale and has incorporated design elements that align with the adjacent developments to the north and South.**

c. Street and alley vacations shall not be considered unless the applicant demonstrates no decrease to the pedestrian and functional connectivity previously provided and increases options for pedestrian and/or multimodal connectivity;

**RESPONSE: Not applicable for this project.**

5. Development that demonstrates substantial, significant and recognizable improvements and long-term beneficial effect to the community and city. Such as:

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a.Preservation/adaptive-reuse of historically significant structures not otherwise protected;

**RESPONSE: 700 NW 1st AVE is a new project. Most of the lots are vacant lot, except for one with a residential house without historically significant.**

b.Superior architectural design, placement and orientation of buildings and attainment of Leadership in Energy and Environmental Design—Neighborhood Development ("LEED ND") certification for the development or LEED certification of individual buildings and/or other similar state, national or city-recognized programs;

c.Provision of public facilities and public usable open space such as plazas, parks, provision for waterfront public access, greenway features, etc. and may include amenities such as playgrounds, special event space, etc. where the quality and programming of the space shall be emphasized over quantity;

**RESPONSE: 700 NW 1st AVE has ground-floor units around the building, an integrated design between units entrances and the landscape has been considering, providing an attractive and pedestrian-friendly walking environments**

d.Landscaping shall be provided in a manner which maximizes tree canopy, emphasizes native vegetation, improves the aesthetic appearance, and provides opportunities for storm water infiltration, including innovative design usage such as Low Impact Development ("LID"), which is an ecologically-based stormwater management approach favoring soft engineering to manage rainfall on site through a vegetated treatment network; and;

**RESPONSE: See Landscape drawings. The landscaping proposed meets the intent of the code by placing street trees within the right of way on all adjoining streets. Tree spacing meets the required maximum for trees.**

e. Preservation or restoration of environmental or natural resources that would not otherwise be protected, including environmental remediation/brownfield redevelopment.

**RESPONSE: 700 NW 1st AVE project is not located on environmentally sensitive lands.**

**Section 9: Sec. 47-20.2. - Parking and loading zone requirements.**

**RESPONSE: 700 NW 1st AVE has been designed to meet all Parking and loading requirements according to Table 3. "Parking and loading zone requirements - RAC and Central Beach Districts - Northwest Regional Activity Center—NWRAC-MU Districts". See Site Plan sheet.**

**Section 10: Sec. 47-21.11, Landscape Requirements**

**RESPONSE:** The landscaping proposed meets the intent of the code by placing street trees within the right of way on all adjoining streets. Tree spacing meets the required maximum for trees.

**Section 11: Sec. 47-25.2, Adequacy Requirements**

- A. Applicability. The adequacy requirements set forth herein shall be used by the city to evaluate the demand created on public services and facilities created by a proposed development permit.

**RESPONSE:** Applicant understands this requirement. The adequacy requirements stated in ULDR Section 47-25.2 are applicable to 700 NW 1st AVE and will be subject to requirement based on the evaluation of the demand it will place on public services and facilities.

- B. Communications network. Buildings and developments shall not interfere with the city's communication network. Developments shall be modified to accommodate the needs of the city's communication network, to eliminate any interference a development would create or otherwise accommodate the needs of the city's communication network within the development proposal.

**RESPONSE:** Applicant understands this requirement. The proposed 700 NW 1st AVE project is not expected to interfere with the City's communication network.

- C. Drainage facilities. Adequacy of stormwater management facilities shall be evaluated based upon the adopted level of service requiring the retention of the first inch of runoff from the entire site or two and one-half (2 1/2) inches of runoff from the impervious surface whichever is greater.

**RESPONSE:** Applicant understands this requirement. The stormwater management facilities implemented into 700 NW 1st AVE will meet the adopted level of service requiring the retention of the first inch of runoff from the entire site or two and one-half (2 1/2) inches of runoff from the impervious surface (whichever is greater).

- D. Environmentally sensitive lands.
  - 1. In addition to a finding of adequacy, a development shall be reviewed pursuant to applicable federal, state, regional and local environmental regulations. Specifically, an application for development shall be reviewed in accordance with the following Broward County Ordinances which address environmentally sensitive lands and wellfield protection which ordinances are incorporated herein by reference:
    - a. Broward County Ordinance No. 89-6.
    - b. Section 5-198(I), Chapter 5, Article IX of the Broward County Code of Ordinances.
    - c. Broward County Ordinance No. 84-60.
  - 2. The applicant must demonstrate that impacts of the proposed development to environmentally sensitive lands will be mitigated.



**RESPONSE: 700 NW 1st AVE project is not located on environmentally sensitive lands.**

- E. Fire protection. Fire protection service shall be adequate to protect people and property in the proposed development. Adequate water supply, fire hydrants, fire apparatus and facilities shall be provided in accordance with the Florida Building Code, South Florida Fire Code and other accepted applicable fire and safety standards.

**RESPONSE: Acknowledge, 700 NW 1st AVE project will comply with the Florida Building Code, South Florida Fire Code and other accepted applicable fire and safety standards.**

- F. Parks and open space.
  - 1. The manner and amount of providing park and open space is as provided in Section 47-38A, Park Impact Fees, of the ULDR.
  - 2. No building permit shall be issued until the park impact fee required by Section 47-38A of the ULDR has been paid in full by the applicant.

**RESPONSE: Applicant will pay all required impact fees prior to the issuance of the building permit.**

- G. Police protection. Police protection service shall be adequate to protect people and property in the proposed development. The development shall provide improvements which are consistent with Crime Prevention Through Environmental Design (CPTED) to minimize the risk to public safety and assure adequate police protection.

**RESPONSE: Police protection services will be adequate to protect people and property in the proposed 700 NW 1st AVE project. 700 NW 1st AVE project will include adequate CCTV and security controls and monitoring, and natural surveillance to protect the building's residents, employees and visitors.**

- H. Potable water.
  - 1. Adequate potable water service shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements which may be needed for the installation and maintenance of potable water systems in accordance with city engineering standards, the Florida Building Code, and applicable health and environmental regulations. The existing water treatment facilities and systems shall have sufficient capacity to provide for the needs of the proposed development and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which potable water treatment capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the developer in accordance with Resolution 85-265, as it is amended from time to time. Improvements to the potable water service and system shall be made in accordance with city engineering standards and other accepted applicable engineering standards.

2. Potable water facilities.
  - a. If the system is tied into the city treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from design capacity. If there is available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department.
  - b. If there is adequate capacity available in the city treatment plant to serve the proposed development, the city shall reserve the necessary capacity to serve the development.
  - c. Where the county is the projected service provider, a similar written assurance will be required.

**RESPONSE: Applicant will request a water/wastewater capacity letter from the City's Public Works Department and will provide the letter to the city upon receipt.**

I. Sanitary sewer.

1. If the system is tied into the city treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from the design capacity. If there is available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department.
2. If there is adequate capacity available in the city treatment plant to serve the proposed development, the city shall reserve the necessary capacity to serve the proposed development.
3. Where the county is the projected service provider, a written assurance will be required.
4. Where septic tanks will be utilized, the applicant shall secure and submit to the city a certificate from the Broward County Health Unit that certifies that the site is or can be made suitable for an on-site sewage disposal system for the proposed use.

**RESPONSE: Applicant will request a water/wastewater capacity letter from the City's Public Works Department and will provide the letter to the city upon receipt.**

- J. Schools. For all development including residential units, the applicant shall be required to mitigate the impact of such development on public school facilities in accordance with the Broward County Land Development Code or section 47-38C. Educational Mitigation, as applicable and shall provide documentation to the city that such education mitigation requirement has been satisfied.

**RESPONSE: Applicant will pay all required school concurrency fees prior to the issuance of a building permit.**

K. Solid waste.

1. Adequate solid waste collection facilities and service shall be obtained by the applicant in connection with the proposed development and evidence shall be provided to the city demonstrating that all solid waste will be disposed of in a manner that complies with all governmental requirements.
2. Solid waste facilities. Where the city provides solid waste collection service and adequate service can be provided, an adequacy finding shall be issued. Where there is another service provider, a written assurance will be required. The impacts of the proposed development will be determined based on Table 4, Solid Waste, on file with the department.

**RESPONSE: The Applicant will procure adequate solid waste collection facilities and services in connection with the proposed 700 NW 1st AVE project and will provide evidence to the City demonstrating that all solid waste will be disposed of in a manner that complies with all governmental requirements.**

- L. Stormwater. Adequate stormwater facilities and systems shall be provided so that the removal of stormwater will not adversely affect adjacent streets and properties or the public stormwater facilities and systems in accordance with the Florida Building Code, city engineering standards and other accepted applicable engineering standards.

**RESPONSE: The Applicant will provide adequate storm water facilities and systems so that the removal of storm water will not adversely affect adjacent streets and properties or the public storm water facilities and systems in accordance with the Florida Building Code, City engineering standards and other accepted applicable engineering standards.**

M. Transportation facilities.

1. The capacity for transportation facilities shall be evaluated based on Table 1, Generalized Daily Level of Service Maximum Volumes, on file with the department. If a development is within a compact deferral area, the available traffic capacity shall be determined in accordance with Table 2, Flowchart, on file with the department.

**RESPONSE: This Property is platted. The Applicant will mitigate 700 NW 1st AVE project's transportation impacts through payment of its Transit Oriented Concurrency assessment fee. The funds, in combination with those from other planned developments and other Broward County funds, will be used to implementation the County's 5-year County Transit Program.**

2. Regional transportation network. The regional transportation network shall have the adequate capacity, and safe and efficient traffic circulation to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the adopted traffic elements of the city and the county comprehensive plans, and accepted applicable traffic engineering standards. Site-specific traffic studies may

be required to be made and paid for by the applicant when the city determines such a study is needed in order to evaluate the impacts of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit such a study to the city which will be considered by the DRC in its review. Roadway improvements needed to upgrade the regional transportation network shall be made in accordance with the city, the county, and Florida Department of Transportation traffic engineering standards and plans as applicable.

**RESPONSE: Traftech Engineering (Karl B. Peterson) has been retained to provide the traffic analysis.**

1. Local streets. Local streets shall have adequate capacity, safe and efficient traffic circulation, and appropriate functional classification to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the city's comprehensive plan and accepted applicable traffic engineering standards. Site-specific traffic studies may be required to be made and paid for by the applicant when the city determines such a study is required in order to evaluate the impact of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit to the city such a study to be considered as part of the DRC review. Street improvements needed to upgrade the capacity or comply with the functional classification of local streets shall be made in accordance with the city engineering standards and acceptable applicable traffic engineering standards. Local streets are those streets that are not classified as federal, state or county roadways on the functional classification map adopted by the State of Florida.

**RESPONSE: Applicant understands this requirement. The local streets providing access to 700 NW 1st AVE have adequate capacity and provide safe and efficient access to 700 NW 1st AVE.**

4. Traffic impact studies.
  - a. When the proposed development may generate over one thousand (1,000) daily trips; or
  - b. When the daily trip generation is less than one thousand (1,000) trips; and (1) when more than twenty percent (20%) of the total daily trips are anticipated to arrive or depart, or both, within one-half ( 1/2) hour; or (2) when the proposed use creates varying trip generation each day, but has the potential to place more than twenty percent (20%) of its maximum twenty-four (24) hour trip generation onto the adjacent transportation system within a one-half ( 1/2) hour period; the applicant shall submit to the city a traffic impact analysis prepared by the county or a registered Florida engineer experienced in trafficways impact analysis which shall:
    - i. Provide an estimate of the number of average and peak hour trips per day generated and directions or routes of travel for all trips with an external end.

- ii. Estimate how traffic from the proposed development will change traffic volumes, levels of service, and circulation on the existing and programmed trafficways.
- iii. If traffic generated by the proposed development requires any modification of existing or programmed components of the regional or local trafficways, define what city, county or state agencies have programmed the necessary construction and how this programming relates to the proposed development.
- iv. A further detailed analysis and any other information that the review committee considers relevant.
- v. The traffic impact study may be reviewed by an independent licensed professional engineer contracted by the city to determine whether it adequately addresses the impact and the study supports its conclusions. The cost of review by city's consultant shall be reimbursed to the city by the applicant.
- vi. When this subsection M.4.b. applies, the traffic study shall include an analysis of how the peak loading will affect the transportation system including, if necessary, an operational plan showing how the peak trips will be controlled and managed.

**RESPONSE: Traftech Engineering (Karl B. Peterson) has been retained to provide the traffic analysis.**

- 5. Dedication of rights-of-way. Property shall be conveyed to the public by plat, deed or grant of easement as needed in accordance with the Broward County Trafficways Plan, the city's comprehensive plan, subdivision regulations and accepted applicable traffic engineering standards.

**RESPONSE: Acknowledge**

- 6. Pedestrian facilities. Sidewalks, pedestrian crossing and other pedestrian facilities shall be provided to encourage safe and adequate pedestrian movement on-site and along roadways to adjacent properties. Transit service facilities shall be provided for as required by the city and Broward County Transit. Pedestrian facilities shall be designed and installed in accordance with city engineering standards and accepted applicable engineering standards-

**RESPONSE: 700 NW 1st AVE will provide sidewalks, pedestrian crossings and other pedestrian-friendly facilities, to encourage safe and adequate pedestrian movement on-site and along roadway frontages.**

- 7. Primary arterial street frontage. Where a proposed development abuts a primary arterial street either existing or proposed in the trafficways plan, the development review committee (DRC) may require marginal access street, reverse frontage with screen planting contained in a nonaccess reservation along

the rear property line, deep lots with or without rear service alleys, or such other treatment as may be necessary for adequate protection of residential properties and to assure separation of through and level traffic.

**RESPONSE: Acknowledge- 700 NW 1st AVE is not located on a primary arterial street.**

8. Other roadway improvements. Roadways adjustments, traffic control devices, mechanisms, and access restrictions may be required to control traffic flow or divert traffic, as needed to reduce or eliminate development generated traffic.

**RESPONSE: Acknowledge.**

9. Street trees. In order to provide for adequate landscaping along streets within the city, street trees shall be required along the length of the property abutting a street. A minimum of fifty percent (50%) of the required street trees shall be shade trees, and the remaining street trees may be provided as flowering or palm trees. These percentages may be varied based on existing or proposed physical conditions which may prevent the ability to comply with the street tree requirements of this subsection. The street trees shall be planted at a minimum height and size in accordance with the requirements of Section 47-21, Landscape and Tree Preservation Requirements, except in the downtown RAC districts the requirements of Sec. 47-13.20.H.8 shall apply. The location and number of street trees shall be determined by the department based on the height, bulk, mass and design of the developments on the site and the proposed development's compatibility to surrounding properties. The requirements for street trees, as provided herein, may be located within the public right-of-way as approved by the entity with jurisdiction over the abutting right-of-way.

**RESPONSE: Trees have been provided in accordance with the above requirement. See the landscape plans included in the application documents.**

N. Wastewater.

1. Wastewater. Adequate wastewater services shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements which may be needed for the installation and maintenance of a wastewater and disposal system in accordance with applicable health, environmental and engineering regulations and standards. The existing wastewater treatment facilities and systems shall have adequate capacity to provide for the needs of the proposed development and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which wastewater treatment or disposal capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the developer in accordance with Resolution 85-265, as it is amended for time to time. Improvements to the wastewater facilities and system shall be made in accordance with the city engineering and accepted applicable engineering standards.

**RESPONSE: Applicant understands this requirement. The Applicant will provide adequate wastewater services for the needs of the proposed 700 NW 1st AVE project, including**

**adequate areas and easements which may be needed for the installation and maintenance of a wastewater and disposal system in accordance with applicable health, environmental and engineering regulations and standards.**

- O. Trash management requirements. A trash management plan shall be required in connection with non-residential uses that provide prepackaged food or beverages for off-site consumption. Existing non-residential uses of this type shall adopt a trash management plan within six (6) months of the effective date of this provision.

**RESPONSE: The Applicant will ensure that all trash collection is appropriately provided for.**

- P. Historic and archaeological resources.
  - 1. If a development or site has been identified as having archaeological or historical significance by any entity within the State of Florida authorized by law to do same, the applicant shall be responsible for requesting this information from the state, county, local governmental or other entity with jurisdiction over historic or archaeological matters and submitting this information to the city at the time of, and together with, a development permit application. The reviewing entity shall include this information in its comments.

**RESPONSE: The site has not been identified as having archaeological or historical significance by any entity within the State of Florida authorized by law to do the same.**

- Q. Hurricane evacuation. If a development or site is located east of the River, the applicant shall submit documentation from Broward County or such agency with jurisdiction over hurricane evacuation analysis either indicating that acceptable level of service of hurricane evacuation routes and hurricane emergency shelter capacity shall be maintained without impairment resulting from a proposed development or describing actions or development modifications necessary to be implemented in order to maintain level of service and capacity.

**RESPONSE: Not applicable, the Property is not located east of the Intracoastal waterway.**

## **Section 12: Sec. 47-27.3 Neighborhood Compatibility**

- 2. SMOKE, ODOR, EMISSIONS OF PARTICULATE MATTER AND NOISE

**RESPONSE: The Applicant will obtain all necessary documentation from either the Broward County**

**Environmental Protection Department, or a certified engineer licensed to do business in the State of Florida, which demonstrates that 700 NW 1st AVE will not exceed the maximum levels of smoke, odor, emissions of particulate matter and noise as regulated by Chapter 27, Pollution Control, of the Code of Broward County, and that an environmental permit for such facility is not required.**

- 3. DESIGN AND PERFORMANCE STANDARDS

- a. Lighting

**RESPONSE:** No lighting will be directed in a manner so as to illuminate abutting properties.

Any glare produced by 700 NW 1st AVE project will be conducted so that direct or indirect illumination of light will not cause illumination in excess of one (1) foot-candle on any adjacent properties.

The site plan does not present any adverse effects from automobile headlights. All garage levels will be enclosed with a solid wall and screened with a decorative metal mesh.

Any and all landscape lighting provided to be low voltage lighting (See landscape plans).

Lighting will comply with all code requirements including lighting in the garage.

- b. Control of appearance.
  - i. Architectural features.

**RESPONSE:**

1. 700 NW 1st AVE includes significant architectural design elements including:
  - a. Glazed wall and windows.
  - b. Color and material banding
  - c. Decorative wood cladding
  - d. Uniform cornice height
  - e. Awnings
2. The architectural design of the building includes building mass and color changes, projection and recession, multiple roof lines, and architectural featured elements that are continuous around the building.

- ii. Loading facilities.

**RESPONSE:** Loading and service facilities of 700 NW 1st AVE project are located on NW 1<sup>st</sup> Ave.

- iii. Screening of rooftop mechanical equipment.

**RESPONSE:** All rooftop mechanical equipment is screened and designed as a component of the overall architectural design.

- c. Setback regulations.

**RESPONSE:** 700 NW 1st AVE complies with the setback regulations for the Property.

- d. Buffer yard requirements.

**RESPONSE:** 700 NW 1st AVE meets buffer yard requirements of the Zoning District.

- e. Neighborhood Compatibility and Preservation.



- i. The proposed mix of uses are permitted uses for the North West Regional Activity Center – Mixed Use east (NWRAC-MUe) District.

In keeping with the Neighborhood Compatibility Requirements, the design of 700 NW 1st AVE will be compatible with, enhance and reinforce the character and integrity of the existing and adjacent neighborhood, by mitigating adverse impacts such as noise, odors, shadow, scale, visual nuisances, and other similar adverse effects to adjacent properties.

700 NW 1st AVE is designed, and the building is oriented to minimize traffic and other related impacts on the surrounding properties. The proposed building is consistent with the zoning regulations and North West Regional Activity Center Master Plan.

The parking garage is designed to be an integral part of the proposed building architecture, minimizing its impact on adjacent properties, and is wrapped with decorative architectural treatment that creates an artistic statement during the day and night.

All setbacks and proposed building height on the property will conform to the requirements in the ULDR for NWRAC-MUe District as discussed herein.

Cordially yours,



Josh Bailey NCARB, RA, LEED GA  
Partner/Director of Operations

February 7, 2024

Ms. Jimena Villalba  
Senior Project Manager  
FSMY Architects + Planners  
888 South Andrews Avenue, Suite 300  
Fort Lauderdale, Florida 33316

**Re: 700 NW 1<sup>st</sup> Ave – Fort Lauderdale, Florida  
Traffic Statement**

Dear Jimena:

As requested, Traf Tech Engineering has prepared a traffic statement associated with the proposed development of a site (comprised of seven (7) parcels of land) located generally in the northeast quadrant of the intersection at NW 1<sup>st</sup> Avenue and NW 7<sup>th</sup> Street in the City of Fort Lauderdale, Broward County, Florida. More specifically the Broward County Folio Numbers that comprise this site are as follows:

- 4942 34 07 1210
- 4942 34 07 1220
- 4942 34 07 1230
- 4942 34 07 1240
- 4942 34 07 1250
- 4942 34 07 1260
- 4942 34 07 1270

This traffic statement addresses the trip generation characteristics associated with the proposed development (to be known as “700 NW 1<sup>st</sup> Ave”) on the subject site and documents if the estimated number of net new project vehicle trips exceeds the minimum trip thresholds established by the City of Fort Lauderdale that would require a comprehensive traffic impact study.

## **TRAFFIC IMPACT ANALYSIS**

### **Proposed Development**

The total land area of the subject site is approximately 1.08 acres (47,227 square feet) and is currently vacant. The subject site is proposed to be developed with a 12-story multifamily residential building consisting of 189 dwelling units.

Vehicular access to the site will be provided by one (1) full access driveway connection on NW 1<sup>st</sup> Avenue. A project location map is presented in Attachment A to this memorandum and the preliminary site plan / site data is presented in Attachment B.

**Trip Generation Analysis**

A trip generation analysis has been conducted for the proposed development on the subject site. The analysis was performed using the trip generation rates and equations published in the Institute of Transportation Engineer’s (ITE) *Trip Generation Manual (11<sup>th</sup> Edition)*. The trip generation analysis was undertaken for daily, AM peak hour, and PM peak hour conditions. According to the referenced ITE manual, the most appropriate land use category and corresponding rates for the proposed development are as follows:

**Multifamily Housing (High-Rise) – ITE Land Use #222**

- ❑ Weekday:  $T = 4.54 (X)$   
where  $T$  = number of trips and  $X$  = number of dwelling units
- ❑ AM Peak Hour:  $T = 0.27 (X)$  (34% in / 66% out)
- ❑ PM Peak Hour:  $T = 0.32 (X)$  (56% in / 44% out)

Relevant excerpts from the referenced ITE manual are presented in Attachment C to this memorandum. Utilizing the above-listed trip generation rates from the referenced ITE document, a trip generation analysis was undertaken for the proposed development. The results of this effort are documented in Table 1 below.

Table 1 700 NW 1st Ave Trip Generation Analysis Fort Lauderdale, Florida								
Land Use	Size	Daily Trips	AM Peak Hour Trips			PM Peak Hour Trips		
			In	Out	Total	In	Out	Total
<i>Proposed</i>								
Multi-Family Housing (High-Rise)	189 DU	858	17	34	51	34	26	60

*Compiled by: Traf Tech Engineering, Inc. (February 2024).*

*Source: ITE Trip Generation Manual (11th Edition).*

As indicated in Table 1 above, the 700 NW 1<sup>st</sup> Ave project is anticipated to generate 858 daily vehicle trips, 51 AM peak hour vehicle trips (17 inbound and 34 outbound) and 60 vehicle trips (34 inbound and 26 outbound) during the typical afternoon peak hour.

**Conclusions**

Based upon the foregoing analysis, the proposed project is not required to prepare a comprehensive traffic impact study for the following reasons:

- o According to the City of Fort Lauderdale's ULDR Section 47-25.2.M.4, when the proposed development generates more than 1,000 net new daily trips, a traffic impact study is required. The subject project is projected to generate 858 net new daily vehicle trips.
  
- o And, if the daily trips are less than 1,000 and more than 20% of the daily trips are anticipated to arrive or depart, or both, within one-half hour, a traffic impact study is required. As presented in Table 1, the proposed development will result in 51 net new vehicle trips during the AM peak hour and 60 net new vehicle trips in the PM peak hour. The maximum number of trips anticipated within one-half hour is approximately 3.50% of the daily vehicle trips, which is significantly less than the 20% threshold. *(Sixty additional peak hour vehicle trips occurring in one (1) hour represents, on average, 30 vehicle trips in one-half hour. Thirty (30) vehicle trips equate to approximately 3.50% of the 858 net new daily vehicle trips.)*

Based upon the foregoing trip generation analyses, the trip generation characteristics of the 700 NW 1<sup>st</sup> Ave residential development do not warrant further detailed traffic analyses.

If you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,

**TRAF TECH ENGINEERING, INC.**

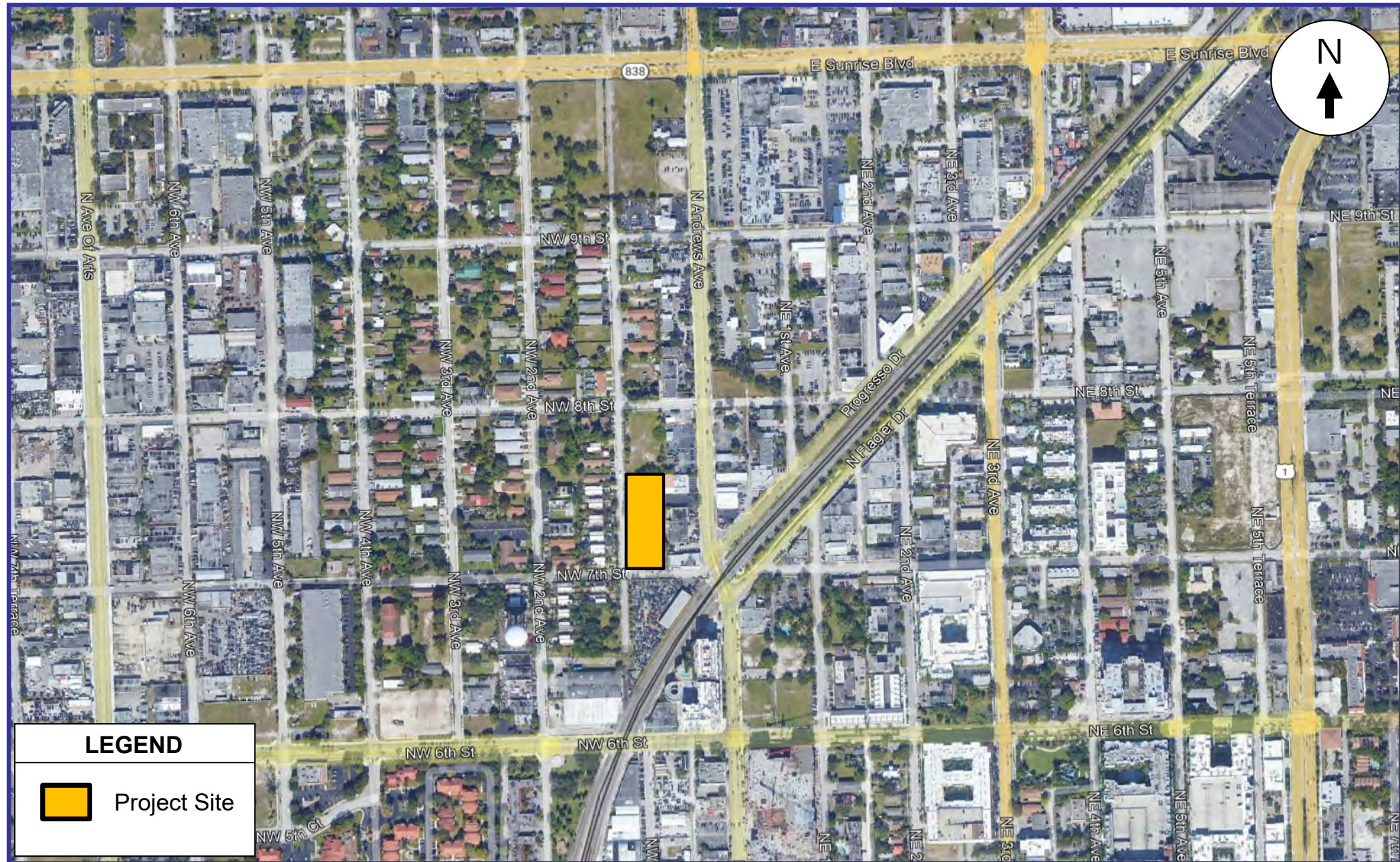


Karl B. Peterson, P.E.  
Senior Transportation Engineer

# **Attachment A**

**700 NW 1<sup>st</sup> Ave**

**Project Location Map**



**LEGEND**

 Project Site

**KBP**

CONSULTING, INC.

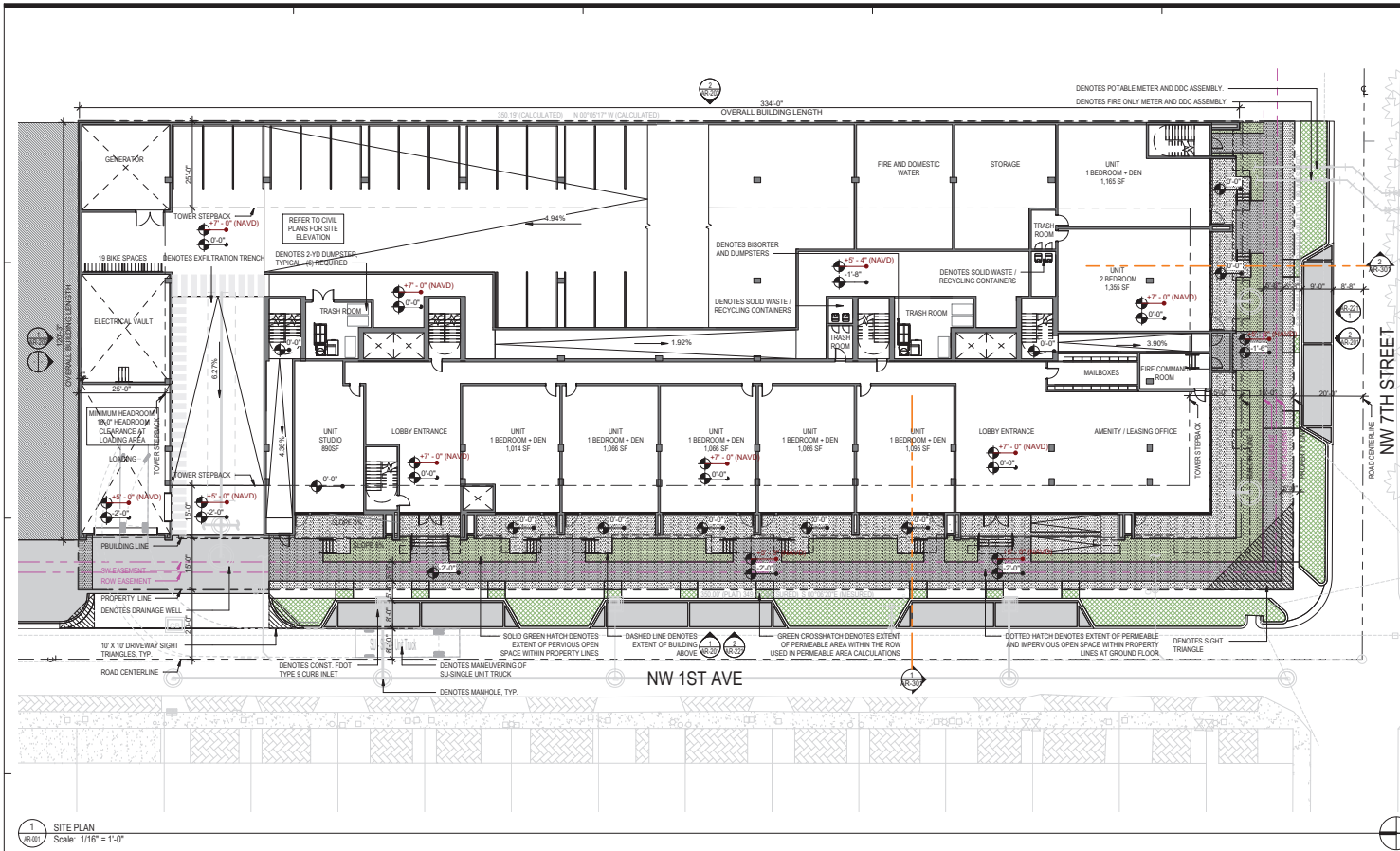
**Project Location Map**

**Attachment A**  
700 NW 1<sup>st</sup> Ave  
Fort Lauderdale, Florida

# **Attachment B**

**700 NW 1<sup>st</sup> Ave**

**Site Plan & Site Data**



**LEGAL DESCRIPTION**

**PANEL 1**  
 LOTS 27 AND 28, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGES 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
**PANEL 2**  
 LOTS 29 AND 30, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGES 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
**PANEL 3**  
 LOTS 31 AND 32, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGES 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
**PANEL 4**  
 LOTS 33 AND 34, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGES 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
**PANEL 5**  
 LOTS 35 AND 36, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGES 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
**PANEL 6**  
 LOTS 37 AND 38, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGES 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
**PANEL 7**  
 LOTS 39 AND 40, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGES 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**CODE DATA**

- PROJECT SHALL BE PERMITTED UNDER THE 2020 FLORIDA BUILDING CODE, 7TH EDITION, AND COMPLY WITH FAIR HOUSING ACT DESIGN PRINCIPLES WHERE APPLICABLE.
- OCCUPANCIES UNDER THE BUILDING PERMIT SHALL BE CLASSIFIED "R-1", "S-2", "A-2", AND "R-2" PER FBC 2020 CHAPTER 3.
- PARKING GARAGE SHALL BE "CLOSED" AND MECHANICALLY VENTILATED PER FBC 2020 SECTION 406.6.
- LIFE SAFETY PLANS UNDER THE BUILDING PERMIT SHALL BE SUBJECT TO FBC 2020, CHAPTER 10 MEANS OF EGRESS - TYPICAL ALL FLOORS.
- BUILDING SEPARATIONS SHALL COMPLY WITH FBC 2020 CHAPTER 6, TABLE 601 AND 602.
- EXTERIOR WALL OPENINGS SHALL COMPLY WITH FBC 2020 CHAPTER 7, TABLE 705.8.
- PARKING GARAGE SLOPES SHALL COMPLY WITH LADR SECTION 47-20.9.A.
- DUMPSTERS SHALL COMPLY WITH LADR SECTION 47-19.4.

**TRANSPORTATION AND MOBILITY**

- OFF-SITE PARKING:** 8 PARKING SPACES PROVIDED.
- BICYCLE PARKING:** 1 PER 10 DWELLING UNITS (INTERIOR)
  - A. BIKE INTERIOR (B.I.) SPACES = 18 PROVIDED FOR 188 UNITS
  - SPECIFICATION: DOUBLE-UP, SINGLE SIDED FREE-STANDING VERTICAL BIKE RACK FROM THE PARK ABILITY CATALOGS OR APPROVED EQUAL.

**NOTES**



DESIGNED	DRAWN	CHECKED

1 DRC Submittal 02/02/2024

**REVISIONS**

DATE: 04/06/2024  
 COMM: 22033  
 700 NW 1ST AVE

1 SITE PLAN  
 Scale: 1/16" = 1'-0"

**POLICE**

ALL EXTERIOR WINDOWS AND DOORS SHALL BE IMPACT RESISTANT. STAIRWELLS SHALL BE EGRESS ONLY ON GROUND LEVEL. BUILDING SHALL BE FITTED WITH INTERCOM/VIDEO ACCESS CONTROL SYSTEMS AT ENTRY/EXIT POINTS, ELEVATORS, PARKING GARAGE, AND COMMON AREAS. EACH RESIDENTIAL AND COMMERCIAL UNIT SHALL BE WIRED FOR A MONITORED SECURITY SYSTEM AND THE POOL DECK SHALL INCORPORATE SAFETY FEATURES TO PREVENT UNSUPERVISED CHILDREN FROM ACCESSING THE POOL. ELEVATORS SHALL BE ACCESS CONTROLLED. UNIT ENTRY DOORS SHALL BE SOLID IMPACT RESISTANT WITH DEADBOLT AND SHALL EACH BE FITTED WITH 180 DEGREE PEEPHOLE DOOR VIEWERS. ACCESS CONTROL SHALL BE PROVIDED FOR MECHANICAL, ELECTRICAL, AND MAINTENANCE ROOMS WHERE APPLICABLE. THE INTERIOR OF THE GARAGE SHALL BE PAINTED A LIGHT COLOR. EMERGENCY COMMUNICATION DEVICES SHALL BE PLACED IN THE PARKING GARAGE, POOL, AND COMMON AREAS. PARKING GARAGE SHALL PROVIDE ACCESS CONTROL FOR RESIDENTS.

**FIRE PROTECTION**

PROJECT SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF NFPA SEVENTH EDITION AND THE FLORIDA BUILDING CODE 2020 PER FBC 903.2.11.3. THE BUILDING SHALL HAVE FIRE SPRINKLERS.

**SITE PLAN DATA**

<b>A. LAND USE DESIGNATION</b>	NORTH WEST REGIONAL ACTIVITY CENTER	<b>PARKING PROVIDED</b>	STANDARD: 27, COMPACT: 15, PARALLEL: 0, ADA/FHA: 0, TOTAL: 42	<b>N. BUILDING YARDS</b>	FRONT - WEST: 5 FEET TO PROP LINE, 15 FEET FRONT - SOUTH: 5 FEET TO PROP LINE, 15 FEET SIDE - EAST: 0 FEET, 0 FEET SIDE - NORTH: 0 FEET, 0 FEET
<b>B. ZONING DESIGNATION</b>	MWRAC-M1a	<b>H. LOADING ZONES</b>	NOT REQUIRED	<b>P. OPEN SPACE</b>	REQUIRED, PROVIDED
<b>C. SITE AREA - GROSS</b>	47,227.04 SF (1.08 ACRES)	<b>J. BUILDING FOOTPRINT COVERAGE</b>	37,751 SF	<b>OPEN SPACE</b>	100 SF X 100 = 10,000 SF
<b>D. WATER/WASTEWATER SERVICE PROVIDER</b>	CITY OF FORT LAUDERDALE	<b>TOWER FLOOR PLATE AREA (PER TOWER)</b>	9,152 SF	<b>GROUND FLOOR</b>	18,900 SF X 40% = 7,560 SF
<b>E. RESIDENTIAL DEVELOPMENT DWELLING UNIT BREAKDOWN AND TYPE:</b>	STUDIO (81 - 890 SF): 41 UNITS 1 BEDROOM (704 - 865 SF): 66 UNITS 1 BEDROOM + DEN (803 - 1,165 SF): 34 UNITS 2 BEDROOM (899 - 1,135 SF): 48 UNITS TOTAL: 189 UNITS	<b>K. F.A.R.</b>	LEVEL 01 GROUND LEVEL W/ UNITS: 37,102 SF LEVEL 02 GARAGE: 35,142 SF LEVEL 03 GARAGE: 37,751 SF LEVEL 04 GARAGE: 28,044 SF LEVEL 05 UNITS: 16,382 SF LEVEL 05.5 AMENITIES: 4,744 SF LEVEL 06 UNITS: 16,382 SF LEVEL 07 UNITS: 20,615 SF LEVEL 08 UNITS (1,892 X 9): 84,792 SF TOTAL F.A.R. SQUARE FOOTAGE: 286,972 SF	<b>PERMEABLE ON SITE</b>	7,500 SF X 25% = 1,890 SF
<b>F. NON-RESIDENTIAL FLOOR AREA</b>	COMMERCIAL: 0 SF	<b>L. NUMBER OF STORES</b>	9 STORES	<b>ROW 50% W/ROW</b>	50% X 1,890 SF = 945 SF
<b>G. PARKING DATA (100% SELF-PARK, NO VALET PROPOSED)</b>	RESIDENTIAL: 1.15 PER STUDIO/BDR - 2.00 PER 1BDR+DEN/2BDR = 351.2 SPACES COMMERCIAL: N/A TOTAL: 351.2 PARKING SPACES REQUIRED	<b>M. BUILDING HEIGHT OVERALL</b>	127'-0" ABOVE FINISH GROUND FLOOR / 127'-0" MAX	<b>TOTAL</b>	1,900 SF 1,000 SF 2,801 SF
		<b>N. BUILDING HEIGHT OVERALL</b>	127'-0" ABOVE FINISH GROUND FLOOR / 127'-0" MAX	<b>Q. TYPE OF CONSTRUCTION</b>	TYPE I-A, SPRINKLERED (IF 07 STORES AND AREA "UNLIMITED" TABLES 904.3a AND 904.4)

**AERIAL**



888 S Andrews Ave Suite 300  
 Fort Lauderdale, FL 33314

SITE PLAN  
 DRC SET

AR-001



# **Attachment C**

**700 NW 1<sup>st</sup> Ave**

**Relevant Excerpts from the  
*ITE Trip Generation Manual (11<sup>th</sup> Edition)***

# Land Use: 222

## Multifamily Housing (High-Rise)

---

### Description

High-rise multifamily housing includes apartments, townhouses, and condominiums. Each building has more than 10 floors of living space. Access to individual dwelling units is through an outside building entrance, a lobby, elevators, and a set of hallways.

Multifamily housing (low-rise) (Land Use 220), multifamily housing (mid-rise) (Land Use 221), off-campus student apartment (high-rise) (Land Use 227), and high-rise residential with ground-floor commercial (Land Use 232) are related land uses.

### Land Use Subcategory

Data are presented for two subcategories for this land use: (1) not close to rail transit and (2) close to rail transit. A site is considered close to rail transit if the walking distance between the residential site entrance and the closest rail transit station entrance is ½ mile or less.

### Additional Data

For the 12 sites for which both the number of residents and the number of occupied dwelling units were available, there were an average of 1.6 residents per occupied dwelling unit.

For the 26 sites for which the numbers of both total dwelling units and occupied dwelling units were available, an average of 98 percent of the total dwelling units were occupied.

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

For the 12 sites for which data were provided for both occupied dwelling units and residents, there was an average of 1.6 residents per occupied dwelling unit.

For the 26 sites for which data were provided for both occupied dwelling units and total dwelling units, an average of 98 percent of the units were occupied.

***It is expected that the number of bedrooms and number of residents are likely correlated to the trips generated by a residential site. To assist in future analysis, trip generation studies of all multifamily housing should attempt to obtain information on occupancy rate and on the mix of residential unit sizes (i.e., number of units by number of bedrooms at the site complex).***

The sites were surveyed in the 1980s, the 2000s, and the 2010s in California, District of Columbia, Maryland, New Jersey, New York, Ontario (CAN), Oregon, Pennsylvania, and Virginia.

### Source Numbers

105, 168, 169, 237, 321, 356, 818, 862, 901, 910, 949, 963, 964, 966, 967, 1056, 1057, 1076, 1077

# Multifamily Housing (High-Rise) Not Close to Rail Transit (222)

Vehicle Trip Ends vs: Dwelling Units  
On a: Weekday

Setting/Location: General Urban/Suburban

Number of Studies: 8

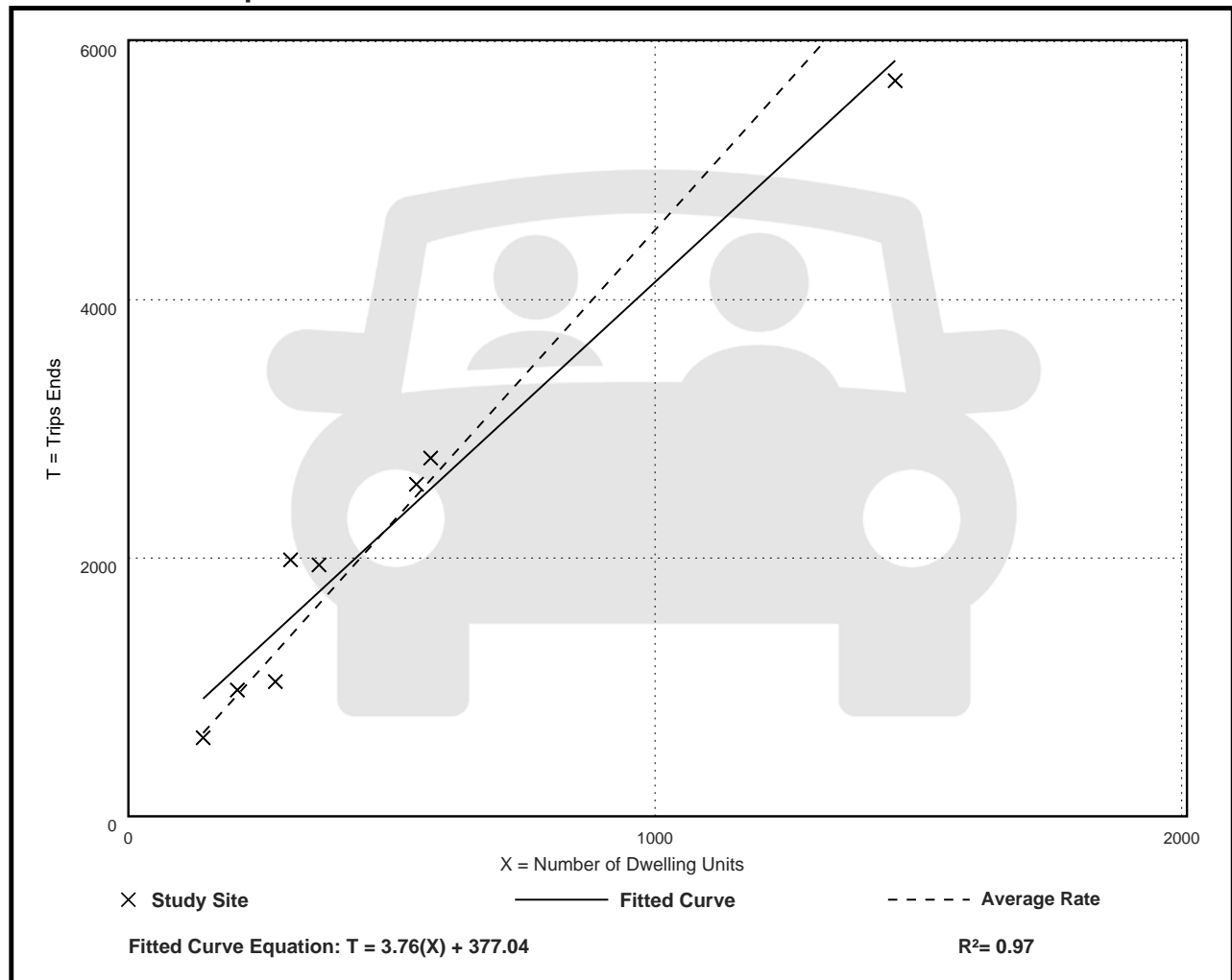
Avg. Num. of Dwelling Units: 484

Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
4.54	3.74 - 6.45	0.81

## Data Plot and Equation



# Multifamily Housing (High-Rise) Not Close to Rail Transit (222)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 45

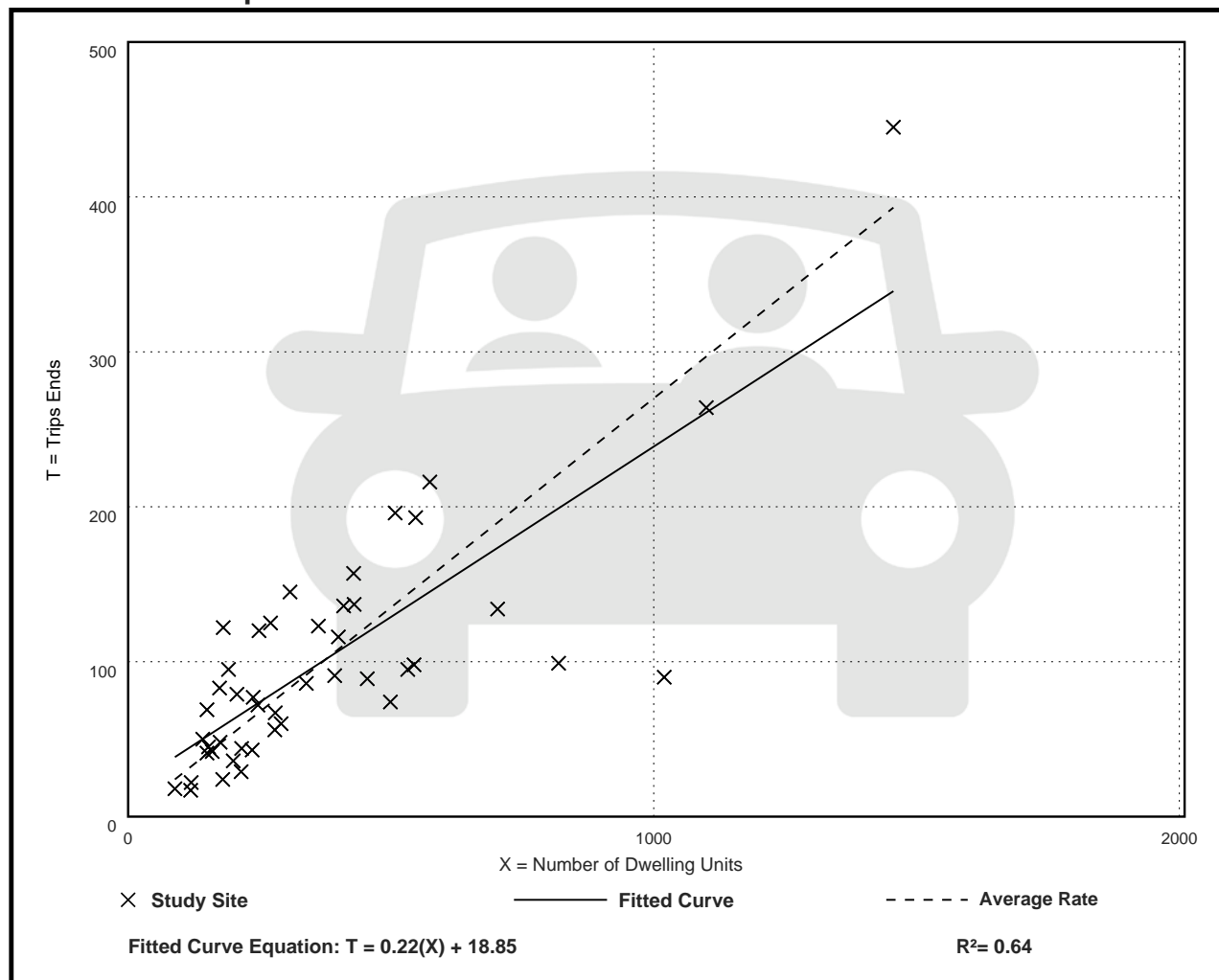
Avg. Num. of Dwelling Units: 372

Directional Distribution: 34% entering, 66% exiting

## Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.27	0.09 - 0.67	0.11

## Data Plot and Equation



# Multifamily Housing (High-Rise) Not Close to Rail Transit (222)

## Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 45

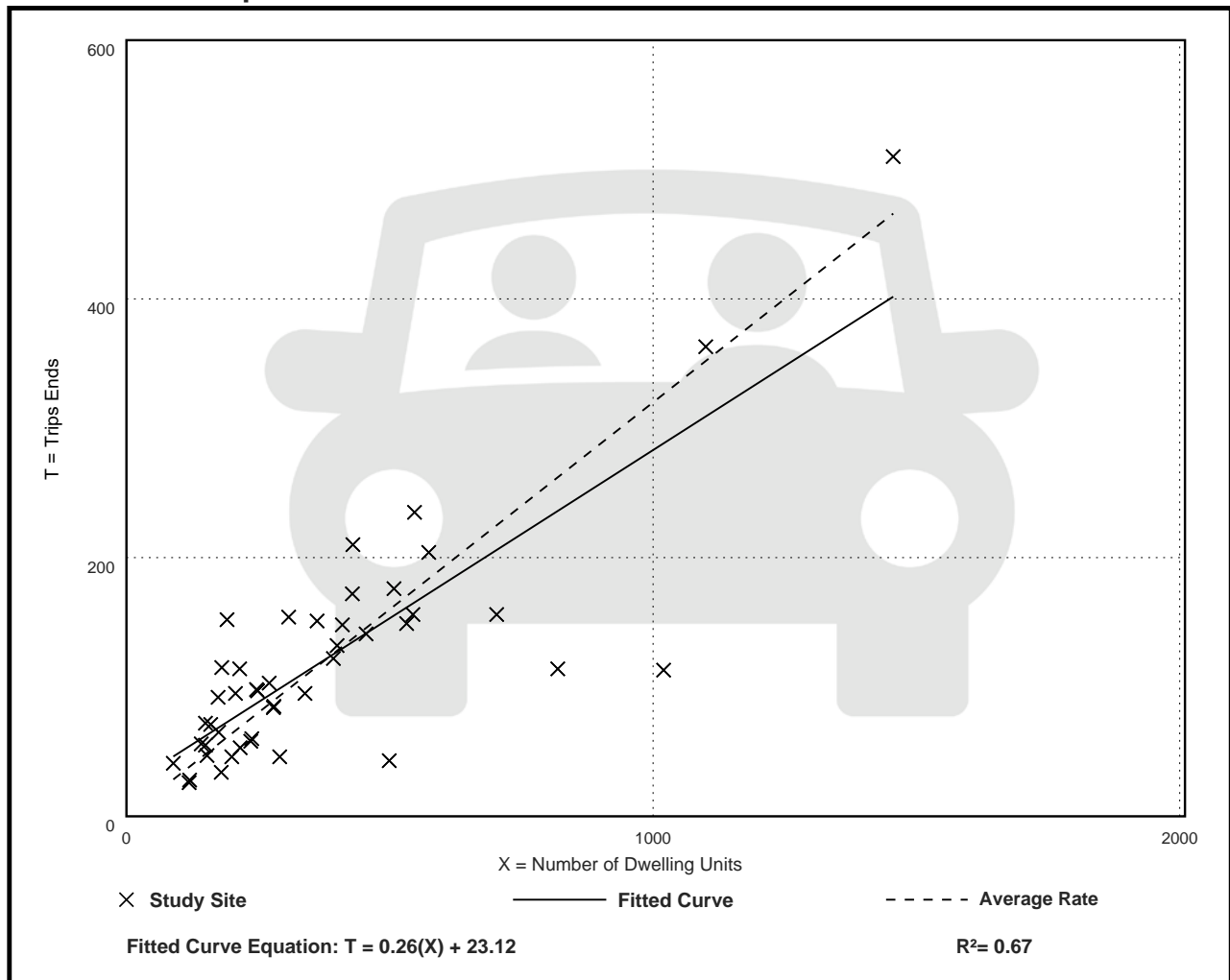
Avg. Num. of Dwelling Units: 372

Directional Distribution: 56% entering, 44% exiting

## Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.32	0.09 - 0.80	0.13

## Data Plot and Equation



February 7, 2024

Ms. Jimena Villalba  
Senior Project Manager  
FSMY Architects + Planners  
888 South Andrews Avenue, Suite 300  
Fort Lauderdale, Florida 33316

**Re: 700 NW 1<sup>st</sup> Ave – Fort Lauderdale, Florida  
Parking Reduction Statement**

Dear Jimena:

As requested, Traf Tech Engineering has prepared a parking reduction statement associated with the proposed development of a site (comprised of seven (7) parcels of land) located generally in the northeast quadrant of the intersection at NW 1<sup>st</sup> Avenue and NW 7<sup>th</sup> Street in the City of Fort Lauderdale, Broward County, Florida.

**Proposed Development**

The total land area of the subject site is approximately 1.08 acres (47,227 square feet) and is currently vacant. The subject site is proposed to be developed with a 12-story multifamily residential building consisting of 189 dwelling units (41 studio dwelling units, 66 one-bedroom dwelling units, 34 one-bedroom + one-den dwelling units, and 48 two-bedroom dwelling units) and an amenity deck. A project location map is presented in Attachment A to this memorandum and a preliminary site plan / site data is presented in Attachment B. This statement addresses the adequacy of the proposed parking supply of 198 parking spaces.

**PARKING ANALYSIS**

The subject site is located within the Northwest Regional Activity Center (NWRAC-MUe) District. Based upon the City of Fort Lauderdale Code of Ordinances (Sec. 47-20.2) the proposed residential development is required to provide parking in accordance with the following criteria:

- 41 studio units @ 1.75 parking spaces / unit = 72 parking spaces
- 66 one-bedroom units @ 1.75 parking spaces / unit = 116 parking spaces
- 34 one-bedroom+den units @ 2.00 parking spaces / unit = 68 parking spaces
- 48 two-bedroom units @ 2.00 parking spaces / unit = 96 parking spaces
- **TOTAL: 352 parking spaces**

As mentioned previously, the proposed site plan provides for 198 parking spaces. The result is a theoretical shortfall of 154 parking spaces or a reduction of 43.75%. The purpose of this parking analysis is to assess the adequacy of the proposed parking supply in view of the shortfall with respect to the City's Code of Ordinances.

### **Access to Alternative Modes of Transportation**

By virtue of its location, the 700 NW 1<sup>st</sup> Ave development is ideally situated to take advantage of various alternative modes of transportation thereby reducing the need for traditional parking supplies. The following is a summary of several key transportation alternatives.

- **Pedestrians & Bicyclists.** The subject area is in close proximity to various existing and planned retail, restaurant and office uses which will support walking and bicycling as a primary mode of transportation. The area is already characterized by a significant amount of pedestrian and bicyclist activity which will be enhanced by this project through expanded sidewalks and bicycle parking facilities.
- **Broward County Transit.** The Progresso area is well-served by bus service provided by Broward County Transit (BCT). One (1) block to the east, Route 60 provides service along Andrews Avenue. To the south (approximately 1 block) Route 40 provides service along NW 6<sup>th</sup> Street / Sistrunk Boulevard.
- **LauderGO!** A micro-transit service known as LauderGO! and provided by Circuit is providing service in the Flagler / Progresso area. This service is provided via smaller electric vehicles that offer both fixed-route and on-demand service. It is expected that this service will continue to be well received in this area and will be an excellent complement to the 700 NW 1<sup>st</sup> Ave residential development.
- **Ridesharing.** A key element of the transportation system within most urbanized areas is ridesharing (i.e. Lyft / Uber). These services are especially popular in areas with limited parking supply and within mixed-use properties characterized by residential uses, restaurants, bars and retail stores. As such, it is anticipated that many residents and guests of the 700 NW 1<sup>st</sup> Ave development will rely upon ridesharing to travel to and from the site. The upside of this is the reduced need for parking.

**ITE Parking Analysis**

A parking analysis has been conducted in accordance with the procedures and data included in the Institute of Transportation Engineers (ITE) *Parking Generation Manual (6<sup>th</sup> Edition)*. This publication contains parking data, rates, and equations for various land uses based upon research and analysis conducted by transportation professionals throughout the country. The applicable land use for the 700 NW 1<sup>st</sup> Ave project is #222 – Multifamily Housing – 2+ BR (High-Rise). The supporting data from the ITE publication is included as Attachment C to this memorandum. The peak period parking demand equation and parking requirements in accordance with these criteria are as follows:

- **Land Use #222 – Multifamily Housing – 2+ BR (High-Rise) Not Close to Rail Transit in a Dense Multi-Use Urban Setting**
  - Weekday (Monday – Friday):
    - $P = 1.25 (X) - 39.49$   
Where P = Parked Vehicles and X = Number of Dwelling Units

Based upon the foregoing analysis, the peak parking demand for the 700 NW 1<sup>st</sup> Ave residential development is projected to be 197 occupied parking spaces. Therefore, the proposed parking supply of 198 parking spaces is anticipated to be adequate in order to meet the projected parking demand.

If you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,

**TRAF TECH ENGINEERING, INC.**



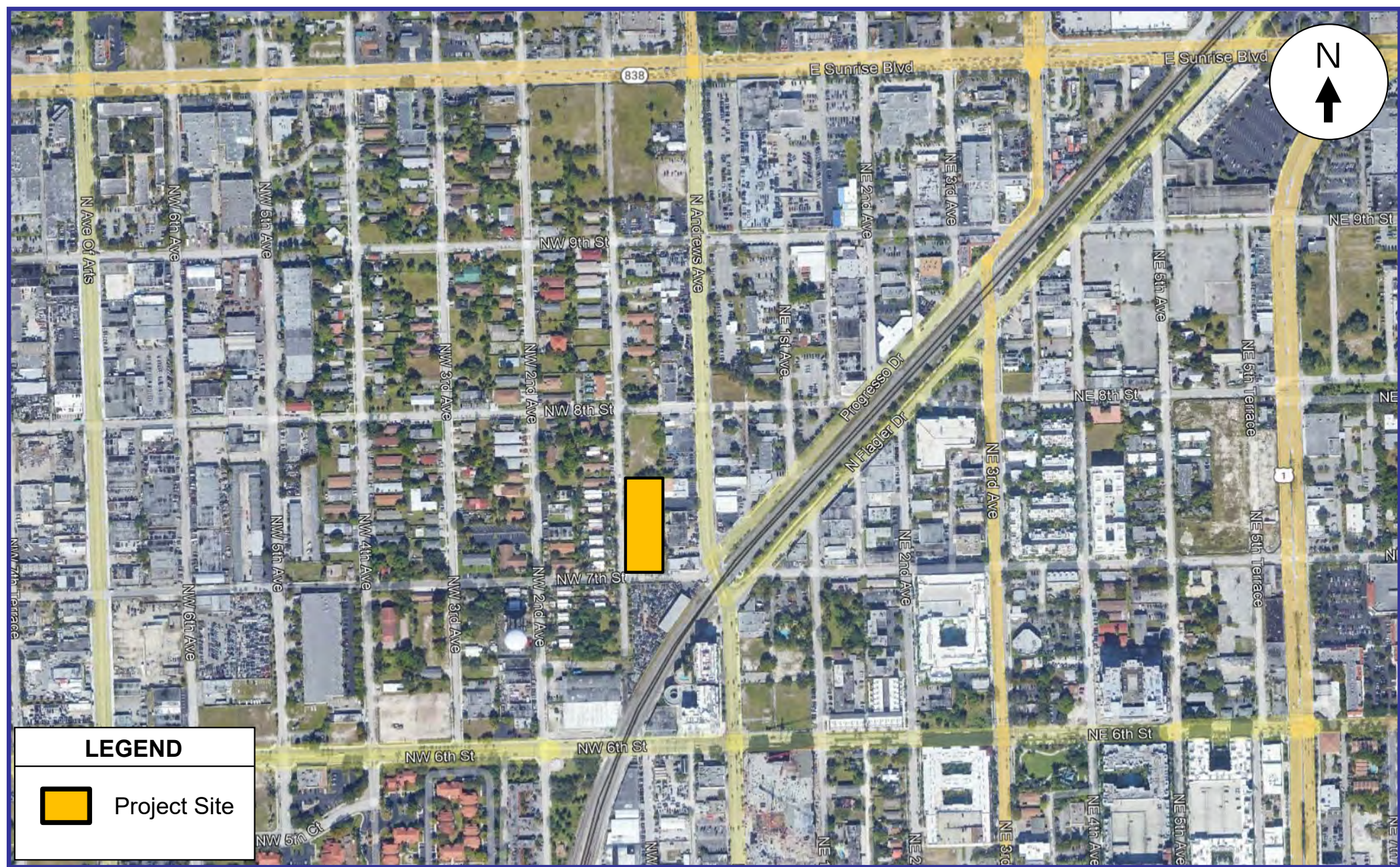
Karl B. Peterson, P.E.  
Senior Transportation Engineer



# **Attachment A**

**700 NW 1<sup>st</sup> Ave**

**Project Location Map**



**LEGEND**



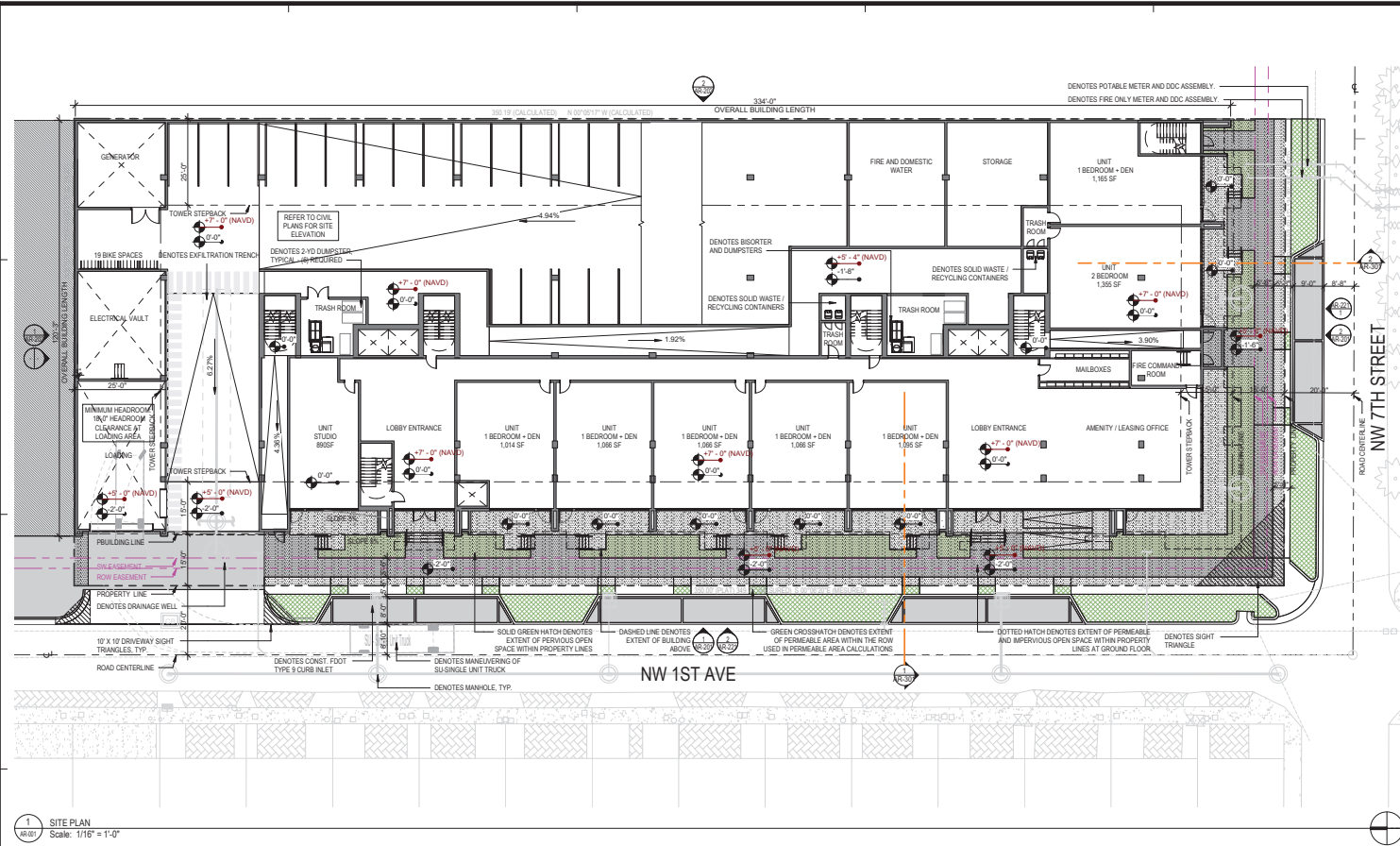
Project Site

**Project Location Map**

# **Attachment B**

**700 NW 1<sup>st</sup> Ave**

**Site Plan & Site Data**



**LEGAL DESCRIPTION**

**PANEL 1**  
LOTS 27 AND 28, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGES 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PANEL 2**  
LOTS 29 AND 30, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGES 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PANEL 3**  
LOTS 31 AND 32, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGES 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PANEL 4**  
LOTS 33 AND 34, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGES 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PANEL 5**  
LOTS 35 AND 36, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGES 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PANEL 6**  
LOTS 37 AND 38, BLOCK 286, PROGRESSO, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGES 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**CODE DATA**

- PROJECT SHALL BE PERMITTED UNDER THE 2021 FLORIDA BUILDING CODE, 7TH EDITION, AND COMPLY WITH FARI HOUSING ACT DESIGN PRINCIPLES WHERE APPLICABLE.
- OCCUPANCIES UNDER THE BUILDING PERMIT SHALL BE CLASSIFIED "R-1", "S-2", "A-2", AND "R-2" PER FBC 2020 CHAPTER 3.
- PARKING GARAGE SHALL BE "CLOSED" AND MECHANICALLY VENTILATED PER FBC 2020 SECTION 406.6.
- LIFE SAFETY PLANS UNDER THE BUILDING PERMIT SHALL BE SUBJECT TO FBC 2020, CHAPTER 10 MEANS OF EGRESS - TYPICAL ALL FLOORS.
- BUILDING SEPARATIONS SHALL COMPLY WITH FBC 2020 CHAPTER 6, TABLES 601 AND 602.
- EXTERIOR WALL OPENINGS SHALL COMPLY WITH FBC 2020 CHAPTER 7, TABLE 705.8.
- PARKING GARAGE SLOPES SHALL COMPLY WITH LADR SECTION 47-20.9.A.
- DUMPSTERS SHALL COMPLY WITH LADR SECTION 47-19.4.

**TRANSPORTATION AND MOBILITY**

- OFF-SITE PARKING:** 8 PARKING SPACES PROVIDED.
- BICYCLE PARKING:** 1 PER 10 DWELLING UNITS (INTERIOR)
  - A. BIKE INTERIOR (B.I.) SPACES = 18 PROVIDED FOR 188 UNITS
  - SPECIFICATION: DOUBLE-UP, SINGLE SIDED FREE-STANDING VERTICAL BIKE RACK FROM THE PARK ABILITY CATALOGS OR APPROVED EQUAL.

**NOTES**

1 DRC Submittal 02/02/2024

**REVISIONS**

DATE: 04/06/2024  
COMM: 22033  
700 NW 1ST AVE

SITE PLAN  
DRC SET

AR-001

**POLICE**

ALL EXTERIOR WINDOWS AND DOORS SHALL BE IMPACT RESISTANT.  
STAIRWELLS SHALL BE EGRESS ONLY ON GROUND LEVEL.  
BUILDING SHALL BE FITTED WITH INTERCOMVIDEO ACCESS CONTROL SYSTEMS AT ENTRY POINTS, ELEVATORS, PARKING GARAGE, AND COMMON AREAS.  
EACH RESIDENTIAL AND COMMERCIAL UNIT SHALL BE WIRED FOR A MONITORED SECURITY SYSTEM AND THE POOL DECK SHALL INCORPORATE SAFETY FEATURES TO PREVENT UNSUPERVISED CHILDREN FROM ACCESSING THE POOL.  
ELEVATORS SHALL BE ACCESS CONTROLLED.  
UNIT ENTRY DOORS SHALL BE SOLID IMPACT RESISTANT WITH DEADBOLT AND SHALL EACH BE FITTED WITH 180 DEGREE PEEP-HOLE DOOR VIEWERS.  
ACCESS CONTROL SHALL BE PROVIDED FOR MECHANICAL, ELECTRICAL, AND MAINTENANCE ROOMS WHERE APPLICABLE.  
THE INTERIOR OF THE GARAGE SHALL BE PAINTED A LIGHT COLOR.  
EMERGENCY COMMUNICATION DEVICES SHALL BE PLACED IN THE PARKING GARAGE, POOL, AND COMMON AREAS.  
PARKING GARAGE SHALL PROVIDE ACCESS CONTROL FOR RESIDENTS

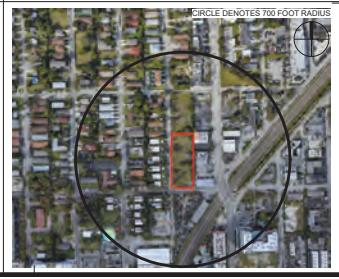
**FIRE PROTECTION**

PROJECT SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF NFPA SEVENTH EDITION AND THE FLORIDA BUILDING CODE 2020  
PER FBC 903.2.11.3, THE BUILDING SHALL HAVE FIRE SPRINKLERS.

**SITE PLAN DATA**

A. LAND USE DESIGNATION	NORTH WEST REGIONAL ACTIVITY CENTER	PARKING PROVIDED	STANDARD	COMPACT	PARALLEL	ADA/FHA	TOTAL	N. BUILDING YARDS	REQUIRED	PROVIDED
B. ZONING DESIGNATION	MWR-CM-2b	LEVEL 01	27	15	0	0	42	FRONT - WEST	5' FEET TO PROP LINE	15 FEET
C. SITE AREA - GROSS	47,227.04 SF (1.08 ACRES)	LEVEL 02	34	19	4	1	58	FRONT - SOUTH	5' FEET TO PROP LINE	15 FEET
D. WATER/WASTEWATER SERVICE PROVIDER	CITY OF FORT LAUDERDALE	LEVEL 03	42	19	4	1	66	SIDE - EAST	0' FEET	0' FEET
E. RESIDENTIAL DEVELOPMENT DWELLING UNIT BREAKDOWN AND TYPE:		LEVEL 04	27	0	4	1	198	SIDE - NORTH	0' FEET	0' FEET
STUDIO (81 - 89) SF	41 UNITS	TOTAL PROVIDED						P. OPEN SPACE	REQUIRED	PROVIDED
1 BEDROOM (751 - 865) SF	66 UNITS	H. LOADING ZONES	NOT REQUIRED					OPEN SPACE	100 SF X 100 = 10,000 SF	
1 BEDROOM + DEN (851 - 1,165) SF	34 UNITS	J. BUILDING FOOTPRINT COVERAGE	37,751 SF					GROUND FLOOR	18,900 SF X 40% = 7,560 SF	8,838 SF
2 BEDROOM (869 - 1,355) SF	18 UNITS	TOWER FLOOR PLATE AREA (PER TOWER)	9,152 SF					LEVEL 5		9,795 SF
TOTAL	119 UNITS	K. F.A.R.						LEVEL 5.5 AMENITIES		7,223 SF
		LEVEL 01 GROUND LEVEL W/ UNITS	37,122 SF					LEVEL 05 UNITS		16,382 SF
F. NON-RESIDENTIAL FLOOR AREA	0 SF	LEVEL 02 GARAGE	35,142 SF					LEVEL 05.5 AMENITIES		4,744 SF
COMMERCIAL	0 SF	LEVEL 03 GARAGE	37,751 SF					LEVEL 06 UNITS		16,382 SF
G. PARKING DATA (100% SELF-PARK, NO VALET PROPOSED)		LEVEL 04 GARAGE	28,044 SF					TOTAL		25,856 SF
PARKING REQUIRED:		LEVEL 05 AMENITIES	4,744 SF					PERMEABLE ON SITE	7,500 SF X 25% = 1,875 SF	1,900 SF
RESIDENTIAL	1.15 PER STUDIO/BDR - 2.00 PER 1BDR+DEN/2BDR = 351.2 SPACES	LEVEL 06 UNITS	16,382 SF					ROW 50% W/ROW	50% X 1,800 SF = 900 SF	1,000 SF
COMMERCIAL	N/A	LEVEL 07 UNITS	20,615 SF					TOTAL		2,801 SF
TOTAL	351.2 PARKING SPACES REQUIRED	LEVEL 08 UNITS	84,792 SF					Q. TYPE OF CONSTRUCTION		
		TOTAL F.A.R. SQUARE FOOTAGE	286,972 SF						TYPE 1-A, SPRINKLERED (IF 07 STORES AND AREA "UNLIMITED" TABLES 904.3A AND 904.4)	
		L. NUMBER OF STORES	5.94 F.A.R.							
		N. BUILDING HEIGHT OVERALL =	127'-0" ABOVE FINISH GROUND FLOOR / 127'-0" MAX							

**AERIAL**



888 S Andrews Ave Suite 300  
Fort Lauderdale, FL 33316

SITE PLAN  
DRC SET

AR-001

# **Attachment C**

**700 NW 1<sup>st</sup> Ave**

**Relevant Excerpts from the  
*ITE Parking Generation Manual (6<sup>th</sup> Edition)***

## Land Use: 222 Multifamily Housing- 2+ BR (High-Rise)

### Description

High-rise multifamily housing with two or more bedrooms is a residential building with more than 10 floors (levels) of residence that contain at least one dwelling unit with two or more bedrooms. Access to individual dwelling units is through an outside building entrance, a lobby, elevator, and a set of hallways.

### Land Use Subcategory

Data are separated into two subcategories for this land use: (1) not close to rail transit and (2) close to rail transit. A site is considered close to rail transit if the walking distance between the residential site entrance and the closest rail transit station entrance is ½ mile or less.

## Time-of-Day Distribution for Parking Demand

The following table presents a Time-of-Day distribution of parking demand on a weekday for one study site in a general urban/suburban setting.

Hour Beginning	Percent of Weekday Peak Parking Demand
12:00–4:00 a.m.	100
5:00 a.m.	99
6:00 a.m.	94
7:00 a.m.	81
8:00 a.m.	74
9:00 a.m.	68
10:00 a.m.	66
11:00 a.m.	63
12:00 p.m.	64
1:00 p.m.	60
2:00 p.m.	53
3:00 p.m.	56
4:00 p.m.	62
5:00 p.m.	68
6:00 p.m.	72
7:00 p.m.	78
8:00 p.m.	83
9:00 p.m.	88
10:00 p.m.	93
11:00 p.m.	97

## Additional Data

The average parking supply ratios for the study sites with parking supply information are shown in the table below.

Setting	Proximity to Rail Transit	Parking Supply Per Dwelling Unit	Average Peak Parking Occupancy
Center City Core	Within ½ mile of rail transit	0.66 (16 sites)	68%
Dense Multi-Use Urban	Within ½ mile of rail transit	0.94 (5 sites)	79%
	Not within ½ mile of rail transit	1.3 (1 site)	62%
General Urban/ Suburban	Within ½ mile of rail transit	Not Available	Not Available
	Not within ½ mile of rail transit	1.2 (3 sites)	80%

The sites were surveyed in the 2000s and the 2010s in California, Connecticut, District of Columbia, Ontario (CAN), and Virginia.

## Source Numbers

402, 583, 602, 603, 604, 609



# Multifamily Housing - 2+ BR (High-Rise) Not Close to Rail Transit (222)

Peak Period Parking Demand vs: Dwelling Units

On a: Weekday (Monday - Friday)

Setting/Location: Dense Multi-Use Urban

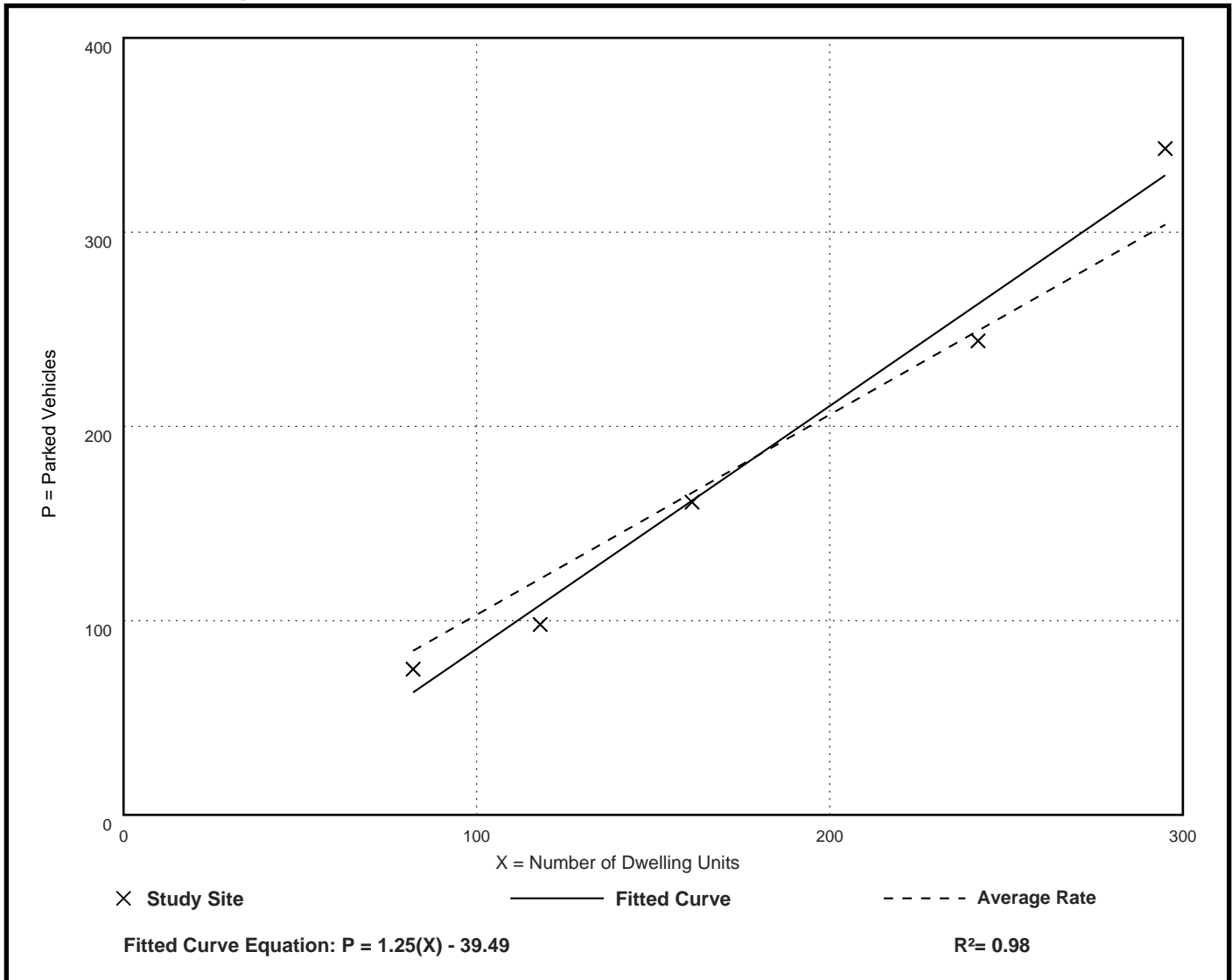
Number of Studies: 5

Avg. Num. of Dwelling Units: 180

## Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.03	0.83 - 1.16	0.91 / 1.16	***	0.13 ( 13% )

## Data Plot and Equation



# STORMWATER MANAGEMENT CALCULATIONS

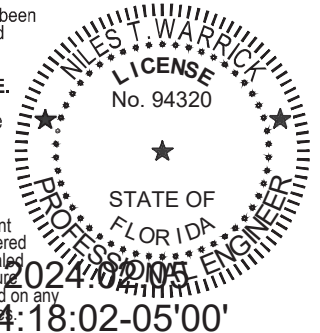
700 NW 1<sup>ST</sup> AVE

700 NW 1<sup>ST</sup> AVE

FT. LAUDERDALE, FL 33311



This item has been  
digitally signed  
and sealed by  
**NILES T.  
WARRICK, P.E.**  
on the date  
adjacent to the  
seal.



Printed copies  
of this document  
are not considered  
signed and sealed  
and the signature  
must be verified on any  
electronic copy.



Niles T. Warrick  
FL REG. No. 94320  
(FOR FIRM)

Project No. 13336.00

01/26/2024

KEITH & ASSOCIATES | 301 E ATLANTIC BLVD, POMPANO BEACH, FL

# PRE – DEVELOPMENT ANALYSIS



Project: NW 1st Avenue Date: 01/24/2024  
 Flood Routing Description: Pre-Development

Client : FSMY Architects & Planners Job Number: 13336.00  
 Design Engineer : Niles Warrick  
 Project Address / Location : 706 NW 1st Avenue City: Fort Lauderdale County: Broward State: Florida  
 Section/Township/Range: S3 T50S R42E  
 Surfacewater License: NA  
 FEMA FIRM Information: 12011C0369J  
 Project Description: 12-story residential building

Total Drainage Basin: 1.084 Acres

Hydrogeologic Information :

Table 1.	1 Day Storm Event			3 Day Storm Event		
RAINFALL DATA	Rainfall Inches	Runoff Inches	Runoff Ac-Ft	Rainfall Inches	Runoff Inches	Runoff Ac-Ft
100 Year Return Period	16.4	12.32	1.113	18.8	14.63	1.321
25 Year Return Period	12.0	8.17	0.738	13.7	9.76	0.881
10 Year Return Period	9.4	5.82	0.526	12.8	8.93	0.807
5 Year Return Period	7.7	4.30	0.389	10.5	6.76	0.610
3 Year Return Period	6.2	3.05	0.275	8.4	4.93	0.446
5 Yr Return Period - 1 Hr	3.2	0.87	0.079			

Runoff estimation - USDA SCS formula

$$\text{Runoff (in)} Q = \frac{(P-0.2S)^2}{P+0.8S}$$

Where: P = accumulated rainfall (in.)  
 S = Soil Storage Value

Table 2. SUMMARY OF FLOOD ROUTING	Agency maps	SBUH Calculated with Q-1 Day Storm		SBUH Calculated with Q-3 Day Storm		SBUH Calculated *Zero Q-3 Day Storm		Calc. 5Yr 1 hour Peak Stage (ft)
		Peak Stage(ft)	Peak Q (CFS)	Peak Stage(ft)	Peak Q (CFS)	Peak Stage(ft)	Peak Q (CFS)	
100 Year Return Period	NOAA	6.08	0.00	6.28	0.00	6.28	0.00	Zero Q (Water Budget) 4.65
25 Year Return Period	NOAA	5.70	0.00	5.85	0.00	5.85	0.00	
10 Year Return Period	NOAA	5.48	0.00	5.78	0.00	5.78	0.00	
5 Year Return Period	NOAA	5.27	0.00	5.58	0.00	5.58	0.00	
3 Year Return Period	SFWMD	5.10	0.00	5.36	0.00	5.36	0.00	

For 5 yr - 1 hr rainfall, Calculate 5 yr Vol by subtracting Exfil vol in inches from 5 yr 1 h rainfall, then calc Runoff using SCS formula. From stage storage table find Zero Discharge Stage. Uses Max. Elev of Lookup Stage or highest top of EXFIL trench. If exfil vol exceeds 5 year 1 hour vol. Uses Max. Elev of highest top of EXFIL trench.

\* Zero Q indicates there is no offsite discharge included in the calculations (only Exfil Trench and Wells). Hypothetical stage calc. for PRE-POST Analysis.

Table 3. WATER QUALITY STORAGE REQUIREMENTS:

Based on Total Drainage Basin Acreage	Ac-Ft
1" x Basin Area	0.090
2.5" x WQPI x (Basin Area   0.00 Inches	0.000
<b>Required Wet Detention (Total basin incl Offsite)</b>	
0.5" Pretreatment-Com. Prjs,x(Basin Area - water area)	0.045
Credit for Inlets in Grass Areas, GAC=0.2" x (TDA	0.018
	N

Table 4. WATER QUALITY STORAGE SOURCE	Basin Storage Elev. (Ac-Ft)	WQ Eq WDV (Ac-Ft)	WQ Eq WDV Inches
Retention (RV) @			
Dry Det. (DDV) @			
Wet Det. (WDV) @			
Equiv WDV=WDV+RV/.5+DDV/.75)		0.000	
Exfil Trench Storage	0.000	0.000	
<b>Total WQ EQ WDV - Provided</b>		<b>0.000</b>	
<b>Total WQ EQ WDV - Required</b>		<b>0.090</b>	<b>1.00</b>

Exfil Vol. in Stage Storage =	(Ac-FT)	(Inches)
	0.000	0.00

Project: NW 1st Avenue  
 Flood Routing Description: Pre-Development

Date: 01/24/2024

Client : FSMY Architects & Planners  
 Routing Results from Analysis ZERO Offsite Discharge

Job Number: 13336.00

**Table 6. STAGE - DISCHARGE INFORMATION 100 - YEAR STORM - ZERO Offsite Discharge**

TIME STEP (HOUR)	Rain Fall RATIO	Rain C*P (IN)	Q Scs (IN)	Inst Q In (CFS)	Sbuh Q (CFS)	Tot Q In (AC-FT)	Sumq Out (AC-FT)	Stored Vol (AC-FT)	Stage Lk-Up (FEET)	Inst Q Lkup (CFS)	Avg. Q Out (CFS)	Step Qout (AC-FT)
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
4.00	0.02	0.33	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
8.00	0.05	0.68	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
12.00	0.07	1.01	0.01	0.01	0.00	0.00	0.00	0.00	4.01	0.00	0.00	0.00
16.00	0.10	1.34	0.06	0.01	0.02	0.00	0.00	0.00	4.07	0.00	0.00	0.00
20.00	0.12	1.69	0.15	0.04	0.03	0.01	0.00	0.01	4.20	0.00	0.00	0.00
24.00	0.15	2.02	0.27	0.05	0.03	0.02	0.00	0.02	4.38	0.00	0.00	0.00
28.00	0.18	2.52	0.49	0.09	0.06	0.04	0.00	0.04	4.53	0.00	0.00	0.00
32.00	0.22	3.00	0.75	0.07	0.07	0.06	0.00	0.06	4.60	0.00	0.00	0.00
36.00	0.25	3.49	1.05	0.08	0.08	0.09	0.00	0.09	4.67	0.00	0.00	0.00
40.00	0.29	3.98	1.37	0.08	0.09	0.12	0.00	0.12	4.76	0.00	0.00	0.00
44.00	0.32	4.48	1.72	0.13	0.10	0.15	0.00	0.15	4.84	0.00	0.00	0.00
48.00	0.36	4.97	2.08	0.09	0.10	0.18	0.00	0.18	4.94	0.00	0.00	0.00
52.00	0.40	5.59	2.56	0.19	0.14	0.22	0.00	0.22	5.03	0.00	0.00	0.00
56.00	0.50	6.86	3.59	0.40	0.33	0.30	0.00	0.30	5.15	0.00	0.00	0.00
58.00	0.57	7.91	4.49	0.57	0.49	0.36	0.00	0.36	5.25	0.00	0.00	0.00
59.00	0.63	8.69	5.16	0.85	0.64	0.41	0.00	0.41	5.32	0.00	0.00	0.00
59.50	0.68	9.38	5.78	1.35	0.88	0.44	0.00	0.44	5.37	0.00	0.00	0.00
59.75	0.85	11.72	7.91	9.31	1.87	0.48	0.00	0.48	5.43	0.00	0.00	0.00
60.00	1.02	14.04	10.08	9.50	3.54	0.56	0.00	0.56	5.53	0.00	0.00	0.00
60.50	1.09	15.05	11.04	2.06	3.61	0.71	0.00	0.71	5.69	0.00	0.00	0.00
61.00	1.13	15.58	11.54	1.09	2.70	0.84	0.00	0.84	5.82	0.00	0.00	0.00
62.00	1.18	16.28	12.21	0.64	1.47	0.99	0.00	0.99	5.98	0.00	0.00	0.00
64.00	1.24	17.14	13.03	0.41	0.58	1.13	0.00	1.13	6.11	0.00	0.00	0.00
68.00	1.31	18.14	13.99	0.23	0.27	1.24	0.00	1.24	6.21	0.00	0.00	0.00
72.00	1.36	18.80	14.63	0.18	0.18	1.31	0.00	1.31	6.28	0.00	0.00	0.00
Peak stage						6.28	At hour	72.00				
Peak discharge						0.00	At hour	72.00				

Project: NW 1st Avenue  
 Flood Routing Description: Pre-Development

Date: 01/24/2024

Client : FSMY Architects & Planners

Job Number: 13336.00

**Routing Results from Analysis WITHOUT Offsite Discharge**

**Table 7. STAGE - DISCHARGE INFORMATION 25 - YEAR STORM - Zero Offsite Discharge**

TIME STEP (HOUR)	Rain Fall RATIO	Rain C*P (IN)	Q Scs (IN)	Inst Q In (CFS)	Sbuh Q (CFS)	Tot Q In (AC-FT)	Sumq Out (AC-FT)	Stored Vol (AC-FT)	Stage Lk-Up (FEET)	Inst Q Lkup (CFS)	Avg. Q Out (CFS)	Step Qout (AC-FT)
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
4.00	0.02	0.24	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
8.00	0.05	0.49	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
12.00	0.07	0.74	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
16.00	0.10	0.98	0.01	0.00	0.00	0.00	0.00	0.00	4.00	0.00	0.00	0.00
20.00	0.12	1.23	0.04	0.01	0.01	0.00	0.00	0.00	4.04	0.00	0.00	0.00
24.00	0.15	1.47	0.09	0.02	0.02	0.01	0.00	0.01	4.12	0.00	0.00	0.00
28.00	0.18	1.83	0.20	0.05	0.03	0.02	0.00	0.02	4.27	0.00	0.00	0.00
32.00	0.22	2.19	0.34	0.04	0.04	0.03	0.00	0.03	4.48	0.00	0.00	0.00
36.00	0.25	2.54	0.51	0.04	0.05	0.04	0.00	0.04	4.54	0.00	0.00	0.00
40.00	0.29	2.90	0.70	0.05	0.05	0.06	0.00	0.06	4.59	0.00	0.00	0.00
44.00	0.32	3.27	0.91	0.08	0.06	0.08	0.00	0.08	4.64	0.00	0.00	0.00
48.00	0.36	3.62	1.13	0.06	0.06	0.10	0.00	0.10	4.70	0.00	0.00	0.00
52.00	0.40	4.07	1.43	0.12	0.09	0.12	0.00	0.12	4.77	0.00	0.00	0.00
56.00	0.50	5.00	2.10	0.26	0.21	0.17	0.00	0.17	4.92	0.00	0.00	0.00
58.00	0.57	5.77	2.70	0.38	0.32	0.22	0.00	0.22	5.02	0.00	0.00	0.00
59.00	0.63	6.33	3.15	0.57	0.43	0.25	0.00	0.25	5.07	0.00	0.00	0.00
59.50	0.68	6.83	3.57	0.92	0.59	0.27	0.00	0.27	5.11	0.00	0.00	0.00
59.75	0.85	8.54	5.03	6.40	1.27	0.30	0.00	0.30	5.15	0.00	0.00	0.00
60.00	1.02	10.23	6.55	6.62	2.44	0.35	0.00	0.35	5.22	0.00	0.00	0.00
60.50	1.09	10.97	7.22	1.45	2.50	0.46	0.00	0.46	5.39	0.00	0.00	0.00
61.00	1.13	11.35	7.57	0.77	1.87	0.54	0.00	0.54	5.51	0.00	0.00	0.00
62.00	1.18	11.87	8.04	0.45	1.03	0.65	0.00	0.65	5.62	0.00	0.00	0.00
64.00	1.24	12.49	8.62	0.29	0.41	0.75	0.00	0.75	5.72	0.00	0.00	0.00
68.00	1.31	13.22	9.30	0.17	0.19	0.82	0.00	0.82	5.81	0.00	0.00	0.00
72.00	1.36	13.70	9.76	0.12	0.13	0.87	0.00	0.87	5.85	0.00	0.00	0.00
Peak stage						5.85	At hour	72.00				
Peak discharge						0.00	At hour	72.00				

Project: NW 1st Avenue  
 Flood Routing Description: Pre-Development

Date: 01/24/2024

Client : FSMY Architects & Planners

Job Number: 13336.00

**Routing Results from Analysis WITHOUT Offsite Discharge**

**Table 8. STAGE - DISCHARGE INFORMATION 10 - YEAR STORM - Zero Offsite Discharge**

TIME STEP (HOUR)	Rain Fall RATIO	Rain C*P (IN)	Q Scs (IN)	Inst Q In (CFS)	Sbuh Q (CFS)	Tot Q In (AC-FT)	Sumq Out (AC-FT)	Stored Vol (AC-FT)	Stage Lk-Up (FEET)	Inst Q Lkup (CFS)	Avg. Q Out (CFS)	Step Qout (AC-FT)
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
4.00	0.02	0.23	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
8.00	0.05	0.46	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
12.00	0.07	0.69	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
16.00	0.10	0.91	0.00	0.00	0.00	0.00	0.00	0.00	4.00	0.00	0.00	0.00
20.00	0.12	1.15	0.02	0.01	0.01	0.00	0.00	0.00	4.03	0.00	0.00	0.00
24.00	0.15	1.38	0.07	0.02	0.01	0.00	0.00	0.00	4.09	0.00	0.00	0.00
28.00	0.18	1.72	0.16	0.04	0.03	0.01	0.00	0.01	4.21	0.00	0.00	0.00
32.00	0.22	2.05	0.28	0.03	0.04	0.02	0.00	0.02	4.40	0.00	0.00	0.00
36.00	0.25	2.38	0.43	0.04	0.04	0.04	0.00	0.04	4.52	0.00	0.00	0.00
40.00	0.29	2.72	0.60	0.04	0.05	0.05	0.00	0.05	4.56	0.00	0.00	0.00
44.00	0.32	3.06	0.78	0.07	0.05	0.07	0.00	0.07	4.61	0.00	0.00	0.00
48.00	0.36	3.39	0.98	0.05	0.06	0.08	0.00	0.08	4.66	0.00	0.00	0.00
52.00	0.40	3.81	1.26	0.11	0.08	0.11	0.00	0.11	4.73	0.00	0.00	0.00
56.00	0.50	4.68	1.86	0.24	0.19	0.15	0.00	0.15	4.86	0.00	0.00	0.00
58.00	0.57	5.39	2.41	0.35	0.29	0.19	0.00	0.19	4.98	0.00	0.00	0.00
59.00	0.63	5.92	2.82	0.53	0.39	0.22	0.00	0.22	5.03	0.00	0.00	0.00
59.50	0.68	6.39	3.20	0.84	0.54	0.24	0.00	0.24	5.06	0.00	0.00	0.00
59.75	0.85	7.99	4.55	5.89	1.17	0.27	0.00	0.27	5.10	0.00	0.00	0.00
60.00	1.02	9.57	5.95	6.12	2.24	0.31	0.00	0.31	5.17	0.00	0.00	0.00
60.50	1.09	10.26	6.57	1.34	2.31	0.41	0.00	0.41	5.32	0.00	0.00	0.00
61.00	1.13	10.62	6.90	0.71	1.73	0.49	0.00	0.49	5.44	0.00	0.00	0.00
62.00	1.18	11.10	7.34	0.42	0.95	0.59	0.00	0.59	5.56	0.00	0.00	0.00
64.00	1.24	11.68	7.88	0.27	0.38	0.68	0.00	0.68	5.66	0.00	0.00	0.00
68.00	1.31	12.36	8.51	0.15	0.18	0.75	0.00	0.75	5.73	0.00	0.00	0.00
72.00	1.36	12.82	8.93	0.12	0.12	0.80	0.00	0.80	5.78	0.00	0.00	0.00
Peak stage						5.78	At hour	72.00				
Peak discharge						0.00	At hour	72.00				

Project: NW 1st Avenue  
 Flood Routing Description: Pre-Development

Date: 01/24/2024

Client : FSMY Architects & Planners

Job Number: 13336.00

**Routing Results from Analysis WITHOUT Offsite Discharge**

**Table 9. STAGE - DISCHARGE INFORMATION 5 - YEAR STORM - Zero Offsite Discharge**

TIME STEP (HOUR)	Rain Fall RATIO	Rain C*P (IN)	Q Scs (IN)	Inst Q In (CFS)	Sbuh Q (CFS)	Tot Q In (AC-FT)	Sumq Out (AC-FT)	Stored Vol (AC-FT)	Stage Lk-Up (FEET)	Inst Q Lkup (CFS)	Avg. Q Out (CFS)	Step Qout (AC-FT)
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
4.00	0.02	0.18	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
8.00	0.05	0.38	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
12.00	0.07	0.56	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
16.00	0.10	0.75	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
20.00	0.12	0.94	0.00	0.00	0.00	0.00	0.00	0.00	4.00	0.00	0.00	0.00
24.00	0.15	1.12	0.02	0.01	0.01	0.00	0.00	0.00	4.02	0.00	0.00	0.00
28.00	0.18	1.40	0.07	0.02	0.02	0.01	0.00	0.01	4.09	0.00	0.00	0.00
32.00	0.22	1.67	0.14	0.02	0.02	0.01	0.00	0.01	4.20	0.00	0.00	0.00
36.00	0.25	1.94	0.24	0.03	0.03	0.02	0.00	0.02	4.34	0.00	0.00	0.00
40.00	0.29	2.22	0.35	0.03	0.03	0.03	0.00	0.03	4.50	0.00	0.00	0.00
44.00	0.32	2.49	0.48	0.05	0.04	0.04	0.00	0.04	4.54	0.00	0.00	0.00
48.00	0.36	2.76	0.62	0.04	0.04	0.05	0.00	0.05	4.57	0.00	0.00	0.00
52.00	0.40	3.11	0.82	0.08	0.06	0.07	0.00	0.07	4.62	0.00	0.00	0.00
56.00	0.50	3.82	1.26	0.18	0.14	0.10	0.00	0.10	4.71	0.00	0.00	0.00
58.00	0.57	4.40	1.67	0.26	0.22	0.13	0.00	0.13	4.80	0.00	0.00	0.00
59.00	0.63	4.84	1.98	0.40	0.30	0.15	0.00	0.15	4.86	0.00	0.00	0.00
59.50	0.68	5.22	2.27	0.64	0.41	0.17	0.00	0.17	4.91	0.00	0.00	0.00
59.75	0.85	6.52	3.31	4.54	0.89	0.19	0.00	0.19	4.96	0.00	0.00	0.00
60.00	1.02	7.82	4.40	4.78	1.73	0.22	0.00	0.22	5.03	0.00	0.00	0.00
60.50	1.09	8.38	4.89	1.06	1.79	0.30	0.00	0.30	5.15	0.00	0.00	0.00
61.00	1.13	8.67	5.15	0.56	1.35	0.36	0.00	0.36	5.24	0.00	0.00	0.00
62.00	1.18	9.06	5.50	0.33	0.74	0.44	0.00	0.44	5.36	0.00	0.00	0.00
64.00	1.24	9.54	5.92	0.21	0.30	0.51	0.00	0.51	5.47	0.00	0.00	0.00
68.00	1.31	10.09	6.42	0.12	0.14	0.57	0.00	0.57	5.54	0.00	0.00	0.00
72.00	1.36	10.46	6.76	0.09	0.09	0.60	0.00	0.60	5.58	0.00	0.00	0.00
Peak stage						5.58	At hour	72.00				
Peak discharge						0.00	At hour	72.00				



Project: NW 1st Avenue  
 Flood Routing Description: Pre-Development

Date: 01/24/2024

Client : FSMY Architects & Planners

Job Number: 13336.00

**Routing Results from Analysis WITHOUT Offsite Discharge**

**Table 10. STAGE - DISCHARGE INFORMATION 3 - YEAR STORM - Zero Offsite Discharge**

TIME STEP (HOUR)	Rain Fall RATIO	Rain C*P (IN)	Q Scs (IN)	Inst Q In (CFS)	Sbuh Q (CFS)	Tot Q In (AC-FT)	Sumq Out (AC-FT)	Stored Vol (AC-FT)	Stage Lk-Up (FEET)	Inst Q Lkup (CFS)	Avg. Q Out (CFS)	Step Qout (AC-FT)
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
4.00	0.02	0.15	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
8.00	0.05	0.30	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
12.00	0.07	0.45	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
16.00	0.10	0.60	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
20.00	0.12	0.76	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
24.00	0.15	0.91	0.00	0.00	0.00	0.00	0.00	0.00	4.00	0.00	0.00	0.00
28.00	0.18	1.13	0.02	0.01	0.01	0.00	0.00	0.00	4.02	0.00	0.00	0.00
32.00	0.22	1.35	0.06	0.01	0.01	0.00	0.00	0.00	4.08	0.00	0.00	0.00
36.00	0.25	1.56	0.11	0.02	0.02	0.01	0.00	0.01	4.16	0.00	0.00	0.00
40.00	0.29	1.79	0.18	0.02	0.02	0.01	0.00	0.01	4.26	0.00	0.00	0.00
44.00	0.32	2.01	0.27	0.03	0.02	0.02	0.00	0.02	4.39	0.00	0.00	0.00
48.00	0.36	2.23	0.36	0.02	0.03	0.03	0.00	0.03	4.51	0.00	0.00	0.00
52.00	0.40	2.50	0.49	0.05	0.04	0.04	0.00	0.04	4.54	0.00	0.00	0.00
56.00	0.50	3.08	0.80	0.13	0.10	0.06	0.00	0.06	4.60	0.00	0.00	0.00
58.00	0.57	3.55	1.08	0.19	0.16	0.08	0.00	0.08	4.66	0.00	0.00	0.00
59.00	0.63	3.89	1.31	0.29	0.21	0.10	0.00	0.10	4.71	0.00	0.00	0.00
59.50	0.68	4.20	1.52	0.47	0.30	0.11	0.00	0.11	4.74	0.00	0.00	0.00
59.75	0.85	5.25	2.30	3.37	0.66	0.12	0.00	0.12	4.78	0.00	0.00	0.00
60.00	1.02	6.29	3.12	3.61	1.29	0.15	0.00	0.15	4.86	0.00	0.00	0.00
60.50	1.09	6.75	3.49	0.81	1.34	0.21	0.00	0.21	5.01	0.00	0.00	0.00
61.00	1.13	6.98	3.69	0.43	1.02	0.26	0.00	0.26	5.08	0.00	0.00	0.00
62.00	1.18	7.30	3.96	0.25	0.56	0.31	0.00	0.31	5.17	0.00	0.00	0.00
64.00	1.24	7.68	4.29	0.16	0.23	0.37	0.00	0.37	5.26	0.00	0.00	0.00
68.00	1.31	8.13	4.67	0.09	0.11	0.41	0.00	0.41	5.32	0.00	0.00	0.00
72.00	1.36	8.43	4.93	0.07	0.07	0.44	0.00	0.44	5.36	0.00	0.00	0.00
Peak stage						5.36	At hour	72.00				
Peak discharge						0.00	At hour	72.00				

Project: NW 1st Avenue  
Pre-Development

Date: 01/24/2024

Flood Routing Description:

Client : FSMY Architects & Planners

Job Number: 13336.00

**Total Drainage Basin:** 1.084 Acres  
 Water Table Elevation = 2.00 Feet  
 Time of Conc. (hr.) = 1.00

Y	Y/N -Do you want to limit the Exfiltration Trench Vol. to a maximum of 3.28" over the site?
N	Y/N -Deduct EXFIL Vol. from Rainfall amount rather than include Vol. in Stage Storage table
Y	Y/N -Use EXFIL Vol. in Stage Storage, up to Water Quality Vol., without safety Factor of 2.

Calculated weighted soil (s) 4.12 Soil Storage Value (S) = Storage under pervious area / Total Area  
 Calculated CN value 70.8 Soil Storage under pavement and buildings is not considered in computations

**Table 16. STAGE STORAGE TABLE**

Stage Elevation (feet)	Storage (Ac-ft)	Storage (CF)	Compacted Ground storage table				
			Depth to water table (Ft)	1.00	2.00	3.00	4.00
2.00	0.000	0	Ground storage(In)	0.45	1.88	4.05	6.75
2.50	0.000	0	Mean depth to ground water table (ft)=	3.05 (Pervious Area)			
3.00	0.000	0	<b>Soil Storage Type</b>	<b>Ground Storage Values (In Inches)</b>			
3.50	0.000	0	Depth to Ground Water (Ft)	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>
4.00	0.000	0	* Depressional	0.45	1.58	3.3	5.1
4.50	0.028	1,229	Flatwoods	0.45	1.88	4.05	6.75
5.00	0.201	8,741	Coastal Type	0.45	1.88	4.95	8.18
5.50	0.530	23,081	* (Low Flatwoods & Costal Lowlands)				
6.00	1.013	44,113	Ground Storage Values reflect 25% reduction of Available Storage, to take into account compaction of native soils.				
6.50	1.546	67,331					
7.00	2.079	90,548					
7.50	2.612	113,766					
8.00	3.145	136,983					
8.50	3.678	160,201					
9.00	4.211	183,418					
9.50	4.744	206,636					
10.00	5.277	229,853					
10.50	5.810	253,071					
11.00	6.343	276,288					

Project: NW 1st Avenue  
Pre-Development

Date: 01/24/2024

Flood Routing Description:

Client : FSMY Architects & Planners

Job Number: 13336.00

**Table 17. SITE ACREAGE INFORMATION**

Input Information													
LAND USES	Acres	High Elev.	Low Elev.	% Imperv. Paved	% Bldgs.	% Water	Imperv. Paved Acres	Perv. Acres	Bldgs. Acres	Non Bldgs. Acres	Water Lake Acres	Perv. Area Avg. El.	perv. acres * avg el
1 Existing Buildings	0.018	4.54	4.54	0	100	0	0.00	0.00	0.02	0.00	0.00	0.00	0.
2													
3 Existing Pervious	1.066	5.90	4.20	0	0	0	0.00	1.07	0.00	1.07	0.00	5.05	5.
4													
5													
6													
7													
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37													
38													
39													
<b>BASIN SUBTOTALS / AVG</b>	1.084	5.90	4.20	0.00	1.66	0.00	0.00	1.07	0.02	1.07	0.00	5.05	5.

**Table 18. UNDERGROUND STORAGE INFORMATION**

Underground Storage	Area (SF)	Top Elev	Bottom Elev	% Voids
1 Underground Storage 1				
2 Underground Storage 2				
3 Underground Storage 3				
4 Underground Storage 4				
5 Underground Storage 5				
<b>BASIN TOTALS / AVERAGE</b>	1.084	5.90	2.00	0.00
Basin % Imper. for Water Quality Purposes =		0.00		
Basin % Impervious (incl. Bldg., No lakes)=		1.66		

Project: NW 1st Avenue  
Pre-Development

Date: 01/24/2024

Flood Routing Description:

Client : FSMY Architects & Planners

Job Number: 13336.00

Detail - Stage - Storage Information

<b>Table 19. STAGE - STORAGE INFORMATION</b>		Surface storage (Ac-Ft)											
LAND USES	Elev.	Elev.	Elev.	Elev.	Elev.	Elev.	Elev.	Elev.	Elev.	Elev.	Elev.	Elev.	Elev.
	2.00	2.50	3.00	3.50	4.00	4.50	5.00	5.50	6.00	6.50	7.00	7.50	8.00
Total Surface Storage	0.000	0.000	0.000	0.000	0.000	0.028	0.201	0.530	1.013	1.546	2.079	2.612	3.145
Underground Storage	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000
Exfil Trench Storage	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000
TOTAL Storage	0.000	0.000	0.000	0.000	0.000	0.028	0.201	0.530	1.013	1.546	2.079	2.612	3.145
1 Existing Buildings	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000
2													
3 Existing Pervious	0.000	0.000	0.000	0.000	0.000	0.028	0.201	0.530	1.013	1.546	2.079	2.612	3.145
4													
5													
6													
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40													
Total Surface Storage	0.00	0.00	0.00	0.00	0.00	0.03	0.20	0.53	1.01	1.55	2.08	2.61	3.14
Underground Storage													
	2.00	2.50	3.00	3.50	4.00	4.50	5.00	5.50	6.00	6.50	7.00	7.50	8.00
1 Underground Storage 1													
2 Underground Storage 2													
3 Underground Storage 3													
4 Underground Storage 4													
5 Underground Storage 5													
Total Underground Storage	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000
Exfil Trench Storage	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000
TOTAL Storage	0.000	0.000	0.000	0.000	0.000	0.028	0.201	0.530	1.013	1.546	2.079	2.612	3.145
Stage Elevation	2.00	2.50	3.00	3.50	4.00	4.50	5.00	5.50	6.00	6.50	7.00	7.50	8.00

Project: NW 1st Avenue  
 Pre-Development  
 Flood Routing Description:  
 Client : FSMY Architects & Planners

Date: 01/24/2024  
 Job Number: 13336.00

**Table 20. SOIL - STORAGE INFORMATION**  
 Detail - Soil Storage Information

	LAND USES	Depth to Water Table	Ground Storage Under Pervious	
			Inches	Ac-Ft
	TOTAL/AVERAGE		4.19	0.37
1	Existing Buildings	0.00	0.00	0.000
2				
3	Existing Pervious	3.05	4.19	0.372
4				
5				
6				
7				
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38				
39				
40				
	TOTAL/AVERAGE		4.19	0.372

Soil Storage Value (S) = Storage under pervious area / Total Area  
 Soil Storage under pavement and buildings is not considered in computations

S= 4.11550738
---------------

# POST – DEVELOPMENT ANALYSIS (SITE)



Project: NW 1st Avenue Date: 01/24/2024  
 Flood Routing Description: Post-Development - SITE

Client : FSMY Architects & Planners Job Number: 13336.00  
 Design Engineer : Niles Warrick  
 Project Address / Location : 706 NW 1st Avenue City: Fort Lauderdale County: Broward State: Florida  
 Section/Township/Range: S3 T50S R42E  
 Surfacewater License: NA  
 FEMA FIRM Information: 12011C0369J  
 Project Description: 12-story residential building

Total Drainage Basin: 0.225 Acres

Hydrogeologic Information :

Table 1.	1 Day Storm Event			3 Day Storm Event		
	Rainfall Inches	Runoff Inches	Runoff Ac-Ft	Rainfall Inches	Runoff Inches	Runoff Ac-Ft
RAINFALL DATA						
100 Year Return Period						
25 Year Return Period	12.0	11.02	0.207	13.7	12.72	0.238
10 Year Return Period	9.4	8.47	0.159	12.8	11.83	0.222
5 Year Return Period	7.7	6.75	0.127	10.5	9.49	0.178
3 Year Return Period	6.2	5.27	0.099	8.4	7.47	0.140
5 Yr Return Period - 1 Hr	3.1	0.15	0.003			

Runoff estimation - USDA SCS formula

$$\text{Runoff (in)} Q = \frac{(P-0.2S)^2}{P+0.8S}$$

Where: P = accumulated rainfall (in.)  
 S = Soil Storage Value

Table 2. SUMMARY OF FLOOD ROUTING	Agency maps	SBUH Calculated with Q-1 Day Storm		SBUH Calculated with Q-3 Day Storm		SBUH Calculated *Zero Q-3 Day Storm		Calc. 5Yr 1 hour Peak Stage (ft)
		Peak Stage(ft)	Peak Q (CFS)	Peak Stage(ft)	Peak Q (CFS)	Peak Stage(ft)	Peak Q (CFS)	
100 Year Return Period	NOAA							Zero Q
25 Year Return Period	NOAA	5.67	0.00	5.84	0.00	5.84	0.00	(Water Budget)
10 Year Return Period	NOAA	5.41	0.00	5.75	0.00	5.75	0.00	
5 Year Return Period	NOAA	5.23	0.00	5.52	0.00	5.52	0.00	4.00
3 Year Return Period	SFWMD	5.07	0.00	5.31	0.00	5.31	0.00	

For 5 yr - 1 hr rainfall, Calculate 5 yr Vol by subtracting Exfil vol in inches from 5 yr 1 h rainfall, then calc Runoff using SCS formula. From stage storage table find Zero Discharge Stage. Uses Max. Elev of Lookup Stage or highest top of EXFIL trench. If exfil vol exceeds 5 year 1 hour vol. Uses Max. Elev of highest top of EXFIL trench.

\* Zero Q indicates there is no offsite discharge included in the calculations (only Exfil Trench and Wells). Hypothetical stage calc. for PRE-POST Analysis.

Table 3. WATER QUALITY STORAGE REQUIREMENTS:

Based on Total Drainage Basin Acreage	Ac-Ft
1" x Basin Area	0.019
2.5" x WQPI x (Basin Area   1.94 Inches	0.036
<b>Required Wet Detention (Total basin incl Offsite)</b>	
0.5" Pretreatment-Com. Prjs,x(Basin Area - water area)	0.009
Credit for Inlets in Grass Areas, GAC=0.2" x (TDA	0.004
	N

Table 4. WATER QUALITY STORAGE SOURCE	Basin Storage Elev. (Ac-Ft)	WQ Eq WDV (Ac-Ft)	WQ Eq WDV Inches
Retention (RV) @			
Dry Det. (DDV) @			
Wet Det. (WDV) @			
Equiv WDV=WDV+RV/.5+DDV/.75)		0.000	
Exfil Trench Storage	0.029	0.057	3.05
<b>Total WQ EQ WDV - Provided</b>		<b>0.057</b>	<b>3.05</b>
<b>Total WQ EQ WDV - Required</b>		<b>0.036</b>	<b>1.94</b>

Exfil Vol. in Stage Storage =	(Ac-FT)	(Inches)
	0.047	2.49

Project: NW 1st Avenue  
 Flood Routing Description: Post-Development - SITE

Date: 01/24/2024

Client : FSMY Architects & Planners

Job Number: 13336.00

Table 5. PRE - POST COMPARISON	PRE-DEVELOP. with Q - 3 Day Storm		POST-DEVELOP. with Q - 3 Day Storm		PRE-DEVELOP. *Zero Q - 3 Day Storm		POST-DEVELOP. *Zero Q - 3 Day Storm	
	Peak Stage(ft)	Peak Q (CFS)	Peak Stage(ft)	Peak Q (CFS)	Peak Stage(ft)	Peak Q (CFS)	Peak Stage(ft)	Peak Q (CFS)
100 Year Return Period								
25 Year Return Period					5.85		5.84	
10 Year Return Period					5.78		5.75	
5 Year Return Period					5.58		5.52	
3 Year Return Period					5.36		5.31	



Project: NW 1st Avenue  
 Flood Routing Description: Post-Development - SITE

Date: 01/24/2024

Client : FSMY Architects & Planners  
 Routing Results from Analysis ZERO Offsite Discharge

Job Number: 13336.00

**Table 6. STAGE - DISCHARGE INFORMATION 100 - YEAR STORM - ZERO Offsite Discharge**

TIME STEP (HOUR)	Rain Fall RATIO	Rain C*P (IN)	Q Scs (IN)	Inst Q In (CFS)	Sbuh Q (CFS)	Tot Q In (AC-FT)	Sumq Out (AC-FT)	Stored Vol (AC-FT)	Stage Lk-Up (FEET)	Inst Q Lkup (CFS)	Avg. Q Out (CFS)	Step Qout (AC-FT)
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
4.00	0.02	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
8.00	0.05	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
12.00	0.07	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
16.00	0.10	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
20.00	0.12	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
24.00	0.15	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
28.00	0.18	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
32.00	0.22	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
36.00	0.25	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
40.00	0.29	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
44.00	0.32	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
48.00	0.36	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
52.00	0.40	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
56.00	0.50	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
58.00	0.57	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
59.00	0.63	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
59.50	0.68	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
59.75	0.85	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
60.00	1.02	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
60.50	1.09	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
61.00	1.13	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
62.00	1.18	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
64.00	1.24	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
68.00	1.31	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
72.00	1.36	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
Peak stage						2.00	At hour	0.00				
Peak discharge						0.00	At hour	0.00				

Project: NW 1st Avenue  
 Flood Routing Description: Post-Development - SITE

Date: 01/24/2024

Client : FSMY Architects & Planners

Job Number: 13336.00

**Routing Results from Analysis WITHOUT Offsite Discharge**

**Table 7. STAGE - DISCHARGE INFORMATION 25 - YEAR STORM - Zero Offsite Discharge**

TIME STEP (HOUR)	Rain Fall RATIO	Rain C*P (IN)	Q Scs (IN)	Inst Q In (CFS)	Sbuh Q (CFS)	Tot Q In (AC-FT)	Sumq Out (AC-FT)	Stored Vol (AC-FT)	Stage Lk-Up (FEET)	Inst Q Lkup (CFS)	Avg. Q Out (CFS)	Step Qout (AC-FT)
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
4.00	0.02	0.24	0.01	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
8.00	0.05	0.49	0.09	0.01	0.01	0.00	0.00	0.00	2.07	0.00	0.00	0.00
12.00	0.07	0.74	0.22	0.01	0.01	0.00	0.00	0.00	2.22	0.00	0.00	0.00
16.00	0.10	0.98	0.39	0.01	0.01	0.01	0.00	0.01	2.42	0.00	0.00	0.00
20.00	0.12	1.23	0.58	0.01	0.01	0.01	0.00	0.01	2.64	0.00	0.00	0.00
24.00	0.15	1.47	0.78	0.02	0.01	0.01	0.00	0.01	2.87	0.00	0.00	0.00
28.00	0.18	1.83	1.09	0.02	0.02	0.02	0.00	0.02	3.22	0.00	0.00	0.00
32.00	0.22	2.19	1.41	0.02	0.02	0.02	0.00	0.02	3.60	0.00	0.00	0.00
36.00	0.25	2.54	1.73	0.02	0.02	0.03	0.00	0.03	3.99	0.00	0.00	0.00
40.00	0.29	2.90	2.07	0.02	0.02	0.04	0.00	0.04	4.39	0.00	0.00	0.00
44.00	0.32	3.27	2.42	0.03	0.02	0.04	0.00	0.04	4.55	0.00	0.00	0.00
48.00	0.36	3.62	2.76	0.02	0.02	0.05	0.00	0.05	4.62	0.00	0.00	0.00
52.00	0.40	4.07	3.19	0.04	0.03	0.06	0.00	0.06	4.70	0.00	0.00	0.00
56.00	0.50	5.00	4.09	0.07	0.06	0.07	0.00	0.07	4.86	0.00	0.00	0.00
58.00	0.57	5.77	4.85	0.10	0.08	0.08	0.00	0.08	4.99	0.00	0.00	0.00
59.00	0.63	6.33	5.40	0.14	0.11	0.09	0.00	0.09	5.04	0.00	0.00	0.00
59.50	0.68	6.83	5.90	0.23	0.15	0.10	0.00	0.10	5.07	0.00	0.00	0.00
59.75	0.85	8.54	7.58	1.53	0.31	0.10	0.00	0.10	5.11	0.00	0.00	0.00
60.00	1.02	10.23	9.26	1.53	0.58	0.12	0.00	0.12	5.18	0.00	0.00	0.00
60.50	1.09	10.97	10.00	0.33	0.59	0.14	0.00	0.14	5.32	0.00	0.00	0.00
61.00	1.13	11.35	10.38	0.17	0.44	0.16	0.00	0.16	5.44	0.00	0.00	0.00
62.00	1.18	11.87	10.89	0.10	0.24	0.19	0.00	0.19	5.57	0.00	0.00	0.00
64.00	1.24	12.49	11.51	0.06	0.09	0.21	0.00	0.21	5.69	0.00	0.00	0.00
68.00	1.31	13.22	12.23	0.04	0.04	0.23	0.00	0.23	5.78	0.00	0.00	0.00
72.00	1.36	13.70	12.72	0.03	0.03	0.24	0.00	0.24	5.84	0.00	0.00	0.00
Peak stage						5.84	At hour	72.00				
Peak discharge						0.00	At hour	72.00				

Project: NW 1st Avenue  
 Flood Routing Description: Post-Development - SITE

Date: 01/24/2024

Client : FSMY Architects & Planners

Job Number: 13336.00

**Routing Results from Analysis WITHOUT Offsite Discharge**

**Table 8. STAGE - DISCHARGE INFORMATION 10 - YEAR STORM - Zero Offsite Discharge**

TIME STEP (HOUR)	Rain Fall RATIO	Rain C*P (IN)	Q Scs (IN)	Inst Q In (CFS)	Sbuh Q (CFS)	Tot Q In (AC-FT)	Sumq Out (AC-FT)	Stored Vol (AC-FT)	Stage Lk-Up (FEET)	Inst Q Lkup (CFS)	Avg. Q Out (CFS)	Step Qout (AC-FT)
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
4.00	0.02	0.23	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
8.00	0.05	0.46	0.07	0.01	0.00	0.00	0.00	0.00	2.06	0.00	0.00	0.00
12.00	0.07	0.69	0.19	0.01	0.01	0.00	0.00	0.00	2.19	0.00	0.00	0.00
16.00	0.10	0.91	0.34	0.01	0.01	0.01	0.00	0.01	2.37	0.00	0.00	0.00
20.00	0.12	1.15	0.52	0.01	0.01	0.01	0.00	0.01	2.57	0.00	0.00	0.00
24.00	0.15	1.38	0.70	0.01	0.01	0.01	0.00	0.01	2.78	0.00	0.00	0.00
28.00	0.18	1.72	0.99	0.02	0.02	0.02	0.00	0.02	3.10	0.00	0.00	0.00
32.00	0.22	2.05	1.28	0.02	0.02	0.02	0.00	0.02	3.45	0.00	0.00	0.00
36.00	0.25	2.38	1.58	0.02	0.02	0.03	0.00	0.03	3.81	0.00	0.00	0.00
40.00	0.29	2.72	1.90	0.02	0.02	0.03	0.00	0.03	4.19	0.00	0.00	0.00
44.00	0.32	3.06	2.22	0.02	0.02	0.04	0.00	0.04	4.51	0.00	0.00	0.00
48.00	0.36	3.39	2.53	0.02	0.02	0.05	0.00	0.05	4.58	0.00	0.00	0.00
52.00	0.40	3.81	2.94	0.03	0.02	0.05	0.00	0.05	4.65	0.00	0.00	0.00
56.00	0.50	4.68	3.78	0.07	0.05	0.07	0.00	0.07	4.80	0.00	0.00	0.00
58.00	0.57	5.39	4.48	0.09	0.08	0.08	0.00	0.08	4.92	0.00	0.00	0.00
59.00	0.63	5.92	5.00	0.13	0.10	0.08	0.00	0.08	5.00	0.00	0.00	0.00
59.50	0.68	6.39	5.46	0.21	0.14	0.09	0.00	0.09	5.03	0.00	0.00	0.00
59.75	0.85	7.99	7.04	1.43	0.29	0.10	0.00	0.10	5.06	0.00	0.00	0.00
60.00	1.02	9.57	8.61	1.43	0.54	0.11	0.00	0.11	5.13	0.00	0.00	0.00
60.50	1.09	10.26	9.29	0.31	0.55	0.13	0.00	0.13	5.27	0.00	0.00	0.00
61.00	1.13	10.62	9.65	0.16	0.41	0.15	0.00	0.15	5.37	0.00	0.00	0.00
62.00	1.18	11.10	10.13	0.09	0.22	0.17	0.00	0.17	5.50	0.00	0.00	0.00
64.00	1.24	11.68	10.71	0.06	0.09	0.19	0.00	0.19	5.61	0.00	0.00	0.00
68.00	1.31	12.36	11.38	0.03	0.04	0.21	0.00	0.21	5.70	0.00	0.00	0.00
72.00	1.36	12.82	11.83	0.03	0.03	0.22	0.00	0.22	5.75	0.00	0.00	0.00
Peak stage						5.75	At hour	72.00				
Peak discharge						0.00	At hour	72.00				

Project: NW 1st Avenue  
 Flood Routing Description: Post-Development - SITE

Date: 01/24/2024

Client : FSMY Architects & Planners

Job Number: 13336.00

**Routing Results from Analysis WITHOUT Offsite Discharge**

**Table 9. STAGE - DISCHARGE INFORMATION 5 - YEAR STORM - Zero Offsite Discharge**

TIME STEP (HOUR)	Rain Fall RATIO	Rain C*P (IN)	Q Scs (IN)	Inst Q In (CFS)	Sbuh Q (CFS)	Tot Q In (AC-FT)	Sumq Out (AC-FT)	Stored Vol (AC-FT)	Stage Lk-Up (FEET)	Inst Q Lkup (CFS)	Avg. Q Out (CFS)	Step Qout (AC-FT)
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
4.00	0.02	0.18	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
8.00	0.05	0.38	0.04	0.00	0.00	0.00	0.00	0.00	2.03	0.00	0.00	0.00
12.00	0.07	0.56	0.12	0.01	0.01	0.00	0.00	0.00	2.12	0.00	0.00	0.00
16.00	0.10	0.75	0.23	0.00	0.01	0.00	0.00	0.00	2.24	0.00	0.00	0.00
20.00	0.12	0.94	0.36	0.01	0.01	0.01	0.00	0.01	2.39	0.00	0.00	0.00
24.00	0.15	1.12	0.50	0.01	0.01	0.01	0.00	0.01	2.56	0.00	0.00	0.00
28.00	0.18	1.40	0.72	0.02	0.01	0.01	0.00	0.01	2.80	0.00	0.00	0.00
32.00	0.22	1.67	0.95	0.01	0.01	0.02	0.00	0.02	3.07	0.00	0.00	0.00
36.00	0.25	1.94	1.19	0.01	0.01	0.02	0.00	0.02	3.36	0.00	0.00	0.00
40.00	0.29	2.22	1.44	0.01	0.01	0.03	0.00	0.03	3.65	0.00	0.00	0.00
44.00	0.32	2.49	1.69	0.02	0.01	0.03	0.00	0.03	3.95	0.00	0.00	0.00
48.00	0.36	2.76	1.94	0.01	0.01	0.04	0.00	0.04	4.26	0.00	0.00	0.00
52.00	0.40	3.11	2.27	0.03	0.02	0.04	0.00	0.04	4.52	0.00	0.00	0.00
56.00	0.50	3.82	2.95	0.05	0.04	0.05	0.00	0.05	4.64	0.00	0.00	0.00
58.00	0.57	4.40	3.51	0.07	0.06	0.06	0.00	0.06	4.73	0.00	0.00	0.00
59.00	0.63	4.84	3.93	0.11	0.08	0.07	0.00	0.07	4.80	0.00	0.00	0.00
59.50	0.68	5.22	4.31	0.17	0.11	0.07	0.00	0.07	4.85	0.00	0.00	0.00
59.75	0.85	6.52	5.59	1.16	0.24	0.08	0.00	0.08	4.90	0.00	0.00	0.00
60.00	1.02	7.82	6.87	1.16	0.44	0.08	0.00	0.08	5.00	0.00	0.00	0.00
60.50	1.09	8.38	7.42	0.25	0.45	0.10	0.00	0.10	5.11	0.00	0.00	0.00
61.00	1.13	8.67	7.71	0.13	0.33	0.12	0.00	0.12	5.20	0.00	0.00	0.00
62.00	1.18	9.06	8.10	0.08	0.18	0.14	0.00	0.14	5.30	0.00	0.00	0.00
64.00	1.24	9.54	8.58	0.05	0.07	0.16	0.00	0.16	5.40	0.00	0.00	0.00
68.00	1.31	10.09	9.13	0.03	0.03	0.17	0.00	0.17	5.48	0.00	0.00	0.00
72.00	1.36	10.46	9.49	0.02	0.02	0.18	0.00	0.18	5.52	0.00	0.00	0.00
Peak stage						5.52	At hour	72.00				
Peak discharge						0.00	At hour	72.00				

Project: NW 1st Avenue  
 Flood Routing Description: Post-Development - SITE

Date: 01/24/2024

Client : FSMY Architects & Planners

Job Number: 13336.00

**Routing Results from Analysis WITHOUT Offsite Discharge**

**Table 10. STAGE - DISCHARGE INFORMATION 3 - YEAR STORM - Zero Offsite Discharge**

TIME STEP (HOUR)	Rain Fall RATIO	Rain C*P (IN)	Q Scs (IN)	Inst Q In (CFS)	Sbuh Q (CFS)	Tot Q In (AC-FT)	Sumq Out (AC-FT)	Stored Vol (AC-FT)	Stage Lk-Up (FEET)	Inst Q Lkup (CFS)	Avg. Q Out (CFS)	Step Qout (AC-FT)
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
4.00	0.02	0.15	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
8.00	0.05	0.30	0.02	0.00	0.00	0.00	0.00	0.00	2.01	0.00	0.00	0.00
12.00	0.07	0.45	0.07	0.00	0.00	0.00	0.00	0.00	2.06	0.00	0.00	0.00
16.00	0.10	0.60	0.14	0.00	0.00	0.00	0.00	0.00	2.15	0.00	0.00	0.00
20.00	0.12	0.76	0.24	0.01	0.01	0.00	0.00	0.00	2.25	0.00	0.00	0.00
24.00	0.15	0.91	0.34	0.01	0.01	0.01	0.00	0.01	2.37	0.00	0.00	0.00
28.00	0.18	1.13	0.50	0.01	0.01	0.01	0.00	0.01	2.55	0.00	0.00	0.00
32.00	0.22	1.35	0.68	0.01	0.01	0.01	0.00	0.01	2.76	0.00	0.00	0.00
36.00	0.25	1.56	0.86	0.01	0.01	0.02	0.00	0.02	2.98	0.00	0.00	0.00
40.00	0.29	1.79	1.05	0.01	0.01	0.02	0.00	0.02	3.20	0.00	0.00	0.00
44.00	0.32	2.01	1.25	0.02	0.01	0.02	0.00	0.02	3.44	0.00	0.00	0.00
48.00	0.36	2.23	1.45	0.01	0.01	0.03	0.00	0.03	3.68	0.00	0.00	0.00
52.00	0.40	2.50	1.70	0.02	0.02	0.03	0.00	0.03	3.96	0.00	0.00	0.00
56.00	0.50	3.08	2.24	0.04	0.03	0.04	0.00	0.04	4.50	0.00	0.00	0.00
58.00	0.57	3.55	2.69	0.06	0.05	0.05	0.00	0.05	4.58	0.00	0.00	0.00
59.00	0.63	3.89	3.02	0.09	0.07	0.05	0.00	0.05	4.63	0.00	0.00	0.00
59.50	0.68	4.20	3.32	0.14	0.09	0.05	0.00	0.05	4.67	0.00	0.00	0.00
59.75	0.85	5.25	4.34	0.93	0.19	0.06	0.00	0.06	4.71	0.00	0.00	0.00
60.00	1.02	6.29	5.36	0.93	0.35	0.07	0.00	0.07	4.79	0.00	0.00	0.00
60.50	1.09	6.75	5.81	0.20	0.36	0.08	0.00	0.08	4.96	0.00	0.00	0.00
61.00	1.13	6.98	6.04	0.11	0.27	0.09	0.00	0.09	5.05	0.00	0.00	0.00
62.00	1.18	7.30	6.35	0.06	0.14	0.11	0.00	0.11	5.13	0.00	0.00	0.00
64.00	1.24	7.68	6.73	0.04	0.06	0.12	0.00	0.12	5.21	0.00	0.00	0.00
68.00	1.31	8.13	7.18	0.02	0.03	0.13	0.00	0.13	5.27	0.00	0.00	0.00
72.00	1.36	8.43	7.47	0.02	0.02	0.14	0.00	0.14	5.31	0.00	0.00	0.00
Peak stage						5.31	At hour	72.00				
Peak discharge						0.00	At hour	72.00				

Project: NW 1st Avenue  
 Post-Development - SITE

Date: 01/24/2024

Flood Routing Description:

Client : FSMY Architects & Planners

Job Number: 13336.00

**Total Drainage Basin:** 0.225 Acres 

Y	Y/N -Do you want to limit the Exfiltration Trench Vol. to a maximum of 3.28" over the site?
N	Y/N -Deduct EXFIL Vol. from Rainfall amount rather than include Vol. in Stage Storage table
Y	Y/N -Use EXFIL Vol. in Stage Storage, up to Water Quality Vol., without safety Factor of 2.

  
 Water Table Elevation = 2.00 Feet  
 Time of Conc. (hr.) = 1.00  
 Calculated weighted soil (s) 0.86 Soil Storage Value (S) = Storage under pervious area / Total Area  
 Calculated CN value 92.0 Soil Storage under pavement and buildings is not considered in computations

**Table 16. STAGE STORAGE TABLE**

Stage Elevation (feet)	Storage (Ac-ft)	Storage (CF)	Compacted Ground storage table				
			Depth to water table (Ft)	1.00	2.00	3.00	4.00
2.00	0.000	0	Ground storage(In)	0.45	1.88	4.05	6.75
2.50	0.008	340	Mean depth to ground water table (ft)=	2.93 (Pervious Area)			
3.00	0.016	679	<b>Soil Storage Type</b>	<b>Ground Storage Values (In Inches)</b>			
3.50	0.023	1,019	Depth to Ground Water (Ft)	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>
4.00	0.031	1,358	* Depressional	0.45	1.58	3.3	5.1
4.50	0.039	1,698	Flatwoods	0.45	1.88	4.05	6.75
5.00	0.085	3,697	Coastal Type	0.45	1.88	4.95	8.18
5.50	0.172	7,495	* (Low Flatwoods & Costal Lowlands)				
6.00	0.267	11,615	Ground Storage Values reflect 25% reduction of Available Storage,				
6.50	0.369	16,058	to take into account compaction of native soils.				
7.00	0.478	20,822					
7.50	0.590	25,722					
8.00	0.703	30,623					
8.50	0.815	35,523					
9.00	0.928	40,424					
9.50	1.040	45,324					
10.00	1.153	50,225					
10.50	1.265	55,125					
11.00	1.378	60,026					

Project: NW 1st Avenue  
 Post-Development - SITE

Date: 01/24/2024

Flood Routing Description:

Client : FSMY Architects & Planners

Job Number: 13336.00

**Table 17. SITE ACREAGE INFORMATION**

Input Information													
LAND USES	Acres	High Elev.	Low Elev.	% Imperv. Paved	% Bldgs.	% Water	Imperv. Paved Acres	Perv. Acres	Bldgs. Acres	Non Bldgs. Acres	Water Lake Acres	Perv. Area Avg. El.	perv. acres * avg el
1													
2													
3 Concrete Patios	0.061	6.96	4.90	100	0	0	0.06	0.00	0.00	0.06	0.00	0.00	0.
4 Concrete Walkways	0.114	4.90	4.50	100	0	0	0.11	0.00	0.00	0.11	0.00	0.00	0.
5													
6 Landscape Areas	0.050	5.00	4.85	0	0	0	0.00	0.05	0.00	0.05	0.00	4.93	0.
7													
8													
9													
10													
11													
12													
13													
14													
15													
16													
17													
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31													
32													
33													
34													
35													
36													
37													
38													
39													
BASIN SUBTOTALS / AVG	0.225	6.96	4.50	77.78	0.00	0.00	0.18	0.05	0.00	0.23	0.00	4.93	0.

**Table 18. UNDERGROUND STORAGE INFORMATION**

Underground Storage	Area (SF)	Top Elev	Bottom Elev	% Voids
1 Underground Storage 1				
2 Underground Storage 2				
3 Underground Storage 3				
4 Underground Storage 4				
5 Underground Storage 5				
BASIN TOTALS / AVERAGE	0.225	6.96	2.00	77.78
Basin % Imper. for Water Quality Purposes =		77.78		
Basin % Impervious (incl. Bldg., No lakes)=		77.78		

Project: NW 1st Avenue  
 Post-Development - SITE

Date: 01/24/2024

Flood Routing Description:

Client : FSMY Architects & Planners

Job Number: 13336.00

Detail - Stage - Storage Information

<b>Table 19. STAGE - STORAGE INFORMATION</b>		Surface storage (Ac-Ft)											
LAND USES	Elev.	Elev.	Elev.	Elev.	Elev.	Elev.	Elev.	Elev.	Elev.	Elev.	Elev.	Elev.	Elev.
	2.00	2.50	3.00	3.50	4.00	4.50	5.00	5.50	6.00	6.50	7.00	7.50	8.00
Total Surface Storage	0.000	0.000	0.000	0.000	0.000	0.000	0.038	0.125	0.220	0.322	0.431	0.544	0.656
Underground Storage	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000
Exfil Trench Storage	0.000	0.008	0.016	0.023	0.031	0.039	0.047	0.047	0.047	0.047	0.047	0.047	0.047
TOTAL Storage	0.000	0.008	0.016	0.023	0.031	0.039	0.085	0.172	0.267	0.369	0.478	0.590	0.703
1													
2													
3	Concrete Patios	0.000	0.000	0.000	0.000	0.000	0.000	0.005	0.018	0.038	0.065	0.096	0.126
4	Concrete Walkways	0.000	0.000	0.000	0.000	0.000	0.000	0.034	0.091	0.148	0.205	0.262	0.319
5													
6	Landscape Areas	0.000	0.000	0.000	0.000	0.000	0.000	0.004	0.029	0.054	0.079	0.104	0.129
7													
8													
9													
10													
11													
12													
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36													
37													
38													
39													
40													
Total Surface Storage	0.00	0.00	0.00	0.00	0.00	0.00	0.04	0.13	0.22	0.32	0.43	0.54	0.66
Underground Storage													
	2.00	2.50	3.00	3.50	4.00	4.50	5.00	5.50	6.00	6.50	7.00	7.50	8.00
1	Underground Storage 1												
2	Underground Storage 2												
3	Underground Storage 3												
4	Underground Storage 4												
5	Underground Storage 5												
Total Underground Storage	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000
Exfil Trench Storage	0.000	0.008	0.016	0.023	0.031	0.039	0.047	0.047	0.047	0.047	0.047	0.047	0.047
TOTAL Storage	0.000	0.008	0.016	0.023	0.031	0.039	0.085	0.172	0.267	0.369	0.478	0.590	0.703
Stage Elevation	2.00	2.50	3.00	3.50	4.00	4.50	5.00	5.50	6.00	6.50	7.00	7.50	8.00



Project: NW 1st Avenue  
 Post-Development - SITE

Date: 01/24/2024

Flood Routing Description:

Client : FSMY Architects & Planners

Job Number: 13336.00

**Table 20. SOIL - STORAGE INFORMATION**

Detail - Soil Storage Information

	LAND USES	Depth to Water Table	Ground Storage Under Pervious	
			Inches	Ac-Ft
	TOTAL/AVERAGE		3.89	0.02
1				
2				
3	Concrete Patios	0.00	0.00	0.000
4	Concrete Walkways	0.00	0.00	0.000
5				
6	Landscape Areas	2.93	3.89	0.016
7				
8				
9				
10				
11				
12				
13				
14				
15				
16				
17				
18				
19				
20				
21				
22				
23				
24				
25				
26				
27				
28				
29				
30				
31				
32				
33				
34				
35				
36				
37				
38				
39				
40				
	TOTAL/AVERAGE		3.89	0.016

Soil Storage Value (S) = Storage under pervious area / Total Area

Soil Storage under pavement and buildings is not considered in computations

S= 0.86383333
---------------

Project: NW 1st Avenue  
Post-Development - SITE

Date: 01/24/2024

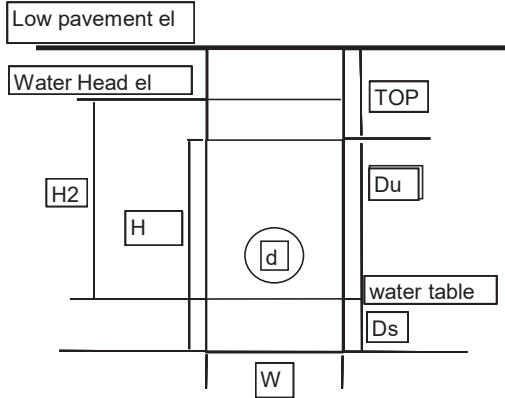
Flood Routing Description:

Client : FSMY Architects & Planners

Job Number: 13336.00

Table 22-1 EXFILTRATION TRENCH -1 INFORMATION

INPUT INFORMATION	
Trench Width (Ft) (W)	8.00
Trench Height (Ft) (H)	4.00
Diameter of Pipe (inches) (d)	15
Invert of Pipe (Ft) (IE)	2
Top of trench elevation	4
Low pavement elevation	5
Water Head elevation (Ft)	5.00
Avg. Hydraulic Conductivity (Cfs/Ft <sup>2</sup> ) (k)	2.09E-04



Length of Exfiltration trench Provided (Ft) (L)	60
Water table elevation (Ft)	2.00
Trench Data	
Depth To Top Of Trench (Ft) (TOP)	1.00
Bottom of trench elevation	0.00
Saturated Trench Depth (Ds)	2.00
Non-Saturated Trench Depth (Du)	2.00
Depth To Water Table or Trench Bottom (Ft) (H2)	3.00
Trench Storage Begins at Higher of Water Table or Trench Bot. Elev.	2.00

= Water head El - Top of Trench El.  
 = Top of Trench El. - Trench Height (H)  
 = Trench Height below water Table  
 = Trench depth above water Table  
 = Water head El to the water table or bottom of trench

Trench Volumes Stored & Exfiltrated in 1 hour (CF)

1 Hr. Vol by exfil SFWMD Eq.7 (Du > Ds and W < 2H) (CF)	2,487
1 Hr. Vol by exfil SFWMD Eq.8 (Du < Ds or W > 2H) (CF)	0
This Trench Volume with Safety Factor of 2 (V(trnSF))	1,244
Max. Vol allowed in Exfil (3.28" = 0.273 Ac-Ft / Ac) (Val) (CF)	2,679
Total EXFIL Vol Provided ALL EXFIL Trenches (Vtot) (CF)	1,244
Equivalent Wet Detention Vol:50% credit ALL EXFIL (Vwteq) (CF)	2,487
Total System ALL EXFIL WQ Equivalent Wet Det. Vol Provided	2,487
Total System ALL EXFIL Volume Used in Stage-Storage	2,038

Note: 3630 in Eqn. is conversion factor from (Ac-In) to (CF)-> (43560 SF/Ac)(1FT/12In)

$V_{trn} = 3630 * L * [k * ((H2 * W) + (2 * H2 * Du) - Du^2 + (2 * H2 * Ds))] + ((1.39 * 10^{-4}) * (W * Du))]$	0.029	Ac-Ft	0.34	Ac-In
$V_{trn} = 3630 * L * [k * ((2 * H2 * Du) - Du^2 + (2 * H2 * Ds))] + ((1.39 * 10^{-4}) * (W * Du))]$	0.062	Ac-Ft	0.74	Ac-In
$V(TrnSF) = V_{trn} / (\text{Safety Factor of } 2)$	0.029	Ac-Ft	0.34	Ac-In
$V_{tot} = V_{design} + V_{sto}$	0.057	Ac-Ft	0.69	Ac-In
$V_{wteq} = V_{tot} * 2$	0.057	Ac-Ft	0.69	Ac-In
CF	0.057	Ac-Ft		
CF	0.047	Ac-Ft		

NOTE: This line is Sum of all Exfiltration Trenches

NOTE: This line is Sum of all Exfiltration Trenches

NOTE: For Exfiltration Trench design, a factor of safety of 2 is used for WQ in all conditions (WQ vol & above WQ vol), per the "New" SFWMD formula.

Select on the Stage-Storage tab, whether to use the safety factor for the Exfil trench, up to the required WQ amount, in the flood routing Stage-Storage volumes.

Because of the built in safety factor of only using the trench discharge for one hour during the 72 hour storm event, some Agencies allow the use of the

Exfiltration trench volume, up to the required Water Quality Volume, without a safety factor of 2, for use in storm routing calculations.

**Table 23. WATER QUALITY CALCULATIONS TABLE**  
**Proposed Project**

<b>Project Land Use</b>	<b>Total Basin</b>	<b>Unit</b>
1. Water Area (WA)	0.00	Acres
2. Roof Area (RA)	0.00	Acres
3. Other Impervious Areas, paving, sidewalks, roads, etc. (IA)	0.18	Acres
4. Landscape and Pervious areas (LPA)	0.05	Acres
5. Total Drainage Area (TDA)	0.23	Acres
6. Total % Impervious (TPI=(WA+RA+IA) / TDA )	77.8%	
7. Area for Water Quality % Impervious Calculations ( WQA=TDA-WA-RA)	0.23	Acres
8. Impervious Area for Water Quality % Impervious Calculations ( WQIA=WQA-LPA)	0.18	Acres
9. Water Quality % Impervious (WQPI=WQIA / WQA)	<b>77.8%</b>	

**Required Water Quality Volumes per Florida SWERP**

<b>Wet Detention Volume, the greater of the following:</b>	<b>Storage Volume</b>	<b>Unit</b>
10. First inch of runoff from the entire site (1" x TDA)	0.02	Ac-Ft
11. 2.5 in. times the percentage of impervious (2.5" x WQPI x (TDA-WA))	0.04	Ac-Ft
<b>12. Required Wet Water Quality Amount (greater of the 1" or 2.5" x % impervious)</b>	<b>0.04</b>	<b>Ac-Ft</b>

The SWERP provides for credits to the Water Quality Volume for Dry Detention and Retention

13. <b>Dry Detention Volume</b> (DDV) (75% of WDV)	0.03	Ac-Ft
14. <b>Retention Volume</b> (RV) (50% of WDV)	0.02	Ac-Ft
<b>15. Required Dry Detention or Retention Volume</b> for Commercial and Industrial Zoned land and Projects greater than 40% Imp., Discharging to certin water bodies (0.5" x TDA-WA)	<b>0.01</b>	<b>Ac-Ft</b>

The SWERP provides for credits to the Water Quality Volume for Inlets in Grass Areas

16. Ratio Impervious Area to Pervious Area, for inlets in Grass Area credit. (Full credit (0.2" wet detention) for Ratios 10:1 or less, porportionately less credit for greater ratios.) (IAPA=(RA+IA) / LPA))	3.50	
17. Credit for Inlets in Grass Area (GAC=0.2" x (TDA - WA)) (reduce for IAPA > 10)	0.00	Ac-Ft
18. <b>Required Wet Detention Volume</b> Water Quality with Inlet in Grass area credit	0.03	Ac-Ft
19. <b>Required Dry Detention Volume</b> Water Quality with Inlet in Grass area credit	0.02	Ac-Ft
20. <b>Required Retention Volume</b> Water Quality with Inlet in Grass area credit	0.02	Ac-Ft

# POST – DEVELOPMENT ANALYSIS (BUILDING)



Project: NW 1st Avenue  
 Flood Routing Description: Post-Development - BLD

Date: 01/26/2024

Client : FSMY Architects & Planners Job Number: 13336.00  
 Design Engineer : Niles Warrick  
 Project Address / Location : 706 NW 1st Avenue City: Fort Lauderdale County: Broward State: Florida  
 Section/Township/Range: S3 T50S R42E  
 Surfacewater License: NA  
 FEMA FIRM Information: 12011C0369J  
 Project Description: 12-story residential building

Total Drainage Basin: 0.859 Acres

Hydrogeologic Information :

Table 1.	1 Day Storm Event			3 Day Storm Event		
RAINFALL DATA	Rainfall Inches	Runoff Inches	Runoff Ac-Ft	Rainfall Inches	Runoff Inches	Runoff Ac-Ft
100 Year Return Period				18.8	18.80	1.346
25 Year Return Period						
10 Year Return Period						
5 Year Return Period						
3 Year Return Period						
5 Yr Return Period - 1 Hr						

Runoff estimation - USDA SCS formula

$$\text{Runoff (in)} Q = \frac{(P-0.2S)^2}{P+0.8S}$$

Where: P = accumulated rainfall (in.)  
 S = Soil Storage Value

Table 2. SUMMARY OF FLOOD ROUTING	Agency maps	SBUH Calculated with Q-1 Day Storm		SBUH Calculated with Q-3 Day Storm		SBUH Calculated *Zero Q-3 Day Storm		Calc. 5Yr 1 hour Peak Stage (ft)
		Peak Stage(ft)	Peak Q (CFS)	Peak Stage(ft)	Peak Q (CFS)	Peak Stage(ft)	Peak Q (CFS)	
100 Year Return Period	NOAA			6.66	4.38	6.66	4.38	Zero Q (Water Budget)
25 Year Return Period	NOAA							
10 Year Return Period	NOAA							
5 Year Return Period	NOAA							
3 Year Return Period	SFWMMD							

For 5 yr - 1 hr rainfall, Calculate 5 yr Vol by subtracting Exfil vol in inches from 5 yr 1 h rainfall, then calc Runoff using SCS formula. From stage storage table find Zero Discharge Stage. Uses Max. Elev of Lookup Stage or highest top of EXFIL trench. If exfil vol exceeds 5 year 1 hour vol. Uses Max. Elev of highest top of EXFIL trench.

\* Zero Q indicates there is no offsite discharge included in the calculations (only Exfil Trench and Wells). Hypothetical stage calc. for PRE-POST Analysis.

Table 3. WATER QUALITY STORAGE REQUIREMENTS:

Based on Total Drainage Basin Acreage	Ac-Ft
1" x Basin Area	0.072
2.5" x WQPI x (Basin Area   2.50 Inches	0.179
<b>Required Wet Detention (Total basin incl Offsite)</b>	
0.5" Pretreatment-Com. Prjs,x(Basin Area - water area)	0.036
Credit for Inlets in Grass Areas, GAC=0.2" x (TDA	0.014
	N

Table 4. WATER QUALITY STORAGE SOURCE	Basin Storage Elev. (Ac-Ft)	WQ Eq WDV (Ac-Ft)	WQ Eq WDV Inches
Retention (RV) @			
Dry Det. (DDV) @			
Wet Det. (WDV) @			
Equiv WDV=WDV+RV/.5+DDV/.75)		0.000	
Exfil Trench Storage	0.000	0.000	
<b>Total WQ EQ WDV - Provided</b>		<b>0.000</b>	
<b>Total WQ EQ WDV - Required</b>		<b>0.179</b>	<b>2.50</b>

Exfil Vol. in Stage Storage =	(Ac-FT)	(Inches)
	0.000	0.00

Project: NW 1st Avenue  
 Flood Routing Description: Post-Development - BLD

Date: 01/26/2024

Client : FSMY Architects & Planners  
 Routing Results from Analysis ZERO Offsite Discharge

Job Number: 13336.00

**Table 6. STAGE - DISCHARGE INFORMATION 100 - YEAR STORM - ZERO Offsite Discharge**

TIME STEP (HOUR)	Rain Fall RATIO	Rain C*P (IN)	Q Scs (IN)	Inst Q In (CFS)	Sbuh Q (CFS)	Tot Q In (AC-FT)	Sumq Out (AC-FT)	Stored Vol (AC-FT)	Stage Lk-Up (FEET)	Inst Q Lkup (CFS)	Avg. Q Out (CFS)	Step Qout (AC-FT)
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00	0.00	0.00	0.00
4.00	0.02	0.33	0.33	0.05	0.07	0.02	0.02	0.00	4.04	0.07	0.07	0.00
8.00	0.05	0.68	0.68	0.10	0.07	0.04	0.04	0.00	4.04	0.07	0.07	0.00
12.00	0.07	1.01	1.01	0.10	0.07	0.07	0.06	0.00	4.04	0.07	0.07	0.00
16.00	0.10	1.34	1.34	0.05	0.07	0.09	0.09	0.00	4.04	0.07	0.07	0.00
20.00	0.12	1.69	1.69	0.10	0.07	0.11	0.11	0.00	4.04	0.07	0.07	0.00
24.00	0.15	2.02	2.02	0.10	0.07	0.14	0.14	0.00	4.04	0.07	0.07	0.00
28.00	0.18	2.52	2.52	0.14	0.11	0.17	0.17	0.00	4.06	0.10	0.10	0.00
32.00	0.22	3.00	3.00	0.10	0.11	0.21	0.20	0.00	4.07	0.11	0.11	0.00
36.00	0.25	3.49	3.49	0.10	0.10	0.24	0.24	0.00	4.06	0.10	0.10	0.00
40.00	0.29	3.98	3.98	0.10	0.11	0.28	0.27	0.00	4.07	0.11	0.11	0.00
44.00	0.32	4.48	4.48	0.14	0.11	0.31	0.31	0.00	4.06	0.10	0.10	0.00
48.00	0.36	4.97	4.97	0.10	0.11	0.35	0.34	0.00	4.07	0.11	0.11	0.00
52.00	0.40	5.59	5.59	0.19	0.14	0.39	0.38	0.00	4.09	0.15	0.14	0.00
56.00	0.50	6.86	6.86	0.38	0.32	0.46	0.46	0.01	4.19	0.32	0.31	0.01
58.00	0.57	7.91	7.91	0.53	0.45	0.53	0.52	0.01	4.28	0.46	0.45	0.01
59.00	0.63	8.69	8.69	0.77	0.59	0.57	0.56	0.01	4.37	0.61	0.58	0.01
59.50	0.68	9.38	9.38	1.20	0.79	0.60	0.58	0.02	4.51	0.84	0.77	0.02
59.75	0.85	11.72	11.72	8.10	1.65	0.64	0.60	0.04	5.04	1.72	1.28	0.03
60.00	1.02	14.04	14.04	8.05	3.08	0.70	0.63	0.07	6.13	3.51	2.62	0.05
60.50	1.09	15.05	15.05	1.73	3.10	0.84	0.76	0.07	6.14	3.53	3.96	0.08
61.00	1.13	15.58	15.58	0.91	2.30	0.94	0.90	0.03	5.02	1.68	1.98	0.04
62.00	1.18	16.28	16.28	0.53	1.25	1.07	1.05	0.02	4.69	1.13	1.29	0.03
64.00	1.24	17.14	17.14	0.34	0.49	1.19	1.18	0.01	4.28	0.47	0.48	0.01
68.00	1.31	18.14	18.14	0.19	0.22	1.28	1.28	0.00	4.13	0.22	0.22	0.00
72.00	1.36	18.80	18.80	0.14	0.15	1.33	1.33	0.00	4.09	0.15	0.15	0.00
Peak stage						6.66	At hour	60.25				
Peak discharge						4.38	At hour	60.25				

Project: NW 1st Avenue  
 Post-Development - BLD

Date: 01/26/2024

Flood Routing Description:

Client : FSMY Architects & Planners

Job Number: 13336.00

**Total Drainage Basin:** 0.859 Acres 

Y	Y/N -Do you want to limit the Exfiltration Trench Vol. to a maximum of 3.28" over the site?
N	Y/N -Deduct EXFIL Vol. from Rainfall amount rather than include Vol. in Stage Storage table
Y	Y/N -Use EXFIL Vol. in Stage Storage, up to Water Quality Vol., without safety Factor of 2.

  
 Water Table Elevation = 2.00 Feet  
 Time of Conc. (hr.) = 1.00  
 Calculated weighted soil (s) 0.00 Soil Storage Value (S) = Storage under pervious area / Total Area  
 Calculated CN value 100.0 Soil Storage under pavement and buildings is not considered in computations

**Table 16. STAGE STORAGE TABLE**

Stage Elevation (feet)	Storage (Ac-ft)	Storage (CF)	Compacted Ground storage table				
			Depth to water table (Ft)	1.00	2.00	3.00	4.00
2.00	0.000	0	Ground storage(In)	0.45	1.88	4.05	6.75
2.50	0.000	0	Mean depth to ground water table (ft)=	0.00 (Pervious Area)			
3.00	0.000	0	<b>Soil Storage Type</b>	<b>Ground Storage Values (In Inches)</b>			
3.50	0.000	0	Depth to Ground Water (Ft)	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>
4.00	0.000	0	* Depressional	0.45	1.58	3.3	5.1
4.50	0.000	0	Flatwoods	0.45	1.88	4.05	6.75
5.00	0.000	0	Coastal Type	0.45	1.88	4.95	8.18
5.50	0.000	0	* (Low Flatwoods & Costal Lowlands)				
6.00	0.000	0	Ground Storage Values reflect 25% reduction of Available Storage,				
6.50	0.000	0	to take into account compaction of native soils.				
7.00	0.000	0					
7.50	0.000	0					
8.00	0.000	0					
8.50	0.000	0					
9.00	0.000	0					
9.50	0.000	0					
10.00	0.000	0					
10.50	0.000	0					
11.00	0.000	0					

Project: NW 1st Avenue  
 Post-Development - BLD

Date: 01/26/2024

Flood Routing Description:

Client : FSMY Architects & Planners

Job Number: 13336.00

**Table 17. SITE ACREAGE INFORMATION**

Input Information							Imperv. Paved Acres	Perv. Acres	Bldgs. Acres	Non Bldgs. Acres	Water Lake Acres	Perv. Area Avg. El.	perv. acres * avg el
LAND USES	Acres	High Elev.	Low Elev.	% Imperv. Paved	% Bldgs.	% Water							
<b>BASIN TOTALS / AVERAG</b>	0.859	7.00	2.00	0.00	100.00	0.00	0.00	0.00	0.86	0.00	0.00	0.00	
1 Proposed Buildings	0.859	7.00	5.50	0	100	0	0.00	0.00	0.86	0.00	0.00	0.00	0.
2													
3													
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<b>BASIN SUBTOTALS / AVG</b>	0.859	7.00	5.50	0.00	100.00	0.00	0.00	0.00	0.86	0.00	0.00	0.00	0.

**Table 18. UNDERGROUND STORAGE INFORMATION**

Underground Storage	Area (SF)	Top Elev	Bottom Elev	% Voids
1 Underground Storage 1				
2 Underground Storage 2				
3 Underground Storage 3				
4 Underground Storage 4				
5 Underground Storage 5				
<b>BASIN TOTALS / AVERAGE</b>	0.859	7.00	2.00	0.00

Basin % Imper. for Water Quality Purposes = 100.00  
 Basin % Impervious (incl. Bldg., No lakes)= 100.00



Project: NW 1st Avenue Post-Development - BLD Date: 01/26/2024

Flood Routing Description: Client : FSMY Architects & Planners Job Number: 13336.00

**Table 21. STAGE / DISCHARGE DATA TABLE**

Drainage Basin:	Receiving Water Body:										Runoff Formula:									
SFWM allowable discharge:	CFS										Q=Allowable runoff (CFS)									
Historic/Prev. Permit Discharge =	CFS										CSM=Cubic Feet per Sec. per Sq. Mile									
Project Acreage :	0.86																			
Stage / Discharge Data Table																				
Stage (feet)	2.00	2.50	3.00	3.50	4.00	4.50	5.00	5.50	6.00	6.50	7.00	7.50	8.00	8.50	9.00	9.50	10.00	10.50	11.00	
On-Site (Well Discharge)	0.00	0.00	0.00	0.00	0.00	0.83	1.65	2.48	3.30	4.13	4.95	5.78	6.60	7.43	8.25	9.08	9.90	10.73	11.55	
Total Discharge (Includes Well) (CFS)	0.00	0.00	0.00	0.00	0.00	0.83	1.65	2.48	3.30	4.13	4.95	5.78	6.60	7.43	8.25	9.08	9.90	10.73	11.55	

Discharge Structure Description:  
Notes



February 26, 2024

Sent Via Email

Sidney Miller  
15 North New River Drive East  
Fort Lauderdale, FL 33301

Josh Bailey | FSMY Architects and Planners  
jbailey@fsmyarch.com

Dear Applicant:

This letter provides the status of the development application submitted on February 14, 2024, described below, which the City has reviewed to determine whether the application is complete in accordance with Section 166.033(1), State Statute, as amended.

<b>Case Number:</b>	UDP-S24012
<b>Application Type:</b>	Site Plan Level II
<b>Request:</b>	12-story, 189 multifamily unit development
<b>Project Name:</b>	700 NW 1 <sup>st</sup> Avenue
<b>General Location:</b>	700 NW 1 <sup>st</sup> Avenue
<b>Application Status:</b>	<b>COMPLETE</b>
<b>Approval/Denial Timeframes</b>	
<b>120 Days:</b>	June 25, 2024
<b>180 Days:</b>	August 24, 2024
<b>DRC Meeting Date:</b>	<b>March 26, 2024</b>
<b>Case Planner:</b>	<b>Michael P. Ferrera</b>

In accordance with Section 166.033(1), Florida Statutes, the City will approve, approve with conditions, or deny the application within 120 days of the date of this letter. The applicant may request a waiver to this timeline by completing the attached waiver and submitting it to the Development Services Department on or before *March 4, 2024*.

If there are any questions regarding this notice, you may contact me at [mferrera@fortlauderdale.gov](mailto:mferrera@fortlauderdale.gov) or 954-828-5265.

Sincerely,

*Michael P. Ferrera*

Urban Design and Planning Division  
Case Planner

March 15, 2023

David Salomon, City Clerk  
City of Fort Lauderdale  
100 North Andrews Avenue  
Fort Lauderdale, FL 33301

Re: Permitting for property located at 700 NW 1st Avenue, located in City of Fort Lauderdale, Florida 33311 ("Property")

Dear City Clerk:

We hereby authorize FSMY Architect & Planners, its representatives, affiliates and/or consultants to act as agents in connection with the processing and approval of a site plan for the Property.

Sincerely,

Sidney Miller

By: [Signature]

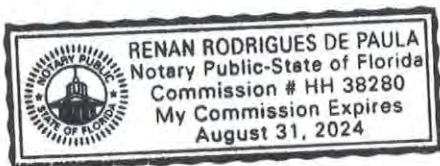
Printed Name: Sidney Miller

Title: Owner

Date: \_\_\_\_\_

STATE OF FLORIDA  
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me, by means of (check one):  physical presence or \_\_\_\_\_ online notarization, this 15 day of MARCH, 2023 by SIDNEY MILLER, who is the OWNER of Blue River Realty LLC, who is personally known to me or who has produced FL DRIVER'S LICENSE as identification.



My Commission Expires:

[Signature]

Notary Public  
RENAN RODRIGUES DE PAULA

Typed, printed or stamped name of Notary Public



# CITY OF FORT LAUDERDALE

DEPARTMENT OF SUSTAINABLE DEVELOPMENT • BUILDING SERVICES DIVISION

## ADDRESS VERIFICATION

**CONTACT:** Devon Anderson  
Phone: 954-828-5233  
Email: DAnderson@fortlauderdale.gov

**PROJECT ADDRESS:** 700 NW 1 AVE, 33311

**PREVIOUS ADDRESS:** 15 NW 7 ST, 33311  
704,706,708,712,720,722,724 NW 1 AVE, 33311

**NOTES:** NEW MUTLI-FAMILY BUILDING

**ZONING:** NWRAC-MUe

**FOLIO #:** 494234071210, 494234071220, 494234071230, 494234071240,  
494234071250, 494234071260, 494234071270

**LEGAL DESCRIPTION:** PROGRESSO 2-18 D LOT 25-38 BLK 286

**DRC #:** \_\_\_\_\_

**AUTHORIZED SIGNATURE:**  \_\_\_\_\_

**DATE:** 03/13/2023



<b>Site Address</b>	NW 1 AVENUE, FORT LAUDERDALE FL 33311	<b>ID #</b>	4942 34 07 1210
<b>Property Owner</b>	BLUE RIVER REALTY LLC	<b>Millage</b>	0312
<b>Mailing Address</b>	840 NW 47 ST POMPANO BEACH FL 33064	<b>Use</b>	00
<b>Abbr Legal Description</b>	PROGRESSO 2-18 D LOT 25,26 BLK 286		

The just values displayed below were set in compliance with [Sec. 193.011](#), Fla. Stat., and include a reduction for costs of sale and other adjustments required by [Sec. 193.011\(8\)](#).

\* 2023 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2023*	\$134,980		\$134,980	\$134,980	
2022	\$134,980		\$134,980	\$134,980	\$2,588.34
2021	\$165,350		\$165,350	\$165,350	\$3,154.74

2023* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
<b>Just Value</b>	\$134,980	\$134,980	\$134,980	\$134,980
<b>Portability</b>	0	0	0	0
<b>Assessed/SOH</b>	\$134,980	\$134,980	\$134,980	\$134,980
<b>Homestead</b>	0	0	0	0
<b>Add. Homestead</b>	0	0	0	0
<b>Wid/Vet/Dis</b>	0	0	0	0
<b>Senior</b>	0	0	0	0
<b>Exempt Type</b>	0	0	0	0
<b>Taxable</b>	\$134,980	\$134,980	\$134,980	\$134,980

Sales History			
Date	Type	Price	Book/Page or CIN
3/31/2017	WD*-E	\$1,100,000	114303969
3/19/2014	WD*-T	\$100	112167950
8/31/2011	TD*	\$100	48162 / 24
8/9/2007	WD-T	\$100	44651 / 685
11/1/1991	WD	\$11,000	18916 / 905

Land Calculations		
Price	Factor	Type
\$20.00	6,749	SF
<b>Adj. Bldg. S.F.</b>		

\* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F3		
L								
1						6749		



<b>Site Address</b>	706 NW 1 AVENUE, FORT LAUDERDALE FL 33311	<b>ID #</b>	4942 34 07 1220
<b>Property Owner</b>	BLUE RIVER REALTY LLC	<b>Millage</b>	0312
<b>Mailing Address</b>	840 NW 47 ST POMPANO BEACH FL 33064	<b>Use</b>	00
<b>Abbr Legal Description</b>	PROGRESSO 2-18 D LOT 27,28 BLK 286		

The just values displayed below were set in compliance with [Sec. 193.011](#), Fla. Stat., and include a reduction for costs of sale and other adjustments required by [Sec. 193.011\(8\)](#).

\* 2023 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2023*	\$135,000		\$135,000	\$135,000	
2022	\$135,000		\$135,000	\$135,000	\$2,588.73
2021	\$165,380		\$165,380	\$165,380	\$3,155.29

2023* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
<b>Just Value</b>	\$135,000	\$135,000	\$135,000	\$135,000
<b>Portability</b>	0	0	0	0
<b>Assessed/SOH</b>	\$135,000	\$135,000	\$135,000	\$135,000
<b>Homestead</b>	0	0	0	0
<b>Add. Homestead</b>	0	0	0	0
<b>Wid/Vet/Dis</b>	0	0	0	0
<b>Senior</b>	0	0	0	0
<b>Exempt Type</b>	0	0	0	0
<b>Taxable</b>	\$135,000	\$135,000	\$135,000	\$135,000

Sales History			
Date	Type	Price	Book/Page or CIN
3/31/2017	WD-D	\$200,000	114303908
7/6/2005	SWD	\$85,000	40018 / 275
10/21/2002	WD	\$24,000	34026 / 1405
3/1/1978	WD	\$19,500	7554 / 921
12/1/1976	WD	\$19,900	

Land Calculations		
Price	Factor	Type
\$20.00	6,750	SF
<b>Adj. Bldg. S.F.</b>		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F3		
L								
1						6750		



<b>Site Address</b>	<b>708 NW 1 AVENUE, FORT LAUDERDALE FL 33311</b>	<b>ID #</b>	4942 34 07 1230
<b>Property Owner</b>	BLUE RIVER REALTY LLC	<b>Millage</b>	0312
<b>Mailing Address</b>	840 NW 47 ST POMPANO BEACH FL 33064	<b>Use</b>	00
<b>Abbr Legal Description</b>	PROGRESSO 2-18 D LOT 29,30 BLK 286		

The just values displayed below were set in compliance with [Sec. 193.011](#), Fla. Stat., and include a reduction for costs of sale and other adjustments required by [Sec. 193.011\(8\)](#).

\* 2023 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2023*	\$135,000		\$135,000	\$135,000	
2022	\$135,000		\$135,000	\$135,000	\$2,588.73
2021	\$165,380		\$165,380	\$165,380	\$3,155.29

2023* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
<b>Just Value</b>	\$135,000	\$135,000	\$135,000	\$135,000
<b>Portability</b>	0	0	0	0
<b>Assessed/SOH</b>	\$135,000	\$135,000	\$135,000	\$135,000
<b>Homestead</b>	0	0	0	0
<b>Add. Homestead</b>	0	0	0	0
<b>Wid/Vet/Dis</b>	0	0	0	0
<b>Senior</b>	0	0	0	0
<b>Exempt Type</b>	0	0	0	0
<b>Taxable</b>	\$135,000	\$135,000	\$135,000	\$135,000

Sales History			
Date	Type	Price	Book/Page or CIN
3/31/2017	WD*-E	\$1,100,000	114303969
3/19/2014	WD*-T	\$100	112167950
8/23/2011	TD*	\$100	48162 / 24
8/9/2007	WD-T	\$100	44651 / 686
8/1/1987	WD	\$34,700	14770 / 710

Land Calculations		
Price	Factor	Type
\$20.00	6,750	SF
<b>Adj. Bldg. S.F.</b>		

\* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F3		
L								
2						6750		



<b>Site Address</b>	712 NW 1 AVENUE, FORT LAUDERDALE FL 33311	<b>ID #</b>	4942 34 07 1240
<b>Property Owner</b>	BLUE RIVER REALTY LLC	<b>Millage</b>	0312
<b>Mailing Address</b>	840 NW 47 ST POMPANO BEACH FL 33064	<b>Use</b>	00-04
<b>Abbr Legal Description</b>	PROGRESSO 2-18 D LOT 31 TO 33 BLK 286		

The just values displayed below were set in compliance with [Sec. 193.011](#), Fla. Stat., and include a reduction for costs of sale and other adjustments required by [Sec. 193.011\(8\)](#).

\* 2023 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2023*	\$202,500	\$6,700	\$209,200	\$209,200	
2022	\$202,500	\$6,700	\$209,200	\$209,200	\$4,007.19
2021	\$248,060	\$6,700	\$254,760	\$254,760	\$4,857.02

2023* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
<b>Just Value</b>	\$209,200	\$209,200	\$209,200	\$209,200
<b>Portability</b>	0	0	0	0
<b>Assessed/SOH</b>	\$209,200	\$209,200	\$209,200	\$209,200
<b>Homestead</b>	0	0	0	0
<b>Add. Homestead</b>	0	0	0	0
<b>Wid/Vet/Dis</b>	0	0	0	0
<b>Senior</b>	0	0	0	0
<b>Exempt Type</b>	0	0	0	0
<b>Taxable</b>	\$209,200	\$209,200	\$209,200	\$209,200

Sales History			
Date	Type	Price	Book/Page or CIN
3/31/2017	WD*-E	\$1,100,000	114303969
3/19/2014	WD*-T	\$100	112167950
8/23/2011	TD*	\$100	48162 / 24
8/9/2007	WD-T	\$100	44651 / 688
8/1/1982	WD	\$29,000	10335 / 345

Land Calculations		
Price	Factor	Type
\$20.00	10,125	SF
Adj. Bldg. S.F. (Card, Sketch)		

\* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F3		
L								
1						10125		





<b>Site Address</b>	NW 1 AVENUE, FORT LAUDERDALE FL 33311	<b>ID #</b>	4942 34 07 1250
<b>Property Owner</b>	BLUE RIVER REALTY LLC	<b>Millage</b>	0312
<b>Mailing Address</b>	840 NW 47 ST POMPANO BEACH FL 33064	<b>Use</b>	00
<b>Abbr Legal Description</b>	PROGRESSO 2-18 D LOT 34,35 BLK 286		

The just values displayed below were set in compliance with [Sec. 193.011](#), Fla. Stat., and include a reduction for costs of sale and other adjustments required by [Sec. 193.011\(8\)](#).

\* 2023 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2023*	\$135,000		\$135,000	\$135,000	
2022	\$135,000		\$135,000	\$135,000	\$2,588.73
2021	\$165,380		\$165,380	\$165,380	\$3,155.29

2023* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
<b>Just Value</b>	\$135,000	\$135,000	\$135,000	\$135,000
<b>Portability</b>	0	0	0	0
<b>Assessed/SOH</b>	\$135,000	\$135,000	\$135,000	\$135,000
<b>Homestead</b>	0	0	0	0
<b>Add. Homestead</b>	0	0	0	0
<b>Wid/Vet/Dis</b>	0	0	0	0
<b>Senior</b>	0	0	0	0
<b>Exempt Type</b>	0	0	0	0
<b>Taxable</b>	\$135,000	\$135,000	\$135,000	\$135,000

Sales History			
Date	Type	Price	Book/Page or CIN
3/31/2017	WD*-E	\$1,100,000	114303969
3/19/2014	WD*-T	\$100	112167950
8/23/2011	TD*	\$100	48162 / 24
8/9/2007	WD-T	\$100	44651 / 690
7/1/1992	QCD	\$18,083	19930 / 709

Land Calculations		
Price	Factor	Type
\$20.00	6,750	SF
<b>Adj. Bldg. S.F.</b>		

\* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F3		
L								
1						6750		



<b>Site Address</b>	NW 1 AVENUE, FORT LAUDERDALE FL 33311	<b>ID #</b>	4942 34 07 1260
<b>Property Owner</b>	BLUE RIVER REALTY LLC	<b>Millage</b>	0312
<b>Mailing Address</b>	840 NW 47 ST POMPANO BEACH FL 33064	<b>Use</b>	00
<b>Abbr Legal Description</b>	PROGRESSO 2-18 D LOT 36 BLK 286		

The just values displayed below were set in compliance with [Sec. 193.011](#), Fla. Stat., and include a reduction for costs of sale and other adjustments required by [Sec. 193.011\(8\)](#).

\* 2023 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2023*	\$67,500		\$67,500	\$67,500	
2022	\$67,500		\$67,500	\$67,500	\$1,294.37
2021	\$82,690		\$82,690	\$82,690	\$1,577.66

2023* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
<b>Just Value</b>	\$67,500	\$67,500	\$67,500	\$67,500
<b>Portability</b>	0	0	0	0
<b>Assessed/SOH</b>	\$67,500	\$67,500	\$67,500	\$67,500
<b>Homestead</b>	0	0	0	0
<b>Add. Homestead</b>	0	0	0	0
<b>Wid/Vet/Dis</b>	0	0	0	0
<b>Senior</b>	0	0	0	0
<b>Exempt Type</b>	0	0	0	0
<b>Taxable</b>	\$67,500	\$67,500	\$67,500	\$67,500

Sales History			
Date	Type	Price	Book/Page or CIN
3/31/2017	WD*-E	\$1,100,000	114303969
3/19/2014	WD*-T	\$100	112167950
8/23/2011	TD*	\$100	48162 / 24
8/9/2007	WD-T	\$100	44651 / 691
8/1/1983	WD	\$50,000	11074 / 133

Land Calculations		
Price	Factor	Type
\$20.00	3,375	SF
<b>Adj. Bldg. S.F.</b>		

\* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F3		
L								
1						3375		



<b>Site Address</b>	NW 1 AVENUE, FORT LAUDERDALE FL 33311	<b>ID #</b>	4942 34 07 1270
<b>Property Owner</b>	BLUE RIVER REALTY LLC	<b>Millage</b>	0312
<b>Mailing Address</b>	840 NW 47 ST POMPANO BEACH FL 33064	<b>Use</b>	00
<b>Abbr Legal Description</b>	PROGRESSO 2-18 D LOT 37,38 BLK 286		

The just values displayed below were set in compliance with [Sec. 193.011](#), Fla. Stat., and include a reduction for costs of sale and other adjustments required by [Sec. 193.011\(8\)](#).

\* 2023 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2023*	\$135,000		\$135,000	\$135,000	
2022	\$135,000		\$135,000	\$135,000	\$2,588.73
2021	\$165,380		\$165,380	\$165,380	\$3,155.29

2023* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
<b>Just Value</b>	\$135,000	\$135,000	\$135,000	\$135,000
<b>Portability</b>	0	0	0	0
<b>Assessed/SOH</b>	\$135,000	\$135,000	\$135,000	\$135,000
<b>Homestead</b>	0	0	0	0
<b>Add. Homestead</b>	0	0	0	0
<b>Wid/Vet/Dis</b>	0	0	0	0
<b>Senior</b>	0	0	0	0
<b>Exempt Type</b>	0	0	0	0
<b>Taxable</b>	\$135,000	\$135,000	\$135,000	\$135,000

Sales History			
Date	Type	Price	Book/Page or CIN
3/31/2017	WD*-E	\$1,100,000	114303969
3/19/2014	WD*-T	\$100	112167950
8/23/2011	TD*	\$100	48162 / 24
8/9/2007	WD-T	\$100	44651 / 692
8/1/1986	PRD	\$15,000	13653 / 205

Land Calculations		
Price	Factor	Type
\$20.00	6,750	SF
<b>Adj. Bldg. S.F.</b>		

\* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F3		
L								
1						6750		