



## **BOARD OF ADJUSTMENT MEETING NOTICE**

**Date:** March 29<sup>th</sup>, 2024

A Public Hearing will be held before the Board of Adjustment on: **WEDNESDAY, APRIL 10, 2024 AT 6:00 PM.**

This meeting will be held in-person at: Development Services Department (Lobby) 700 NW 19<sup>th</sup> Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit: [www.fortlauderdale.gov/government/BOA](http://www.fortlauderdale.gov/government/BOA)

---

<b>CASE:</b>	<b>PLN-BOA-24020001</b>
<b>OWNER:</b>	ESTATE MANORS INC; WALTERS, LAWRENCE
<b>AGENT:</b>	N/A
<b>ADDRESS:</b>	1616 SW 17 AVE, FORT LAUDERDALE, FL 33312
<b>LEGAL DESCRIPTION:</b>	LOT 15, OF BOSSERT ISLES, ACCORDING TO THE PLAT THEREOF, AS RECORDED PLAT BOOK 46, PAGE 42, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (SEE SURVEY).
<b>ZONING DISTRICT:</b>	RS-8 - RESIDENTIAL SINGLE FAMILY/LOW MEDIUM DENSITY
<b>COMMISSION DISTRICT:</b>	4
<b>REQUESTING:</b>	<b><u>Sec. 47-5.31- Table of dimensional requirements for the RS-8 district. (Note A).</u></b>

- Requesting a variance from the minimum 25 feet corner yard setback abutting a waterway to be reduced to 15.73 feet, a total variance request of 9.27 feet.

**Sec. 47-19.2. B. - Architectural features in residential districts.**

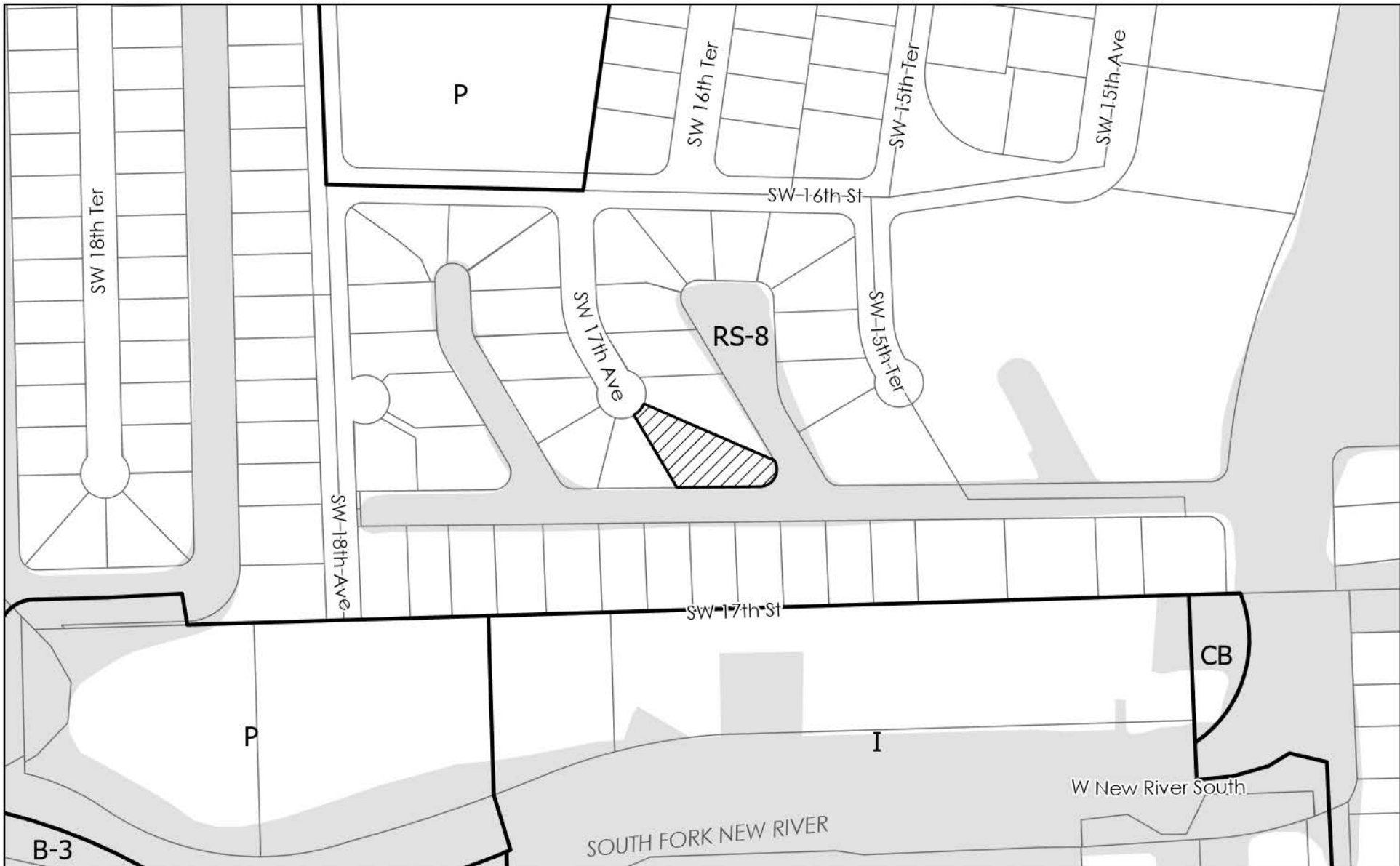
- Requesting a variance to allow an eave/overhang to project into a setback of 4.6 feet, whereas the code allows a maximum of 3 feet from the approved setback, a total variance request of 1.6 feet.

**To watch and listen to the meeting, please visit:** <https://www.fortlauderdale.gov/government/BOA>  
OR [www.youtube.com/cityoffortlauderdale](http://www.youtube.com/cityoffortlauderdale)

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK  
ZONING ADMINISTRATOR  
Florida Statutes, Sec. 286.0105

**NOTE:** If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.




PLN-BOA-24020001

**LEGEND**

-  Municipal Boundary
-  Subject Site

N



0      100      200  
US Feet

# CASE: PLN-BOA-24020001

## Sec. 47-5.31- Table of dimensional requirements for the RS-8 district. (Note A).

<i>Requirements</i>	<i>RS-8</i>	<i>RS-8A</i>
Maximum density	8.0 du/net ac.	8.0 du/net ac.
Minimum lot size	6,000 sq. ft.	6,000 sq. ft.
Maximum structure height	35 ft.	28 ft.
Maximum structure length	None	None
Minimum lot width	50 ft. *75 ft. when abutting a waterway on any side	50 ft. *75 ft. when abutting a waterway on any side
Minimum floor area	1,000 sq. ft.	1,000 sq. ft.
Minimum front yard	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft.	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft.
Minimum corner yard	25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway	25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway
Minimum side yard	5 ft. - up to 22 ft. in height Where a building exceeds 22 ft. in height that portion of the building above 22 ft. shall be set back an additional 1 foot per foot of additional height.	For a building with a height no greater than 12 ft.- 5 ft. For a building with a height greater than 12 ft. - 7.5 ft.

	<p>25 ft. when abutting a waterway</p> <p>Special side yard setbacks 7.5 ft.:</p> <p>Coral Ridge Country Club Addition 4, P.B. 53 P. 29; Block G, Lots 1 thru 22; Block H, Lots 1 thru 10 and 16 thru 26; Block I; Block J.</p> <p>Gramercy Park, P.B. 57, P. 45, Block 1; and Block 2, Lots 1 thru 16.</p> <p>Coral Ridge Country Club Addition 3, P.B. 52 P. 14, Block A, Lots 1 thru 4; Block B, Lots 1 thru 4 and 7 thru 10; Block C, Lots 1 thru 4 and 7 thru 10; Block D, Lots 1 thru 8 and 11 thru 18; Block X, Lots 18 thru 20; Block J; Block K; Block L; Block M; Block N; Block O; Block P; Block Q; Block R; Block S; Block T.</p> <p>Golf Estates, P.B. 43, P. 26; Block 6; Block 7; Block 8; Block 9; Block 10; Block 11; Coral Ridge Country Club Subdivision P.B. 36 P. 30 Block F, Lots 1 thru 14; Block R, Lots 1 thru 8, 11 thru 18; Replat of Lots 11, 12, 13, 14 &amp; 15 of Block H Coral Ridge Country Club Addition 4, P.B. 63 P. 31 Parcels A, B, C; Gramercy Park, PB 57 P. 45 Block 2, Lots 17 and 18; Coral Ridge Country Club Addition No. 2 P.B. 44 PG 21 Block F, Lots 2 thru 19; Block E, Lots 1 thru 6 and 10 thru 16; Block C, Lots 2 thru 11; Block D, Lots 2 thru 4; Block B, Lot 2 and Lots 15 thru 25, and Bermuda-Riviera Subdivision of Galt Ocean Mile, P.B. 38 P. 46; Blocks A, C, D, E, F, G &amp; H; Bermuda-Riviera Subdivision of Galt Ocean, First Addition, P.B. 40 P.12: Blocks J, K, L &amp; M.</p>	<p>That portion of a building exceeding 12 ft. in height shall be set back an additional 2 feet per 1 foot of additional height</p> <p>25 ft. when abutting a waterway</p> <p>Special side yard setbacks as provided in RS-8</p>
<p>Minimum rear yard</p>	<p>15 ft.</p> <p>25 ft. when abutting a waterway</p> <p>Special rear yard setbacks: 15 ft. abutting waterway in the following subdivisions:</p> <p>Coral Ridge Isles</p> <p>Flamingo Pk.—Section "C" &amp; "D"</p> <p>Lakes Estates</p> <p>Golf Estates</p> <p>Imperial Pt.—4th Sec.</p> <p>The Landings</p> <p>Rio Nuevo Isle—Block 1</p>	<p>25 ft.</p> <p>25 ft. when abutting a waterway</p> <p>Special rear yard setbacks as provided in RS-8</p>

Minimum distance between buildings	None			None	
	<i>Lot Size</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>
	≤7,500 sf	50%	0.75	40%	0.55
Lot coverage and FAR	7,501—12,000 sf	45%	0.75	35%	0.55
	>12,000 sf	40%	0.60	30%	0.50

# CASE: PLN-BOA-24020001

## **Sec. 47-19.2. B. - Architectural features in residential districts**

Architectural features in residential districts. Architectural features such as eaves, cornices, unenclosed balconies with open railings, window sills, awnings, chimneys, bay windows, and dormers accessory to a residential use are permitted to extend into a yard area a maximum distance of three (3) feet from the face of the building, or one-third ( $\frac{1}{3}$ ) of the required yard, whichever is less. Unenclosed balconies with open railings may extend into the front yard a maximum distance of five (5) feet from the face of the building and may extend the entire linear length of the front facade. Accessory uses which encroach into any yard area, excluding unenclosed balconies encroaching into the front yard, are permitted to have a total combined linear facade length not greater than twenty (20) percent of the total linear length of the facade to which they are attached. Items such as windowsills or belt courses which extend six (6) inches or less into the yard area shall not be considered for the length limitation. Eaves shall not be subject to the length limitation. The dimensional limitations of this subsection shall not apply and the provisions of subsection C. shall apply to awnings accessory to a residential use in a nonresidential zoning district.

# Record

Showing 1-40 of 45

<input type="checkbox"/>	<a href="#">Record, Permit, or Account #</a>	<a href="#">Record Description</a>	<a href="#">Application Name</a>	<a href="#">Record Type</a>	<a href="#">Balance</a>	<a href="#">Planner Name</a>	<a href="#">Street #</a>	<a href="#">Dir</a>	<a href="#">Street Name</a>	<a href="#">Type</a>	<a href="#">Unit # (start)</a>	<a href="#">Status</a>
<input type="checkbox"/>	<a href="#">BLD-GEN-24030173</a>	INSTALLING FENCE AROUND PROPERTY, FENCE PERMIT RE...	Fence Permit	Structural Permit	0		1616	SW	17	AVE		Awaiting C
<input type="checkbox"/>	<a href="#">BLD-GEN-24030172</a>	INSYALLING FENCE AROUND PROPERTY, FENCE PERMIT RE...	Fence Permit	Structural Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	<a href="#">PLN-BOA-24020001</a>		Walters Residence	Z- Board of Adjustment (BOA)	159		1616	SW	17	AVE		Open
<input type="checkbox"/>	<a href="#">BE22060090</a>	ACTIVE CONSTRUCTION SITE - CONTRACTOR NOT CONTAIN...	CITATION	Building Code Case	0	HECTORS	1616	SW	17	AVE		Closed
<input type="checkbox"/>	<a href="#">BE21040038</a>	I inspected the construction site and found the s...		Building Code Case	0	Jose Saragusti	1616	SW	17	AVE		Complied
<input type="checkbox"/>	<a href="#">PLB-RES-20080170</a>	ONSITE STORM DRAINAGE FOR NEW 3 STORY WATERFRONT ...	ONSITE STORM DRAINAGE FOR NE...	Plumbing Residential Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	<a href="#">BLD-RPAV-20080031</a>	PAVING FOR NEW 3 STORY SFR- BP BLD-RNC-20080004	PAVING FOR NEW 3 STORY SFR- ...	Residential Paving Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	<a href="#">LND-TREE-20080005</a>	TREE REMOVAL FOR NEW 3 STORY WATERFRONT RESIDENCE...	TREE REMOVAL FOR NEW 3 STORY...	Landscape Tree Removal-Relocation Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	<a href="#">BLD-ROOF-20080053</a>	INSTALLING TILE ROOF SYSTEM INC FLASHING, COPING ...		Re-Roof Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	<a href="#">PLB-GAS-20080010</a>	GAS FOR NEW 3 STORY WATERFRONT RESIDENCE -- BLD-R...	GAS FOR NEW 3 STORY WATERFRO...	Plumbing Gas Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	<a href="#">ENG-STRM-20080001</a>	ROW STORM FOR NEW 3 STORY WATERFRONT RESIDENCE --...	ROW STORM FOR NEW 3 STORY WA...	ROW Stormwater Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	<a href="#">LND-INST-20080002</a>	GENERAL LANDSCAPE FOR NEW 3 STORY WATERFRONT RESI...	GENERAL LANDSCAPE FOR NEW 3 ...	Landscape Installation Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	<a href="#">ELE-RES-20080046</a>	HOOKING UP TEMPORARY POWER		Electrical Residential Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	<a href="#">ELE-30TEMP-20080014</a>	30 DAY TEMPORARY POWER		Electrical Temporary Pole	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	<a href="#">PLB-RES-20080042</a>	NEW CUSTOM 3 STORY WATERFRONT RESIDENCE 7400SF ...	NEW CUSTOM 3 STORY WATERFRON...	Plumbing Residential Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	<a href="#">MEC-RES-20080013</a>	NEW CUSTOM 3 STORY WATERFRONT RESIDENCE 7400SF ...	NEW CUSTOM 3 STORY WATERFRON...	Mechanical Residential Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	<a href="#">ELE-RES-20080045</a>	NEW CUSTOM 3 STORY WATERFRONT RESIDENCE 7400SF ...	NEW CUSTOM 3 STORY WATERFRON...	Electrical Residential Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	<a href="#">ELE-RES-20080044</a>	VOIDED	VOIDED	Electrical Residential Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	<a href="#">BLD-RNC-20080004</a>	NEW CUSTOM 3 STORY WATERFRONT RESIDENCE 7400SF ...	NEW CUSTOM 3 STORY WATERFRON...	Residential New Construction Permit	256.25		1616	SW	17	AVE		Issued
<input type="checkbox"/>	<a href="#">ENG-SITE-20070010</a>	SITE PREP AND EROSION CONTROL -- BLD-RNC-19110017		ROW Site Prep and Erosion Control Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	<a href="#">BLD-ROOF-20060176</a>	NEW LOW SLOPE ROOF		Re-Roof Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	<a href="#">PLB-GAS-20060022</a>	GAS FOR NEW 3 STORY WATERFRONT RESIDENCE -- BLD-R...	GAS FOR NEW 3 STORY WATERFRO...	Plumbing Gas Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	<a href="#">ENG-STRM-20060001</a>	ROW STORM FOR NEW 3 STORY WATERFRONT RESIDENCE --...	ROW STORM FOR NEW 3 STORY WA...	ROW Stormwater Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	<a href="#">LND-TREE-20060031</a>	TREE REMOVAL FOR NEW 3 STORY WATERFRONT RESIDENCE...	TREE REMOVAL FOR NEW 3 STORY...	Landscape Tree Removal-Relocation Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	<a href="#">LND-INST-20060016</a>	GENERAL LANDSCAPE FOR NEW 3 STORY WATERFRONT RESI...	GENERAL LANDSCAPE FOR NEW 3 ...	Landscape Installation Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	<a href="#">ELE-RES-20050130</a>	HOOKING UP TEMPORARY POWER		Electrical Residential Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	<a href="#">ELE-30TEMP-20050044</a>	30 DAY TEMPORARY POWER		Electrical Temporary Pole	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	<a href="#">BLD-BDSP-20050021</a>	INSTALLATION OF HELICAL ANCHORS, CAP OVER POUR & ...	INSTALLATION OF HELICAL ANCH...	Boatlift-Dock-Seawall-Pile Permit	0		1616	SW	17	AVE		Issued
<input type="checkbox"/>	<a href="#">PLB-MET-20020024</a>	INSTALL 1 1/2 INCH DOMESTIC WATER METER	INSTALL 1 1/2 INCH DOMESTIC ...	Plumbing Meter Install Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	<a href="#">ELE-RES-20020118</a>	ELECTRICAL HOOKUP FOR NEW POOL BLD-RPSF-19110005	ELECTRICAL HOOKUP FOR NEW PO...	Electrical Residential Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	<a href="#">CE-20011304</a>	SEAGRAPE & PALM TREE BEING REMOVED W/O PERMITS		Code Case	0	LUKECANB	1616	SW	17	AVE		Closed
<input type="checkbox"/>	<a href="#">PLB-RES-19110136</a>	NEW CUSTOM 3 STORY WATERFRONT RESIDENCE 7400SF ...	NEW CUSTOM 3 STORY WATERFRON...	Plumbing Residential Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	<a href="#">MEC-RES-19110037</a>	NEW CUSTOM 3 STORY WATERFRONT RESIDENCE 7400SF ...	NEW CUSTOM 3 STORY WATERFRON...	Mechanical Residential Permit	0		1616	SW	17	AVE		In Process
<input type="checkbox"/>	<a href="#">ELE-RES-19110109</a>	NEW CUSTOM 3 STORY WATERFRONT RESIDENCE 7400SF ...	NEW CUSTOM 3 STORY WATERFRON...	Electrical Residential Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	<a href="#">BLD-RNC-19110017</a>	NEW CUSTOM 3 STORY WATERFRONT RESIDENCE 7400SF ...	NEW CUSTOM 3 STORY WATERFRON...	Residential New Construction Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	<a href="#">PLB-RES-19110049</a>	INSTALL NEW POOL 5,430 GALLONS	VAN KIRK & SONS INC	Plumbing Residential Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	<a href="#">BLD-RPSF-19110005</a>	INSTALL NEW POOL 5,430 GALLONS	VAN KIRK & SONS INC	Residential Pool-Spa-Fountain Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	<a href="#">VIO-CE18020608_1</a>		LOWEN,CHARLES W & ANN S	Violation-CODE Hearing	0		1616	SW	17	AVE		Closed
<input type="checkbox"/>	<a href="#">CE18020608</a>	L/S LIGHTNING - 0 - CASE FOUND	LOWEN,CHARLES W & ANN S	Code Case	0		1616	SW	17	AVE		Closed
<input type="checkbox"/>	<a href="#">VIO-CE16111874_1</a>		LOWEN,CHARLES W & ANN S	Violation-CODE Hearing	0		1616	SW	17	AVE		Closed

# Record

Menu Refine Search New GIS Create a Set Reports Help My Filters --Select-- Module Planning

Showing 41-45 of 45

<input type="checkbox"/>	<a href="#">Record, Permit, or Account #</a>	<a href="#">Record Description</a>	<a href="#">Application Name</a>	<a href="#">Record Type</a>	<a href="#">Balance</a>	<a href="#">Planner Name</a>	<a href="#">Street #</a>	<a href="#">Dir</a>	<a href="#">Street Name</a>	<a href="#">Type</a>	<a href="#">Unit # (start)</a>	<a href="#">Status</a>
<input type="checkbox"/>	<a href="#">VIO-CE16111801_1</a>		LOWEN, CHARLES W & ANN S	Violation-CODE Hearing	0		1616	SW	17	AVE		Closed
<input type="checkbox"/>	<a href="#">CE16111801</a>	L/S ASAP - 0 OPEN CASES FOUND	LOWEN, CHARLES W & ANN S	Code Case	0		1616	SW	17	AVE		Closed
<input type="checkbox"/>	<a href="#">CE16111874</a>	L/S RAPID LIENS - 0 OPEN CASES FOUND	LOWEN, CHARLES W & ANN S	Code Case	0		1616	SW	17	AVE		Closed
<input type="checkbox"/>	<a href="#">VIO-CE15011037_1</a>		LOWEN, CHARLES W & ANN S	Violation-CODE Hearing	0		1616	SW	17	AVE		Closed
<input type="checkbox"/>	<a href="#">CE15011037</a>	L/S RELIABLE LIEN SEARCH 0-OPEN CASES	LOWEN, CHARLES W & ANN S	Code Case	0		1616	SW	17	AVE		Closed





CITY OF FORT LAUDERDALE

# PUBLIC NOTICE

## BOARD OF ADJUSTMENT MEETING

DATE: APRIL 10, 2024

TIME: 6:00 P.M.

CASE: PLN-BOA-24020001

### Sec. 47-5.31 - Table of dimensional requirements for the RS-8 district. (Note A).

- Requesting a variance from the minimum 25 feet corner yard setback abutting a waterway to be reduced to 15.73 feet, a total variance request of 9.27 feet.

### Sec. 47-19.2. B. - Architectural features in residential districts.

- Requesting a variance to allow an eave/overhang to project into a setback of 4.6 feet, whereas the code allows a maximum of 3 feet from the approved setback, a total variance request of 1.6 feet.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT  
700 N.W. 19<sup>TH</sup> AVENUE (LOBBY)  
FORT LAUDERDALE, FL., 33311  
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:  
<https://www.fortlauderdale.gov/government/BOA>  
[www.youtube.com/cityoffortlauderdale](http://www.youtube.com/cityoffortlauderdale)



*This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.*

*In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a*



**SIGN NOTICE**

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use. Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

**AFFIDAVIT OF POSTING SIGNS**

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. PLN-BOA-24020001

APPLICANT: Lawrence Walters

PROPERTY: 1616 SW 17th Ave, Fort Lauderdale, FL, 33312

PUBLIC HEARING DATE: April, 10, 2024 at 6pm

BEFORE ME, the undersigned authority, personally appeared Lawrence Walters, who upon being duly sworn and cautioned, under oath deposes and says:

1. Affiant is the Applicant in the above cited City of Fort Lauderdale **Board or Commission Case**.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the **Board or Commission**.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least **fifteen (15)** days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the **Board or Commission**. **Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.**
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division **five (5)** calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2.j) of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. LW (initial here)

Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 26 day of MARCH, 2024.



NOTARY PUBLIC

MY COMMISSION EXPIRES: JULY 23, 2026.



**PUBLIC NOTICE**  
**BOARD OF ADJUSTMENT MEETING**  
DATE: 09/11/2023 TIME: 4:30 P.M. CASE: PUB-BOA-2400001  
Sec. 42.8.01, Table of dimensional requirements for the R1.8 district, (Note A).  
\*This is a public notice to advise the members of the commission of their current and potential authority in reviewing a proposed application for a variance to the applicable provisions of the zoning ordinance.  
Sec. 42.8.02, A., and other provisions in residential districts.  
\*This notice is intended to advise the public of the proposed application and to provide an opportunity for the public to be heard at the meeting of the commission.  
\*This notice is intended to advise the public of the proposed application and to provide an opportunity for the public to be heard at the meeting of the commission.  
\*This notice is intended to advise the public of the proposed application and to provide an opportunity for the public to be heard at the meeting of the commission.



CITY OF FORT LAUDERDALE  
**PUBLIC NOTICE**  
**BOARD OF ADJUSTMENT MEETING**  
 DATE: APRIL 10, 2024      TIME: 6:00 P.M.      CASE: PLN-BOA-24020001

**Sec. 47-5.31 - Table of dimensional requirements for the RS-8 district. (Note A).**

- \* Requesting a variance from the minimum 25 feet corner yard setback abutting a waterway to be reduced to 15.73 feet, a total variance request of 9.27 feet.

**Sec. 47-19.2, B. - Architectural features in residential districts.**

- \* Requesting a variance to allow an eave/overhang to project into a setback of 4.6 feet, whereas the code allows a maximum of 3 feet from the approved setback, a total variance request of 1.6 feet.

PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT  
 200 W. 1ST STREET, SUITE 1000  
 FORT LAUDERDALE, FL 33301  
 CONTACT: 352-868-4000

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:  
<https://www.flgov.com/flgov/boad>  
<https://www.cityoffortlauderdale.com/boad>



CITY OF FORT LAUDERDALE

# PUBLIC NOTICE

## BOARD OF ADJUSTMENT MEETING

DATE: APRIL 10, 2024

TIME: 6:00 P.M.

CASE: PLN-BOA-2402001

Sec. 47-5.31- Table of dimensional requirements for the RS-8 district. (Note A).

- Requesting a variance from the minimum 25 feet corner yard setback abutting a waterway to be reduced to 15.73 feet, a total variance request of 9.27 feet.

Sec. 47-19.2. B. - Architectural features in residential districts.

- Requesting a variance to allow an eave/overhang to project into a setback of 4.6 feet, whereas the code allows a maximum of 3 feet from the approved setback, a total variance request of 1.6 feet.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT  
700 N.W. 17th AVENUE (LOBBY)  
FORT LAUDERDALE, FL 33311  
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:  
<https://www.fortlauderdale.gov/government/BOA>  
[www.youtube.com/cityoffortlauderdale](http://www.youtube.com/cityoffortlauderdale)



This notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 14-20, it shall be unlawful for any person to copy, sell, lease or otherwise use any material on this website or other thing pertaining to or under the control of the City, for purposes of or removing the website and content to be used for commercial purposes.  
In accordance with City Code Section 47-27.2 A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ.



BOARD OF ADJUSTMENT (BOA) APPLICATION FORM

REV: 10/26/2023 APPLICATION FORM: BOA

GENERAL INFORMATION  
BOARD OF ADJUSTMENT REVIEW PROCESS AND APPLICATION SUBMITTAL

**BOARD OF ADJUSTMENT MEETING REQUEST:** Prior to the submittal of the Board of Adjustment application, applicants are required to schedule a meeting request with Zoning and Landscaping Division staff to obtain feedback regarding the proposed variance, special exception, or other applications. The meeting includes general guidance on the submittal and process for the application type. To request a meeting with staff, [email request to the Board of Adjustment](#).

**APPLICATION DEADLINE:** Submittals must be received by 5:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if application, survey, plans and other documentation do not meet the submittal requirements and if changes are required. The applicable [Meeting Dates and Deadlines](#) can be found on the City's website at the Board of Adjustment webpage. Staff will provide guidance once an application has been submitted to the City.

**ONLINE SUBMITTAL PROCESS:** Submittals must be conducted through the [City's online citizen access portal and payment of fees LauderBuild](#). LauderBuild requires the creation of an online account to submit a complete application. To access submittal requirements and standards please visit the [LauderBuild Plan Room](#). Staff will provide guidance once an application has been submitted to the City.

**DETERMINATION OF COMPLETENESS:** Submittals are reviewed for completeness to ensure the application submittal contains all the required information including plans, survey, proof of ownership, narratives, and other pertinent documentation. The City will notify the applicant within five (5) business days from submittal with a determination of completeness. The notification will be sent via email and will indicate application completeness or incompleteness with required changes. [BOA Flow Chart](#).

**PAYMENT OF FEES:** All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit. Applicants will receive invoices electronically indicating the applicable fee(s). Note, there are fees at various stages of review depending on application type. Fees are paid online.

**PUBLIC SIGN NOTICE:** Board of Adjustment (BOA) application, and certain applications are subject to public sign notice. Affidavits must be completed and submitted to the city stated compliance that such has been completed. The affidavit form can be found in this package on page 4 and on the City's website.

**EXAMPLE VARIANCE SUBMITTAL:** Click to access the Board of Adjustment (BOA) page to view previous [Board of Adjustment \(BOA\) agendas, case backup, minutes and results](#).

**QUESTIONS:** Questions regarding the Board of Adjustment process or LauderBuild, contact us by phone or email at: [boardofadjustment@torlauderdale.gov](mailto:boardofadjustment@torlauderdale.gov)  
Phone: 954-828-6520, Option 5

**INSTRUCTIONS:** The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The Board of Adjustment application form must be filled out accurately and all applicable sections must be completed. Complete the sections indicated for application, type N/A for those section items not applicable. Select the application type below and complete entire application form.

Application Type	(Select the application type from the list below and complete pages 1-4 of the application)	FEES
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation <b>(Before)</b>	\$2,332
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation <b>(After)</b>	\$2,968
<input type="radio"/>	Requesting Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures <b>(Homesteaded Only) (Before)</b>	\$689
<input checked="" type="radio"/>	Requesting a Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures <b>(Homesteaded Only) (After)</b>	\$901
<input type="radio"/>	Request for Continuance	\$954
<input type="radio"/>	Request for Rehearing	\$318
<input type="radio"/>	Rehearing Request before the board	\$1,219

**Page 1: BOA - Applicant Information Sheet**

**INSTRUCTIONS:** The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance(s) and/or special exception(s) requested. The application form must be filled out accurately and all applicable sections must be completed. Please print or type and answer all questions. Do Not leave any sections Blank. Indicate N/A if a question does not apply.

Case Number	Permit No. BLD-RNC-20080004
Date of complete submittal	01.17.2024

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	Lawrence Walters
Property Owner's Signature	<i>[Signature]</i> <small>If a signed agent letter is provided, this signature is required on the application by the owner.</small>
Address, City, State, Zip	1616 SW 17th Ave, Fort Lauderdale, FL, 33312
E-mail Address	walters@lvwalters.com
Phone Number	954-818-1230
Proof of Ownership	<input checked="" type="checkbox"/> Warranty Deed or <input type="checkbox"/> Tax Record

NOTE: If AGENT is to represent OWNER, notarized letter of consent is required

Applicant / Agent's Name	
Applicant / Agent's Signature	
Address, City, State, Zip	
E-mail Address	
Phone Number	
Agent Authorization Form Submitted	<input checked="" type="checkbox"/>

Permit code case related to variance(s)	
Existing / New	Existing: <input checked="" type="checkbox"/> New: <input type="checkbox"/>
Project Address	Address: 1616 SW 17th Ave, Fort Lauderdale, FL, 33312
Legal Description	Lot 15, of BOSSERT ISLES, according to the Plat thereof, as recorded in the Plat Book 46, Page 42, of the Public Records of Broward County, Florida
Tax ID Folio Numbers <small>(For all parcels in development)</small>	5042 16 35 0150
Variance/Special Exception Request <small>(Provide a brief description of your request)</small>	Requesting a Board of Adjustment approval for a pool canopy/overhang that was approved with the original set of construction documents and inspected multiple times at the relevant construction intervals (including zoning inspections). However, at the time of final zoning inspection the pool canopy was determined to be encroaching into the Corner / Side yard setback at the Eastern facing waterway / property boundary.
Applicable ULDR Sections <small>(Include all code sections)</small>	ULDR Section No. 47-5.31    Sec. 47-19.2.B

Current Land Use Designation	RS-8: Single Family Residence
Current Zoning Designation	Residential
Current Use of Property	Residential
Site Adjacent to Waterway	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Setbacks (indicate direction N, S, E, W)	Required	Proposed
Front	25'-0"	48'-2"
Side	25'-0" (Corner / Water-Facing)	25'-4" (to bldg./structure), 12'-0" (to pool canopy/overhang)
Side	5'-0"	5'-4"
Rear	25'-0" (Water-Facing)	32'-3"

**Page 2: Board of Adjustment (BOA) Criteria for Variance Request**

Answer **All** questions on this page and attach narrative. If additional space is needed, attach additional page(s).

**SPECIFIC REQUEST:** State the specific request according to the ULDR or other provisions of the Code.

**CRITERIA:** Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12, A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and The pool canopy in question that we are requesting BOA approval for was designed and constructed as an appendage / extension of the residential structure with the sole purpose of providing shade at the pool deck/pool (water) area. In addition, there are two (2) supporting columns for the pool canopy (located at the Southeast extent of the canopy) where the relevant column foundations are built monolithic with the pool structure. Removal of the applicable canopy columns (2) and pool canopy slab will present some significant complications with the structure of the residence, as well as, the structure of the pool. Please reference Sheet No. A-200 (Architectural Site Plan) & A-603 (Wall Section @ Lonal) for additional clarification.

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and: The circumstance(s) which cause the special condition peculiar to this property specifically, is that the pool canopy / roof overhang in question was approved with the original construction documentation, constructed by the General Contractor in compliance with the approved plans, inspected and approved by the relevant City of Fort Lauderdale staff throughout the duration of construction at the appropriate construction intervals. However, at final zoning inspection / Project closeout the pool canopy was determined to be encroaching into the Side Yard (Water-facing) Setback.

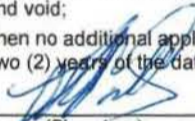
c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and The literal application of the provisions of the ULDR as set forth and/or the BOA approval as sought out will not deprive the applicant of a substantial property right nor provide a more profitable use of the property in either case.

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and The unique hardship relevant to the applicant is the significant cost implications (+/- \$197K) that would be applicable for the mandatory redesign of the residence, as well as the associated construction costs for the modifications, a resultant of having to remove and / or reduce the pool canopy / overhang structure. As stated previously, the construction documentation was designed, approved and inspected as such to be in conformance with the provisions as forth in the ULDR. Had the current discrepancy/encroachment been determined during the plan review process or while constructing the new residence, the projected modifications could have and would have been addressed WITHOUT the significant cost implications now presented. Please refer to the cost estimate as provided by the original General Contractor to address the potential modifications.

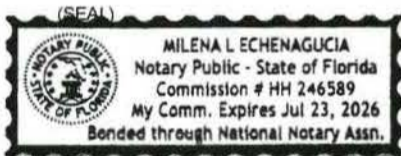
e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare. The BOA approval as requested will indeed make it possible for reasonable use of the property / pool deck area (specifically) as originally intended. In addition, the requested BOA approval will not in any manner disrupt the harmony of the adjacent properties or present any incompatibilities with the surrounding neighborhood or otherwise be detrimental to the health, safety and welfare of the general public.

**AFFIDAVIT:** I, Lawrence Walters the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

  
\_\_\_\_\_  
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 18 day of JANUARY, 2024



  
\_\_\_\_\_  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 7-23-2026.



## Page 3: Checklist for submittal and completeness:

The following information and checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide the information/items below will result in your application being deemed incomplete.

- Board of Adjustment Application Form** (the Board of Application form must be complete with the applicable information, signatures, and notarizations). \*Complete and submit this entire application form with your submittal.
- Proof of Ownership** (warranty deed or tax record including corporation documents and Sunbiz verification name).
- Authorization Form** (Property owner(s) original notarized signature(s) is required (if applicable).
- Narrative** (include the applicable ULDR code sections, Date, specific request and criteria as described in the specifications for submittal by application. The narrative must be titled "Narrative" and indicate the author).
- Color Photographs** (Color photos of the entire property and all surrounding properties dated and labeled and identified as to orientation).
- Survey** (The survey of the property must be digitally signed and sealed, showing existing conditions; survey must be As Built with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of land(s) not included in the proposed project unless specifically requested by the city). \*The date on the Survey should not exceed one (1) year.
- Site Plan** (A full set of plans must be submitted a survey may be substituted if the requested variance is clearly indicated) Cover sheet on plan set to state project name and table of contents.
- Elevations**
- Landscape Plans**
- Additional Plans**
- Mail Notification Documents**

• MAIL NOTICE: Mail notice shall be given to owners of land within three hundred (300) feet of the subject site ten (10) days prior to the date set for the public hearing.

- **TAX MAP:** Applicant shall provide a tax map from the Broward County Property Appraiser of all property within a three hundred (300) foot radius, with each property clearly shown and delineated. Each property within the notice area must be numbered (by Folio ID) on the map to cross-reference with property owners notice list.
- **PROPERTY OWNERS NOTICE LIST:** Applicant shall provide a property owner notice list with the names, property control numbers (Folio ID) and complete addresses for all property owners within the required three hundred (300) foot radius. The list shall also include all homeowners' associations, condominium associations, municipalities and counties noticed, as indicated on the tax roll.
- **ENVELOPES:** The applicant shall provide business size (#10) envelopes with first class postage attached (stamps only, metered mail will not be accepted). Envelopes must be addressed to all property owners within the required three hundred (300) foot radius, and mailing addresses must be typed or labeled; no handwritten addresses will be accepted. The return address shall be listed on all envelopes as follows:

City of Fort Lauderdale- Zoning & Landscaping Division -BOA  
700 N.W. 19th Avenue  
Fort Lauderdale, Florida 33311

### How to Order a Tax Map and Notice List.

To order a tax map and notice list, please Contact Heather Hanson at [hhanson@bcopa.net](mailto:hhanson@bcopa.net) or call 954-357-6855 OR Kenny Gibbs at [kgibbs@bcopa.net](mailto:kgibbs@bcopa.net) or call 954-357-5503.

**DISTRIBUTION:** The City of Fort Lauderdale, Zoning & Landscaping Division will mail all notices prior to the public hearing meeting date, as outlined in Section 47-27.

### OVERVIEW FOR ONLINE SUBMITTAL REQUIREMENTS:

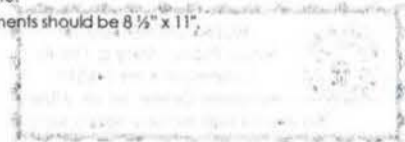
Submittals must be conducted through the [City's online citizen access portal](#) **LauderBuild**. No hardcopy application submittals are accepted. Information and items listed on the above checklist are important submittal requirements that applicants must follow and submit online to be deemed complete. View all plan and document requirements at [LauderBuild Plan Room](#).

- Uploading Entire Submittal upload all documents at time the application is submitted to prevent delays in processing.
- [File Naming Convention](#) file names must adhere to the City's File Naming Convention.
- Reduce File Size plan sets, and other large files must be merged or flattened to reduce file size.
- Plan Sets plan sets like site plans, plats, etc. must be submitted as a single pdf file. Staff will instruct when otherwise.
- Document Categories choose the correct document category when uploading.

### SUBMIT 14 COPY SETS

14 copy sets of each item listed on the checklist will be due **AFTER** the Application submittal has been Deemed Complete.

All 14 copy sets must be clear and legible. The survey and plans must be at half-size scale 11X17" and all non-plan documents should be 8 1/2" x 11".



**SIGN NOTICE**

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

**AFFIDAVIT OF POSTING SIGNS**

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. \_\_\_\_\_

APPLICANT: Lawrence Walters

PROPERTY: 1616 SW 17th Avenue, Fort Lauderdale, FL 33312

PUBLIC HEARING DATE: \_\_\_\_\_

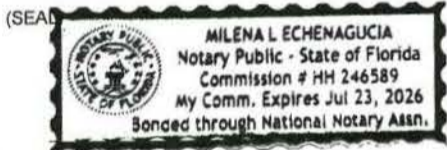
BEFORE ME, the undersigned authority, personally appeared \_\_\_\_\_, who upon being duly sworn and cautioned, under oath deposes and says:

1. Affiant is the Applicant in the above cited City of Fort Lauderdale **Board or Commission Case**.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the **Board or Commission**.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least **fifteen (15)** days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the **Board or Commission**. **Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.**
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division **five (5)** calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2. of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. LW (Initial here)

Affiant \_\_\_\_\_

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 18 day of JANUARY, 2024.



Milena Echenagucia  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 7-23-2026

## Page 5: Technical Specifications

### A. SITE PLAN

1. Title Block including project name and design professional's address and phone number
2. Scale (1" = 30' min., must be engineer's scale)
3. North indicator
4. Location map showing relationship to major arterials
5. Drawing and revision dates, as applicable
6. Full legal description
7. Site Plan Data Table
  - Current use of property
  - Land Use designation
  - Zoning designation
  - Site area (sq. ft. and acres)
  - Setback table (required vs. provided)
  - Open space
8. Site Plan Features (graphically indicated)
  - Setbacks and building separations (dimensioned)
  - Project signage (if applicable)
  - Easements (as applicable)

(Please note additional site plan information may be necessary to fully address the requested variance)

### B. BUILDING ELEVATIONS (as applicable)

1. All building facades with directional labels (i.e. North, South) and building names if more than one building
2. Dimensions, including height and width of all structures
3. Dimensions of setbacks and required setbacks from property lines
4. Dimension grade at crown of road, at curb, sidewalk, building entrance, and finished floor
5. Include proposed signage



<b>Site Address</b>	1616 SW 17 AVENUE, FORT LAUDERDALE FL 33312	<b>ID #</b>	5042 16 35 0150
<b>Property Owner</b>	ESTATE MANORS INC WALTERS, LAWRENCE	<b>Millage</b>	0312
<b>Mailing Address</b>	1616 SW 17 AVE FORT LAUDERDALE FL 33312	<b>Use</b>	00
<b>Abbr Legal Description</b>	BOSSERT ISLES 46-42 B LOT 15		

The just values displayed below were set in compliance with [Sec. 193.011](#), Fla. Stat., and include a reduction for costs of sale and other adjustments required by [Sec. 193.011\(8\)](#).

\* 2024 values are considered "working values" and are subject to change.

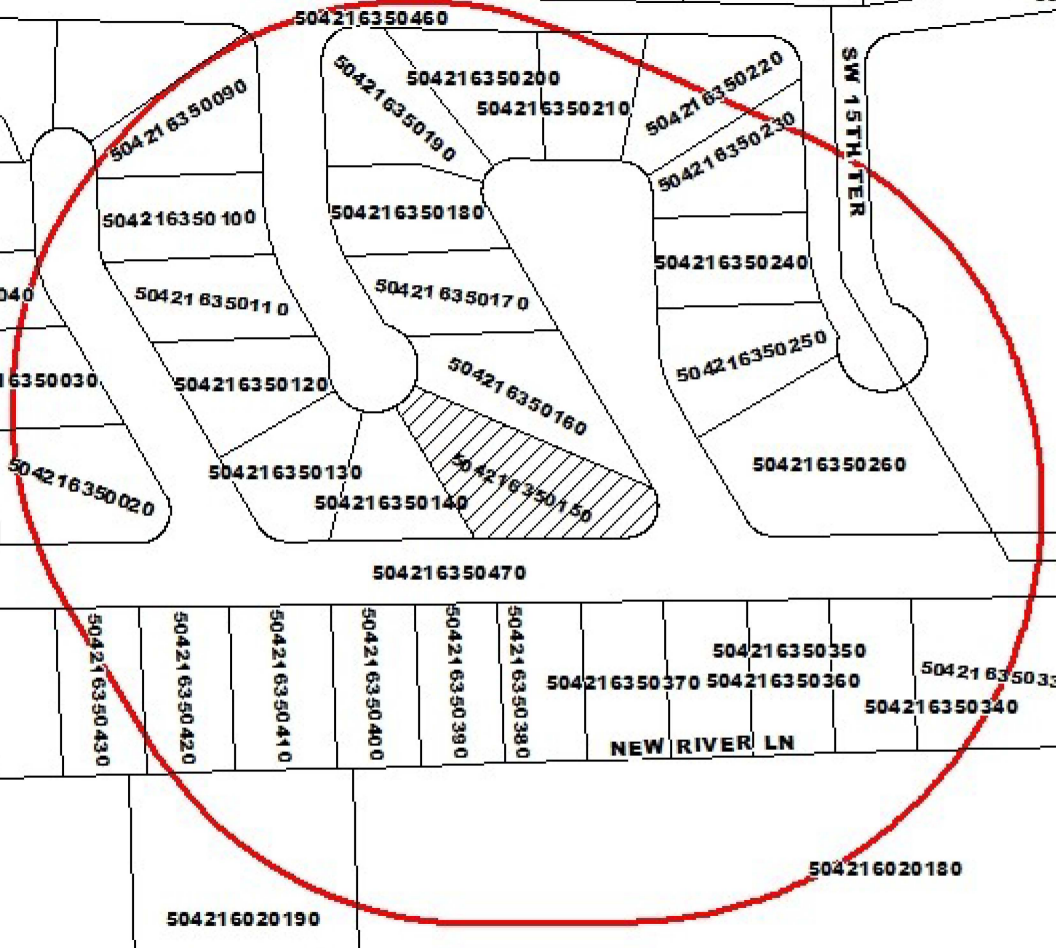
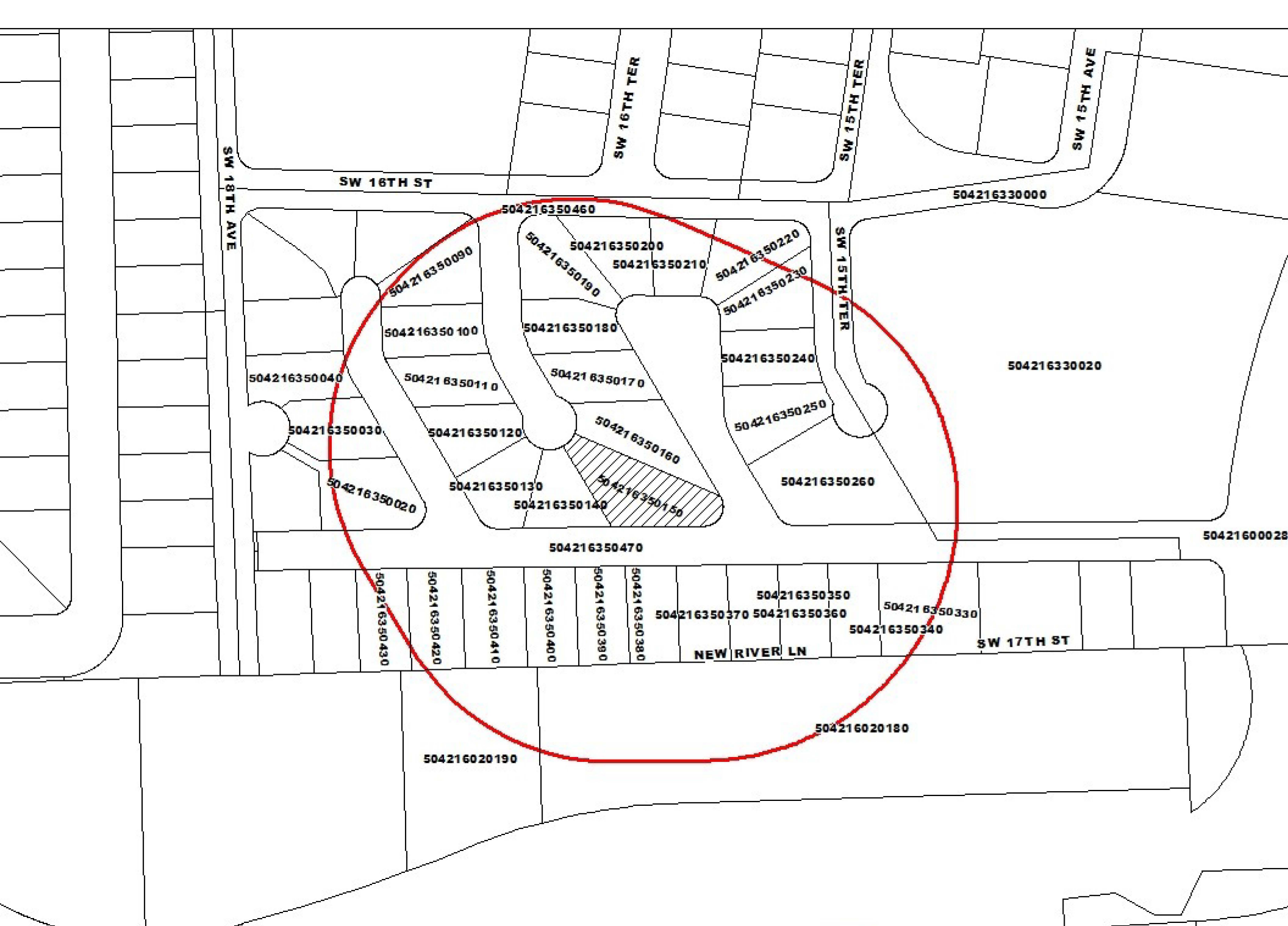
Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2024*	\$722,210		\$722,210	\$722,210	
2023	\$722,210		\$722,210	\$476,650	\$10,781.75
2022	\$433,320		\$433,320	\$433,320	\$8,198.13

2024* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
<b>Just Value</b>	\$722,210	\$722,210	\$722,210	\$722,210
<b>Portability</b>	0	0	0	0
<b>Assessed/SOH</b>	\$722,210	\$722,210	\$722,210	\$722,210
<b>Homestead</b>	0	0	0	0
<b>Add. Homestead</b>	0	0	0	0
<b>Wid/Vet/Dis</b>	0	0	0	0
<b>Senior</b>	0	0	0	0
<b>Exempt Type</b>	0	0	0	0
<b>Taxable</b>	\$722,210	\$722,210	\$722,210	\$722,210

Sales History			
Date	Type	Price	Book/Page or CIN
3/13/2023	QCD-D	\$50,000	118746477
3/3/2021	WD-Q	\$475,000	117097029
2/14/2018	WD-Q	\$457,000	114894129
12/6/2016	WD-Q	\$450,000	114097149
2/10/2015	WD-Q	\$355,000	112827024

Land Calculations		
Price	Factor	Type
\$55.00	13,131	SF
<b>Adj. Bldg. S.F.</b>		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F3		
L								
1						13131		



0 37.5 75 150 225 300 Feet

MARTY KIAR  
BROWARD COUNTY PROPERTY APPRAISER



1616 SW 17 AVE  
DATE OF PRINT: 01/18/2024

FOLIO_NUMB	NAME_LINE_
504216000280	TIITF/STATE OF FLORIDA
504216020180	SHM SOUTH FORK LLC
504216020190	SHM SOUTH FORK LLC
504216330020	SHADY BANKS ESTATES LLC
504216350020	HAGER,JULIE & TIMOTHY
504216350030	GOLABEK,GREGORY & GRACE
504216350040	ALVAREZ,ALEXANDER & RUBY A
504216350090	JAXTHEIMER,ROBERT R
504216350100	GARCIA,KATHRYN P
504216350110	MIRSHAMSI,AMIR S & CAROLINE D
504216350120	ALLEN,EUGENE
504216350130	1617 SHADY BANKS VILLA LLC
504216350140	SIMONETTA,DAVID J
504216350150	ESTATE MANORS INC
504216350160	WESTBERRY,ARNOLD HOKE III
504216350170	ALKHALISI,ALI A H/E
504216350180	JONES,WILLIAM KINZY JR
504216350190	HALL,RACHEL
504216350200	WAHN,PETER C & GAIL D
504216350210	FREDERICK,ROBERT C & KATHLEEN
504216350220	MAY,MICHAEL J
504216350230	RIZNICK,SCOTT THOMAS & LINDA
504216350240	MANSARAM,NANDRA
504216350250	RIVER HOUSE OF FLORIDA LLC
504216350260	ANDERSON,CARMEN
504216350330	MILLER,CHRISTOPHER BENJAMIN JR
504216350340	SHM SOUTH FORK LLC
504216350350	SHM SOUTH FORK LLC
504216350360	ASSOCIATED INDUSTRIAL SUPPLY CO
504216350370	AFFILIATED LEASING INC
504216350380	ASSOCIATED INDUSTRIAL SUPPLY CO
504216350390	AFFILIATED LEASING INC
504216350400	PERKINS,JAY WILLIAM
504216350410	HUTCHINS,SIMON H/E
504216350420	WOODMAN,CONNIE
504216350430	SPERLING,MITZI & STEPHEN
504216350460	PUBLIC LAND
504216350470	PUBLIC LAND

NAME\_LINE1

OCEAN CLOUD LIV TR

CHARLES,KELLY  
WALTERS,LAWRENCE  
WESTBERRY,MARCELA MARIA  
MANSARAM,NANDRA  
JONES,JENNIFER W  
HALL,RALPH

%MATT LOWEN

STIRLING-PERKINS,LIZABETH ANNE  
HUTCHINS,MARICELA  
CONNIE WOODMAN REV TR

% CITY OF FORT LAUDERDALE  
% CITY OF FORT LAUDERDALE

ADDRESS_LI	CITY	ST/ZIP
3900 COMMONWEALTH BLVD MS 100	TALLAHASSEE	FL 32399
14785 PRESTON RD STE 975	DALLAS	TX 75254
14785 PRESTON RD STE 975	DALLAS	TX 75254
2308 SUNRISE KEY BLVD	FORT LAUDERDALE	FL 33304
1616 SW 18 AVE	FORT LAUDERDALE	FL 33312
1523 E OAKTON ST STE B	DES PLAINES	IL 60018
1612 SW 18 AVE	FORT LAUDERDALE	FL 33312
1601 SW 17 AVE	FORT LAUDERDALE	FL 33312
1605 SW 17 AVE	FORT LAUDERDALE	FL 33312
1609 SW 17 AVE	FORT LAUDERDALE	FL 33312
1613 SW 17 AVE	FORT LAUDERDALE	FL 33312
1055 S FEDERAL HWY	HOLLYWOOD	FL 33020
1620 SW 17 AVE	FORT LAUDERDALE	FL 33312
1616 SW 17 AVE	FORT LAUDERDALE	FL 33312
1612 SW 17 AVE	FORT LAUDERDALE	FL 33312
1608 SW 17 AVE	FORT LAUDERDALE	FL 33312
1604 SW 17 AVE	FORT LAUDERDALE	FL 33312
1600 SW 17 AVE	FORT LAUDERDALE	FL 33312
1610 SW 16 ST	FORT LAUDERDALE	FL 33312
1600 SW 16 ST	FORT LAUDERDALE	FL 33312
1540 SW 16 ST	FORT LAUDERDALE	FL 33312
1605 SW 15 TER	FORT LAUDERDALE	FL 33312
1609 SW 15 TER	FORT LAUDERDALE	FL 33312
1615 SW 15TH TER	FORT LAUDERDALE	FL 33312
1617 SW 15 TER	FORT LAUDERDALE	FL 33312
1525 SW 17 ST	FORT LAUDERDALE	FL 33312
14785 PRESTON RD STE 975	DALLAS	TX 75254
14785 PRESTON RD STE 975	DALLAS	TX 75254
PO BOX 2889	HUTCHINSON	KS 67504
PO BOX 2889	HUTCHINSON	KS 67504
PO BOX 2889	HUTCHINSON	KS 67504
PO BOX 2889	HUTCHINSON	KS 67504
1613 SW 17 ST	FORT LAUDERDALE	FL 33312
1701 SW 17 ST	FORT LAUDERDALE	FL 33312
1709 SW 17 ST	FORT LAUDERDALE	FL 33312
1713 SW 17 ST	FORT LAUDERDALE	FL 33312
100 N ANDREWS AVE	FORT LAUDERDALE	FL 33301
100 N ANDREWS AVE	FORT LAUDERDALE	FL 33301



ADDRESS__1		LEGAL_LINE
TALLAHASSEE	FL32399	16-50-42
DALLAS	TX75254	MRS E F MARSHALLS SUB REV PLAT
DALLAS	TX75254	MRS E F MARSHALLS SUB REV PLAT
FORT LAUDERDALE	FL33304	NEW RIVER BANKS 44-22 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
DES PLAINES	IL60018	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
HOLLYWOOD	FL33020	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
DALLAS	TX75254	BOSSERT ISLES 46-42 B
DALLAS	TX75254	BOSSERT ISLES 46-42 B
HUTCHINSON	KS67504	BOSSERT ISLES 46-42 B
HUTCHINSON	KS67504	BOSSERT ISLES 46-42 B
HUTCHINSON	KS67504	BOSSERT ISLES 46-42 B
HUTCHINSON	KS67504	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33301	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33301	BOSSERT ISLES 46-42 B

LEGAL\_LI\_1

PORTION OF SOUTH FORK OF NEW

1-2 B 16-50-42

1-2 B 16-50-42

TRACT B

PT TRACT B

LOT 3

LOT 4

LOT 9

LOT 10

LOT 11

LOT 12

LOT 13

LOT 14

LOT 15

LOT 16

LOT 17

LOT 18 & PORTION OF LOT 19 DESC

LOT 19 LESS COMM SW COR OF

LOT 20

LOT 21

LOT 22

LOT 23

LOT 24

LOT 25

LOT 26,27

TRACT A E 78 OF W 876 AKA LOT 33

TRACT A E 64 OF W 798

TRACT A E 64 OF W 734

TR A E 65 OF W 670 AKA LOT 36

TR A E 65 OF W 605 AKA LOT 37

TR A E 65 OF W 540 AKA LOT 38

TR A E 65 OF W 475 AKA LOT 39

TR A E 65 OF W 410 AKA LOT 40

TR A E 80 OF W 345 AKA LOT 41

TR A E 70 OF W 265 AKA LOT 42

TR A E 65 OF W 195 AKA LOT 43

ALL AVENUES,STREETS, TERRACES

ALL CANALS ARE HEREBY DEDICATED

LEGAL\_LI\_2

RIVER CANAL LYING WITHIN SAID

LOT 17 LYING IN E3/4 OF NE1/4 OF

W 175 OF FOLLOWING DESC-LOT 17

LESS PT DESC AS BEG

AS COMM SW COR OF SAID LOT,E ALG

SAID LOT,E ALG S/L 73.07 TO

& TR A E 50 OF W 926 AKA LOT 32

AKA:LOT 34

AKA:LOT 35

ARE HEREBY DEDICATED TO THE

TO THE PERPETUAL USE OF THE

LEGAL\_LI\_3

SEC 16, LESS A PORTION OF CANAL  
SW1/4 LESS W 175  
LYING IN E3/4 OF NE1/4 OF SW1/4

AT SW COR TR B,E 88,N 75.89,NWLY

LEGAL\_LI\_4

DESC AS ORB 30521/667 B  
LYING N OF RIVER

56.83,SWLY ARC DIST 42.24 TO NW

S/L 73.07 TO POB,SELY 45.76,NWLY  
POB,SELY 45.76,NWLY 31.86,

31.86,NWLY 14.30 TO POB  
NWLY 14.30 TO POB

PERPETUAL OF THE PUBLIC IN FEE  
PUBLIC IN FEE SIMPLE

SIMPLE

LEGAL\_LI\_5

LEGAL\_LI\_6

COR SAID TR B,S 100.71 TO POB

LEGAL\_LI\_7

LEGAL\_LI\_8

LEGAL\_LI\_9

LEGAL\_L\_10

LEGAL\_L\_11

LEGAL\_L\_12

## LEGAL\_L\_13

ZIP4	MILL/US	US/MF/C	JUST_LAND	JUST_BUILD	JUST_OTHE
	0312 95	3B 1	99430	0	0
	0312 20 13	3B	4357580	924640	0
	0312 20 13	3B	1504680	307690	0
	0312 01 01	3B	4967950	2001590	0
	0312 01 01	3B	354030	491510	0
2184	0312 01 01	3B	219700	438930	0
	0312 01 01	3B	203800	624460	0
	0312 01 01	3B	142460	740780	0
4123	0312 01 01	3B	213750	578470	0
4123	0312 01 01	3B	213500	862080	0
	0312 01 01	3B	209050	555470	0
	0312 01 01	3B	238470	1235720	0
4124	0312 01 01	3B	202190	717420	0
	0312 00	3B	722210	0	0
4124	0312 01 01	3B	268800	754940	0
4124	0312 01 01	3B	210500	677700	0
4124	0312 01 01	3B	207300	664400	0
	0312 01 01	3B	147630	732300	0
4138	0312 01 01	3B	124290	417310	0
4138	0312 01 01	3B	108570	417560	0
3381	0312 01 01	3B	143760	416300	0
3313	0312 01 01	3B	126920	562560	0
3313	0312 01 01	3B	214130	997420	0
3313	0312 01 01	3B	251930	1124680	0
3313	0312 01 01	3B	607230	1300170	0
	0312 01 02	3B	351280	725560	0
	0312 00	3B	383250	0	0
	0312 00	3B	387050	0	0
2889	0312 00	3B	396950	0	0
2889	0312 00	3B	400900	0	0
2889	0312 01 01	3B	184970	334380	0
2889	0312 01 01	3B	186920	338680	0
4169	0312 01 01	3B	186650	266720	0
	0312 01 01	3B	232470	356620	0
4166	0312 01 01	3B	200730	449530	0
	0312 01 01	3B	186560	266130	0
	0312 94	3B	31570	0	0
	0312 95	3B	9500	0	0



LY_JUSTVAL	LY_SOHL	LY_SOHB	PREV_SOH	NEW_SOH	NEW_SB_SC	HE1_AMOU	HE2_AMOU	WVD_AMO
99700	0	0	99700	99430	99430	0	0	0
5282220	0	0	5057970	5282220	5282220	0	0	0
1812370	0	0	1676830	1812370	1812370	0	0	0
6969540	0	0	6969540	6969540	6969540	0	0	0
843900	0	0	500000	516620	516620	25000	25000	0
658630	0	0	542990	597280	658630	0	0	0
828260	0	0	544130	560450	560450	25000	25000	0
881870	0	0	445080	459800	459800	25000	25000	0
792220	0	0	318520	328070	328070	25000	25000	0
1075580	0	0	511690	527040	527040	25000	25000	0
764520	0	0	393670	405480	405480	25000	25000	0
1474210	0	0	1474210	1474190	1474190	0	0	0
921060	0	0	462960	475390	475390	25000	25000	0
722210	0	0	722210	722210	722210	0	0	0
1023740	0	0	593280	1023740	1023740	0	0	0
888200	0	0	516080	531560	531560	25000	25000	0
871700	0	0	471240	485370	485370	25000	25000	0
879200	0	0	681420	750290	879930	0	0	0
541600	0	0	254140	261760	261760	25000	25000	0
526130	0	0	262670	270550	270550	25000	25000	0
560060	0	0	320850	330470	330470	25000	25000	0
689480	0	0	267380	275400	275400	25000	25000	0
1211550	0	0	1169920	1205010	1205010	25000	25000	0
1376610	0	0	942900	1376610	1376610	0	0	0
1907400	0	0	1330600	1370510	1370510	25000	25000	5000
1076840	0	0	227260	234070	234070	25000	25000	0
383250	0	0	255040	280540	383250	0	0	0
387050	0	0	257570	283320	387050	0	0	0
396950	0	0	264160	290570	396950	0	0	0
400900	0	0	266780	293450	400900	0	0	0
519350	0	0	434450	477890	519350	0	0	0
525600	0	0	439860	483840	525600	0	0	0
453370	0	0	337680	347810	347810	25000	25000	0
589090	0	0	432270	445230	445230	25000	25000	0
650260	0	0	284180	292700	292700	25000	25000	5000
452690	0	0	344020	354340	354340	25000	25000	0
31570	0	0	31570	31570	31570	0	0	0
9500	0	0	9500	9500	9500	0	0	0

EXEMPTION	COUNTY_M	SCHOOL_M	CITY_MEX_	INDEP_MEX	COUNTY_TA	SCHOOL_TA	CITY_TAXAE	INDEP_TAXA
0	99430	99430	99430	99430	0	0	0	0
0	0	0	0	0	5282220	5282220	5282220	5282220
0	0	0	0	0	1812370	1812370	1812370	1812370
0	0	0	0	0	6969540	6969540	6969540	6969540
0	0	0	0	0	466620	491620	466620	466620
0	0	0	0	0	597280	658630	597280	597280
0	0	0	0	0	510450	535450	510450	510450
0	0	0	0	0	409800	434800	409800	409800
0	0	0	0	0	278070	303070	278070	278070
0	0	0	0	0	477040	502040	477040	477040
0	0	0	0	0	355480	380480	355480	355480
0	0	0	0	0	1474190	1474190	1474190	1474190
0	0	0	0	0	425390	450390	425390	425390
0	0	0	0	0	722210	722210	722210	722210
0	0	0	0	0	1023740	1023740	1023740	1023740
0	0	0	0	0	481560	506560	481560	481560
0	0	0	0	0	435370	460370	435370	435370
0	0	0	0	0	750290	879930	750290	750290
0	0	0	0	0	211760	236760	211760	211760
0	0	0	0	0	220550	245550	220550	220550
0	0	0	0	0	280470	305470	280470	280470
0	0	0	0	0	225400	250400	225400	225400
0	0	0	0	0	1155010	1180010	1155010	1155010
0	0	0	0	0	1376610	1376610	1376610	1376610
0	0	0	0	0	1315510	1340510	1315510	1315510
0	0	0	0	0	184070	209070	184070	184070
0	0	0	0	0	280540	383250	280540	280540
0	0	0	0	0	283320	387050	283320	283320
0	0	0	0	0	290570	396950	290570	290570
0	0	0	0	0	293450	400900	293450	293450
0	0	0	0	0	477890	519350	477890	477890
0	0	0	0	0	483840	525600	483840	483840
0	0	0	0	0	297810	322810	297810	297810
0	0	0	0	0	395230	420230	395230	395230
0	0	0	0	0	237700	262700	237700	237700
0	0	0	0	0	304340	329340	304340	304340
0	31570	31570	31570	31570	0	0	0	0
0	9500	9500	9500	9500	0	0	0	0

HE_LY	FME_W	EXISO	CO	FID	DEL_VALUE	ADD_VALUE	LIG	GARBAGE_AS	FIR FI	FIRE_ASSES	SAISAFE_NEI_1	DR
100	10	14	Y		0	0		0.00 03 X		1		0
		20	N Y		0	0		0.00 03 C		3267		0
		20	N Y		0	0		0.00 03 C		2486		0
		24	Y		0	0	F	9.44 03 R		1		0
100	100	16	16	Y	0	1620	F	9.44 03 R		1		0
		08	Y		0	0	F	9.44 03 R		1		0
100	100	19	19	Y	0	0	F	9.44 03 R		1		0
100	100	21	21	Y	0	1370	F	9.44 03 R		1		0
1/1	1/1	94	08	Y	0	0	F	9.44 03 R		1		0
100	100	10	10	Y	0	0	F	9.44 03 R		1		0
1/1	1/1	01	08	Y	0	0	F	9.44 03 R		1		0
		23	Y		0	0	F	9.44 03 R		1		0
100	100	19	19	Y	1450	0	F	9.44 03 R		1		0
		24	Y		0	0		0.00 03 L		1		0
100		24	Y		0	0	F	9.44 03 R		1		0
100	100	18	18	Y	0	0	F	9.44 03 R		1		0
100	100	12	12	Y	0	0	F	9.44 03 R		1		0
		22	Y		0	730	F	9.44 03 R		1		0
1/1	1/1	94	08	Y	0	0	F	9.44 03 R		1		0
1/1	1/1	94	08	Y	0	0	F	9.44 03 R		1		0
100	100	12	12	Y	0	0	F	9.44 03 R		1		0
1/1	1/1	95	08	Y	0	0	F	9.44 03 R		1		0
100	100	18	18	Y	0	0	F	9.44 03 R		1		0
100		24	Y		0	0	F	9.44 03 R		1		0
100	100	1	22	22	Y	0	0	F	9.44 03 R	1		0
1/1	1/1	94	08	Y	0	0	F	18.88 03 R		1		0
		20	Y		0	0		0.00 03 L		1		0
		20	Y		0	0		0.00 03 L		1		0
		08	Y		0	0		0.00 03 L		1		0
		08	Y		0	0		0.00 03 L		1		0
		08	Y		0	0	F	9.44 03 R		1		0
		08	Y		0	0	F	9.44 03 R		1		0
100	100	11	11	Y	0	0	F	9.44 03 R		1		0
100	100	16	16	Y	0	0	F	9.44 03 R		1		0
1/1	1/1	1	95	08	Y	0	0	F	9.44 03 R	1		0
100	100	15	15	Y	0	0	F	9.44 03 R		1		0
100	14	15	Y		0	0		0.00 03 X		1		0
100	14	15	Y		0	0		0.00 03 X		1		0

0.00	0.00		0.00	0.0000000000	0.0000000000
0.00	0.00	##### WD'	56000.00	0.0000000000	0.0000000000
0.00	0.00	##### WD'	56000.00	0.0000000000	0.0000000000
0.00	0.00	##### WD	56000.00	0.0000000000	0.0000000000
0.00	0.00	##### SWL	4102.00	0.0000000000	0.0000000000
0.00	0.00	5/5/2004 WD	3500.00	37602.0000000000	189.0000000000
0.00	0.00	8/1/2018 WD	3955.00	0.0000000000	0.0000000000
0.00	0.00	##### WD	4036.20	0.0000000000	0.0000000000
0.00	0.00	2/1/1990 QCD	0.55	17161.0000000000	605.0000000000
0.00	0.00	##### WD	3507.00	46381.0000000000	1650.0000000000
0.00	0.00	3/2/2020 QCD	0.70	0.0000000000	0.0000000000
0.00	0.00	##### WD	11893.00	0.0000000000	0.0000000000
0.00	0.00	##### WD	4060.00	0.0000000000	0.0000000000
0.00	0.00	##### QCD	350.00	0.0000000000	0.0000000000
0.00	0.00	##### WD	8540.00	0.0000000000	0.0000000000
0.00	0.00	##### TD	3703.00	0.0000000000	0.0000000000
0.00	0.00	##### WD	2975.00	47655.0000000000	1803.0000000000
0.00	0.00	##### WD	4655.00	0.0000000000	0.0000000000
0.00	0.00	4/1/1991 WD	1050.50	18348.0000000000	290.0000000000
0.00	0.00	##### WD	0.70	0.0000000000	0.0000000000
0.00	0.00	##### WD	2030.00	48121.0000000000	1586.0000000000
0.00	0.00	##### QCD	0.70	26384.0000000000	433.0000000000
0.00	0.00	##### WD	3819.90	0.0000000000	0.0000000000
0.00	0.00	9/6/2023 QCD	0.70	0.0000000000	0.0000000000
0.00	0.00	##### WD	9100.00	0.0000000000	0.0000000000
0.00	0.00	##### QCD	0.70	36759.0000000000	1608.0000000000
0.00	0.00	##### WD'	56000.00	0.0000000000	0.0000000000
0.00	0.00	##### WD'	56000.00	0.0000000000	0.0000000000
0.00	0.00	3/1/1982 WD'	882.00	10091.0000000000	717.0000000000
0.00	0.00	3/1/1982 WD'	882.00	10091.0000000000	717.0000000000
0.00	0.00	3/1/1982 WD'	882.00	10091.0000000000	717.0000000000
0.00	0.00	##### QCD	1519.00	31545.0000000000	1947.0000000000
0.00	0.00	##### WD	2275.00	46832.0000000000	1461.0000000000
0.00	0.00	##### WD	0.70	0.0000000000	0.0000000000
0.00	0.00	##### QCD	0.70	0.0000000000	0.0000000000
0.00	0.00	##### WD	2485.00	50949.0000000000	247.0000000000
0.00	0.00		0.00	0.0000000000	0.0000000000
0.00	0.00		0.00	0.0000000000	0.0000000000

SALE_DAT	DEE	STAMP_AM	BOOK_2	PAGE_2	SALE_DAT	DEE	STAMP_AM
		0.00	0.0000000000	0.0000000000			0.00
#####	WD'	40250.00	0.0000000000	0.0000000000	#####	WD'	8750.00
#####	WD'	40250.00	0.0000000000	0.0000000000	#####	WD'	8750.00
#####	WD	29750.00	50334.0000000000	526.0000000000	#####	QCD	0.70
#####	CET	3342.50	0.0000000000	0.0000000000	#####	QCD	0.70
		0.00	0.0000000000	0.0000000000			0.00
4/2/2018	TD	2205.00	0.0000000000	0.0000000000	#####	WD	3850.00
#####	WD	3150.00	0.0000000000	0.0000000000	#####	WD	2919.00
#####	WD	775.00	0.0000000000	0.0000000000	9/1/1985	WD	750.00
3/5/2001	WD	0.70	31515.0000000000	1217.0000000000	4/1/1992	WD	1740.00
#####	WD	0.70	45616.0000000000	439.0000000000	#####	WD	2275.00
#####	SWI	3451.00	0.0000000000	0.0000000000	#####	CET	3309.60
#####	WD	3325.00	0.0000000000	0.0000000000	#####	QC*	0.70
3/3/2021	WD	3325.00	0.0000000000	0.0000000000	#####	WD	3199.00
#####	WD	4235.00	50621.0000000000	420.0000000000	#####	WD	1375.00
#####	QCD	0.70	43826.0000000000	1198.0000000000	8/1/1962	WD	32.00
2/3/1999	QCD	0.70	29210.0000000000	1076.0000000000	3/1/1981	QCD	0.40
#####	WD	3290.00	0.0000000000	0.0000000000	#####	WD	700.00
5/1/1989	WD	940.50	0.0000000000	0.0000000000	8/1/1978	WD	180.00
#####	QCD	0.70	47401.0000000000	1864.0000000000	8/1/1971	WD	96.00
1/5/2006	WD	5367.60	41223.0000000000	932.0000000000	#####	WD	1687.00
7/1/1993	WD	1155.00	20872.0000000000	949.0000000000	#####	WD	913.00
#####	WD	3325.00	35277.0000000000	486.0000000000	#####	WD	1568.00
#####	WD	6160.00	51190.0000000000	1950.0000000000	#####	WD	3325.00
#####	WD	5950.00	0.0000000000	0.0000000000	#####	QCD	0.60
#####	QCD	0.70	30885.0000000000	747.0000000000	#####	WD	300.00
#####	WD'	40250.00	0.0000000000	0.0000000000	#####	WD'	8750.00
#####	WD'	40250.00	0.0000000000	0.0000000000			0.00
		0.00	0.0000000000	0.0000000000			0.00
		0.00	0.0000000000	0.0000000000			0.00
		0.00	0.0000000000	0.0000000000			0.00
3/1/1982	WD	450.00	10081.0000000000	907.0000000000	1/1/1970	WD	75.00
#####	WD	1120.00	29340.0000000000	1451.0000000000	#####	WD	0.70
#####	WD	1960.00	47130.0000000000	1153.0000000000	#####	WD	4590.00
6/1/1994	WD	1249.50	22332.0000000000	952.0000000000	1/1/1971	WD	30.00
5/1/1993	WD	0.70	21047.0000000000	600.0000000000	9/1/1986	WD	375.00
		0.00	0.0000000000	0.0000000000			0.00
		0.00	0.0000000000	0.0000000000			0.00

BOOK_3	PAGE_3	SALE_DAT_DEE	STAMP_AM	BOOK_4
0.0000000000	0.0000000000		0.00	0.0000000000
47403.0000000000	1347.0000000000	##### QC*	0.70	46386.0000000000
47403.0000000000	1347.0000000000	##### QC*	0.70	46386.0000000000
48382.0000000000	1481.0000000000	##### QCD	0.70	48382.0000000000
0.0000000000	0.0000000000	##### QCD	0.70	42484.0000000000
0.0000000000	0.0000000000		0.00	0.0000000000
42319.0000000000	1490.0000000000	9/5/1994 PRD	0.70	22934.0000000000
45478.0000000000	1718.0000000000	##### QCD	0.70	43174.0000000000
0.0000000000	0.0000000000	##### WD	225.00	0.0000000000
19399.0000000000	911.0000000000	##### WD	1274.90	0.0000000000
30914.0000000000	1981.0000000000	4/1/1986 QCD	0.50	13368.0000000000
0.0000000000	0.0000000000	##### WD	5180.00	38576.0000000000
31545.0000000000	1941.0000000000	##### WD	2100.00	30013.0000000000
0.0000000000	0.0000000000	##### WD	3150.00	0.0000000000
14944.0000000000	565.0000000000		0.00	0.0000000000
5221.0000000000	673.0000000000		0.00	0.0000000000
9521.0000000000	995.0000000000	##### WD	25.50	0.0000000000
50474.0000000000	1763.0000000000	##### WD	1414.00	30451.0000000000
0.0000000000	0.0000000000	3/1/1964 CET	49.50	0.0000000000
0.0000000000	0.0000000000		0.00	0.0000000000
30013.0000000000	1310.0000000000	##### QCD	0.70	20290.0000000000
0.0000000000	0.0000000000	8/1/1989 QCD	0.55	0.0000000000
26648.0000000000	989.0000000000	7/1/1992 WD	1278.00	19667.0000000000
30896.0000000000	265.0000000000	##### WD	330.00	9567.0000000000
19039.0000000000	280.0000000000	3/1/1979 WD	540.00	0.0000000000
13083.0000000000	161.0000000000	##### WD	3000.00	0.0000000000
47403.0000000000	1347.0000000000	##### QC*	0.70	46386.0000000000
0.0000000000	0.0000000000	##### WD'	8750.00	47403.0000000000
0.0000000000	0.0000000000		0.00	0.0000000000
0.0000000000	0.0000000000		0.00	0.0000000000
0.0000000000	0.0000000000		0.00	0.0000000000
0.0000000000	0.0000000000		0.00	0.0000000000
25104.0000000000	116.0000000000	4/1/1965 WD	12.00	0.0000000000
39890.0000000000	1611.0000000000	##### WD	1715.00	29785.0000000000
0.0000000000	0.0000000000	##### WD	12.90	0.0000000000
0.0000000000	0.0000000000	##### WD	112.50	0.0000000000
0.0000000000	0.0000000000		0.00	0.0000000000
0.0000000000	0.0000000000		0.00	0.0000000000

0.0000000000		0.00	0.0000000000	0.0000000000
369.0000000000	##### CE*	0.70	46192.0000000000	938.0000000000
369.0000000000		0.00	0.0000000000	0.0000000000
1479.0000000000	##### PRD	0.70	48382.0000000000	1477.0000000000
1028.0000000000	##### WD	7350.00	41382.0000000000	134.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
980.0000000000	##### WD	166.05	5168.0000000000	378.0000000000
876.0000000000	5/1/1966 WD	42.00	0.0000000000	0.0000000000
0.0000000000	3/1/1963 WD	28.80	0.0000000000	0.0000000000
0.0000000000	5/1/1979 WD	387.00	0.0000000000	0.0000000000
711.0000000000	7/1/1977 WD	96.00	0.0000000000	0.0000000000
1211.0000000000	##### QCD	0.70	34404.0000000000	1235.0000000000
56.0000000000	##### WD	1168.75	17970.0000000000	935.0000000000
0.0000000000	##### WD	2485.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
1174.0000000000	##### WD	643.50	16418.0000000000	73.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
275.0000000000	##### QCD	0.70	0.0000000000	0.0000000000
0.0000000000	8/1/1987 WD	0.55	0.0000000000	0.0000000000
938.0000000000	##### WD	1006.50	0.0000000000	0.0000000000
247.0000000000	4/1/1976 WD	89.40	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000	5/1/1977 WD	171.00	0.0000000000	0.0000000000
369.0000000000	##### CE*	0.70	46192.0000000000	938.0000000000
1347.0000000000	##### QC*	0.70	46386.0000000000	369.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
21.0000000000	##### GD	98.10	4696.0000000000	368.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000	4/1/1981 WD	420.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000

LAND_CALC_	LAND_CALC1	LAI	LAND_CALC_2	LAND_CALC_3	LAI	LAND_CALC_5	LAND_CALC_6	LAI
0.10	994304.00	SF	0.00	0.00		0.00	0.00	
50.00	60000.00	SF	15.00	90505.00	SF	0.00	0.00	
50.00	26000.00	SF	15.00	13645.00	SF	0.00	0.00	
25.00	198718.00	SF	0.00	0.00		0.00	0.00	
30.00	11801.00	SF	0.00	0.00		0.00	0.00	
25.00	8788.00	SF	0.00	0.00		0.00	0.00	
25.00	8152.00	SF	0.00	0.00		0.00	0.00	
15.00	9497.00	SF	0.00	0.00		0.00	0.00	
25.00	8550.00	SF	0.00	0.00		0.00	0.00	
25.00	8540.00	SF	0.00	0.00		0.00	0.00	
25.00	8362.00	SF	0.00	0.00		0.00	0.00	
30.00	7949.00	SF	0.00	0.00		0.00	0.00	
28.00	7221.00	SF	0.00	0.00		0.00	0.00	
55.00	13131.00	SF	0.00	0.00		0.00	0.00	
25.00	10752.00	SF	0.00	0.00		0.00	0.00	
25.00	8420.00	SF	0.00	0.00		0.00	0.00	
25.00	8292.00	SF	0.00	0.00		0.00	0.00	
15.00	9842.00	SF	0.00	0.00		0.00	0.00	
15.00	8286.00	SF	0.00	0.00		0.00	0.00	
15.00	7238.00	SF	0.00	0.00		0.00	0.00	
15.00	9584.00	SF	0.00	0.00		0.00	0.00	
15.00	8461.00	SF	0.00	0.00		0.00	0.00	
25.00	8565.00	SF	0.00	0.00		0.00	0.00	
25.00	10077.00	SF	0.00	0.00		0.00	0.00	
30.00	20241.00	SF	0.00	0.00		0.00	0.00	
25.00	14047.00	SF	0.10	1054.00	SF	0.00	0.00	
50.00	7665.00	SF	0.00	0.00		0.00	0.00	
50.00	7741.00	SF	0.00	0.00		0.00	0.00	
50.00	7939.00	SF	0.00	0.00		0.00	0.00	
50.00	8018.00	SF	0.00	0.00		0.00	0.00	
25.00	7396.00	SF	0.10	700.00	SF	0.00	0.00	
25.00	7474.00	SF	0.10	700.00	SF	0.00	0.00	
25.00	7463.00	SF	0.10	790.00	SF	0.00	0.00	
25.00	9295.00	SF	0.10	970.00	SF	0.00	0.00	
25.00	8025.00	SF	0.10	1054.00	SF	0.00	0.00	
25.00	7458.00	SF	0.10	1054.00	SF	0.00	0.00	
0.51	61910.00	SF	0.00	0.00		0.00	0.00	
0.10	95035.00	SF	0.00	0.00		0.00	0.00	



LAND_CAL_8	LAND_CAL_9	LAI	SITUS_S	SITUS_S	SIT	SIT	SITUS_ST_4	SITUS	SIT	SITUS_ZIP_
0.00	0.00						DAVIE	BLVD	FL	33315
0.00	0.00	1500			SW		17	ST	FL	33315
0.00	0.00	1500	1700		SW		17	ST	FL	33312
0.00	0.00	1600			SW		15	AVE	FL	33312
0.00	0.00	1616			SW		18	AVE	FL	33312
0.00	0.00	1614			SW		18	AVE	FL	33312
0.00	0.00	1612			SW		18	AVE	FL	33312
0.00	0.00	1601			SW		17	AVE	FL	33312
0.00	0.00	1605			SW		17	AVE	FL	333124123
0.00	0.00	1609			SW		17	AVE	FL	333124123
0.00	0.00	1613			SW		17	AVE	FL	33312
0.00	0.00	1617			SW		17	AVE	FL	333124123
0.00	0.00	1620			SW		17	AVE	FL	333124124
0.00	0.00	1616			SW		17	AVE	FL	33312
0.00	0.00	1612			SW		17	AVE	FL	333124124
0.00	0.00	1608			SW		17	AVE	FL	333124124
0.00	0.00	1604			SW		17	AVE	FL	333124124
0.00	0.00	1600			SW		17	AVE	FL	333124124
0.00	0.00	1610			SW		16	ST	FL	333124138
0.00	0.00	1600			SW		16	ST	FL	333124138
0.00	0.00	1540			SW		16	ST	FL	333123381
0.00	0.00	1605			SW		15	TER	FL	333123313
0.00	0.00	1609			SW		15	TER	FL	333123313
0.00	0.00	1615			SW		15	TER	FL	333123313
0.00	0.00	1617			SW		15	TER	FL	333123313
0.00	0.00	1525			SW		17	ST	FL	33312
0.00	0.00				SW		17	ST	FL	33312
0.00	0.00				SW		17	ST	FL	33312
0.00	0.00				SW		17	ST	FL	33312
0.00	0.00	1603			SW		17	ST	FL	33312
0.00	0.00	1607			SW		17	ST	FL	33312
0.00	0.00	1611			SW		17	ST	FL	33312
0.00	0.00	1613			SW		17	ST	FL	333124169
0.00	0.00	1701			SW		17	ST	FL	33312
0.00	0.00	1709			SW		17	ST	FL	333124166
0.00	0.00	1713			SW		17	ST	FL	33312
0.00	0.00				SW		16	ST	FL	33312
0.00	0.00				SW		16	ST	FL	33312

SITUS_	LAST_YRS_J	LAST_YRS_1	LAST_YRS_2	LAST_YRS_T	LAST_YRS_A	LAST_YRS_STWO	YRS_J	TWO_YRS_
99700	0	0	0	0	99700	99700	0	
4357580	924640	0	5057970	9907227	5057970	3757580	0	
1504680	307690	0	1676830	3579251	1676830	1244680	0	
4967950	2001590	0	6691940	12838216	6691940	4967950	1866200	
354030	489870	0	450000	925525	500000	354030	257970	
219700	438930	0	542990	1160471	542990	219700	302020	
203800	624460	0	494130	1008564	544130	203800	429590	
142460	739410	0	395080	822179	445080	142460	477080	
213750	578470	0	268520	584027	318520	213750	398090	
213500	862080	0	461690	947521	511690	213500	593170	
209050	555470	0	343670	725439	393670	209050	382060	
238470	1235740	0	1474210	2836260	1474210	238470	300890	
202190	718870	0	412960	855824	462960	202190	463700	
722210	0	0	476650	1078175	476650	433320	0	
268800	754940	0	543280	1101050	593280	268800	519640	
210500	677700	0	466080	955781	516080	210500	466210	
207300	664400	0	421240	871404	471240	207300	457270	
147630	731570	0	681420	1475294	681420	147630	471850	
124290	417310	0	204140	462882	254140	124290	269190	
108570	417560	0	212670	478934	262670	108570	269420	
143760	416300	0	270850	588413	320850	143760	268590	
126920	562560	0	217380	487798	267380	126920	363000	
214130	997420	0	1119920	2186125	1169920	214130	10	
251930	1124680	0	892900	1758938	942900	251930	774080	
607230	1300170	0	1275600	2479072	1330600	607230	684620	
351280	725560	0	177260	440715	227260	351280	496550	
383250	0	0	255040	575709	255040	252950	0	
387050	0	0	257570	581419	257570	255450	0	
396950	0	0	264160	596290	264160	261990	0	
400900	0	0	266780	602213	266780	264590	0	
184970	334380	0	434450	935890	434450	184970	230210	
186920	338680	0	439860	946627	439860	186920	233140	
186650	266720	0	287680	620082	337680	186650	183440	
232470	356620	0	382270	798073	432270	232470	245570	
200730	449530	0	229180	510002	284180	200730	308980	
186560	266130	0	294020	632013	344020	186560	183310	
31570	0	0	0	0	31570	31570	0	
9500	0	0	0	0	9500	9500	0	

TWO_YRS	TWO_YRS_1	TWO_YRS_A	TWO_YRS_2	BLDG_ADJ_S	BLDG_TOT_S	BLDG_UNIT	BLDG	BLD	B	BLDG
0	0	0	99700	0	0	0	0	0		0
0	3757580	7083138	3757580	3267	3267	0	2023	005	4	1
0	1244680	2512630	1244680	2486	2486	0	2023	005	2	1
0	6083590	11788431	6083590	2042	2656	1	2018	005	2	1
0	435440	879920	485440	2505	2950	1	1968	003	2	1
0	493630	989615	493630	1734	2488	1	1963	003	2	1
0	478290	959300	528290	2092	2622	1	1958	003	2	1
0	382120	781146	432120	1676	1830	1	1959	003	2	1
0	259250	553531	309250	1752	2097	1	1960	003	2	1
0	446790	900948	496790	2483	2683	1	1980	003	2	1
0	332210	688686	382210	2258	2592	1	1980	003	2	1
0	416840	845465	466840	2500	3031	1	1975	003	2	1
0	399480	813305	449480	2012	2090	1	1973	003	2	1
0	433320	819813	433320	0	0	0	0			0
0	526000	1047682	576000	2652	3203	1	1969	003	2	1
0	451050	908838	501050	1651	1907	1	1980	003	2	1
0	407520	828197	457520	2752	3153	1	1976	003	2	1
0	619480	1205507	619480	1666	1882	1	1973	003	2	1
0	196740	437730	246740	1485	1793	1	1963	003	2	1
0	205020	453068	255020	1609	1930	1	1963	003	2	1
0	261510	557716	311510	1808	2159	1	1959	003	2	1
0	209600	461553	259600	2065	4705	1	1969	003	2	1
0	117490	244143	167490	3273	3438	1	2023	005	2	1
0	865440	1676490	915440	2771	3204	1	1977	003	2	1
0	1241350	2372859	1291850	3556	4705	1	2017	005	2	1
0	167540	409465	217540	2663	2936	2	1969	003	2	2
0	231860	452442	231860	0	0	0	0			0
0	234160	456926	234160	0	0	0	0			0
0	240150	468615	240150	0	0	0	0			0
0	242530	473262	242530	0	0	0	0			0
0	394960	801996	394960	1430	1607	1	1965	003	2	1
0	399880	811089	399880	1370	1543	1	1961	003	2	1
0	277850	587986	327850	1352	1683	1	1967	003	2	1
0	369680	758100	419680	2011	2244	1	1960	003	2	1
0	225410	490841	275910	1703	2130	1	1974	003	2	1
0	284000	599380	334000	1593	1740	1	1961	003	2	1
0	0	0	31570	0	0	0	0			0
0	0	0	9500	0	0	0	0			0

BLD	H	NCU_LAND	NCU_BLDG	NCULY_M	A_DATE	L_DATE	B_DATE	S/S/S/S/D	DISAS	S	SEN_EX_CO	SEN_EX_CIT
	N	0	0	1/1	1/1	0	0	0		0	0	0
407	N	0	0	1/1	1/1	0	0	0 E		0	0	0
407	N	0	0	1/1	1/1	0	0	0 E		0	0	0
001	N	0	0	1/1	1/1	101207	100423	100326 Q Q T T		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 C D T		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 Q D		0	0	0
001	N	0	0	1/1	1/1	101009	100302	100326 Q Q Q		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 Q		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 T T		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 Q C D		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 Q Q		0	0	0
	N	0	0	1/1	1/1	101009	100517	0 D Q Q Q		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 Q Q		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 Q T		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 Q		0	0	0
001	N	0	0	1/1	1/1	101019	100302	100326 Q Q D		0	0	0
001	N	0	0	1/1	1/1	101009	100302	100326		0	0	0
001	N	0	0	1/1	1/1	101009	100302	100326 T T		0	0	0
001	N	0	0	1/1	1/1	101009	100302	101005 Q		0	0	0
001	N	0	0	1/1	1/1	101009	100302	100326		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 Q		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 T Q		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 D E		0	0	0
102	N	0	0	1/1	1/1	101009	100517	100326		0	0	0
	N	0	0	1/1	1/1	0	0	0 E		0	0	0
	N	0	0	1/1	1/1	0	0	0 E		0	0	0
	N	0	0	1/1	1/1	101009	100517	0		0	0	0
	N	0	0	1/1	1/1	101009	100517	0		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 D		0	0	0
001	N	0	0	1/1	1/1	101009	100517	101005 T Q		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 T		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 Q		0	0	0
	N	0	0	1/1	1/1	0	0	0		0	0	0
	N	0	0	1/1	1/1	0	0	0		0	0	0





MISC_DIST	NCU_LAND	NCU_BLDG	BEDS	BATH	LY_NCU_LA	LY_NCU_BL	LY_SB_SOH	CBROW	LYCBROW
0	0	0	0.0	0.0	0	0	99700	0	0
0	0	0	0.0	0.0	0	0	5282220	0	0
0	0	0	0.0	0.0	0	0	1812370	0	0
0	0	0	2.0	3.0	0	0	6969540	0	0
0	0	0	4.0	2.0	0	0	500000	0	0
0	0	0	3.0	2.0	0	0	658630	0	0
0	0	0	3.0	2.0	0	0	544130	0	0
0	0	0	3.0	2.0	0	0	445080	0	0
0	0	0	2.0	1.0	0	0	318520	0	0
0	0	0	3.0	2.0	0	0	511690	0	0
0	0	0	0.0	0.0	0	0	393670	0	0
0	0	0	3.0	2.0	0	0	1474210	0	0
0	0	0	2.0	2.0	0	0	462960	0	0
0	0	0	0.0	0.0	0	0	722210	0	0
0	0	0	3.0	3.0	0	0	593280	0	0
0	0	0	2.0	2.0	0	0	516080	0	0
0	0	0	4.0	3.0	0	0	471240	0	0
0	0	0	3.0	2.0	0	0	879200	0	0
0	0	0	0.0	2.0	0	0	254140	0	0
0	0	0	3.0	2.0	0	0	262670	0	0
0	0	0	4.0	0.0	0	0	320850	0	0
0	0	0	2.0	2.0	0	0	267380	0	0
0	0	0	4.0	4.0	0	0	1169920	0	0
0	0	0	3.0	3.0	0	0	942900	0	0
0	0	0	3.0	3.0	0	0	1330600	0	0
0	0	0	2.0	2.0	0	0	227260	0	0
0	0	0	0.0	0.0	0	0	383250	0	0
0	0	0	0.0	0.0	0	0	387050	0	0
0	0	0	0.0	0.0	0	0	396950	0	0
0	0	0	0.0	0.0	0	0	400900	0	0
0	0	0	0.0	0.0	0	0	519350	0	0
0	0	0	0.0	0.0	0	0	525600	0	0
0	0	0	1.0	2.0	0	0	337680	0	0
0	0	0	4.0	2.0	0	0	432270	0	0
0	0	0	2.0	2.0	0	0	284180	0	0
0	0	0	3.0	2.0	0	0	344020	0	0
0	0	0	0.0	0.0	0	0	31570	0	0
0	0	0	0.0	0.0	0	0	9500	0	0

GRANNY_FL CRA	DAMA	ST	(STORM_ASSE	CL	CLEAN_ASSE	EXI	COMB_SPI	GRANNY_F_V BI
0			0.00		0.00	#####		0 0 0
0	F3		93927.00		0.00			0 0 0
0	F2		39645.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 1 0
0	F1		2.00		0.00			0 0 0
0	F3		7665.00		0.00			0 0 0
0	F3		7741.00		0.00			0 0 0
0	F3		7939.00		0.00			0 0 0
0	F3		8018.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 1 0
0	F1		1.00		0.00			0 0 0
0			0.00		0.00			0 0 0
0			0.00		0.00			0 0 0





SALE5_CIN	S/A	AFF	COUNTY_A	SCHOOL_A	CITY_AH_A	INDEP_AH_T	POR	BLDG_UNDER
0.0000000000			0	0	0	0		0
0.0000000000			0	0	0	0		0
0.0000000000			0	0	0	0		0
0.0000000000 T			0	0	0	0		1736
0.0000000000			0	0	0	0		2588
0.0000000000			0	0	0	0		1568
0.0000000000			0	0	0	0		1742
0.0000000000			0	0	0	0		1522
0.0000000000			0	0	0	0		1687
0.0000000000			0	0	0	0		2283
0.0000000000			0	0	0	0		2040
0.0000000000			0	0	0	0		2500
0.0000000000			0	0	0	0		1934
##### Q			0	0	0	0		0
0.0000000000			0	0	0	0		2488
0.0000000000			0	0	0	0		1448
0.0000000000			0	0	0	0		2352
0.0000000000			0	0	0	0		1570
0.0000000000			0	0	0	0		1232
0.0000000000			0	0	0	0		1622
0.0000000000			0	0	0	0		1457
0.0000000000			0	0	0	0		2659
0.0000000000			0	0	0	0		2670
0.0000000000			0	0	0	0		2500
0.0000000000			0	0	0	0		2659
0.0000000000			0	0	0	0		2390
0.0000000000			0	0	0	0		0
0.0000000000			0	0	0	0		0
0.0000000000			0	0	0	0		0
0.0000000000			0	0	0	0		0
0.0000000000			0	0	0	0		1253
0.0000000000			0	0	0	0		1283
0.0000000000			0	0	0	0		1075
0.0000000000			0	0	0	0		1799
0.0000000000			0	0	0	0		1395
0.0000000000			0	0	0	0		1510
0.0000000000			0	0	0	0		0
0.0000000000			0	0	0	0		0

HE3\_AMOUSCHOOL\_EXESRI\_OID

0	0	2
0	0	3
0	0	4
0	0	5
0	0	6
0	0	7
0	0	8
0	0	9
0	0	10
0	0	11
0	0	12
0	0	13
0	0	14
0	0	1
0	0	15
0	0	16
0	0	17
0	0	18
0	0	19
0	0	20
0	0	21
0	0	22
0	0	23
0	0	24
0	0	25
0	0	26
0	0	27
0	0	28
0	0	29
0	0	30
0	0	31
0	0	32
0	0	33
0	0	34
0	0	35
0	0	36
0	0	37
0	0	38

**LEGAL DESCRIPTION:**

Lot 15 of "Sweet Home" located in the American Plan of Sweet Home, a community in the City of Fort Lauderdale, Florida, as shown on the Plat No. 14-100-000-001 of the Public Records of Broward County, Florida.

**PROPERTY ADDRESS:**

1515 S.W. 17th Avenue, Fort Lauderdale, Florida 33315

**NOTE:**

PRECISE LEGAL DESCRIPTION AND BOUNDARY INFORMATION OBTAINED FROM SURVEY 7818187 BY JENNY FROES, INC., PROFESSIONAL LAND SURVEYOR AND MAPPER, CERTIFICATE OF PROFESSIONAL QUALIFICATIONS, STATE OF FLORIDA, EXPIRES 01/31/2021. LICENSE NO. 125778. PROJECT COMMUNITY NO. 152787. PROJECT ADDRESS: 1515 S.W. 17th Avenue, Fort Lauderdale, Florida 33315. PROJECT DRAWING NO. 17-100-000-001.

**GENERAL NOTES:**

- ALL CONSTRUCTION SHALL CONFORM TO THE DIMENSIONS AND SPECIFICATIONS OF THE CITY OF FORT LAUDERDALE'S ENGINEERING & PUBLIC WORKS DEPARTMENT.
- FROM TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FORT LAUDERDALE.
- THE LOCATION OF EXISTING UTILITIES SHALL BE DETERMINED PRIOR TO CONSTRUCTION AND NOTIFIED TO THE APPLICABLE AGENCIES AND UTILITIES COMPANIES.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS TO OBTAIN ALL EXISTING UTILITIES, UTILITIES AND SURVEY RECORDS.

**ZONING LEGEND:**

RS-8: Single-Family Residential  
 SETBACKS: FRONT: 30'-0" (Minimum) / REAR: 10'-0" (Minimum) / SIDE: 5'-0" (Minimum) / 10'-0" (Corner 22'-0")

**ELEVATION NOTES:**

- BASE FLOOR ELEVATION SHALL BE 4'-0" (FINISH).
- SECOND FLOOR FINISH FLOOR SHALL BE 8'-0" (FINISH).
- ELEVATION OF FINISH FLOOR SHALL BE 4'-0" (FINISH).
- HEIGHT OF BUILDING (MEASUREMENT ABOVE GRADE): 30'-0".
- BUILDING HEIGHT: THREE (3) STOREYS.

**COMPLIANCE NOTES:**

- THESE PLAN ARE IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 904.03, FLORIDA ADMINISTRATIVE CODE.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FORT LAUDERDALE AND THE FLORIDA DEPARTMENT OF TRANSPORTATION AND HIGHWAYS (FDOT) PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION AND HIGHWAYS (FDOT) PRIOR TO CONSTRUCTION.
- TO THE BEST OF OUR KNOWLEDGE, THESE PLANS ARE IN COMPLIANCE WITH SECTION 904.03, FLORIDA ADMINISTRATIVE CODE. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FORT LAUDERDALE AND THE FLORIDA DEPARTMENT OF TRANSPORTATION AND HIGHWAYS (FDOT) PRIOR TO CONSTRUCTION.
- EXISTING UTILITY LOCATIONS SHALL BE DETERMINED PRIOR TO CONSTRUCTION.
- INTERNAL PRESSURE COEFFICIENT SHALL BE 0.00 (SEE SECTION 904.03, FLORIDA ADMINISTRATIVE CODE).
- INTERNAL PRESSURE COEFFICIENT SHALL BE 0.00 (SEE SECTION 904.03, FLORIDA ADMINISTRATIVE CODE).

**SCOPE OF WORK:**

- CONSTRUCT A NEW QUINCY "THREESTORY" CIVIL RESIDENCE (BY 7300 SF) AS PER PROPOSED DESIGN DOCUMENTS (SEE SHEETS 1-10 AND 11-15 AND 16-18 AND 19-21).
- CONSTRUCT A NEW VERTICAL DRIVE SHAFT / PARKING AREA (BY 2,800 SQ FT) WITH CAST-IN-PLACE CONCRETE SLAB FLOOR (SEE SHEET 1-10 AND 11-15 AND 16-18 AND 19-21).
- NEW LANDSCAPE DESIGN, INSTALLATION, AND MAINTENANCE WITH THE CITY OF FORT LAUDERDALE'S MINIMUM REQUIREMENTS (SEE CITY OF FORT LAUDERDALE'S WEBSITE).

**SITE NOTES:**

- CONSTRUCT SLAB AT FINISH AREA TO BE A MINIMUM OF 4" THICK CONCRETE (3000 PSI) WITH 4" DIA. REBAR (SEE SHEET 1-10 AND 11-15 AND 16-18 AND 19-21).
- LOT DRAINAGE AND GRADING TO DRAIN AWAY FROM BUILDING IN EACH DIRECTION IN ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES. PROVIDE SLOPE INDICATORS AND ELEVATIONS TO ALL EXTERIOR FINISH FLOOR SURFACES. SPECIAL ATTENTION SHALL BE GIVEN TO SLOPING TOWARD SIDEWALKS, POOLS, DECKS AND DRIVEWAYS TO GARAGES.
- LANDSCAPE IRRIGATION SYSTEM (PUMP) TO BE ACCORDANCE WITH ALL LOCAL CODES, ORDINANCES, AND RESTRICTIONS (SEE CITY OF FORT LAUDERDALE'S WEBSITE).
- BRICK PAVED WALKWAYS, DRIVEWAYS, PORCHES AND PATIO PATTERNS & COLORS TO BE SELECTED AND COORDINATED WITH ARCHITECT'S DESIGN INTENT FOR APPROVAL.
- ANY PROPOSED SWIMMING POOLS, DECKS, PATIOS, GAZEBOS, ETC. MUST BE PERMITTED SEPARATELY AND ACCORDANCE WITH THE DESIGN. (NOT PART OF ARCHITECT'S CONTRACT DOCUMENTS).
- LAND SURVEY SHALL BE BY LOCATION OF UNLINED LOT ON SITE AND ANY OCCURRING SURFACE ENCROACHMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK BEING DONE.

**AREA TABULATIONS:**

**PROPOSED FIRST FLOOR AREAS:**

Proposed Living Area (Net Area)	2,800 Sq Ft
2nd Garage	1,900 Sq Ft
3rd Garage	1,900 Sq Ft
Landscaped Concrete Area (Net Area)	410 Sq Ft
<b>Total Proposed 1st Floor Building Area:</b>	<b>6,010 Sq Ft</b>
Total Proposed 1st Floor Building Area	6,010 Sq Ft
Total Proposed 1st Floor Building Area	6,010 Sq Ft

**PROPOSED SECOND FLOOR AREAS:**

Proposed Living Area (Net Area)	4,100 Sq Ft
2nd Garage	280 Sq Ft
3rd Garage	280 Sq Ft
Landscaped Concrete Area (Net Area)	170 Sq Ft
<b>Total Proposed 2nd Floor Building Area:</b>	<b>4,830 Sq Ft</b>
Total Proposed 2nd Floor Building Area	4,830 Sq Ft
Total Proposed 2nd Floor Building Area	4,830 Sq Ft

**PROPOSED THIRD FLOOR AREAS:**

Proposed Living Area (Net Area)	300 Sq Ft
2nd Garage	1,510 Sq Ft
3rd Garage	1,510 Sq Ft
Landscaped Concrete Area (Net Area)	100 Sq Ft
<b>Total Proposed 3rd Floor Building Area:</b>	<b>3,420 Sq Ft</b>
Total Proposed 3rd Floor Building Area	3,420 Sq Ft
Total Proposed 3rd Floor Building Area	3,420 Sq Ft

**NEW BUILDING AREA TOTALS:**

Living Area (Net Area)	7,200 Sq Ft
2nd Garage	1,900 Sq Ft
3rd Garage	1,900 Sq Ft
Landscaped Concrete Area (Net Area)	680 Sq Ft
2nd Floor Garage	1,900 Sq Ft
3rd Floor Garage	1,900 Sq Ft
Landscaped Concrete Area (Net Area)	1,700 Sq Ft
<b>Total New Building Area (Net Area):</b>	<b>17,280 Sq Ft</b>
Proposed Overall Building Area	17,280 Sq Ft

**GROUND AREA/PLOT COVERAGE CALCULATIONS:**

**EXISTING LOT / PLOT AREA:**

Existing Lot Area	15,131 Sq Ft
Principal Building Area	4,061 Sq Ft

**PROPOSED FLOOR COVER PERCENTAGE:**

Total Proposed Building (Existing Lot Area)	4,201 Sq Ft (15,131 Sq Ft)
Proposed Lot Coverage	27.8%

**LANDSCAPE OPEN SPACE CALCULATIONS:**

**EXISTING LOT / PLOT AREA:**

Existing Lot Area	15,131 Sq Ft
Proposed Landscape (Permanence)	4,061 Sq Ft

**PROPOSED LANDSCAPE OPEN SPACE PERCENTAGES:**

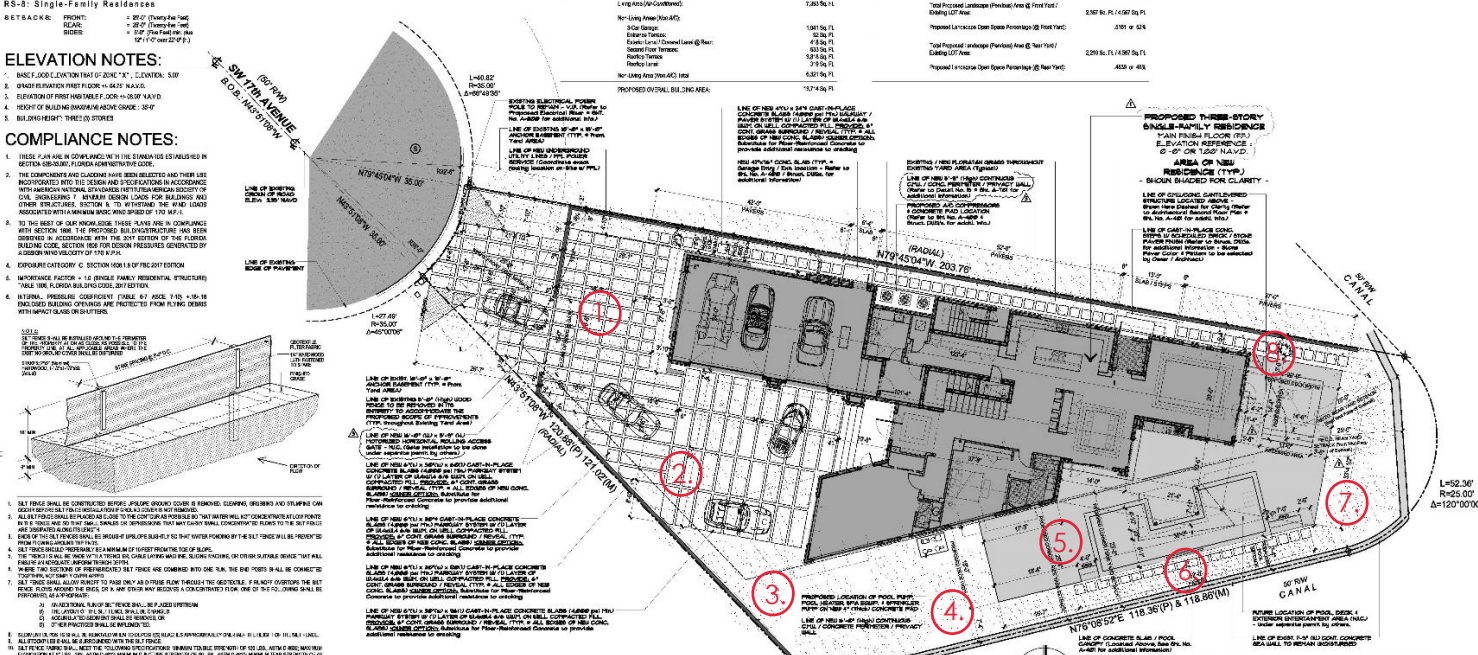
Total Proposed Landscape (Permanence) / Existing Lot Area	4,061 Sq Ft / 15,131 Sq Ft
Total Landscape Over: Space Percentage	26.8%
Total Proposed Landscape (Permanence) Area (Net Footprint) / Existing Lot Area	3,870 Sq Ft / 15,131 Sq Ft
Proposed Landscape Open Space Percentage (Net Footprint)	25.5%
Total Proposed Landscape (Permanence) Area (Net Footprint) / Existing Lot Area	3,220 Sq Ft / 15,131 Sq Ft
Proposed Landscape Open Space Percentage (Net Footprint)	21.3%

**FLOOD LEGEND**

New Construction, Additions, Remodeling, Repairs & Combination  
 FLOOD ZONE: 1A (100 Year Flood)  
 FLOOD ZONE: 2 (500 Year Flood)  
 FLOOD ZONE: 3 (100 Year Flood)  
 FLOOD ZONE: 4 (500 Year Flood)

Legend	Color	Symbol	Notes
1A (100 Year Flood)	Blue	1A	100 Year Flood
2 (500 Year Flood)	Light Blue	2	500 Year Flood
3 (100 Year Flood)	Yellow	3	100 Year Flood
4 (500 Year Flood)	Light Green	4	500 Year Flood

THE CLIENT OF THIS PROJECT UNDERSTANDS THAT THE WORK SHOWN HEREON IS BEING DONE TO SUPPORT THE CLIENT'S PROJECT AND IS NOT BEING DONE FOR THE CLIENT'S BENEFIT. THE CLIENT'S RESPONSIBILITY IS TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FORT LAUDERDALE AND THE FLORIDA DEPARTMENT OF TRANSPORTATION AND HIGHWAYS (FDOT) PRIOR TO CONSTRUCTION.



**EROSION AND SEDIMENT CONTROL FENCE DETAIL**

SCALE: N.T.S.

Image Legend:

image 1.



Front Elevation / Partial West

image 2.



Partial Front Elevation / SW Cantilevered Balcony

image 3.



Side / Rear Yard Area (South) looking East

image 4.



South Rear Yard Area looking East / Pool Canopy



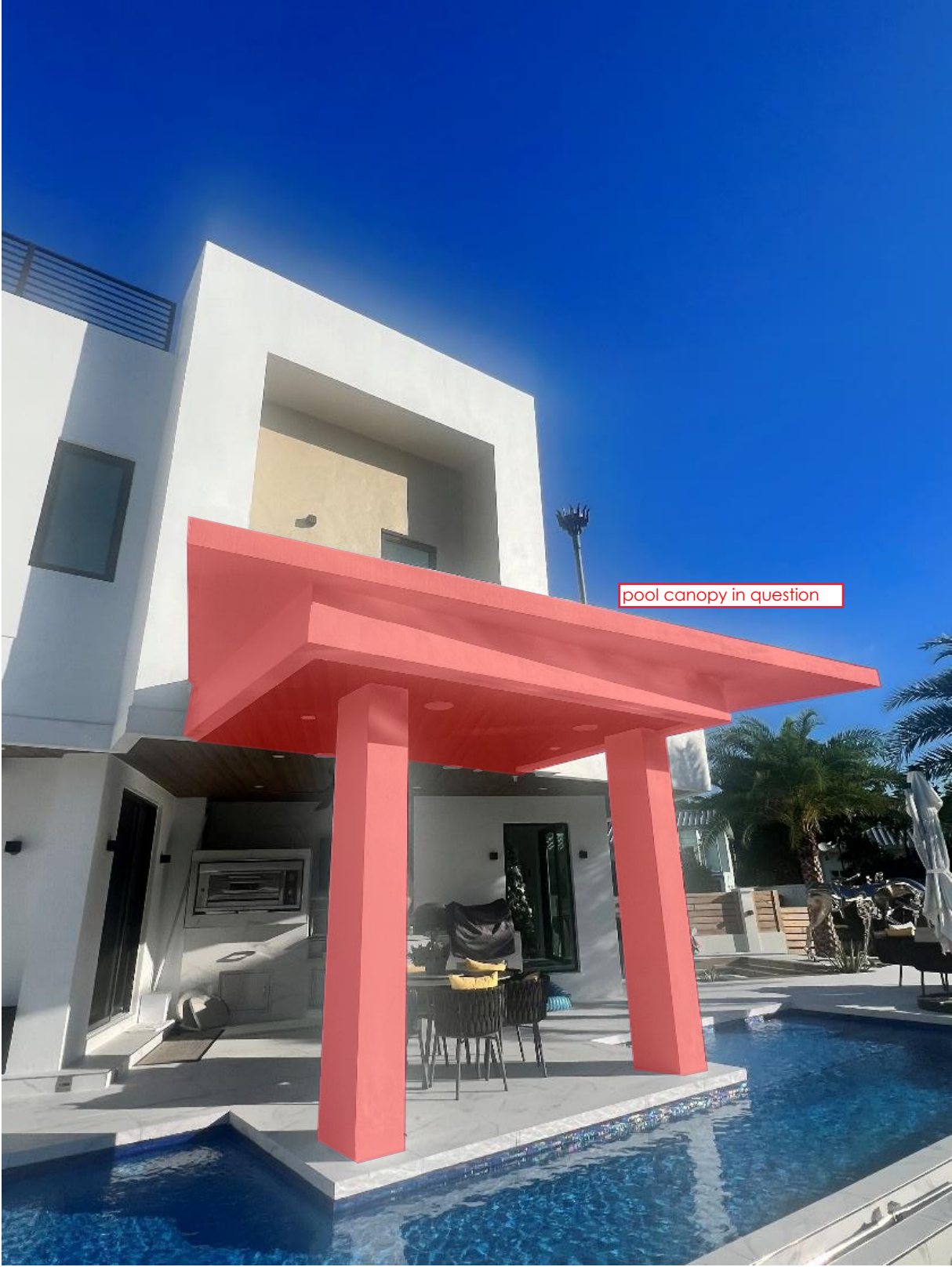
image 5.



pool canopy in question

Rear Yard Pool and Pool Deck Area / Pool Canopy

image 6.



Pool and Pool Deck Area / Pool Canopy

image 7.



East Rear / Side Yard Area Facing West

image 8.



Side Yard Area facing towards the West

## Narrative

**DATE:** January 17, 2024

**TO:** City of Fort Lauderdale Development Services Department

**FROM:** Mr. Lawrence Walters

**RE:** Permit No. BLD-RNC-20080004 (BOA Application)

I, Lawrence Walters the legal owner of the property located at 1616 SW 17<sup>th</sup> Avenue in Fort Lauderdale, FL is requesting a Board of Adjustment approval for a non-habitable pool canopy/roof overhang that was designed and constructed as an appendage / extension from the residential structure. The sole purpose of the pool canopy is to provide some residual shade and protection from the elements at a centrally located area immediately adjacent to the pool. The pool canopy in question was consequently approved with the original set of construction documents and inspected multiple times at the relevant project intervals (including zoning inspections). However, at the time of final zoning inspection and corresponding project closeout the pool canopy was determined to be encroaching into the 25'-0" Corner / Side Yard (Water-Facing) Setback at the Eastern facing waterway / property boundary. The main residential structure along the East property boundary is located at 25'-4" inward and the pool canopy extends out 12'-0" towards the waterway; *the canopy area is roughly 179 sf.*

The relevant Unified Land Development Code in question is, ULDR Article II. – Zoning District Requirements, Section 47-5.31 (Table of dimensional requirements for the RS-8 district. (Note A) Sec. 47-19.2.B. Many thanks in advance for your time and consideration

Best regards,



Lawrence Walters

# Survey Pros, Inc.

4348 SW 74TH AVENUE, MIAMI, FL. 33155  
PH: (305) 767-6802 (main)  
MIAMI-DADE | BROWARD | PALM BEACH | MONROE | HILLSBOROUGH | PINELLAS  
www.survey-pros.com

# MAP OF BOUNDARY SURVEY

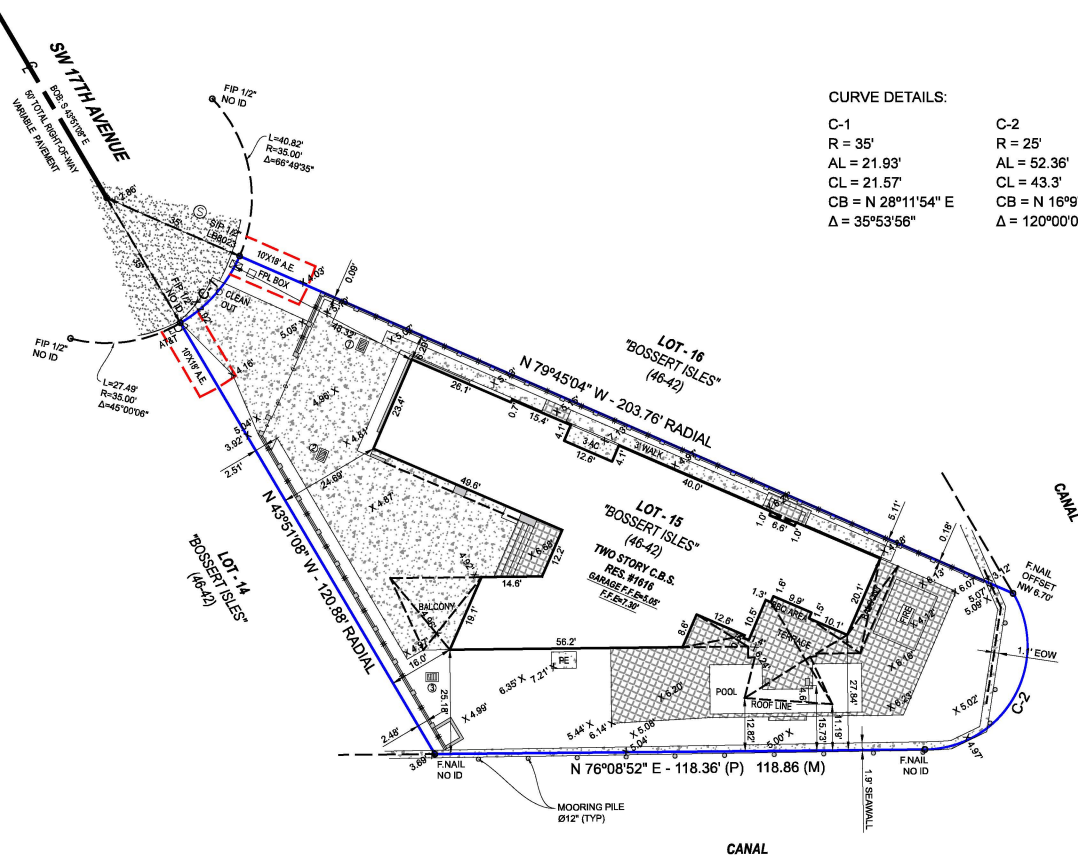
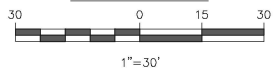
## LEGEND

- ABBREVIATIONS:**
- A = ARC DISTANCE
  - AC = AIR CONDITIONER PAD
  - AE = ANCHOR EASEMENT
  - BCR = BROWARD COUNTY RECORDS
  - BLDG = BUILDING
  - BM = BENCH MARK
  - BOB = BASIS OF BEARINGS
  - CBS = CONCRETE BLOCK & STUCCO
  - (C) = CALCULATED
  - C&G = CURB & GUTTER
  - CLF = CHAIN LINK FENCE
  - COL = COLUMN
  - D.E. = DRAINAGE EASEMENT
  - D.M.E. = DRAINAGE & MAINTENANCE EASEMENT
  - D/W = DRIVEWAY
  - EB = ELECTRIC BOX
  - ENC. = ENCROACHMENT
  - EP = EDGE OF PAVEMENT
  - EW = EDGE OF WATER
  - FDH = FOUND DRILL HOLE
  - FTE = FINISHED FLOOR ELEVATION
  - FIP = FOUND IRON PIPE (NO ID)
  - FIR = FOUND IRON ROD (NO ID)
  - FN = FOUND NAIL (NO ID)
  - FN&D = FOUND NAIL & DISK
  - FPL = FLORIDA POWER & LIGHT TRANSFORMER PAD
  - LE = LANDSCAPE EASEMENT
  - L.M.E. = LAKE MAINTENANCE EASEMENT
  - (M) = MEASURED
  - MOOR = MIAMI-DADE COUNTY RECORDS
  - MH = MAN HOLE
  - ML = MONUMENT LINE
  - (P) = PLAT
  - PB = PLAT BOOK
  - PC = POINT OF CURVATURE
  - PCP = PERMANENT CONTROL POINT
  - PE = POOL EQUIPMENT PAD
  - PG = PAGE
  - PI = POINT OF INTERSECTION
  - PL = PLANTER
  - POB = POINT OF BEGINNING
  - POC = POINT OF COMMENCEMENT
  - PRC = POINT OF REVERSE CURVATURE
  - PRM = PERMANENT REFERENCE MONUMENT
  - PT = POINT OF TANGENCY
  - R = RADIUS DISTANCE
  - (R) = RECORD
  - R/W = RIGHT-OF-WAY
  - RES = RESIDENCE
  - SIP = SIP LB#8023
  - STL = SURVEY TIE LINE
  - SWK = SIDEWALK
  - (TYP) = TYPICAL
  - UB = UTILITY BOX
  - U.E. = UTILITY EASEMENT
  - W/F = WOOD FENCE

- SYMBOLS:**
- ☐ = TELEPHONE RISER
  - ☐ = CABLE TV RISER
  - ⊗ = WATER METER
  - x 0.00 = ELEVATION
  - (00') = ORIGINAL LOT DISTANCE
  - Δ = CENTRAL ANGLE
  - ⊖ = CENTER LINE
  - wv = WATER VALVE
  - ⊕ = CURB INLET
  - ⊕ = FIRE HYDRANT
  - ⊕ = LIGHT POLE
  - ⊕ = CATCH BASIN
  - ⊕ = UTILITY POLE
  - ⊕ = DRAINAGE MANHOLE
  - ⊕ = SEWER MANHOLE
  - ⊕ = METAL FENCE
  - ⊕ = WOOD FENCE
  - ⊕ = CHAIN LINK FENCE
  - ⊕ = EASEMENT
  - ⊕ = BOUNDARY LINE
  - ⊕ = OVERHEAD UTILITY LINE
  - ⊕ = ORIGINAL LOT LINE

- ASPHALT
- CONCRETE
- PAVERS/BRICK
- TILES
- COVERED AREA

### GRAPHIC SCALE



### CURVE DETAILS:

- |                    |                   |
|--------------------|-------------------|
| C-1                | C-2               |
| R = 35'            | R = 25'           |
| AL = 21.93'        | AL = 52.36'       |
| CL = 51.57'        | CL = 43.3'        |
| CB = N 28°11'54" E | CB = N 16°9'11" E |
| Δ = 35°53'56"      | Δ = 120°00'00"    |

### DRAINAGE DETAILS

NO.	UTILITY	RIM ELEV.	INVERT ELEV.	DIAMETER (Ø)	DIRECTION	MATERIAL	BOTTOM ELEV.
①	CATCH BASIN	4.58	1.27'	15"	SOUTH-WEST	PVC	1.27'
②	CATCH BASIN	4.72	NO ACCESS		BAFFLE		-0.82'
③	CATCH BASIN	4.81	1.18'	15"	NORTH-WEST	PVC	1.18'

Digitally signed by Nicolas Del Vento  
Date: 2024.02.13  
14:37:45 -05'00'

Nicolas Del Vento

NICOLAS DEL VENTO  
PROFESSIONAL SURVEYOR & MAPPER  
STATE OF FLORIDA LIC. # 6945

### LOCATION SKETCH:



### PROPERTY ADDRESS:

1616 SW 17TH AVENUE, FORT LAUDERDALE, FL. 33312 (5042 16 35 0150)

### LEGAL DESCRIPTION:

LOT 15, OF BOSSERT ISLES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46, PAGE 42, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

### FLOOD ZONE INFORMATION:

THE GRAPHICALLY DEPICTED BUILDING(S) SHOWN ON THIS MAP OF SURVEY IS WITHIN ZONE X BASE FLOOD ELEVATION N/A COMMUNITY NAME & NUMBER CITY OF FORT LAUDERDALE 125105 MAP & PANEL NUMBER 1201102556 SUFFIX H

### SURVEYOR'S NOTES:

- ELEVATIONS WHEN SHOWN REFER TO 1988 NORTH AMERICAN VERTICAL DATUM (NAVD 1988).
- NO ATTEMPT WAS MADE TO LOCATE FOOTINGS/FOUNDATIONS, OR UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
- THE LANDS SHOWN HEREON HAVE NOT BEEN ABSTRACTED IN REGARDS TO MATTERS OF INTEREST BY OTHER PARTIES, SUCH AS EASEMENTS, RIGHTS OF WAYS, RESERVATIONS, ETC. ONLY PLATTED EASEMENTS ARE SHOWN.
- THIS SURVEY WAS PREPARED FOR AND CERTIFIED TO THE PARTY(IES) INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE WITHOUT WRITTEN CONSENT OF THIS FIRM.
- ALL BOUNDARY LIMIT INDICATORS SET ARE STAMPED LB#8023.
- THE BOUNDARY LIMITS ESTABLISHED ON THIS SURVEY ARE BASED ON THE LEGAL DESCRIPTION PROVIDED BY THE CLIENT OR ITS REPRESENTATIVE.
- FENCE OWNERSHIP IS NOT DETERMINED.
- ADDITIONS OR DELETIONS TO THIS SURVEY MAP AND/OR REPORT BY SOMEONE OTHER THAN THE SIGNING PARTY(ES) IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY(ES).
- BEARINGS WHEN SHOWN ARE TO AN ASSUMED MERIDIAN, THE CENTERLINE OF SW 17th AVENUE HAS BEEN ASSIGNED A BEARING OF N43°51'08"W.

### SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY DIRECTION AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTE.

### CERTIFIED TO:

LAWRENCE WALTERS

### REVISION(S):

- 01/07/20 - ADDED ELEVATIONS PER CLIENT REQUEST
- 12/16/2022 - UPDATE TO FINAL SURVEY, JOB#22128786
- 02/13/2024 - ADDED PATIO STRUCTURE PER CLIENT COMMENTS, JOB#240210541



DATE OF ORIGINAL FIELD WORK:  
11/17/2020  
JOB#: 20115945  
DRAWN BY: NICK  
CAD FILE: WALTERS  
SHEET 1 OF 1



3881 SW 16th Terrace • Miramar, FL 33027  
 t. 305.753.9653 • p. 954.441.5027  
 e. kurt@kaparch.net  
 s.a.# 2802578

architect of record  
 Kurt A. Petgrave, P.A., Lic.#  
 #18049

Project name/number

A CUSTOM TWO-STORY SINGLE-FAMILY WATERFRONT RESIDENCE ENTITLED:

# THE WALTERS RESIDENCE

1616 S.W. 17th AVENUE , FORT LAUDERDALE, FLORIDA 33312 - 0000

PROJECT No. 2018.05-1616 WALTERS • CONSTRUCTION / PERMIT SET • 10.21.19

Client

MR. LAWRENCE WALTERS  
 1616 SW 17th AVENUE  
 FORT LAUDERDALE, FLORIDA 33312

Project title

CUSTOM TWO-STORY SINGLE-FAMILY  
 WATERFRONT RESIDENCE ENTITLED:

## WALTERS RESIDENCE

1616 S.W. 17th AVENUE  
 FORT LAUDERDALE, FL 33312-0000

Copyright © 2019, K.A. Petgrave & Associates, P.A. All rights reserved. All concepts, designs, arrangements, and the manner in which they are presented are the property of K.A. Petgrave & Associates, P.A. and shall remain confidential. No part of this drawing shall be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of K.A. Petgrave & Associates, P.A. This drawing is intended for the use of the client only and shall not be used for any other purpose without the prior written permission of K.A. Petgrave & Associates, P.A. The client agrees to hold K.A. Petgrave & Associates, P.A. harmless from and against all claims, damages, and expenses, including reasonable attorneys' fees, that may be asserted against K.A. Petgrave & Associates, P.A. by any third party as a result of the use of this drawing.

Architect

KURT A. PETGRAVE, P.A. AR0009049

05.26.20

DATE	REVISION

DWG. TITLE:

COVER SHEET

SCALE:

N/A

PROJECT NO.:

2018.05 - 1616 WALTERS

DATE:

10.21.19

SHEET NUMBER:

A-000

K:\Projects\2018\1021\PROJSET\1616 - 17 - WALTERS RESIDENCE\1616 - 17 - WALTERS RESIDENCE - COVER.dwg

**LEGAL DESCRIPTION:**

Lot 15, of "Bossert Isles", according to the Amended Plat of Sheet 3 of 7, according to the Plat thereof, as recorded in Plat Book No. 46, Page No. 42 of the Public Records of Broward County, Florida.

**PROPERTY ADDRESS:**

1616 S.W. 17th AVENUE, FORT LAUDERDALE, FLORIDA 33312

**NOTE:**

PROPERTY LEGAL DESCRIPTION AND BOUNDARY INFORMATION OBTAINED FROM SURVEY PREPARED BY:

**SURVEY PROS, INC.**  
PROFESSIONAL LAND SURVEYORS, LAND PLANNERS AND MAPPERS  
CERTIFICATE OF AUTHORIZATION : L.B. No. 8023 STATE OF FLORIDA  
DRAWING DATE : 02.22.18  
MAP / PANEL No. : 12011C0556  
COMMUNITY No. : 125105  
FOI No. 5042-16-35-0150  
PROJECT/DRAWING No. : 17012035  
Re: VERA ALEXANDER

**GENERAL NOTES:**

- ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF FORT LAUDERDALE ENGINEERING / PUBLIC WORKS DEPARTMENT.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
- THE LOCATION OF EXISTING FACILITIES WERE PLOTTED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES THAT ARE IDENTIFIED.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SURVEY MARKERS.

**ZONING LEGEND:**

RS-8: Single-Family Residences

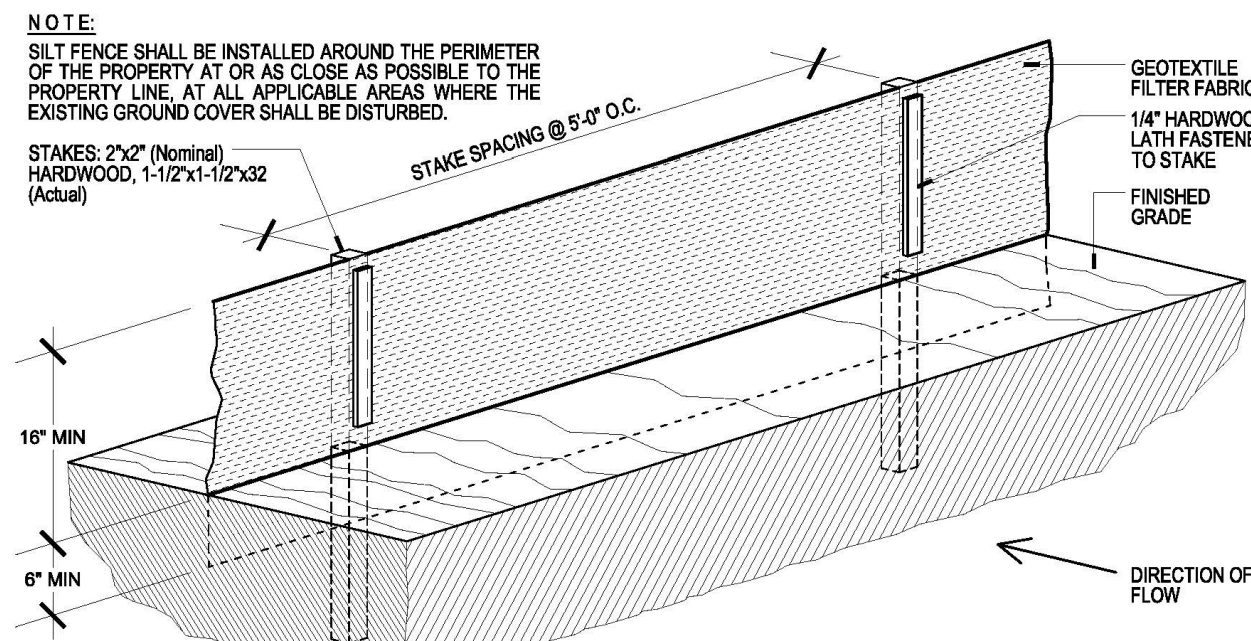
SETBACKS: FRONT: = 25'-0" (Twenty-five Feet)  
REAR: = 25'-0" (Twenty-five Feet)  
SIDES: = 5'-0" (Five Feet) min. plus 12" / 1'-0" over 22'-0" (h.)

**ELEVATION NOTES:**

- BASE FLOOD ELEVATION THAT OF ZONE "X", ELEVATION: 5.0'
- GRADE ELEVATION FIRST FLOOR: +/- 04.75' N.A.V.D.
- ELEVATION OF FIRST HABITABLE FLOOR: +/- 06.00' N.A.V.D.
- HEIGHT OF BUILDING (MAXIMUM) ABOVE GRADE: 35'-0"
- BUILDING HEIGHT: THREE (3) STORIES

**COMPLIANCE NOTES:**

- THESE PLANS ARE IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 628-33.007, FLORIDA ADMINISTRATIVE CODE.
- THE COMPONENTS AND CLADDING HAVE BEEN SELECTED AND THEIR USE INCORPORATED INTO THE DESIGN AND SPECIFICATIONS IN ACCORDANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE/AMERICAN SOCIETY OF CIVIL ENGINEERING 7 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, SECTION 6, TO WITHSTAND THE WIND LOADS ASSOCIATED WITH A MINIMUM BASIC WIND SPEED OF 170 M.P.H.
- TO THE BEST OF OUR KNOWLEDGE THESE PLANS ARE IN COMPLIANCE WITH SECTION 1608 OF THE PROPOSED BUILDING STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2017 EDITION OF THE FLORIDA BUILDING CODE, SECTION 1608 FOR DESIGN PRESSURES GENERATED BY A DESIGN WIND VELOCITY OF 170 M.P.H.
- EXPOSURE CATEGORY C SECTION 1608.1.8 OF FBC 2017 EDITION
- IMPORTANCE FACTOR = 1.0 (SINGLE FAMILY RESIDENTIAL STRUCTURE) TABLE 1606, FLORIDA BUILDING CODE, 2017 EDITION.
- INTERNAL PRESSURE COEFFICIENT (TABLE 6-7 ASCE 7-10) +18/-18 ENCLOSED BUILDING OPENINGS ARE PROTECTED FROM FLYING DEBRIS WITH IMPACT GLASS OR SHUTTERS.



- SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE GROUND COVER IS REMOVED. CLEARING, GRUBBING AND STUMPING CAN OCCUR BEFORE SILT FENCE INSTALLATION IF GROUND COVER IS NOT REMOVED.
- ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS THAT MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
- ENDS OF THE SILT FENCES SHALL BE BROUGHT UPSLOPE SLIGHTLY SO THAT WATER PONDING BY THE SILT FENCE WILL BE PREVENTED FROM FLOWING AROUND THE ENDS.
- SILT FENCE SHOULD PREFERABLY BE A MINIMUM OF 10 FEET FROM THE TOE OF SLOPE.
- THE TRENCH SHALL BE MADE WITH A TRENCHER, CABLE LAYING MACHINE, SLICING MACHINE, OR OTHER SUITABLE DEVICE THAT WILL ENSURE AN ADEQUATE UNIFORM TRENCH DEPTH.
- WHERE TWO SECTIONS OF PREFABRICATED SILT FENCE ARE COMBINED INTO ONE RUN, THE END POSTS SHALL BE CONNECTED TOGETHER, NOT SIMPLY OVERLAPPED.
- SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE:
  - AN ADDITIONAL RUN OF SILT FENCE SHALL BE PLACED UPSTREAM
  - THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED
  - ACCUMULATED SEDIMENT SHALL BE REMOVED, OR
  - OTHER PRACTICES SHALL BE IMPLEMENTED
- SEDIMENT DEPOSITS SHALL BE REMOVED WHEN TO DEPOSIT(S) REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE SILT FENCE.
- ALL STOCKPILES SHALL BE SURROUNDED WITH THE SILT FENCE.
- SILT FENCE FABRIC SHALL MEET THE FOLLOWING SPECIFICATIONS: MINIMUM TENSILE STRENGTH OF 120 LBS., ASTM D 4832; MAXIMUM ELONGATION AT 80 LBS., 15%, ASTM D 4832; MINIMUM PUNCTURE STRENGTH OF 50 LBS., ASTM D 4833; MINIMUM TEAR STRENGTH OF 40 LBS., ASTM D 4833; APPARENT OPENING SIZE = 0.3MM, ASTM D 4751; MINIMUM PERMEABILITY 1X10-25EC-1, ASTM D 4491; WATER FLOW RATE 15GAL/MIN/SQ. FT.; UV EXPOSURE STRENGTH RETENTION, 70%, ASTM G 455.

**EROSION AND SEDIMENT CONTROL FENCE DETAIL**  
SCALE: N.T.S.

**SCOPE OF WORK:**

- CONSTRUCT A NEW CUSTOM THREE-STORY C.M.U. RESIDENCE (+/- 7,393 SF) AS PER PROPOSED DESIGN DOCUMENTS (See Sheet No. A-400, A-401, A-402, & A-403 for additional information).
- CONSTRUCT A NEW VEHICULAR DRIVE COURT / PARKWAY AREA (+/- 2,800 Square Feet) WITH CAST-IN-PLACE CONCRETE SLAB FINISH (4,000 psi Min.) W/ (1) LAYER OF W1.4XW1.4 6/8 W.W.M. ON WELL COMPACTED FILL. PROVIDE 6" (Min.) GRASS SURROUND / LOOSE STONE REVEALS ALONG ALL EDGES OF NEW CONCRETE SLAB / DRIVE COURT AREAS TO MAINTAIN AND/OR ENHANCE THE PERVIOUS AREA THROUGHOUT THE FRONT YARD.
- NEW LANDSCAPE DESIGN / INSTALLATION IN COMPLIANCE WITH THE CITY OF FORT LAUDERDALE'S MINIMUM REQUIREMENTS (Zoning / Landscape Architecture)
- LOWEST SLAB AT LIVING AREA TO BE A MINIMUM 18" ABOVE CROWN OF ROAD. (BASE ELEV. 3.35' NAVD 1988).
- LOT DRAINAGE AND GRADING TO SLOPE AWAY FROM BUILDING IN EACH DIRECTION IN ACCORDANCE WITH ALL LOCAL CODES ORDINANCES HAVING JURISDICTION DRAINAGE REGULATIONS AND GOOD ENGINEERING PRACTICE. SPECIAL ATTENTION SHALL BE TAKEN FOR SLOPES AROUND SWIMMING POOL DECKS AND DRIVEWAYS TO GARDENS.
- LANDSCAPING, IRRIGATION, BERMING, ETC. TO BE IN ACCORDANCE WITH ALL LOCAL CODES, REGULATIONS, AND RESTRICTIONS HAVING JURISDICTIONS. (NOT PART OF ARCHITECT'S CONTRACT DOCUMENTS)
- BRICK PAVED WALKWAYS, DRIVE, DECKS, PORCHES AND PATIO PATTERN & COLOR TO BE SELECTED AND COORDINATED WITH OWNER/ARCHITECT SUBMIT SAMPLES FOR APPROVAL.
- ANY PROPOSED SWIMMING POOLS, DECK, SPA, GAZEBO, ETC. (Denoted "BY OTHERS") SHALL BE PERMITTED SEPARATELY AND COORDINATED WITH THE OWNER. (NOT A PART OF THIS ARCHITECT'S CONTRACT DOCUMENTS).
- LAND SURVEYOR SHALL VERIFY LOCATION OF DWELLING UNIT ON SITE AND ANY OCCURRING SETBACK ENCROACHMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK BEING DONE.

**SITE NOTES:**

- TO THE BEST OF OUR KNOWLEDGE THESE PLANS ARE IN COMPLIANCE WITH SECTION 1608 OF THE PROPOSED BUILDING STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2017 EDITION OF THE FLORIDA BUILDING CODE, SECTION 1608 FOR DESIGN PRESSURES GENERATED BY A DESIGN WIND VELOCITY OF 170 M.P.H.
- EXPOSURE CATEGORY C SECTION 1608.1.8 OF FBC 2017 EDITION
- IMPORTANCE FACTOR = 1.0 (SINGLE FAMILY RESIDENTIAL STRUCTURE) TABLE 1606, FLORIDA BUILDING CODE, 2017 EDITION.
- INTERNAL PRESSURE COEFFICIENT (TABLE 6-7 ASCE 7-10) +18/-18 ENCLOSED BUILDING OPENINGS ARE PROTECTED FROM FLYING DEBRIS WITH IMPACT GLASS OR SHUTTERS.

**AREA TABULATIONS:**

**PROPOSED FIRST FLOOR AREAS:**

Proposed Living Area (Air-Conditioned):	2,960 Sq. Ft.
Proposed Non-Living Areas (Non A/C):	
3-Car Garage:	1,041 Sq. Ft.
Entrance Terrace:	92 Sq. Ft.
Exterior Lanai / Covered Lanai @ Rear: (Including Outdoor Kitchen)	418 Sq. Ft.
<b>Total Proposed Non-Living Area:</b>	<b>1,551 Sq. Ft.</b>
<b>TOTAL Proposed FIRST FLOOR BUILDING AREA:</b>	<b>4,511 Sq. Ft.</b>

**PROPOSED SECOND FLOOR AREAS:**

Proposed Living Area (Air-Conditioned):	4,180 Sq. Ft.
Proposed Non-Living Areas (Non A/C):	
Media / Recreational Room Terrace:	262 Sq. Ft.
Bedroom No. 1 Terrace:	137 Sq. Ft.
Master Suite Terrace:	234 Sq. Ft.
<b>Total Proposed Non-Living Area:</b>	<b>633 Sq. Ft.</b>
<b>TOTAL Proposed SECOND FLOOR BUILDING AREA:</b>	<b>4,813 Sq. Ft.</b>

**PROPOSED THIRD FLOOR AREAS:**

Proposed Living Area (Air-Conditioned - Staircase Rooftop Landing Access):	253 Sq. Ft.
Proposed Non-Living Areas (Non A/C):	
Rooftop Terrace:	3,818 Sq. Ft.
Rooftop Lanai:	319 Sq. Ft.
<b>Total Proposed Non-Living Area:</b>	<b>4,137 Sq. Ft.</b>
<b>TOTAL Proposed THIRD FLOOR BUILDING AREA:</b>	<b>4,390 Sq. Ft.</b>

**NEW BUILDING AREA TOTALS:**

Living Area (Air-Conditioned):	7,393 Sq. Ft.
Non-Living Areas (Non A/C):	
3-Car Garage:	1,041 Sq. Ft.
Entrance Terrace:	92 Sq. Ft.
Exterior Lanai / Covered Lanai @ Rear:	418 Sq. Ft.
Second Floor Terraces:	633 Sq. Ft.
Rooftop Terrace:	3,818 Sq. Ft.
Rooftop Lanai:	319 Sq. Ft.
Non-Living Area (Non A/C) Total:	6,321 Sq. Ft.
<b>PROPOSED OVERALL BUILDING AREA:</b>	<b>13,714 Sq. Ft.</b>

**GROUND AREA / PLOT COVERAGE CALCULATIONS:**

**EXISTING LOT / PLOT AREA:**

Existing LOT AREA:	13,131 Sq. Ft.
<b>PRINCIPAL BUILDING AREA:</b>	<b>4,001 Sq. Ft.</b>

**PROPOSED PLOT COVERAGE PERCENTAGE:**

Total Proposed Roofed Structure / Existing Lot Area:	4,001 Sq. Ft. / 13,131 Sq. Ft.
Proposed Lot Coverage:	.3047 or 31%

**LANDSCAPE OPEN SPACE CALCULATIONS:**

**EXISTING LOT / PLOT AREA:**

Existing LOT AREA:	13,131 Sq. Ft.
<b>PROPOSED LANDSCAPE OPEN SPACE:</b>	<b>4,567 Sq. Ft.</b>

**PROPOSED LANDSCAPE OPEN SPACE PERCENTAGES:**

Total Proposed Landscape (Previous Area) / Existing LOT Area:	4,567 Sq. Ft. / 13,131 Sq. Ft.
Total Landscape Open Space Percentage:	.3478 or 35%
Total Proposed Landscape (Previous Area) @ Front Yard / Existing LOT Area:	2,367 Sq. Ft. / 4,567 Sq. Ft.
Proposed Landscape Open Space Percentage (@ Front Yard):	.5161 or 52%
Total Proposed Landscape (Previous Area) @ Rear Yard / Existing LOT Area:	2,210 Sq. Ft. / 4,567 Sq. Ft.
Proposed Landscape Open Space Percentage (@ Rear Yard):	.4839 or 48%

**FLOOR LEGEND**  
New Construction, Additions, Remodeling, Repairs & Combination

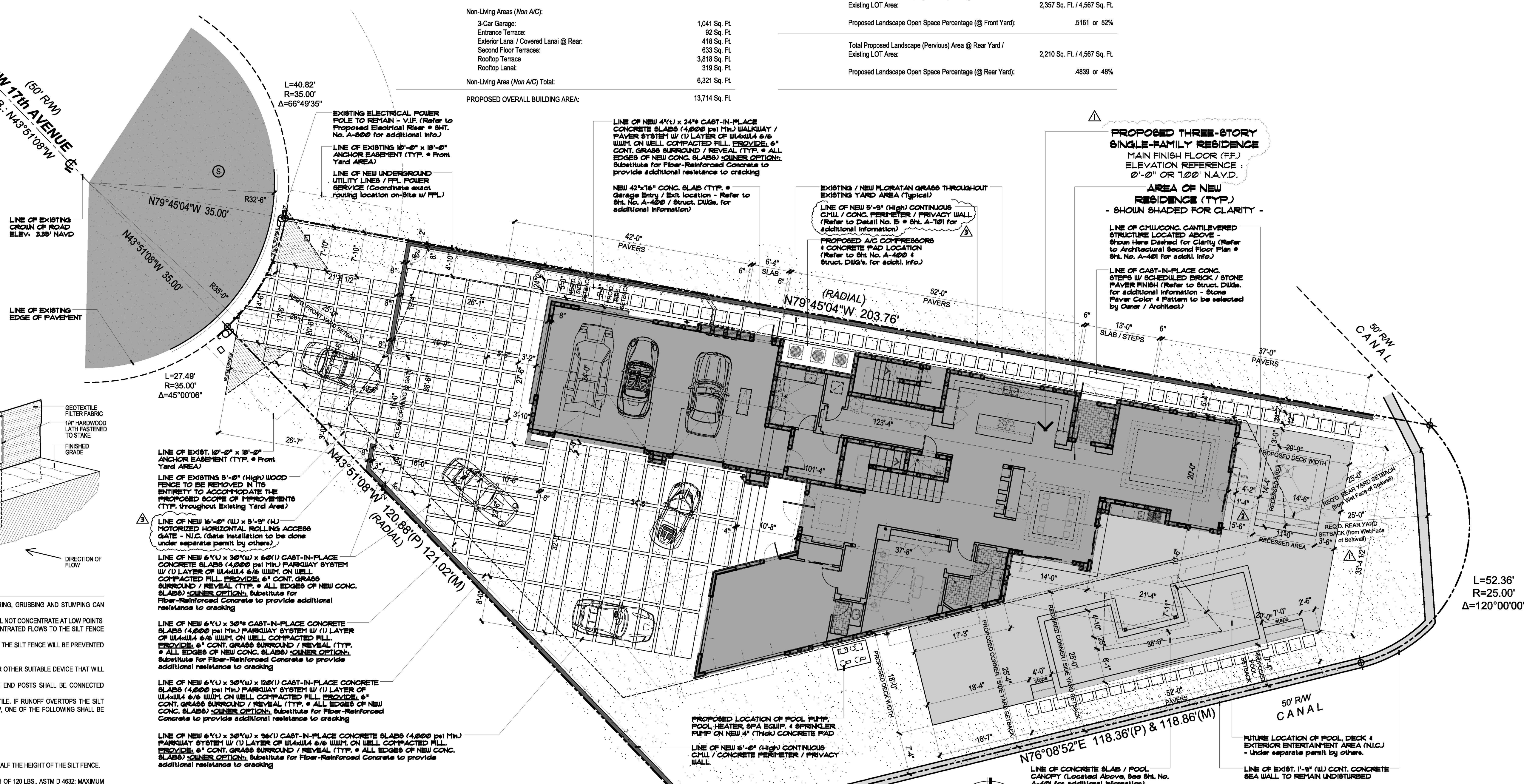
FOLIO: 5042-16-35-0150 ADDRESS: 1616 S.W. 17th Avenue, Fort Lauderdale, FL 33312  
LOT/UNIT: 15 BLOCK / BLDG: 00

SUBDIVISION: BOSSERT ISLES PLAT BOOK: 46 PAGE: 42

**COST OF CONSTRUCTION:** SCOPE OF WORK \$ 690,000.00  
NEW CONSTRUCTION: COST OF WORK (MUST INCLUDE ITEMIZED LIST) \$ 690,000.00  
ADDITION: COST OF WORK - 0 SQ.FT. OF CONST. X (47 SQ.FT. LIVING SPACE): \$ n/a  
0 SQ.FT. OF CONST. X (85 SQ.FT. STORAGE, GARAGE, TERRACE): \$ n/a  
**TOTAL COST OF WORK:** \$ 690,000.00

	Lowest Floor Elev (including basement/sunken areas)	Garage/Storage Floor Elevation	Adjacent Grade Elevation (next to the wall of the structure)
EXISTING	n/a	n/a	n/a
PROPOSED	05.50' FT. N.A.V.D.	05.25' FT. N.A.V.D.	04.10' FT. (lowest) N.A.V.D.

THE OWNER OF THIS PROPERTY UNDERSTANDS THAT THE WORK AMOUNT INDICATED ABOVE IS GOING TO BE KEPT ON THE OFFICIAL PERMIT RECORD DURING A SIX (6) MONTH PERIOD FROM THE DATE OF WHICH THE CERTIFICATE OF COMPLETION IS ISSUED. IF ANY ADDITIONAL, REPAIR, RECONSTRUCTION, ALTERATION, ADDITION, REMODELING OR COMBINATION THEREOF IS DONE BEFORE THE CERTIFICATE OF COMPLETION IS ISSUED, OR WITHIN THE TRACKING PERIOD, IT WILL BE CONSIDERED A CONTINUANCE OF THE ABOVE WORK. IF THE PROPERTY IS DECLARED SUBSTANTIALLY IMPROVED OR DAMAGED AND THE FLOOR ELEVATION IS NOT IN COMPLIANCE, THE STRUCTURE WILL BE ELEVATED IN ACCORDANCE WITH CHAPTER 11C OF THE MIAMI-DADE COUNTY CODE. 0'-0" = 06.00' N.A.V.D.



**ARCHITECTURAL SITE PLAN**  
SCALE: 1" = 10'-0"

**KAP arch**  
3681 SW 16th Terrace @ Miramar, FL @ 33227  
m. 305.753.9633 p. 954.441.5027  
a. kurt@kaparch.net  
sa # 29020279

MR. LAWRENCE WALTERS  
1616 SW 17th AVENUE  
FORT LAUDERDALE, FLORIDA 33312

CUSTOM TWO-STORY SINGLE-FAMILY WATERFRONT RESIDENCE ENTITLED:

**WALTERS RESIDENCE**  
1616 S.W. 17th AVENUE  
FORT LAUDERDALE, FL 33312-0000

KURT A. PETRAVE, FL AR0009048

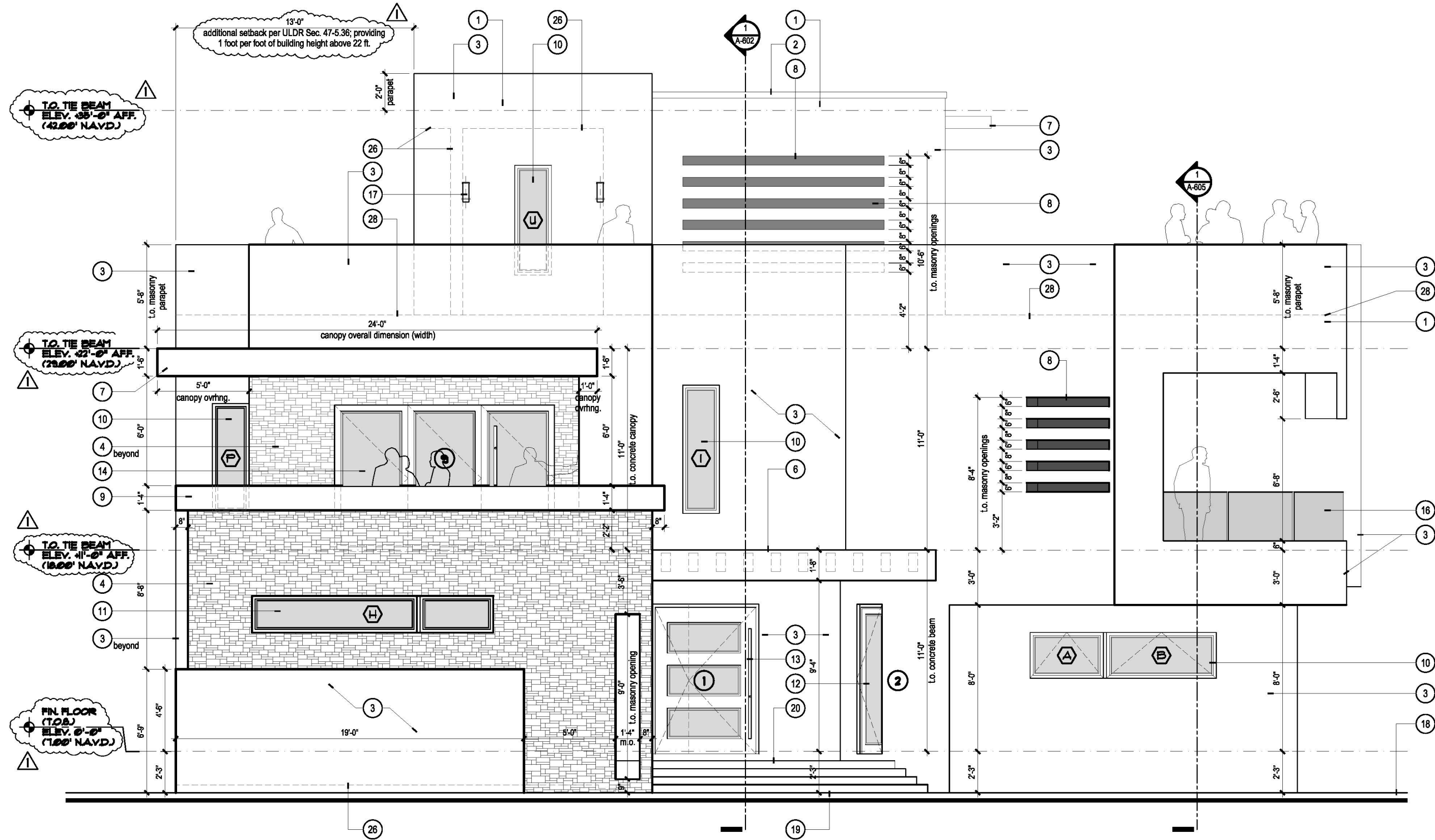
10.18.21 Design / Owner Review  
01.07.21 Flood Review/Owner Rev.  
03.30.20 Zoning Plan Review  
DATE: REVISION

DWG. TITLE: ARCHITECTURAL SITE PLAN  
SCALE: AS SHOWN  
PROJECT NO: 2018.05 - 1616 WALTERS  
DATE: 10.21.19  
SHEET NUMBER: A-200



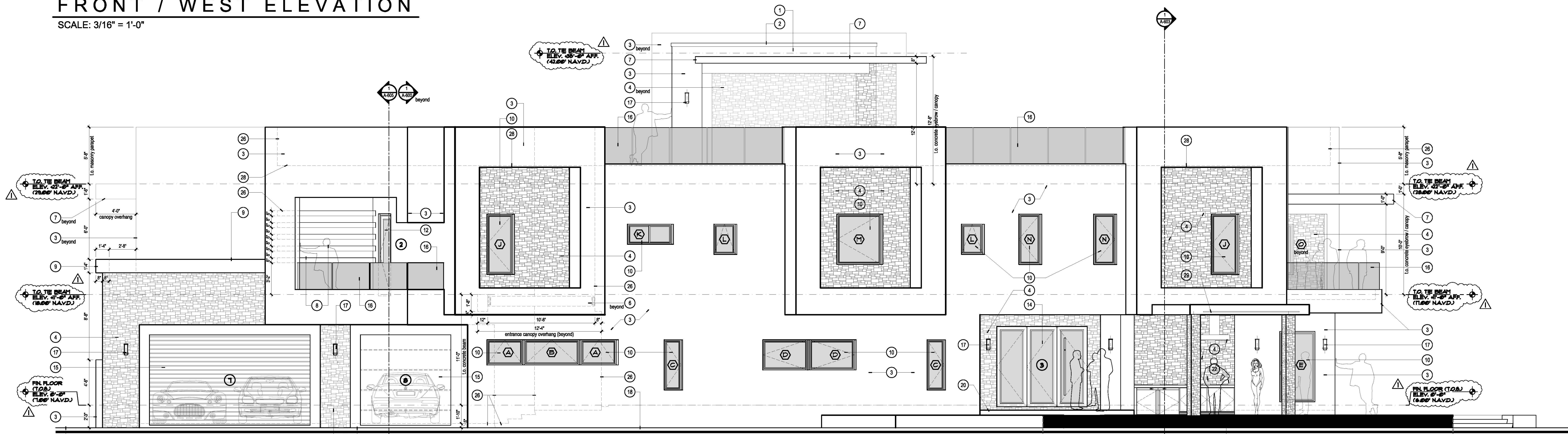
**BUILDING ELEVATIONS KEYNOTES LEGEND:**

- 2-PLY SBS ROOFING MEMBRANE OVER CONCRETE TOPPING SLAB SLOPED @ 1/4" FT. TO DRAINS OVER HOT APPLIED W.P. MEMBRANE ON CONCRETE SLAB OVER "DEEP-DEK" COMPOSITE STEEL PANELS LOCATED BEYOND (TYP. @ Roof Areas as per NOA No. 18-0717.02)
- KYNAR FINISHED ALUMINUM COPING CAP WITH CONCEALED FASTENERS (TYPICAL @ TERMINATION OF ROOF PARAPET)
- 5/8" ULTRA SMOOTH SAND STUCCO FINISH (2 Coats) OVER 8"x8"x16" (Nominal) CONCRETE MASONRY UNIT (C.M.U.) BLOCK WALL / CONCRETE WALL / CONCRETE BEAM (Typical throughout proposed wall areas)
- PROPOSED CUT STONE WALL VENEER "Pro Fit Terrain LedgeStone - ETHOS BLEND" (by Boral Cultured Stone or Approved Equal) ON MORTAR SETTING BED OVER SPECIFIED WALL SUBSTRATE
- PROPOSED 1" (Wide) x 5/8" (Deep - Minimum) CONTINUOUS STUCCO REGLET / REVEAL SECURELY FASTENED OVER SPECIFIED WALL SUBSTRATE (Typical throughout wall areas as indicated)
- LINE OF 12"(w) x 20"(d) CONCRETE BEAM / ENTRANCE CANOPY (W/ 6"x12" IPE WOOD FRAMING JOISTS (Slain Grade) @ 18" O.C. SECURELY FASTENED TO CONCRETE BEAM / C.M.U. WALL W/ CONCEALED JOIST TIES/ HANGERS "CJT-6" by SIMPSON Strong-Tie, STATE OF FLORIDA No. 10865 (Ipe Framing Joists - Shown here Dashed for Clarity - Refer to Architectural Roof Plan @ Sheet No. A-403 for additional information)
- LINE OF STUCCO FINISHED EYEBROW / CANOPY / WINDOW SURROUND - Width as Indicated (Refer to Architectural Roof Plan @ Sht. No. A-403 / Structural DWG's for additional information)
- PROPOSED STUCCO FINISHED CONCRETE / C.M.U. (Clear) OPENING / SLIT - Size as Indicated (Refer to Structural DWG's for additional information)
- PROPOSED STUCCO FINISHED CONCRETE / C.M.U. FRAMED ARCHITECTURAL TRIM / MOULDING (Refer to Structural DWG's for additional information)
- PROPOSED KYNAR FINISHED ALUMINUM / GLASS IMPACT-RESISTANT WINDOW UNIT (REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION)
- PROPOSED KYNAR FINISHED ALUMINUM / GLASS IMPACT-RESISTANT WINDOW WALL SYSTEM (REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION)
- PROPOSED KYNAR FINISHED SINGLE-ACTING ALUMINUM / GLASS IMPACT-RESISTANT FRENCH DOOR(S) (REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION)
- PROPOSED KYNAR FINISHED SINGLE-ACTING ALUMINUM / GLASS IMPACT-RESISTANT OUTWARD SWING PIVOT MAIN ENTRY DOOR (REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION)
- PROPOSED KYNAR FINISHED ALUMINUM / GLASS IMPACT-RESISTANT SLIDING / FOLDING DOOR UNIT (REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION)
- PROPOSED ALUMINUM / LAMINATED GLASS OVERHEAD SECTIONAL GARAGE DOOR - PANEL DESIGN, FINISH & COLOR TO BE SELECTED BY OWNER / ARCHITECT (REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION)
- LINE OF POSTLESS TOP MOUNTED GLASS GUARDRAIL SYSTEM WITH CONCEALED / RECESSED SHOE MOULDING & EMBEDDED T-BOLT ANCHORS (TYPICAL EXTERIOR GLASS GUARDRAIL SYSTEM by Glass Railing of Norway, LLC - NOA No. 18-1011.05 OR APPROVED EQUAL). G.C. SHALL PROVIDE SHOP DRAWINGS THAT BEAR THE SIGNATURE & SEAL OF A STATE OF FLORIDA REGISTERED ENGINEER FOR REVIEW BY A/E PRIOR TO FABRICATION.
- PROPOSED SURFACE MOUNTED EXTERIOR (WET LOCATION) WALL BRACKETED LIGHT FIXTURE (TYPICAL)
- APPROXIMATE FINISHED GRADE ELEVATION (TYPICAL)
- LINE OF NEW SAND SET CONCRETE PAVER FINISHED DRIVEWAY / PARKWAY SYSTEM W/6" CONT. GRASS REVEAL / SURROUND (TYP. @ ALL EDGES OF CONCRETE PAVER - Refer to Architectural Site Plan @ Sheet No. A-200 for additional information)
- POURED-IN-PLACE CONCRETE TERRACE SLAB W/ STEPS AT GRADE - SPECIFIED FINISH TO BE SELECTED BY OWNER / ARCHITECT (REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION)
- CAST-IN-PLACE CONCRETE STEPS WITH SCHEDULED BRICK / STONE PAVER FINISH - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION (STONE PAVER COLOR & PATTERN TO BE SELECTED BY OWNER/ARCHITECT)
- PROPOSED OUTDOOR / EXTERIOR KITCHEN CABINETRY AND APPLIANCES LOCATED BEYOND - Appliance Manufacturer(s) to be selected by Owner / Architect (Refer to Architectural Floor Plan @ Sheet No. A-400 for additional information)
- FP&L APPROVED ELECTRICAL METER / C.B. DISCONNECT - SHOWN HERE DASHED FOR CLARITY (Refer to Electrical Drawings for additional information)
- PROPOSED H.V.A.C. CONDENSER UNIT(S) LOCATION SECURELY MOUNTED & FASTENED TO NEW CONCRETE SLAB AT FIRST FLOOR - SHOWN HERE DASHED FOR CLARITY (Refer to Mechanical & Structural Drawings for additional information)
- PROPOSED INFINITY-EDGE POOL, CONCRETE DECK & SPA AREA (N.I.C.) - Design & Construction Under separate permit by others (Refer to Architectural Site Plan @ Sheet No. A-200 for additional information - Pool Deck Finishes, Pool Finish, Coping & Trims to be selected by Owner)
- LINE OF CONCRETE FLOOR (Slab and/or Steps) / BEAM / C.M.U. WALL AND/OR CONCRETE CANOPY LOCATED BEYOND (Shown here dashed for clarity - Refer to Architectural Floor Plans, Typical Wall Sections & Structural DWG's for additional information)
- LINE OF CAST-IN-PLACE CONCRETE STAIRCASE LOCATED BEYOND W/ 46 Risers @ 6.586"(H) Each (Shown here dashed for clarity - See Structural DWGS. for additional information)
- LINE OF FINISHED FLOOR @ ROOF TERRACE AREAS INSTALLED ABOVE SPECIFIED ROOFING SYSTEM / ROOF STRUCTURE (Shown here dashed for clarity - See Architectural Floor Plans - Sht. No.'s A-402 & A-403, Typical Wall Sections & Structural DWG's for additional info.)
- LINE OF PROPOSED RAIN CURTAIN DISCHARGE / WATERFALL FEATURE @ EXTERIOR POOL DECK AREA (Refer to Plumbing DWG's for additional information / clarification)



**FRONT / WEST ELEVATION**

SCALE: 3/16" = 1'-0"



**RIGHT-SIDE / SOUTH ELEVATION**

SCALE: 3/16" = 1'-0"

**EXTERIOR BUILDING ELEVATIONS**

SCALE: 3/16" = 1'-0"



3681 SW 161st Terrace @ Miramar, FL @ 33027  
 m. 305.753.9638 or p. 954.441.5027  
 a. kurt@kaparch.net  
 as # 20020579

PROJECT ARCHITECT  
 KURT A. PETGRAVE, P.A., ARCH  
 # 80049

PROJECT OWNER

MR. LAWRENCE WALTERS  
 1616 SW 17th AVENUE  
 FORT LAUDERDALE, FLORIDA 33312

CUSTOM TWO-STORY SINGLE-FAMILY  
 WATERFRONT RESIDENCE ENTITLED:

**WALTERS RESIDENCE**

1616 S.W. 17th AVENUE  
 FORT LAUDERDALE, FL 33312-0000

COMPANY: KAP ARCHITECTURE, A PROFESSIONAL SERVICE CORPORATION, 3681 SW 161st Terrace, Miramar, FL 33027. PROJECT: 2018.05 - 1616 WALTERS. DATE: 10.21.19. SHEET: A-500. PROJECT ARCHITECT: KURT A. PETGRAVE, P.A., ARCHITECT, 3681 SW 161st Terrace, Miramar, FL 33027. PROJECT OWNER: MR. LAWRENCE WALTERS, 1616 SW 17th Avenue, Fort Lauderdale, FL 33312. SCALE: 3/16" = 1'-0".

KURT A. PETGRAVE, FL ARCH090049

05.26.20

03.30.20 Zoning Plan Review  
 DATE: REVISION:

DWG. TITLE: **ARCHITECTURAL BUILDING ELEVATIONS**

SCALE: **AS SHOWN**

PROJECT NO: **2018.05 - 1616 WALTERS**

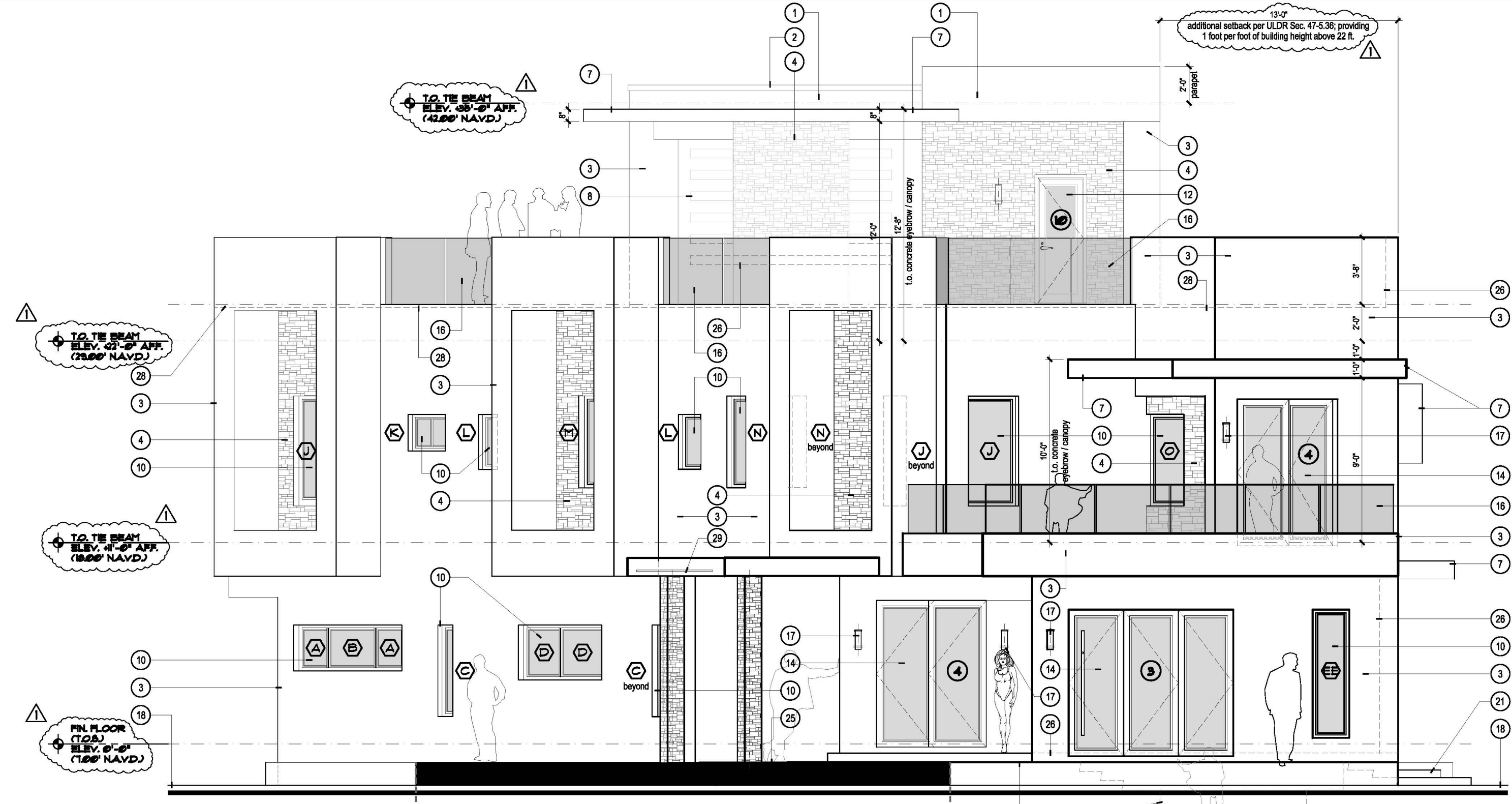
DATE: **10.21.19**

SHEET NUMBER: **A-500**

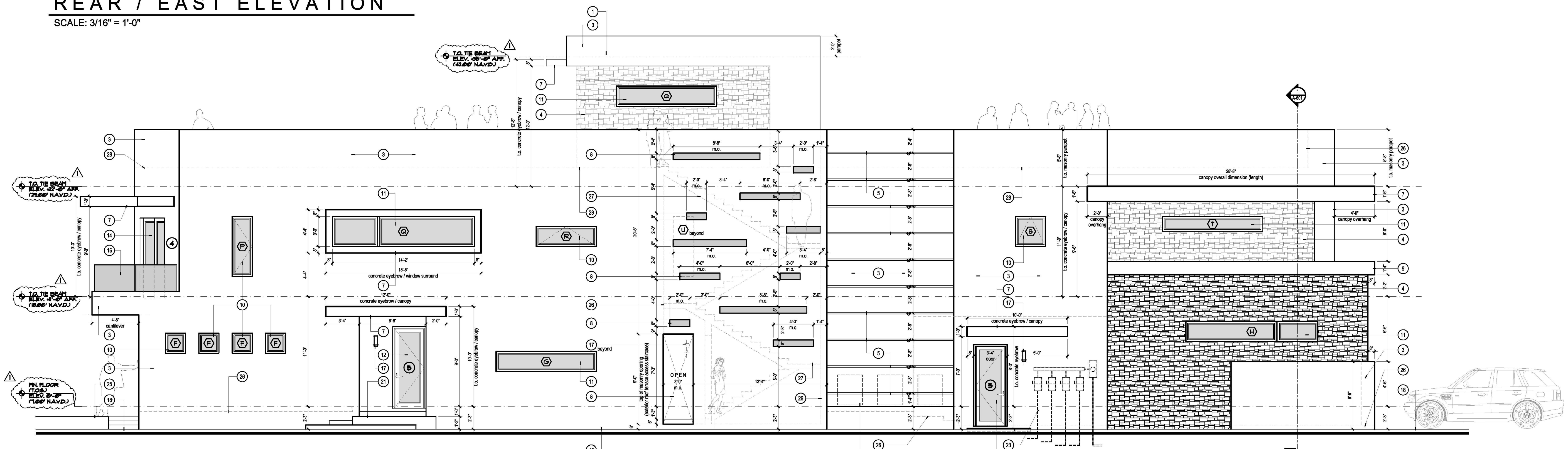
KAP Architecture - Rev. 03/20/2020 - 22:27:39 - C:\Users\kpetgrave\OneDrive\Documents\1616 SW 17th Avenue\1616 SW 17th Avenue\1616 SW 17th Avenue\1616 SW 17th Avenue\1616 SW 17th Avenue.dwg

**BUILDING ELEVATIONS KEYNOTES LEGEND:**

- 2-PLY SBS ROOFING MEMBRANE OVER CONCRETE TOPPING SLAB SLOPED @ 1/4" FT. TO DRAINS OVER HOT APPLIED W.P. MEMBRANE ON CONCRETE SLAB OVER 'DEEP-DEK' COMPOSITE STEEL PANELS LOCATED BEYOND (TYP. @ Roof Areas as per NOA No. 18-0717.02)
- KYNAR FINISHED ALUMINUM COPING CAP WITH CONCEALED FASTENERS (TYPICAL @ TERMINATION OF ROOF PARAPET)
- 5/8" ULTRA SMOOTH SAND STUCCO FINISH (2 Coats) OVER 8"x8"x16" (Nominal) CONCRETE MASONRY UNIT (C.M.U.) BLOCK WALL / CONCRETE WALL / CONCRETE BEAM (Typical throughout proposed wall areas)
- PROPOSED CUT STONE WALL VENEER "Pro Fit Terrain LedgeStone - ETHOS BLEND" (by Boral Cultured Stone or Approved Equal) ON MORTAR SETTING BED OVER SPECIFIED WALL SUBSTRATE
- PROPOSED 1" (Wide) x 5/8" (Deep - Minimum) CONTINUOUS STUCCO REGLET / REVEAL SECURELY FASTENED OVER SPECIFIED WALL SUBSTRATE (Typical throughout wall areas as indicated)
- LINE OF 12"(w) x 20"(d) CONCRETE BEAM / ENTRANCE CANOPY (W/ 6"x12" IPE WOOD FRAMING JOISTS (Stain Grade) @ 18" O.C. SECURELY FASTENED TO CONCRETE BEAM / C.M.U. WALL W/ CONCEALED JOIST TIES/ HANGERS "CJT-6" BY SIMPSON Strong-Tie, STATE OF FLORIDA No. 10865 (Ipe Framing Joists - Shown here Dashed for Clarity - Refer to Architectural Roof Plan @ Sheet No. A-403 for additional information)
- LINE OF STUCCO FINISHED CONCRETE EYEBROW / CANOPY / WINDOW SURROUND - Width as Indicated (Refer to Architectural Roof Plan @ Sht. No. A-403 / Structural DWG's for additional information)
- PROPOSED STUCCO FINISHED CONCRETE / C.M.U. (Clear) OPENING / SLIT - Size as Indicated (Refer to Structural DWG's for additional information)
- PROPOSED STUCCO FINISHED CONCRETE / C.M.U. FRAMED ARCHITECTURAL TRIM / MOULDING (Refer to Structural DWG's for additional information)
- PROPOSED KYNAR FINISHED ALUMINUM / GLASS IMPACT-RESISTANT WINDOW UNIT (REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION)
- PROPOSED KYNAR FINISHED ALUMINUM / GLASS IMPACT-RESISTANT WINDOW WALL SYSTEM (REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION)
- PROPOSED KYNAR FINISHED SINGLE-ACTING ALUMINUM / GLASS IMPACT-RESISTANT FRENCH DOOR(S) (REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION)
- PROPOSED KYNAR FINISHED SINGLE-ACTING ALUMINUM / GLASS IMPACT-RESISTANT OUTWARD SWING PIVOT MAIN ENTRY DOOR (REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION)
- PROPOSED KYNAR FINISHED ALUMINUM / GLASS IMPACT-RESISTANT SLIDING / FOLDING DOOR UNIT (REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION)
- PROPOSED ALUMINUM / LAMINATED GLASS OVERHEAD SECTIONAL GARAGE DOOR - PANEL DESIGN, FINISH & COLOR TO BE SELECTED BY OWNER / ARCHITECT (REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION)
- LINE OF POSTLESS TOP MOUNTED GLASS GUARDRAIL SYSTEM WITH CONCEALED / RECESSED SHOE MOULDING & EMBEDDED T-BOLT ANCHORS (TYPICAL EXTERIOR GLASS GUARDRAIL SYSTEM BY Glass Railing of Norway, LLC - NOA No. 18-1011.05 OR APPROVED EQUAL). G.C. SHALL PROVIDE SHOP DRAWINGS THAT BEAR THE SIGNATURE & SEAL OF A STATE OF FLORIDA REGISTERED ENGINEER FOR REVIEW BY A/E PRIOR TO FABRICATION.
- PROPOSED SURFACE MOUNTED EXTERIOR (WET LOCATION) WALL BRACKETED LIGHT FIXTURE (TYPICAL)
- APPROXIMATE FINISHED GRADE ELEVATION (TYPICAL)
- LINE OF NEW SAND SET CONCRETE PAVER FINISHED DRIVECOURT / PARKWAY SYSTEM W/6" CONT. GRASS REVEAL / SURROUND (TYP. @ ALL EDGES OF CONCRETE PAVER - Refer to Architectural Site Plan @ Sheet No. A-200 for additional information)
- POURED-IN-PLACE CONCRETE TERRACE SLAB W/ STEPS AT GRADE - SPECIFIED FINISH TO BE SELECTED BY OWNER / ARCHITECT (REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION)
- CAST-IN-PLACE CONCRETE STEPS WITH SCHEDULED BRICK / STONE PAVER FINISH - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION (STONE PAVER COLOR & PATTERN TO BE SELECTED BY OWNER/ARCHITECT)
- PROPOSED OUTDOOR / EXTERIOR KITCHEN CABINETRY AND APPLIANCES LOCATED BEYOND - Appliance Manufacturer(s) to be selected by Owner / Architect (Refer to Architectural Floor Plan @ Sheet No. A-400 for additional information)
- FP&L APPROVED ELECTRICAL METER / C.B. DISCONNECT - SHOWN HERE DASHED FOR CLARITY (Refer to Electrical Drawings for additional information)
- PROPOSED H.V.A.C. CONDENSER UNIT(S) LOCATION SECURELY MOUNTED & FASTENED TO NEW CONCRETE SLAB AT FIRST FLOOR - SHOWN HERE DASHED FOR CLARITY (Refer to Mechanical & Structural Drawings for additional information)
- PROPOSED INFINITY-EDGE POOL, CONCRETE DECK & SPA AREA (N.I.C.) - Design & Construction Under separate permit by others (Refer to Architectural Site Plan @ Sheet No. A-200 for additional information - Pool Deck Finishes, Pool Finish, Coping & Trims to be selected by Owner)
- LINE OF CONCRETE FLOOR (Slab and/or Steps) / BEAM / C.M.U. WALL AND/OR CONCRETE CANOPY LOCATED BEYOND (Shown here dashed for clarity - Refer to Architectural Floor Plans, Typical Wall Sections & Structural DWG's for additional information)
- LINE OF CAST-IN-PLACE CONCRETE STAIRCASE LOCATED BEYOND W/ 46 Risers @ 6.586"(H) Each (Shown here dashed for clarity - See Structural DWG's. for additional information)
- LINE OF FINISHED FLOOR @ ROOF TERRACE AREAS INSTALLED ABOVE SPECIFIED ROOFING SYSTEM / ROOF STRUCTURE (Shown here dashed for clarity - See Architectural Floor Plans - Sht. No.'s A-402 & A-403, Typical Wall Sections & Structural DWG's for additional info.)
- LINE OF PROPOSED RAIN CURTAIN DISCHARGE / WATERFALL FEATURE @ EXTERIOR POOL DECK AREA (Refer to Plumbing DWG's for additional information / clarification)



**REAR / EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



**LEFT-SIDE / NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"

**EXTERIOR BUILDING ELEVATIONS**  
SCALE: 3/16" = 1'-0"

MR. LAWRENCE WALTERS  
1616 SW 17th AVENUE  
FORT LAUDERDALE, FLORIDA 33312

CUSTOM TWO-STORY SINGLE-FAMILY WATERFRONT RESIDENCE ENTITLED:

**WALTERS RESIDENCE**  
1616 S.W. 17th AVENUE  
FORT LAUDERDALE, FL 33312-0000

KURT A. PETGRAVE, FL AR0009049

05.26.20

03.30.20 Zoning Plan Review  
DATE: REVISION:

DWG. TITLE: **ARCHITECTURAL BUILDING ELEVATIONS**  
SCALE: **AS SHOWN**  
PROJECT NO: **2018.05 - 1616 WALTERS**  
DATE: **10.21.19**  
SHEET NUMBER: **A-501**

**TYPICAL ROOF NOTES:**

NEW 2-PLY TORCH APPLIED SBS MEMBRANE / ROOFING SYSTEM OVER (2" THICKNESS) STRUCTURAL LIGHTWEIGHT CONCRETE TOPPING SLAB SLOPED @ 1/4" FT. TO DRAINS OVER HOT APPLIED UP. MEMBRANE SYSTEM ON SPECIFIED SITE Poured CONCRETE SLAB OVER DEEP-DECK COMPOSITE STEEL PANELS (Refer to Structural Drawings for additional information) TYP. • ROOF AREAS AS PER NOA No. 18-071162

SCHEDULED ROOF DRAIN W/ STRAINER AND DRAIN STUB (Refer to DTL No. 2 • Sht. No. A-10) and PLUMBING DUGS. (For additional information)

STRUCTURAL LIGHTWEIGHT CONCRETE TOPPING SLAB (2" THICKNESS) SLOPED @ 1/4" FT. TO DRAIN (Refer to Structural DUGS. for additional information)

PROVIDE COLPHENE FLAM 2-PLY WATERPROOFING SYSTEM W/ SOPHODRAIN DRAINAGE MAT OVER SITE Poured COMPOSITE TOPPING / CONCRETE SLAB AS PER NOA No. 18-071162 (TYP. THROUGHOUT ROOF AREA)

SPECIFIED SITE Poured COMPOSITE TOPPING / CONCRETE SLAB (Refer to Structural DUGS. for additional info)

EXTEND SOPHREMA ALBAN RS WATERPROOFING SYSTEM DOWN FULL EXTENT OF ROOF PARAPET WALL (TYP. • INTERIOR SIDE OF PARAPET)

LINE OF BUTT-GLAZED IMPACT-RESISTANT GLASS (OR THE EXTERIOR GUARDRAIL SYSTEM LOCATED BEYOND W/ RECESSED SHOE MOLDINGS • EMBEDDED T-BOLT ANCHORS • CONCRETE BEAM / SLAB

PROVIDE SOPHREMA ALBAN RS 216 / RS 233 / COARSE QUARTZ SAND TO RESECTION AS PER MANUFACTURER'S SPECS. TO CONCRETE / CMU AREAS PRIOR TO STUCCO FINISH (TYP. THROUGHOUT • Concrete / CMU Wall Parapet Area)

LINE OF CONCRETE WALL / PARAPET CAP (Refer to Structural DUGS. for additional information)

LINE OF NEW 8"x8"x16" (Nominal) CMU WALL

9 GA. TRUSS TYPE HORIZONTAL JOINT REINFORCING @ 16" O.C. (EVEN SECOND COURSE) VERTICALLY. EXTEND 4" INTO COLUMNS (TYPICAL)

1" STUCCO REVEAL / RAIN DRIP (Refer to Detail No. B • Sht. No. A-10) for additional information)

SCHEDULED STEEL REINFORCED CONCRETE BEAM AND EYEBROW CANOPY SLAB (Refer to Structural DUGS. for additional information)

LINE OF NEW 8"x8"x16" (Nominal) CMU WALL

LINE OF 1/2" ULTRA SMOOTH SAND STUCCO FINISH (2 Coats) OVER 8" CMU BLOCK WALL (TYP. EXTERIOR WALL FINISH)

1" STUCCO REVEAL / RAIN DRIP (Refer to Detail No. B • Sht. No. A-10) for additional information)

SCHEDULED STEEL REINFORCED CONCRETE BEAM AND EYEBROW CANOPY SLAB (Refer to Structural DUGS. for additional information)

LINE OF NEW 8"x8"x16" (Nominal) CMU WALL

LINE OF 1/2" ULTRA SMOOTH SAND STUCCO FINISH (2 Coats) OVER 8" CMU BLOCK WALL (TYP. EXTERIOR WALL FINISH)

1" STUCCO REVEAL / RAIN DRIP (Refer to Detail No. B • Sht. No. A-10) for additional information)

SCHEDULED STEEL REINFORCED CONCRETE BEAM AND EYEBROW CANOPY SLAB (Refer to Structural DUGS. for additional information)

LINE OF NEW 8"x8"x16" (Nominal) CMU WALL

LINE OF 1/2" ULTRA SMOOTH SAND STUCCO FINISH (2 Coats) OVER 8" CMU BLOCK WALL (TYP. EXTERIOR WALL FINISH)

1" STUCCO REVEAL / RAIN DRIP (Refer to Detail No. B • Sht. No. A-10) for additional information)

SCHEDULED STEEL REINFORCED CONCRETE BEAM AND EYEBROW CANOPY SLAB (Refer to Structural DUGS. for additional information)

LINE OF NEW 8"x8"x16" (Nominal) CMU WALL

LINE OF 1/2" ULTRA SMOOTH SAND STUCCO FINISH (2 Coats) OVER 8" CMU BLOCK WALL (TYP. EXTERIOR WALL FINISH)

1" STUCCO REVEAL / RAIN DRIP (Refer to Detail No. B • Sht. No. A-10) for additional information)

SCHEDULED STEEL REINFORCED CONCRETE BEAM AND EYEBROW CANOPY SLAB (Refer to Structural DUGS. for additional information)

LINE OF NEW 8"x8"x16" (Nominal) CMU WALL

LINE OF 1/2" ULTRA SMOOTH SAND STUCCO FINISH (2 Coats) OVER 8" CMU BLOCK WALL (TYP. EXTERIOR WALL FINISH)

1" STUCCO REVEAL / RAIN DRIP (Refer to Detail No. B • Sht. No. A-10) for additional information)

SCHEDULED STEEL REINFORCED CONCRETE BEAM AND EYEBROW CANOPY SLAB (Refer to Structural DUGS. for additional information)

LINE OF NEW 8"x8"x16" (Nominal) CMU WALL

LINE OF 1/2" ULTRA SMOOTH SAND STUCCO FINISH (2 Coats) OVER 8" CMU BLOCK WALL (TYP. EXTERIOR WALL FINISH)

1" STUCCO REVEAL / RAIN DRIP (Refer to Detail No. B • Sht. No. A-10) for additional information)

SCHEDULED STEEL REINFORCED CONCRETE BEAM AND EYEBROW CANOPY SLAB (Refer to Structural DUGS. for additional information)

LINE OF NEW 8"x8"x16" (Nominal) CMU WALL

LINE OF 1/2" ULTRA SMOOTH SAND STUCCO FINISH (2 Coats) OVER 8" CMU BLOCK WALL (TYP. EXTERIOR WALL FINISH)

1" STUCCO REVEAL / RAIN DRIP (Refer to Detail No. B • Sht. No. A-10) for additional information)

SCHEDULED STEEL REINFORCED CONCRETE BEAM AND EYEBROW CANOPY SLAB (Refer to Structural DUGS. for additional information)

LINE OF NEW 8"x8"x16" (Nominal) CMU WALL

LINE OF 1/2" ULTRA SMOOTH SAND STUCCO FINISH (2 Coats) OVER 8" CMU BLOCK WALL (TYP. EXTERIOR WALL FINISH)

1" STUCCO REVEAL / RAIN DRIP (Refer to Detail No. B • Sht. No. A-10) for additional information)

SCHEDULED STEEL REINFORCED CONCRETE BEAM AND EYEBROW CANOPY SLAB (Refer to Structural DUGS. for additional information)

LINE OF NEW 8"x8"x16" (Nominal) CMU WALL

LINE OF 1/2" ULTRA SMOOTH SAND STUCCO FINISH (2 Coats) OVER 8" CMU BLOCK WALL (TYP. EXTERIOR WALL FINISH)

1" STUCCO REVEAL / RAIN DRIP (Refer to Detail No. B • Sht. No. A-10) for additional information)

SCHEDULED STEEL REINFORCED CONCRETE BEAM AND EYEBROW CANOPY SLAB (Refer to Structural DUGS. for additional information)

LINE OF NEW 8"x8"x16" (Nominal) CMU WALL

LINE OF 1/2" ULTRA SMOOTH SAND STUCCO FINISH (2 Coats) OVER 8" CMU BLOCK WALL (TYP. EXTERIOR WALL FINISH)

1" STUCCO REVEAL / RAIN DRIP (Refer to Detail No. B • Sht. No. A-10) for additional information)

SCHEDULED STEEL REINFORCED CONCRETE BEAM AND EYEBROW CANOPY SLAB (Refer to Structural DUGS. for additional information)

LINE OF NEW 8"x8"x16" (Nominal) CMU WALL

LINE OF 1/2" ULTRA SMOOTH SAND STUCCO FINISH (2 Coats) OVER 8" CMU BLOCK WALL (TYP. EXTERIOR WALL FINISH)

1" STUCCO REVEAL / RAIN DRIP (Refer to Detail No. B • Sht. No. A-10) for additional information)

SCHEDULED STEEL REINFORCED CONCRETE BEAM AND EYEBROW CANOPY SLAB (Refer to Structural DUGS. for additional information)

LINE OF NEW 8"x8"x16" (Nominal) CMU WALL

LINE OF 1/2" ULTRA SMOOTH SAND STUCCO FINISH (2 Coats) OVER 8" CMU BLOCK WALL (TYP. EXTERIOR WALL FINISH)

TO NEW TIE BEAM  
ELEV. 22'-0" (TYP. NAVD)

SPECIFIED COMPOSITE STEEL DEEP-DECK PANELS (Refer to Structural DUGS. for additional information)

SPECIFIED 2"x METAL FRAMING STUDS @ 16" O.C. (TYP. THROUGHOUT INTERIOR CEILING AREAS)

R-38 (MIN) FIBERGLASS BATT INSULATION (TYP. THROUGHOUT ROOF AREAS)

1/2" DRYWALL FINISH OVER 2"x METAL FRAMING @ 24" O.C. - MAX. (TYP. THROUGHOUT INTERIOR FRAMED PARTITION WALLS)

H.V.A.C. DUCTWORK (S.C. TO COORD. DUCTWORK LAYOUT AND PROVIDE ANY SPECIAL FRAMING AS REQ'D.)

3/4" (MIN) SOUND ATTENUATION FIBER BLANKET / INSULATION UP TO UNDERSIDE OF STRUCTURE (TYP. THROUGHOUT INTERIOR FRAMED PARTITION WALLS - Owner Option)

1/2" DRYWALL FINISH OVER 2"x METAL FRAMING @ 24" O.C. - MAX. (TYP. THROUGHOUT INTERIOR FRAMED PARTITION WALLS)

WARDROBE AREA

LINE OF PROPOSED FLOOR FINISH TO BE SELECTED BY OWNER (Refer to Finish Schedule • Sheet A-400 for addtl. info)

PROPOSED FIRE STOP @ 4" O.C. - MAX. (TYP. THROUGHOUT INTERIOR FRAMED PARTITION WALLS)

SPECIFIED 2"x METAL FRAMING STUDS @ 24" O.C. (TYP. THROUGHOUT • Non-Load Bearing Wall Partitions)

SPECIFIED SITE Poured COMPOSITE TOPPING / CONCRETE SLAB (Refer to Structural DUGS. for additional info)

1/2" DRYWALL ON PT. 1/2" CROSS FRAMING STRIPS @ 24" O.C. FASTENED TO MTL. STUD FRAMING (TYP. • Ceiling Areas)

ELECTRICAL H-141" LIGHT FIXTURE (TYP. • Refer to Electrical DUGS. for additional information)

PROPOSED CONTINUOUS LIGHT COVE / COVERED CEILING DETAIL (Refer to Arch. Roof Plan • Sht. No. A-40) for additional information)

1/2" DRYWALL ON PT. 2"x3" FRAMING STRIPS @ 16" O.C. (TYP. • ALL WALLS - INTERIOR SIDE)

NOTE: PROVIDE R-8 (MIN) INSULATION BETWEEN FRAMING (TYP. • EXTERIOR CMU PERIMETER WALLS)

GREAT ROOM

LINE OF NEW 8"x8"x16" (Nominal) CMU WALL

LINE OF PROPOSED FLOOR FINISH TO BE SELECTED BY OWNER (Refer to Finish Schedule • Sheet A-400 for addtl. info)

SCHEDULED (3000 PSI) MIN. INTERIOR / MONOLITHIC CONCRETE FOOTING W/ STEEL REINFORCEMENT (Refer to Struct. DUGS. • Foundation Plan • Footing Schedule for addtl. information)

6" CONC. SLAB REIN. W/ (6"x6") W/4"x4" W/4" DOUBLE LAYER AT PERIMETER OVER 6" MIL. VULNER VAPOR BARRIER ON WELL COMPACTED (95% DRY DENSITY) CONSTRUCTION AND FILL SOIL TO BE TIGHTLY TREATED FREE OF FOREIGN MATTER, ROCKS, STONES AND TREE TRUNKS OR BRANCHES (Refer to Structural DUGS. for additional information)

1" PRE-MOLDED EXPANSION JOINT FILLER MATERIAL (TYP.)

9 GA. TRUSS TYPE HORIZONTAL JOINT REINFORCING @ 16" O.C. (EVEN SECOND COURSE) VERTICALLY. EXTEND 4" INTO COLUMNS (TYPICAL)

SCHEDULED (3000 PSI) MIN. STEEL REINFORCED GRADE BEAM (Refer to Struct. DUGS. • Foundation Plan • Footing Schedule for addtl. info)

6" CONC. SLAB REIN. W/ (6"x6") W/4"x4" W/4" DOUBLE LAYER AT PERIMETER OVER 6" MIL. VULNER VAPOR BARRIER ON WELL COMPACTED (95% DRY DENSITY) CONSTRUCTION AND FILL SOIL TO BE TIGHTLY TREATED FREE OF FOREIGN MATTER, ROCKS, STONES AND TREE TRUNKS OR BRANCHES (Refer to Structural DUGS. for additional information)

LINE OF SCHEDULED 14" AUGER CAST PILE LOCATED BEYOND - BAGAN HERE DASHED FOR CLARITY (Refer to Struct. DUGS. • Foundation Plan • Footing Schedule for addtl. information)

SCHEDULED (3000 PSI) MIN. INTERIOR / MONOLITHIC CONCRETE FOOTING W/ STEEL REINFORCEMENT (Refer to Struct. DUGS. • Foundation Plan • Footing Schedule for addtl. information)

6" CONC. SLAB REIN. W/ (6"x6") W/4"x4" W/4" DOUBLE LAYER AT PERIMETER OVER 6" MIL. VULNER VAPOR BARRIER ON WELL COMPACTED (95% DRY DENSITY) CONSTRUCTION AND FILL SOIL TO BE TIGHTLY TREATED FREE OF FOREIGN MATTER, ROCKS, STONES AND TREE TRUNKS OR BRANCHES (Refer to Structural DUGS. for additional information)

1" PRE-MOLDED EXPANSION JOINT FILLER MATERIAL (TYP.)

9 GA. TRUSS TYPE HORIZONTAL JOINT REINFORCING @ 16" O.C. (EVEN SECOND COURSE) VERTICALLY. EXTEND 4" INTO COLUMNS (TYPICAL)

SCHEDULED (3000 PSI) MIN. STEEL REINFORCED GRADE BEAM (Refer to Struct. DUGS. • Foundation Plan • Footing Schedule for addtl. info)

6" CONC. SLAB REIN. W/ (6"x6") W/4"x4" W/4" DOUBLE LAYER AT PERIMETER OVER 6" MIL. VULNER VAPOR BARRIER ON WELL COMPACTED (95% DRY DENSITY) CONSTRUCTION AND FILL SOIL TO BE TIGHTLY TREATED FREE OF FOREIGN MATTER, ROCKS, STONES AND TREE TRUNKS OR BRANCHES (Refer to Structural DUGS. for additional information)

LINE OF SCHEDULED 14" AUGER CAST PILE LOCATED BEYOND - BAGAN HERE DASHED FOR CLARITY (Refer to Struct. DUGS. • Foundation Plan • Footing Schedule for addtl. information)

SCHEDULED (3000 PSI) MIN. INTERIOR / MONOLITHIC CONCRETE FOOTING W/ STEEL REINFORCEMENT (Refer to Struct. DUGS. • Foundation Plan • Footing Schedule for addtl. information)

6" CONC. SLAB REIN. W/ (6"x6") W/4"x4" W/4" DOUBLE LAYER AT PERIMETER OVER 6" MIL. VULNER VAPOR BARRIER ON WELL COMPACTED (95% DRY DENSITY) CONSTRUCTION AND FILL SOIL TO BE TIGHTLY TREATED FREE OF FOREIGN MATTER, ROCKS, STONES AND TREE TRUNKS OR BRANCHES (Refer to Structural DUGS. for additional information)

1" PRE-MOLDED EXPANSION JOINT FILLER MATERIAL (TYP.)

9 GA. TRUSS TYPE HORIZONTAL JOINT REINFORCING @ 16" O.C. (EVEN SECOND COURSE) VERTICALLY. EXTEND 4" INTO COLUMNS (TYPICAL)

SCHEDULED (3000 PSI) MIN. STEEL REINFORCED GRADE BEAM (Refer to Struct. DUGS. • Foundation Plan • Footing Schedule for addtl. info)

6" CONC. SLAB REIN. W/ (6"x6") W/4"x4" W/4" DOUBLE LAYER AT PERIMETER OVER 6" MIL. VULNER VAPOR BARRIER ON WELL COMPACTED (95% DRY DENSITY) CONSTRUCTION AND FILL SOIL TO BE TIGHTLY TREATED FREE OF FOREIGN MATTER, ROCKS, STONES AND TREE TRUNKS OR BRANCHES (Refer to Structural DUGS. for additional information)

LINE OF SCHEDULED 14" AUGER CAST PILE LOCATED BEYOND - BAGAN HERE DASHED FOR CLARITY (Refer to Struct. DUGS. • Foundation Plan • Footing Schedule for addtl. information)

SCHEDULED (3000 PSI) MIN. INTERIOR / MONOLITHIC CONCRETE FOOTING W/ STEEL REINFORCEMENT (Refer to Struct. DUGS. • Foundation Plan • Footing Schedule for addtl. information)

6" CONC. SLAB REIN. W/ (6"x6") W/4"x4" W/4" DOUBLE LAYER AT PERIMETER OVER 6" MIL. VULNER VAPOR BARRIER ON WELL COMPACTED (95% DRY DENSITY) CONSTRUCTION AND FILL SOIL TO BE TIGHTLY TREATED FREE OF FOREIGN MATTER, ROCKS, STONES AND TREE TRUNKS OR BRANCHES (Refer to Structural DUGS. for additional information)

LINE OF SCHEDULED 14" AUGER CAST PILE LOCATED BEYOND - BAGAN HERE DASHED FOR CLARITY (Refer to Struct. DUGS. • Foundation Plan • Footing Schedule for addtl. information)

NOTES:  
1. THE ALLOWABLE SOIL BEARING CAPACITY / PROPOSED PILING LOCATION PLAN AND FOUNDATION DESIGN HAS BEEN DETERMINED BASED ON SUBSURFACE INVESTIGATION / BORINGS CONDUCTED BY Dynatech Engineering Corp. TO AN AVERAGE DEPTH OF 40' BELOW FINISHED GRADE. THE GENERAL CONTRACTOR SHALL VERIFY THE EXISTING SUBGRADE MATERIALS AND CONDITIONS AND NOTIFY THE ARCHITECT VIA WRITTEN NOTIFICATION IF THE CONDITIONS ENCOUNTERED PRESENT ANY DISCREPANCIES.  
2. CLEAR AND RUB NEW CONSTRUCTION / BUILDING AREA OF ALL SURFACE VEGETATION AND TOPSOIL DOWN TO VIRGIN LITEROCK. FOUNDATIONS MUST BEAR ON UNDISTURBED LITEROCK.  
3. ALL EXTERIOR CMU WALLS HAVE BEEN DESIGNED STRUCTURALLY IN ACCORDANCE WITH (ASCE 7-16) TO WITHSTAND THE WIND FORCES, Exposure C.  
4. The design of buildings and structures of reinforced masonry shall be by a Professional Engineer or Registered Architect as per Section 2025 (FBC 2017 Edition) and shall comply with the provisions as set forth in Section 2023 (FBC 2017 Edition).  
5. A Florida Registered Architect or Professional Engineer shall furnish inspections of all reinforced masonry structures, as per Section 2024 (FBC 2017).

FINISH FLOOR (TYP.)  
ELEV. 0'-0" (TYP. NAVD)

SCHEDULED (3000 PSI) MIN. INTERIOR / MONOLITHIC CONCRETE FOOTING W/ STEEL REINFORCEMENT (Refer to Struct. DUGS. • Foundation Plan • Footing Schedule for addtl. information)

6" CONC. SLAB REIN. W/ (6"x6") W/4"x4" W/4" DOUBLE LAYER AT PERIMETER OVER 6" MIL. VULNER VAPOR BARRIER ON WELL COMPACTED (95% DRY DENSITY) CONSTRUCTION AND FILL SOIL TO BE TIGHTLY TREATED FREE OF FOREIGN MATTER, ROCKS, STONES AND TREE TRUNKS OR BRANCHES (Refer to Structural DUGS. for additional information)

1" PRE-MOLDED EXPANSION JOINT FILLER MATERIAL (TYP.)

9 GA. TRUSS TYPE HORIZONTAL JOINT REINFORCING @ 16" O.C. (EVEN SECOND COURSE) VERTICALLY. EXTEND 4" INTO COLUMNS (TYPICAL)

SCHEDULED (3000 PSI) MIN. STEEL REINFORCED GRADE BEAM (Refer to Struct. DUGS. • Foundation Plan • Footing Schedule for addtl. info)

6" CONC. SLAB REIN. W/ (6"x6") W/4"x4" W/4" DOUBLE LAYER AT PERIMETER OVER 6" MIL. VULNER VAPOR BARRIER ON WELL COMPACTED (95% DRY DENSITY) CONSTRUCTION AND FILL SOIL TO BE TIGHTLY TREATED FREE OF FOREIGN MATTER, ROCKS, STONES AND TREE TRUNKS OR BRANCHES (Refer to Structural DUGS. for additional information)

LINE OF SCHEDULED 14" AUGER CAST PILE LOCATED BEYOND - BAGAN HERE DASHED FOR CLARITY (Refer to Struct. DUGS. • Foundation Plan • Footing Schedule for addtl. information)

SCHEDULED (3000 PSI) MIN. INTERIOR / MONOLITHIC CONCRETE FOOTING W/ STEEL REINFORCEMENT (Refer to Struct. DUGS. • Foundation Plan • Footing Schedule for addtl. information)

6" CONC. SLAB REIN. W/ (6"x6") W/4"x4" W/4" DOUBLE LAYER AT PERIMETER OVER 6" MIL. VULNER VAPOR BARRIER ON WELL COMPACTED (95% DRY DENSITY) CONSTRUCTION AND FILL SOIL TO BE TIGHTLY TREATED FREE OF FOREIGN MATTER, ROCKS, STONES AND TREE TRUNKS OR BRANCHES (Refer to Structural DUGS. for additional information)

1" PRE-MOLDED EXPANSION JOINT FILLER MATERIAL (TYP.)

9 GA. TRUSS TYPE HORIZONTAL JOINT REINFORCING @ 16" O.C. (EVEN SECOND COURSE) VERTICALLY. EXTEND 4" INTO COLUMNS (TYPICAL)

SCHEDULED (3000 PSI) MIN. STEEL REINFORCED GRADE BEAM (Refer to Struct. DUGS. • Foundation Plan • Footing Schedule for addtl. info)

6" CONC. SLAB REIN. W/ (6"x6") W/4"x4" W/4" DOUBLE LAYER AT PERIMETER OVER 6" MIL. VULNER VAPOR BARRIER ON WELL COMPACTED (95% DRY DENSITY) CONSTRUCTION AND FILL SOIL TO BE TIGHTLY TREATED FREE OF FOREIGN MATTER, ROCKS, STONES AND TREE TRUNKS OR BRANCHES (Refer to Structural DUGS. for additional information)

LINE OF SCHEDULED 14" AUGER CAST PILE LOCATED BEYOND - BAGAN HERE DASHED FOR CLARITY (Refer to Struct. DUGS. • Foundation Plan • Footing Schedule for addtl. information)

SCHEDULED (3000 PSI) MIN. INTERIOR / MONOLITHIC CONCRETE FOOTING W/ STEEL REINFORCEMENT (Refer to Struct. DUGS. • Foundation Plan • Footing Schedule for addtl. information)

6" CONC. SLAB REIN. W/ (6"x6") W/4"x4" W/4" DOUBLE LAYER AT PERIMETER OVER 6" MIL. VULNER VAPOR BARRIER ON WELL COMPACTED (95% DRY DENSITY) CONSTRUCTION AND FILL SOIL TO BE TIGHTLY TREATED FREE OF FOREIGN MATTER, ROCKS, STONES AND TREE TRUNKS OR BRANCHES (Refer to Structural DUGS. for additional information)

LINE OF SCHEDULED 14" AUGER CAST PILE LOCATED BEYOND - BAGAN HERE DASHED FOR CLARITY (Refer to Struct. DUGS. • Foundation Plan • Footing Schedule for addtl. information)

SCHEDULED (3000 PSI) MIN. INTERIOR / MONOLITHIC CONCRETE FOOTING W/ STEEL REINFORCEMENT (Refer to Struct. DUGS. • Foundation Plan • Footing Schedule for addtl. information)

MR. LAWRENCE WALTERS  
1616 SW 17TH AVENUE  
FORT LAUDERDALE, FLORIDA 33312

CUSTOM TWO-STORY SINGLE-FAMILY WATERFRONT RESIDENCE ENTITLED:

**WALTERS RESIDENCE**  
1616 S.W. 17th AVENUE  
FORT LAUDERDALE, FL 33312-0000

DATE: 03.30.20  
Zoning Plan Review  
DATE: 10.21.19  
REVISION:

KURT A. PETRAVE, F.A. 16009049

05.26.20

DWG. TITLE: TYP. WALL SECT., @ EXT. COVERED LANAI  
SCALE: AS SHOWN  
PROJECT NO.: 2018.05 - 1616 WALTERS  
DATE: 10.21.19  
SHEET NUMBER: A-603

1  
A-603

**TYP. WALL SECTION @ EXTERIOR COVERED LANAI**

SCALE: 1/2" = 1'-0"

# ELEVATION CERTIFICATE

**Important:** Follow the instructions on pages 1–9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name LAWRENCE WALTERS				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1616 SW 17TH AVENUE				Company NAIC Number:	
City FORT LAUDERDALE		State Florida		ZIP Code 33312	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LOT 15, PLAT BOOK 46, PAGE 42, SUBDIVISION NAME: BOSSERT ISLES *BCR					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL</u>					
A5. Latitude/Longitude: Lat. <u>N26.100582°</u> Long. <u>80.163523°</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>1B</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>N/A</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u>					
c) Total net area of flood openings in A8.b <u>N/A</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>880.00</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A9.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number CITY OF FORT LAUDERDALE 125105			B2. County Name BROWARD		B3. State Florida
B4. Map/Panel Number 12011C0556	B5. Suffix H	B6. FIRM Index Date 08-18-2014	B7. FIRM Panel Effective/ Revised Date 08-18-2014	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 5
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1616 SW 17TH AVENUE			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33312	Company NAIC Number

## SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction

\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: BCBM #1857 ELEV:8.419 \*BCR Vertical Datum: NAVD-1988

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929  NAVD 1988  Other/Source: \_\_\_\_\_

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- |   |             |  |                                 |
|---|-------------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor)   | <u>7.30</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor   | <u>N/A</u>  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only)   | <u>N/A</u>  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab)  | <u>5.05</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building<br>(Describe type of equipment and location in Comments) | <u>7.13</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG)  | <u>4.9</u>  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG)   | <u>5.0</u>  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support                                  | <u>N/A</u>  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |

## SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor?  Yes  No  Check here if attachments.

Certifier's Name  
NICOLAS DEL VENTO

License Number  
6945

Title  
SURVEYOR

Company Name  
SURVEY PROS, INC.

Address  
5966 S. DIXIE HIGHWAY #300

City  
MIAMI

State  
Florida

ZIP Code  
33143

Signature  
Nicolas Del Vento

Date  
12-20-2022

Telephone  
(305) 767-6802

Ext.

Digitally signed by  
Nicolas Del Vento  
Date: 2024.01.23  
12:44:33 -05'00'



Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

GPS COORDINATES OBTAINED USING GPS DEVICE

\*BROWARD COUNTY RECORDS

LOWEST MACHINERY = A/C PAD. A/C PAD IS LOCATED ON THE LEFT SIDE OF THE HOUSE.

HIGHEST CROWN OF ROAD ELEVATION = 3.35

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>	<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1616 SW 17TH AVENUE	Policy Number:
City FORT LAUDERDALE	State Florida
ZIP Code 33312	Company NAIC Number

## SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

## SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address City State ZIP Code

Signature Date Telephone

Comments

Check here if attachments.

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1616 SW 17TH AVENUE			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33312	Company NAIC Number

## SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3.  The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
-------------------	------------------------	---

G7. This permit has been issued for:  New Construction  Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_

G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_

G10. Community's design flood elevation: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_

Local Official's Name	Title
Community Name	Telephone
Signature	Date

Comments (including type of equipment and location, per C2(e), if applicable)

Check here if attachments.

# BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2022

## ELEVATION CERTIFICATE

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1616 SW 17TH AVENUE			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33312	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption FRONT VIEW

Clear Photo One

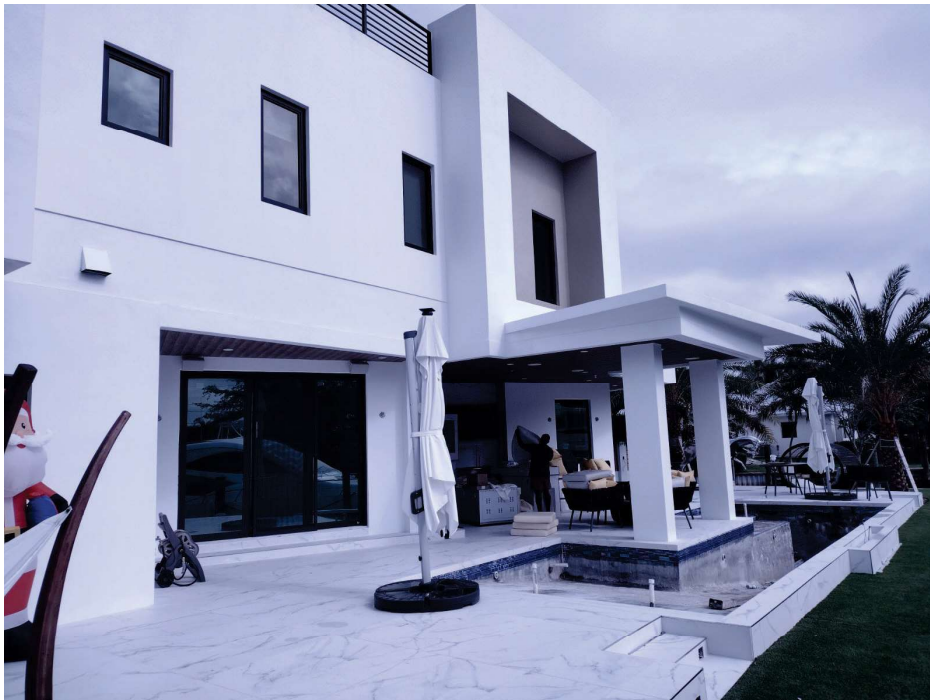


Photo Two

Photo Two Caption REAR VIEW

Clear Photo Two



# BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008  
Expiration Date: November 30, 2022

## ELEVATION CERTIFICATE

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1616 SW 17TH AVENUE			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33312	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

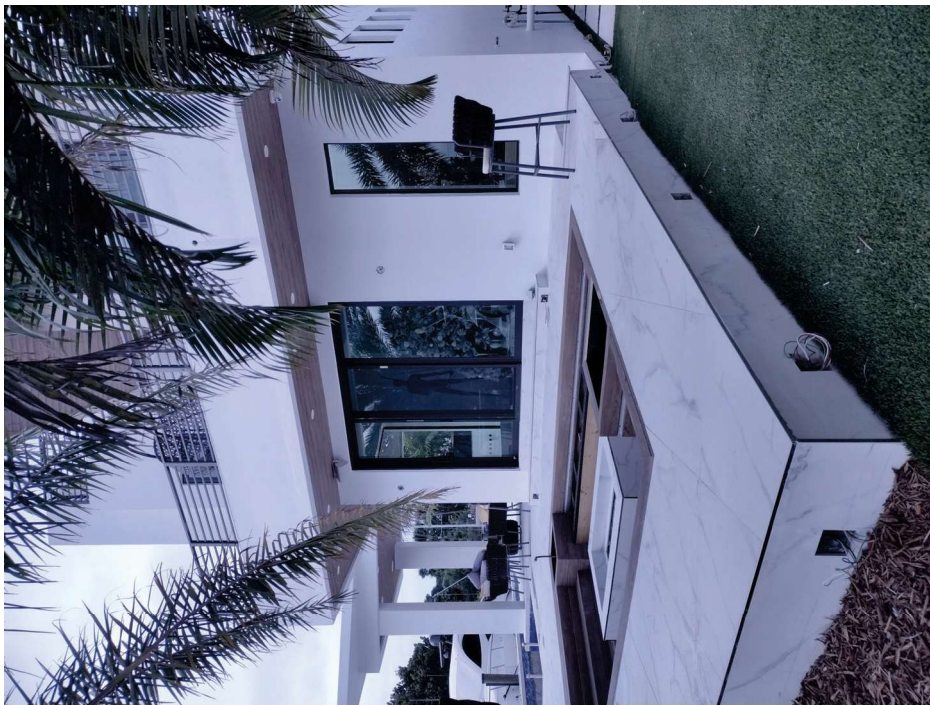


Photo Three

Photo Three Caption RIGHT SIDE VIEW

Clear Photo Three

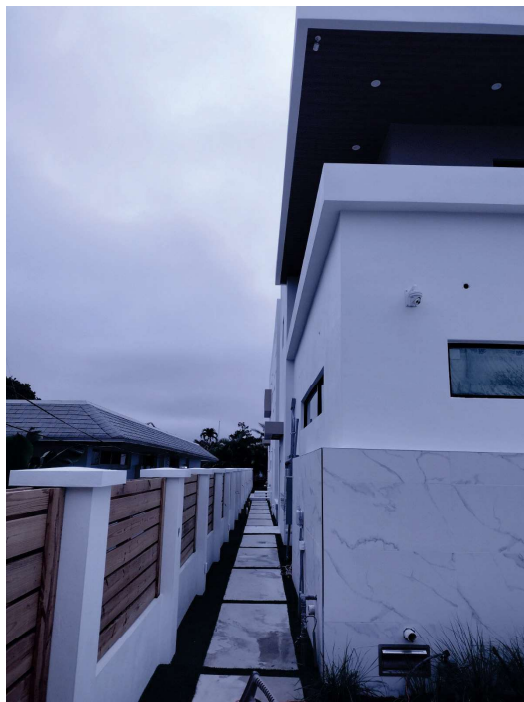


Photo Four

Photo Four Caption LEFT SIDE VIEW

Clear Photo Four

**2023 FLORIDA PROFIT CORPORATION ANNUAL REPORT**

DOCUMENT# P12000032878

**Entity Name:** ESTATE MANORS INC

**Current Principal Place of Business:**

1616 SW 17TH AVE  
FORT LAUDERDALE, FL 33312

**Current Mailing Address:**

1616 SW 17TH AVE  
FORT LAUDERDALE, FL 33312 US

**FEI Number:** 45-5026636

**Certificate of Status Desired:** No

**Name and Address of Current Registered Agent:**

WALTERS, LAWRENCE  
1616 SW 17TH AVE  
FORT LAUDERDALE, FL 33312 US

*The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.*

**SIGNATURE:** \_\_\_\_\_

Electronic Signature of Registered Agent

\_\_\_\_\_ Date

**Officer/Director Detail :**

Title            DIRECTOR  
Name            WALTERS, LAWRENCE E  
Address        1616 SW 17TH AVE  
City-State-Zip: FORT LAUDERDALE FL 33312

Title            P  
Name            WALTERS, LAWRENCE  
Address        1616 SW 17TH AVE  
City-State-Zip: FORT LAUDERDALE FL 33312

*I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am an officer or director of the corporation or the receiver or trustee empowered to execute this report as required by Chapter 607, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.*

**SIGNATURE:** LAWRENCE WALTERS

**PRESIDENT**

**04/04/2023**

\_\_\_\_\_  
Electronic Signature of Signing Officer/Director Detail

\_\_\_\_\_  
Date



# Removal of pool overhang

CGC # 1526446

Date:	<u>July 26, 2023</u>	Job Name	_____
Customer:	<u>Lawrence Walters</u>	Cell No.:	_____
Street Address:	<u>1616 SW 17<sup>th</sup> Ave</u>	E-Mail	_____
City/State/Zip:	<u>Fort Lauderdale FL, 33312</u>	Work No:	_____

## Proposal

**This proposal is for the following:**

### DEMO

- Provide twenty sheets of ½” plywood to protect the surrounding pool deck
- Provide 6” x 4” x 15” wood beams and 10 sheets of plywood to protect the pool
- Remove water feature in pool overhang.
- Remove gas feature on the pool overhang.
- Remove two 4x4 steel columns supporting the pool overhang.
- Remove all soffit framing members and stucco on the overhang and steel columns
- Remove coping around both steel columns.
- Remove +/- 40 SQFT of floor tile around the steel columns
- Remove +/- 500 SQFT of tongue and groove
- Remove all electrical, low- voltage wires and high hats in the overhang
- Cut B3012-1 & B1212-1 concrete beams in pieces and dispose of all debris.
- Cut out all transfer bars from the pool overhang to the B824

## **CONCRETE BEAM REPAIR ON BEAM 824**

- Provide engineering letter and inspection for this scope of work
- Cut out and clean expose rebar on B824
- Epoxy and clean expose rebar per engineer specification
- Form and patch B824 with hydraulic cement
- Prep a sleeve through the beam for the gas line

## **FRAMING & STUCCO**

- Frame down new soffit on B824
- Provide and install 22ga metal tracks and studs
- Provide and install dens shields on the soffit
- Provide and install wire lath on the dens shield
- Provide and apply three coats of stucco to the new soffit
- Provide and apply stucco on all exterior surfaces that requires repair work do to this scope of work

## **PLUMBING, GASS & ELECTRICAL**

- Pull all cooper lines for the water feature.
- Pull and redirect gas line to new locate.
- Provide extra materials for the new gas line location.
- Pull all electrical jumpers
- Pull all low-voltage wires and reinstall speakers in new location.

## **T&G**

- Reinstall 500 SQFT of composite tongue and groove ceilings.
- Center all hi hats to the new layout
- Center all speakers to the new layout
- Seal the perimeter of the T&G

## **TILE**

- Provide and install tile for the coping repair
- Provide and install 40 sqft of floor tile on the pool deck
- Regrout the entire pool deck to maintain a consistent grout finish.

## **PLANS, DRAWINGS & SITE VISIT**

- Provide revised plumbing & gas drawing
- Provide all shop drawings for this alteration.

- Provide inspections from the structural engineer
- Provide up to 50 HRs for architectural consulting.
- Provide all administration, site visits and inspection for this scope of work

Submitted by: Jaysen Matias\_\_\_\_\_

**Acceptance of Proposal**

Customer Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**Total .....\$197,500.00**