



## **BOARD OF ADJUSTMENT MEETING NOTICE**

**Date:** March 29<sup>th</sup>, 2024

A Public Hearing will be held before the Board of Adjustment on: **WEDNESDAY, APRIL 10, 2024 AT 6:00 PM.**

This meeting will be held in-person at: Development Services Department (Lobby) 700 NW 19<sup>th</sup> Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit: [www.fortlauderdale.gov/government/BOA](http://www.fortlauderdale.gov/government/BOA)

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<b>CASE:</b>	<b>PLN-BOA-24030005</b>
<b>OWNER:</b>	FREEMAN, CHRISTOPHER; ABRAMOVICI, ADI
<b>AGENT:</b>	N/A
<b>ADDRESS:</b>	2616 SE 21 ST, FORT LAUDERDALE, FL 33316
<b>LEGAL DESCRIPTION:</b>	LOT 14, BLOCK 2 OF BREAKWATER, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 42, PAGE 19, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (SEE SURVEY).
<b>ZONING DISTRICT:</b>	RS-8 - RESIDENTIAL SINGLE FAMILY/LOW MEDIUM DENSITY
<b>COMMISSION DISTRICT:</b>	4
<b>REQUESTING:</b>	<b><u>Sec. 25-62. (b)(3) - Requirements for new development and site alterations.</u></b>

- Requesting a special exception, granting relief from the requirement to install sidewalk per Sec 25-62.

**Please Note:** As per Sec. 25-62. (b)(3) Sidewalks shall be constructed on all public streets abutting the property, except as provided herein:

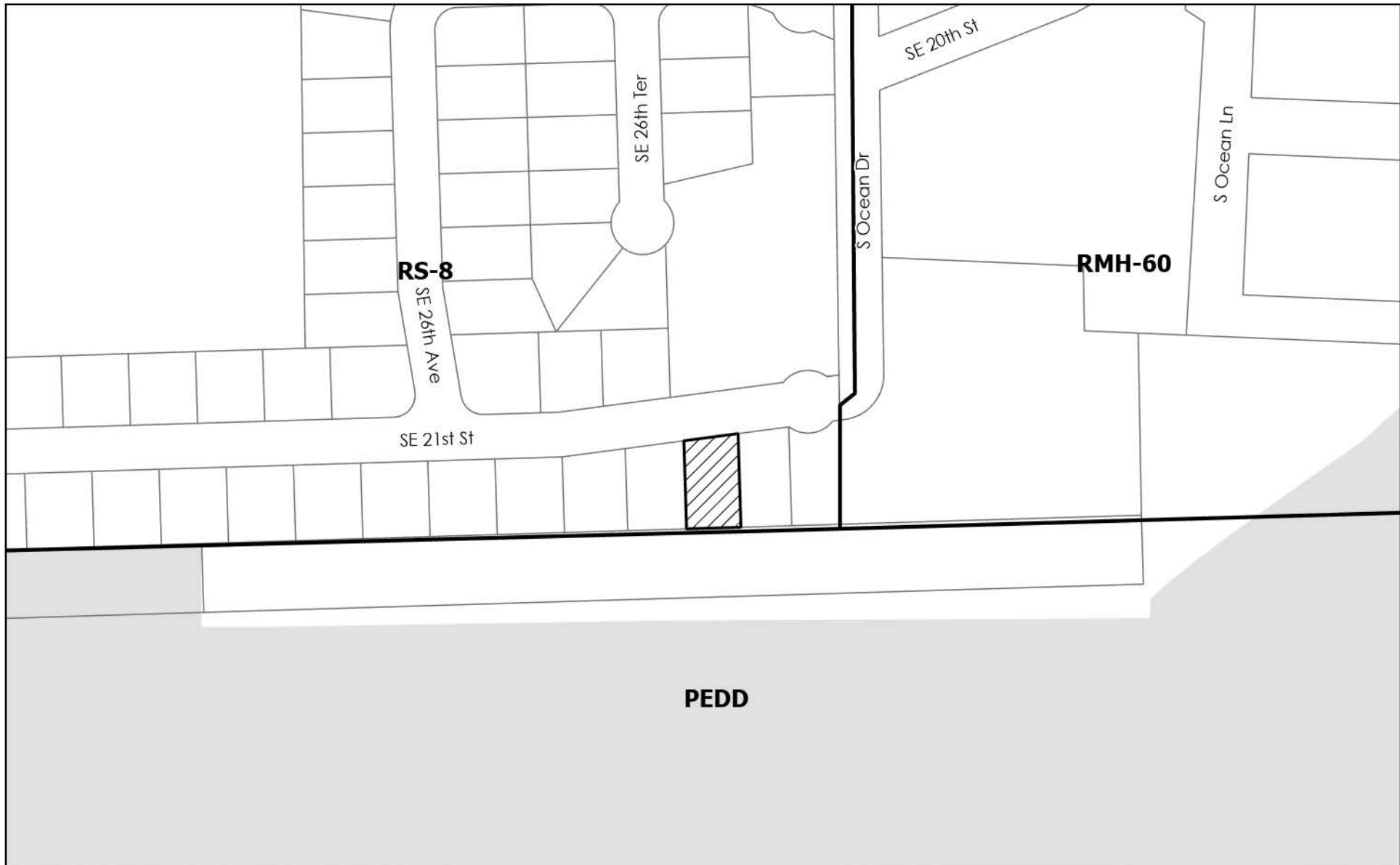
Property owners may request relief from the provisions of this section by making an application to the board of adjustment. The property owner shall have the burden of demonstrating that a unique circumstance particular to the property at issue exists that would otherwise preclude the installation of a sidewalk in the specified location.

To watch and listen to the meeting, please visit: <https://www.fortlauderdale.gov/government/BOA>  
OR [www.youtube.com/cityoffortlauderdale](http://www.youtube.com/cityoffortlauderdale)

If you have any questions, please feel free to contact me directly at 954-828-6342.


MOHAMMED MALIK  
ZONING ADMINISTRATOR  
Florida Statutes, Sec. 286.0105


**NOTE:** If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.




PLN-BOA-24030005

**LEGEND**

 Subject Site





# CASE: PLN-BOA-24030005

## Sec. 25-62. (b)(3) - Requirements for new development and site alterations.

(b) Sidewalks shall be constructed on all public streets abutting the property, except as provided herein:

(1) The proposed location of sidewalk improvements are on a finger island or dead-end street where eighty (80) percent or more of properties do not have sidewalks abutting the property.

(2) A neighborhood transportation plan approved by the city commission clearly indicates that sidewalks are not preferred for the area in which the property is located.

(3) Property owners may request relief from the provisions of this section by making application to the board of adjustment. The property owner shall have the burden of demonstrating that a unique circumstance particular to the property at issues exists that would otherwise preclude the installation of a sidewalk in the specified location.

# Record

Showing 1-39 of 39

<input type="checkbox"/>	<a href="#">Record, Permit, or Account #</a>	<a href="#">Record Description</a>	<a href="#">Application Name</a>	<a href="#">Record Type</a>	<a href="#">Balance</a>	<a href="#">Planner Name</a>	<a href="#">Street #</a>	<a href="#">Dir</a>	<a href="#">Street Name</a>	<a href="#">Type</a>	<a href="#">Unit # (start)</a>	<a href="#">Status</a>
<input type="checkbox"/>	<a href="#">PLN-BOA-24030004</a>		Requesting a Variance/Specia...	Z- Board of Adjustment (BOA)	0		2616	SE	21	ST		Comple
<input type="checkbox"/>	<a href="#">PLN-BOA-24030005</a>		Request for Relief from addi...	Z- Board of Adjustment (BOA)	0		2616	SE	21	ST		Open
<input type="checkbox"/>	<a href="#">BLD-GEN-24030001</a>	ROOFING PERMIT	Re-Roof Permit	Structural Permit	0		2616	SE	21	ST		In Revie
<input type="checkbox"/>	<a href="#">BLD-RNC-23060010.D001</a>	DOORS AND WINDOWS NOA'S	Document Type: Approved Su...	Deferred Submittal (Electronic Document Submittal)	0		2616	SE	21	ST		Comple
<input type="checkbox"/>	<a href="#">BLD-RNC-23060010.R002</a>	EXTERIOR CFS FRAMING SUBMITTAL	2616-FREEMAN-ABRAMOVICI	Plan Revision	0		2616	SE	21	ST		Comple
<input type="checkbox"/>	<a href="#">BLD-RNC-23060010.R001</a>	ROOF TRUSS SUBMITTAL	2616-FREEMAN-ABRAMOVICI	Plan Revision	0		2616	SE	21	ST		Comple
<input type="checkbox"/>	<a href="#">ELE-RES-23110016</a>	ELECTRICAL FOR BLD-ACC-23090005	2616-FREEMAN-ABRAMOVICI	Electrical Residential Permit	0		2616	SE	21	ST		Issued
<input type="checkbox"/>	<a href="#">BLD-PHZ-23040003.R001</a>	PILING REPORT	2616-FREEMAN-ABRAMOVICI	Plan Revision	0		2616	SE	21	ST		Comple
<input type="checkbox"/>	<a href="#">BLD-PHZ-23040003.D001</a>	PILE REPORT	Document Type: Permit Appl...	Deferred Submittal (Electronic Document Submittal)	0		2616	SE	21	ST		Open
<input type="checkbox"/>	<a href="#">ELE-RES-23090191</a>	ELECTRICAL FOR BLD-RPSF-23090025	2616-FREEMAN-ABRAMOVICI	Electrical Residential Permit	0		2616	SE	21	ST		Issued
<input type="checkbox"/>	<a href="#">PLB-RES-23090216</a>	PLUMBING FOR BLD-RPSF-23090025	2616-FREEMAN-ABRAMOVICI	Plumbing Residential Permit	0		2616	SE	21	ST		Issued
<input type="checkbox"/>	<a href="#">BLD-RPSF-23090025</a>	POOL FOR BLD-RNC-23060010	2616-FREEMAN-ABRAMOVICI	Residential Pool-Spa-Fountain Permit	0		2616	SE	21	ST		Issued
<input type="checkbox"/>	<a href="#">ENG-SW-23090014</a>	ROW CONCRETE FOR BLD-RNC-23060010	2616-FREEMAN-ABRAMOVICI	ROW Sidewalk and Curb Permit	231		2616	SE	21	ST		Awaiting
<input type="checkbox"/>	<a href="#">LND-INST-23090233</a>	GENERAL LANDSCAPE FOR BLD-RNC-23060010	2616-FREEMAN-ABRAMOVICI	Landscape Installation Permit	0		2616	SE	21	ST		Issued
<input type="checkbox"/>	<a href="#">ENG-LAND-23090011</a>	ROW LANDSCAPING FOR BLD-RNC-23060010	2616-FREEMAN-ABRAMOVICI	ROW Landscaping Permit	0		2616	SE	21	ST		Issued
<input type="checkbox"/>	<a href="#">BLD-ACC-23090005</a>	ACCESSORY SHADE STRUCTURE	2616-FREEMAN-ABRAMOVICI	Accessory Structure Permit	0		2616	SE	21	ST		Issued
<input type="checkbox"/>	<a href="#">PLB-RES-23090037</a>	ONSITE STORM WATER FOR BLD-RNC-23060010	2616-FREEMAN-ABRAMOVICI	Plumbing Residential Permit	0		2616	SE	21	ST		Issued
<input type="checkbox"/>	<a href="#">BLD-RPAV-23090006</a>	ONSITE PAVING FOR BLD-RNC-23060010	2616-FREEMAN-ABRAMOVICI	Residential Paving Permit	0		2616	SE	21	ST		Issued
<input type="checkbox"/>	<a href="#">PLB-RES-23090034</a>	PLUMBING FOR BLD-RNC-23060010	2616-FREEMAN-ABRAMOVICI	Plumbing Residential Permit	0		2616	SE	21	ST		Issued
<input type="checkbox"/>	<a href="#">PLB-GAS-23090003</a>	GAS FOR BLD-RNC-23060010	2616-FREEMAN-ABRAMOVICI	Plumbing Gas Permit	0		2616	SE	21	ST		Issued
<input type="checkbox"/>	<a href="#">ELE-RES-23090031</a>	ELECTRICAL FOR BLD-RNC-23060010	2616-FREEMAN-ABRAMOVICI	Electrical Residential Permit	0		2616	SE	21	ST		Issued
<input type="checkbox"/>	<a href="#">MEC-RES-23090013</a>	MECHANICAL FOR BLD-RNC-23060010	2616-FREEMAN-ABRAMOVICI	Mechanical Residential Permit	0		2616	SE	21	ST		Issued
<input type="checkbox"/>	<a href="#">PLB-IRR-23090005</a>	IRRIGATION FOR BLD-RNC-23060010	2616-FREEMAN-ABRAMOVICI	Plumbing Irrigation Permit	0		2616	SE	21	ST		Issued
<input type="checkbox"/>	<a href="#">ELE-TPOLE-WT-23070002</a>	TEMPORARY POWER PERMIT	Online Walk-Thru- Temporary ...	Walk-Thru - Temporary Power Pole	0		2616	SE	21	ST		Comple
<input type="checkbox"/>	<a href="#">BLD-RNC-23060010</a>	SINGLE FAMILY RESIDENCE: 3 STORY 4 BED 6 BATH 2 C...	2616-FREEMAN-ABRAMOVICI	Residential New Construction Permit	0		2616	SE	21	ST		Issued
<input type="checkbox"/>	<a href="#">PLB-RES-23060071</a>	PLUMBING FOR BLD-PHZ-23040003	2616-FREEMAN-ABRAMOVICI	Plumbing Residential Permit	0		2616	SE	21	ST		Issued
<input type="checkbox"/>	<a href="#">ELE-RES-23060069</a>	ELECTRICAL FOR BLD-PHZ-23040003	2616-FREEMAN-ABRAMOVICI	Electrical Residential Permit	0		2616	SE	21	ST		Issued
<input type="checkbox"/>	<a href="#">LND-TREE-23050200</a>	Total replacement to be seven (7) palms any speci...	Tree Relocation and Tree Rem...	Landscape Tree Removal-Relocation Permit	0		2616	SE	21	ST		Issued
<input type="checkbox"/>	<a href="#">BLD-RMIS-23040009</a>	FOUNDATION PERMIT	2616-FREEMAN-ABRAMOVICI	Residential Miscellaneous Permit	0		2616	SE	21	ST		Void
<input type="checkbox"/>	<a href="#">BLD-PHZ-23040003</a>	PHASE FOUNDATION	2616-FREEMAN-ABRAMOVICI	Phase Permit	0		2616	SE	21	ST		Issued
<input type="checkbox"/>	<a href="#">PLB-SEW-23020001</a>	Sewer cap	2616 - Sewer Cap	Plumbing Sewer Cap Permit	0		2616	SE	21	ST		Comple
<input type="checkbox"/>	<a href="#">BLD-RDEM-23020002</a>	Demolition of a single family residence.	2616 - Demolition	Residential Demolition Permit	0		2616	SE	21	ST		Issued
<input type="checkbox"/>	<a href="#">PM-16111565</a>	TREE REMOVAL ~VOID OUT APPLICATION ~PERMIT NOT RE...	TREE REMOVAL	Landscape Tree Removal-Relocation Permit	0		2616	SE	21	ST		Void
<input type="checkbox"/>	<a href="#">PM-16090741</a>	REPLACE 11 WINDOWS AND 3 DOORS WITH IMPACT ~ ~REC...	REPLACE 11 WINDOWS AND 3 DOO...	Window and Door Permit	0		2616	SE	21	ST		Comple
<input type="checkbox"/>	<a href="#">PM-16062279</a>	REPLACE 150 AMP ELEC PANEL	REPLACE 150 AMP ELEC PANEL	Electrical Services Permit	0		2616	SE	21	ST		Comple
<input type="checkbox"/>	<a href="#">CE16061592</a>	L/S TARGET - 0 OPEN CASES FOUND	THORA O'KEEFE SCHMIDT TR	Code Case	0		2616	SE	21	ST		Closed
<input type="checkbox"/>	<a href="#">VIO-CE16061592_1</a>		THORA O'KEEFE SCHMIDT TR	Violation-CODE Hearing	0		2616	SE	21	ST		Closed
<input type="checkbox"/>	<a href="#">PM-11101840</a>	REPLACE 1 GARAGE DOOR	REPLACE 1 GARAGE DOOR	Window and Door Permit	0		2616	SE	21	ST		Comple
<input type="checkbox"/>	<a href="#">PM-11031463</a>	WATER SERVICE, 1" IRRIG METER, & BACKFLOW	WATER SERVICE, 1" IRRIG METE...	Plumbing Meter Install Permit	0		2616	SE	21	ST		Comple



CITY OF FORT LAUDERDALE

# PUBLIC NOTICE

## BOARD OF ADJUSTMENT MEETING

**DATE: APRIL 10, 2024**

**TIME: 6:00 P.M.**

**CASE: PLN-BOA-24030005**

### Sec. 25-62. (b)(3) - Requirements for new development and site alterations.

- Requesting a special exception, granting relief from the requirement to install sidewalk per Sec 25-62.

**Please Note: As per Sec. 25-62. (b)(3) Sidewalks shall be constructed on all public streets abutting the property, except as provided herein:**

**Property owners may request relief from the provisions of this section by making an application to the board of adjustment. The property owner shall have the burden of demonstrating that a unique circumstance particular to the property at issue exists that would otherwise preclude the installation of a sidewalk in the specified location.**

**MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT  
700 N.W. 19<sup>TH</sup> AVENUE (LOBBY)  
FORT LAUDERDALE, FL., 33311  
CONTACT: 954-828-6506**

**TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:  
<https://www.fortlauderdale.gov/government/BOA>  
[www.youtube.com/cityoffortlauderdale](http://www.youtube.com/cityoffortlauderdale)**

*This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.*

*In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a*



Page 1: BOA - Applicant Information Sheet

**INSTRUCTIONS:** The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance(s) and/or special exception(s) requested. The application form must be filled out accurately and all applicable sections must be completed. Please print or type and answer all questions. Do Not leave any sections Blank. Indicate N/A if a question does not apply.

Case Number	
Date of complete submittal	

**NOTE:** For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	Adi Abramovici and Christopher Freeman
Property Owner's Signature	<i>[Handwritten Signature]</i> <small>(If a licensed agent letter is provided, no signature is required on the application by the owner.)</small>
Address, City, State, Zip	2616 SE 21ST STREET, FORT LAUDERDALE, FLORIDA, 33316
E-mail Address	Adi.mfm@gmail.com
Phone Number	5182217242
Proof of Ownership	<input checked="" type="checkbox"/> Warranty Deed_or <input type="checkbox"/> Tax Record

**NOTE:** If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent's Name	N/A
Applicant / Agent's Signature	N/A
Address, City, State, Zip	N/A
E-mail Address	N/A
Phone Number	N/A
Agent Authorization Form Submitted	<input type="checkbox"/>

Include ANY Related code case/permit #	BLD-RNC-23060010 (Residential New Construcion Permit)
Existing / New	Existing: <input type="checkbox"/> New: <input checked="" type="checkbox"/>
Project Address	Address: 2616 SE 21ST STREET, FORT LAUDERDALE, FLORIDA, 33316
Legal Description	BREAKWATER 42-19 B LOT 14 BLK 2
Tax ID Folio Numbers <small>(For all parcels in development)</small>	504213150380
Variance/Special Exception Request <small>(Provide a brief description of your request)</small>	REQUEST FOR RELIEF FROM ADDING A PUBLIC SIDEWALK FRONTING A RESIDENTIAL PROPERTY, PER SEC. 25-62.(b)(3)
Applicable ULDR Sections <small>(Include all code sections)</small>	SEC. 25-62 - Requirements for new development and site alterations. SEC. 25-62.(b)(3)

Current Land Use Designation	Low-Medium
Current Zoning Designation	RS-8: Residential Single Family/ Low Med
Current Use of Property	Single Family Residence
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Setbacks (indicate direction N, S, E, W)		Required	Proposed
Front	N	25'-0"	25'-1"
Side	W	5'-0"	6'-8"
Side	E	5'-0"	5'-8"
Rear	S	15'-0"	17'-0"

Page 2: Board of Adjustment (BOA) Criteria for Variance Request

Answer All questions on this page and attach narrative. If additional space is needed, attach additional page(s).

**SPECIFIC REQUEST:** State the specific request according to the ULDR or other provisions of the Code.

N/A

**CRITERIA:** Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12. A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

N/A

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

N/A

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

N/A

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

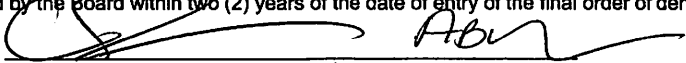
N/A

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

N/A

**AFFIDAVIT:** I, CHRISTOPHER FREEMAN AND ADI ABRAMOVICI the Owner/Agent of said property ATTEST that I am aware of the following:

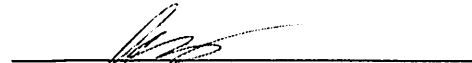
1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

  
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 14 day of March, 2024

(SEAL)



  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: September 20, 2027



<b>Site Address</b>	<b>2616 SE 21 STREET, FORT LAUDERDALE FL 33316</b>	<b>ID #</b>	5042 13 15 0380
<b>Property Owner</b>	FREEMAN, CHRISTOPHER ABRAMOVICI, ADI	<b>Millage</b>	0312
<b>Mailing Address</b>	2100 S OCEAN DR APT 4CD FORT LAUDERDALE FL 33316-3816	<b>Use</b>	00
<b>Abbr Legal Description</b>	BREAKWATER 42-19 B LOT 14 BLK 2		

The just values displayed below were set in compliance with [Sec. 193.011](#), Fla. Stat., and include a reduction for costs of sale and other adjustments required by [Sec. 193.011\(8\)](#).

\* 2024 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2024*	\$465,540	\$10	\$465,550	\$150,360	
2023	\$465,540	\$926,200	\$1,391,740	\$1,045,210	\$19,514.56
2022	\$465,540	\$805,350	\$1,270,890	\$1,014,770	\$18,604.99

2024* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
<b>Just Value</b>	\$465,550	\$465,550	\$465,550	\$465,550
<b>Portability</b>	0	0	0	0
<b>Assessed/SOH 17</b>	\$150,360	\$150,360	\$150,360	\$150,360
<b>Homestead 100%</b>	\$25,000	\$25,000	\$25,000	\$25,000
<b>Add. Homestead</b>	\$25,000	0	\$25,000	\$25,000
<b>Wid/Vet/Dis</b>	0	0	0	0
<b>Senior</b>	0	0	0	0
<b>Exempt Type</b>	0	0	0	0
<b>Taxable</b>	\$100,360	\$125,360	\$100,360	\$100,360

Sales History			
Date	Type	Price	Book/Page or CIN
7/11/2016	WD-T	\$100	113832014
12/28/2006	DRR	\$100	43492 / 908
1/11/2000	QCD	\$100	31228 / 903
4/1/1985	WD	\$240,000	12475 / 513
3/1/1969	WD	\$51,500	

Land Calculations		
Price	Factor	Type
\$75.60	6,158	SF
<b>Adj. Bldg. S.F.</b>		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F3		
L								
1						6158		



Prepared by and return to:

Tad Ground  
Attorney at Law  
Nugent & Ground LLC  
2455 E. Sunrise Blvd. Suite 807  
Fort Lauderdale, FL 33304  
954-537-1717  
File Number: 16-1316-T  
Will Call No.:

Parcel Identification No. 504213 15 0380

16-0163

[Space Above This Line For Recording Data]

## Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

**This Indenture** made this 20th day of July, 2016 between Thora O'Keefe Zale, a married woman and Robert Gregory O'Keefe, a married man, Individually and as Co Trustees of the Thora O'Keefe Schmidt Twelve Year Trust - Florida Property u/a/d January 11, 2000 whose post office address is 310 Breckenridge Road, Wayne, NJ 07470 of the County of Passaic, State of New Jersey, grantor\*, and Christopher Freeman and Adi Abramovici, husband and wife whose post office address is 2791 NE 57th Street, Fort Lauderdale, FL 33308 of the County of Broward, State of Florida, grantee\*,

**Witnesseth** that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Broward County, Florida, to-wit:

Lot 14, Block 2, of BREAKWATER, according to the Plat thereof, recorded in Plat Book 42, Page 19, of the Public Records of Broward County, Florida.

Subject to taxes for 2016 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

Grantor warrants that at the time of this conveyance, the subject property is not the Grantor's homestead within the meaning set forth in the constitution of the state of Florida, nor is it contiguous to or a part of homestead property. Grantor's residence and homestead address is: Thora O'Keefe Zale - 7 Bridle Path Court, Glen Head, New York, Robert Gregory O'Keefe - 391 Holly Drive, Wyckoff, New Jersey.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

\* "Grantor" and "Grantee" are used for singular or plural, as context requires.

**In Witness Whereof**, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Thora O'Keefe Zale, Individually  
Thora O'Keefe Zale, Co Trustee  
Thora O'Keefe Zale, Individually and as Co-Trustee

Notary [Signature]  
Witness Name: Deborah L. Kavanah  
[Signature]  
Witness Name: Stanley L. Levin

Witness Name: \_\_\_\_\_

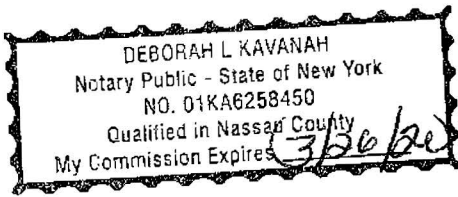
Robert Gregory O'Keefe, Individually and as Co-Trustee

Witness Name: \_\_\_\_\_

State of New York  
County of Nassau

The foregoing instrument was acknowledged before me this \_\_\_\_ day of July, 2016 by Thora O'Keefe Zale, Individually and as Co-Trustee, who  is personally known or  has produced a driver's license as identification.

[Notary Seal]



Deborah L. Kavanah  
Notary Public  
Printed Name: Deborah L. Kavanah  
My Commission Expires: 3/26/2020

State of New Jersey  
County of Passaic

The foregoing instrument was acknowledged before me this \_\_\_\_ day of July, 2016 by Robert Gregory O'Keefe, Individually and as Co-Trustee, who  is personally known or  has produced a driver's license as identification.

[Notary Seal]

\_\_\_\_\_  
Notary Public  
Printed Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

Signed, sealed and delivered in our presence:

Witness Name: \_\_\_\_\_

Thora O'Keefe Zale, Individually and as Co-Trustee

Witness Name: \_\_\_\_\_

*Rebecca Henderson*  
Witness Name: Rebecca Henderson

*Robert Gregory O'Keefe*  
Robert Gregory O'Keefe, Individually and as Co-Trustee

Witness Name: Laura Furate

State of New York  
County of Nassau

The foregoing instrument was acknowledged before me this \_\_\_\_ day of July, 2016 by Thora O'Keefe Zale, Individually and as Co-Trustee, who  is personally known or  has produced a driver's license as identification.

[Notary Seal]

Notary Public

Printed Name: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

State of New Jersey  
County of Passaic

The foregoing instrument was acknowledged before me this 11<sup>th</sup> day of July, 2016 by Robert Gregory O'Keefe, Individually and as Co-Trustee, who  is personally known or  has produced a driver's license as identification.

[Notary Seal]

*Goce I. Kotevski*  
Notary Public

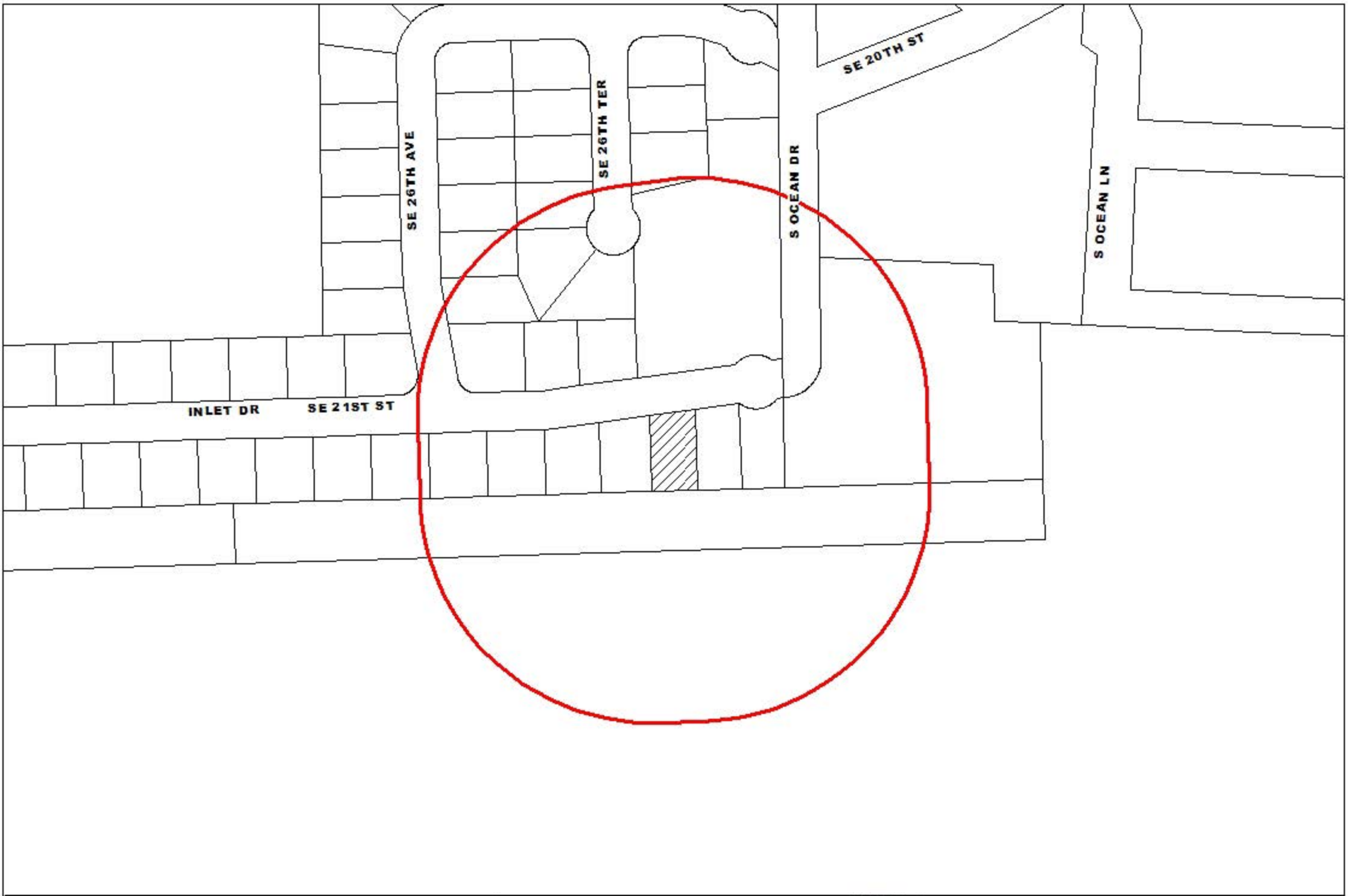
Printed Name: GOCE I. KOTEVSKI

My Commission Expires: NOTARY PUBLIC OF NEW JERSEY

COUNTY OF MORRIS

MY COMMISSION EXPIRES 11/19/17

ID # 2367018



0 37.5 75 150 225 300 Feet

MARTY KIAR  
BROWARD COUNTY PROPERTY APPRAISER



2616 INLET DR  
DATE OF PRINT: 03/01/2024

## MAIL NOTIFICATION LIST WITHIN 300 FEET OF THE SUBJECT SITE

FOLIO_ID	NAME_LINE_	NAME_LINE1	ADDRESS_LI	CITY	STATE	ZIP
504213000300	BROWARD COUNTY	BOARD OF COUNTY COMMISSIONERS	115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301
504213150010	BREAKWATER HOMES ASSOC		2621 SE 21 ST	FORT LAUDERDALE	FL	33316
504213150330	CHARLES B DELASHMUTT TR	DELASHMUTT,CHARLES B TRSTEE	4411 ROCK SPRING RD	ARLINGTON	VA	22207
504213150340	GROSVENOR,J MARK	J MARK GROSVENOR TR	12500 W 58TH AVE STE 213	ARVADA	CO	80002
504213150350	BERGER,MORRIS & CAROL		2604 SE 21 ST	FORT LAUDERDALE	FL	33316
504213150360	LOVELL,HAROLD B	LOVELL,JENNIFER LEE	2608 SE 21 ST	FORT LAUDERDALE	FL	33316
504213150370	JOHN DAVID PEGGS REV TR	PEGGS,JOHN DAVID TRSTEE	2612 SE 21 ST	FORT LAUDERDALE	FL	33316
504213150380	FREEMAN,CHRISTOPHER	ABRAMOVICI,ADI	2100 S OCEAN DR APT 4CD	FORT LAUDERDALE	FL	33316
504213150390	LONG,JOHN D SR H/E	LEMUS-LONG,OLGA I	2620 SE 21 ST	FORT LAUDERDALE	FL	33316
504213150400	SHELESTOV,ANDREY		2628 INLET DR	FORT LAUDERDALE	FL	33316
504213150440	MAUS,CATHERINE A H/E	MAUS,JUDITH H	2016 SE 26 AVE	FORT LAUDERDALE	FL	33316
504213150450	KNOCHENHAUER,BARBARA S	BARBARA S KNOCHENHAUER TR ETAL	2020 SE 26 AVE	FORT LAUDERDALE	FL	33316
504213150460	BRADY,NANCY A	NANCY A BRADY TR	2024 SE 26 AVE	FORT LAUDERDALE	FL	33316
504213150470	KIELER,CHARLES J & JENNIFER C		2601 SE 21 ST	FORT LAUDERDALE	FL	33316
504213150480	HOWLEY,CHRISTOPHER J III	HOWLEY,LAUREN S	2607 SE 21 ST	FORT LAUDERDALE	FL	33316
504213150490	HUDSON,DARYL P	DARYL PAUL HUDSON REV TR	2611 SE 21 ST	FORT LAUDERDALE	FL	33316
504213150500	STRAUSS,PETER G & ROBIN L	PETER G STRAUSS & ROBIN L REV TR	2021 SE 26 TER	FORT LAUDERDALE	FL	33316
504213150510	STOKOE,JANET U		2017 SE 26 TER	FORT LAUDERDALE	FL	33316
504213150520	WILKINSON,JOHN & MARY ANN	JOHN L WILKINSON REV TR	2013 SE 26 TER	FORT LAUDERDALE	FL	33316
504213150580	HOPWOOD,ELIZABETH R	ELIZABETH R HOPWOOD LIV TR	2008 SE 26 TER	FORT LAUDERDALE	FL	33316
504213150600	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL	33301
504213AA0010	RICHARDS,JEANNINE B		2100 S OCEAN DR #1A	FORT LAUDERDALE	FL	33316
504213AA0011	THEISEN,JOHN		112 W WASHINGTON ST #332	FORT WAYNE	IN	46802
504213AA0020	ERICKSON,JEANETTE I	ERICKSON,PAUL M	1 FRANKLIN ST UNIT 1003	BOSTON	MA	02110
504213AA0030	POWERS,MICHELE & ROBERT		2100 S OCEAN DR #1H	FORT LAUDERDALE	FL	33316
504213AA0040	ANGELO V ANDON 1999 TR	ANDON,K & ANDON,J & ANDON,M TRST	100 CLIFTON ST	BELMONT	MA	02478
504213AA0050	DEMATTEIS,MARGARET A	PEGGY DEMATTEIS TR	2100 S OCEAN DR #1K	FORT LAUDERDALE	FL	33316
504213AA0060	2100 OCEAN 1L LLC		1524 S OCEAN DR	FORT LAUDERDALE	FL	33316
504213AA0070	SPARKS,ROBERT & MARYLOU	ROBERT SPARKS REV LIVE TR	2100 S OCEAN DR #1M	FORT LAUDERDALE	FL	33316
504213AA0080	MAPLETOFT,JOHN & ROWAN		2100 S OCEAN DR #2A	FORT LAUDERDALE	FL	33316

504213AA0090	LONGO,GERALD N		77 FOUNTAIN DR	WESTERLY	RI	02891
504213AA0100	MEYER,HENRIQUE & JULIANNE		2100 S OCEAN DR #2CD	FORT LAUDERDALE	FL	33316
504213AA0110	DUNN,BARRY RAY H/E	MEZA,JORGE	2100 S OCEAN DR #2E	FORT LAUDERDALE	FL	33316
504213AA0120	NASSAR,BEVERLY H/E	NASSAR,MICHELLE	2100 S OCEAN DR UNIT 2-F	FORT LAUDERDALE	FL	33316
504213AA0130	GNANDT,LOUIS A EST		2100 S OCEAN DR UNIT 2-G	FORT LAUDERDALE	FL	33316
504213AA0140	DOMINA,CHARLES S & CAROLYN W		11403 SW 133 PL	MIAMI	FL	33186
504213AA0150	MARTHA R PITCAIRN REV TR	PITCAIRN,MARTHA R TRSTEE	317 E FRONT ST	NEW BERN	NC	28560
504213AA0160	BARICH,JOSEPH B & CONNIE SUE		2100 S OCEAN DR APT 2K	FORT LAUDERDALE	FL	33316
504213AA0170	CLINICAL RESEARCH FOUNDATION LLC		LACPLESA STREET 29-11	*RIGA LATVIA 1011	LV	
504213AA0180	DENARO,MARIA ANTONELLA		1421 SEABREEZE BLVD	FORT LAUDERDALE	FL	33316
504213AA0190	MAY,GREG SCOTT	FREDERICK,BRIAN PERRY	2100 S OCEAN DR #3A	FORT LAUDERDALE	FL	33316
504213AA0200	PRINGLE,ALAN JAMES		2100 S OCEAN DR #3B	FORT LAUDERDALE	FL	33316
504213AA0210	BRANDT,DANIELA HASBUN	HASBUN,HABIB	2100 S OCEAN DR #3CD	FORT LAUDERDALE	FL	33316
504213AA0220	CUMINGS,BRUCE		2100 S OCEAN DR APT 3E	FORT LAUDERDALE	FL	33316
504213AA0230	CISMONDI,CAROLYN E	CISMONDI,FEDERICO	6500 SW 99 AVE	MIAMI	FL	33173
504213AA0240	COLAGE,VERA L		2100 S OCEAN DR #3G	FORT LAUDERDALE	FL	33316
504213AA0250	DEROVANESIAN,JACQUELINE		1040 BISCAYNE BLVD APT 1908	MIAMI	FL	33132
504213AA0260	COOK,BRIAN		2100 S OCEAN DR #3J	FORT LAUDERDALE	FL	33009
504213AA0270	TERRENCE J CLYNE LIV TR	CLYNE,TERRENCE J TRSTEE	48 CONCORD PARK E	NASHVILLE	TN	37205
504213AA0280	JOHN G & SHEILA M FOX TR	FOX,JOHN G & SHEILA M TRSTEE	510 NEVILLE RD	BEAVER	PA	15009
504213AA0290	FOGGIA,JOSEPH F	FOGGIA,JUDITH W	2100 S OCEAN DR #3M	FORT LAUDERDALE	FL	33316
504213AA0300	MANZI,JULIO H/E	MICHAELS,SHARON	2100 OCEAN DR APT 4-A	FORT LAUDERDALE	FL	33316
504213AA0310	WATSON,MARK		2100 S OCEAN DR #4B	FORT LAUDERDALE	FL	33316
504213AA0320	QUINN,DANIEL JOSEPH		1033 SE 13 TER	FORT LAUDERDALE	FL	33316
504213AA0330	RAFFEL,WILLIAM & ROSANNE		2100 S OCEAN DR #4E	FORT LAUDERDALE	FL	33316
504213AA0340	DI STEFANO,RUTH		2100 S OCEAN DR #4F	FORT LAUDERDALE	FL	33316
504213AA0350	2100 S OCEAN LLC		201 S ALLOY DR	FENTON	MI	48430
504213AA0370	WOLFE,BRYAN		2100 S OCEAN DR #4J	FORT LAUDERDALE	FL	33009
504213AA0380	L W ROZZO INC		17200 PINES BLVD	PEMBROKE PINES	FL	33029
504213AA0390	L W ROZZO INC		17200 PINES BLVD	PEMBROKE PINES	FL	33029
504213AA0400	BONHAM,ROBERT Y	PRETTYMAN,JAMES W	2100 S OCEAN DR APT 8K	FORT LAUDERDALE	FL	33316
504213AA0410	EMMONS,ANNA	RICHARD & ANNA EMMONS REV TR	2100 S OCEAN DR #5A	FORT LAUDERDALE	FL	33316
504213AA0420	CUESTA ARISTIZABAL,MARTA L	JARAMILLO,JORGE E	2100 S OCEAN DR #5B	FORT LAUDERDALE	FL	33316
504213AA0430	RAAD,YOUSSEF & VIVIANA		2100 S OCEAN DR APT 5CD	FORT LAUDERDALE	FL	33316
504213AA0440	GETTINGS,CHRISTOPHER		2100 S OCEAN DR #5E	FORT LAUDERDALE	FL	33316
504213AA0450	PAIGE,BARBRA	PAIGE,GARY	11382 REDBERRY DR	DAVIE	FL	33330

504213AA0460	MILTENBERGER,KENNETH L & MARIE		2100 S OCEAN DR #5G	FORT LAUDERDALE	FL	33316
504213AA0470	TORNQVIST,OLE RAINER	TORNQVIST,MONICA SUZANNE F	2100 S OCEAN DR #5H	FORT LAUDERDALE	FL	33316
504213AA0480	GRAY,LUTHER T	LYNCH,FRANCIS J	2900 N COURSE DRIVE #202	POMPANO BEACH	FL	33069
504213AA0490	BRENNAN,EDWARD		831 ROUTE 70	BRICK	NJ	08724
504213AA0500	BROWN,THOMAS		2100 S OCEAN DR #5L	FORT LAUDERDALE	FL	33316
504213AA0510	AHO FAMILY TR	AHO,RICHARD TRSTEE	PO BOX 216	HEBRON	NH	03241
504213AA0520	HESSELBACHER,MARK A	HESSELBACHER,VICTORIA T	PO BOX 528	VOORHEESVILLE	NY	12186
504213AA0530	VONBEHREN,DEBORAH		2100 S OCEAN DR #6B	FORT LAUDERDALE	FL	33316
504213AA0540	GOLDSTEIN,BRIAN R		2100 S OCEAN DR UNIT 6CD	FORT LAUDERDALE	FL	33316
504213AA0550	DOYLE,PETER L		2100 S OCEAN DRIVE #6E	FORT LAUDERDALE	FL	33316
504213AA0560	DZAMBA,ROBERT G	ROBERT GEORGE DZAMBA TR	2100 S OCEAN DR #6F	FORT LAUDERDALE	FL	33316
504213AA0570	RANEY,CLAYTON E		2100 S OCEAN DR APT 6G	FORT LAUDERDALE	FL	33316
504213AA0580	JUST,PAUL W III	PAUL W JUST III REV TR	2100 S OCEAN DR #6H	FORT LAUDERDALE	FL	33316
504213AA0590	BROUSSEAU,JEAN-FRANCOIS &	BURGOYNE-BROUSSEAU,LYSE	CP 758 SUCC HAUTE-VILLE	*QUEBEC QC	CA	G1R 4
504213AA0600	KELLEY,EUGENE M & KELLY A	EUGENE M & KELLY A KELLEY REV TR	2100 S OCEAN DR #6K	FORT LAUDERDALE	FL	33316
504213AA0620	QUINN,FRANCES T	FRANCES QUINN LIV TR	2100 S OCEAN DR APT 6L-M	FORT LAUDERDALE	FL	33316
504213AA0630	LAURENCE W FRYE REV TR	DOROTHEA B FRYE REV TR ETAL	2100 S OCEAN DR APT 7A	FORT LAUDERDALE	FL	33316
504213AA0640	R SCALI & O CAPOZZOLI TR	SCALI,ROBERT TRSTEE ETAL	35 DERBY ST	SOMERVILLE	MA	02145
504213AA0650	PACHECO,NIURKA R		2100 S OCEAN DR #7CD	FORT LAUDERDALE	FL	33316
504213AA0660	NOON,JOHN HENRY		2424 SE 17 ST CSWY #301B	FORT LAUDERDALE	FL	33316
504213AA0670	JURICIC,TONKO		2100 S OCEAN DR #7F	FORT LAUDERDALE	FL	33316
504213AA0680	LANE,PATRICIA M	MAHONEY,MAUREEN P	49 MUIRFIELD RD	ROCKVILLE CENTRE	NY	11570
504213AA0690	BEIRNE,MATTHEW G H/E	BEIRNE,KATHLEEN A	2100 S OCEAN DR #7H	FORT LAUDERDALE	FL	33316
504213AA0700	POLIZANO,LORETTA		2100 S OCEAN DR #7-J	FORT LAUDERDALE	FL	33316
504213AA0710	COX,GERALDINE		308355 HOCKLEY RD	*MONO ON	CA	L9W 6
504213AA0720	LARSHEN LLC		2100 S OCEAN DR APT 7L	FORT LAUDERDALE	FL	33316
504213AA0730	ARMITAGE,WILLIAM SWENY	ARMITAGE,TIMOTHY DAVID ETAL	1803-1024 MCGARRY TER	*OTTAWA ON	CA	K2J 6
504213AA0740	DICKENS,DEANNA L		1140 SINGER DR	RIVIERA BEACH	FL	33404
504213AA0750	FINLAY,JOAN M		2100 S OCEAN DR UNIT 8-B	FORT LAUDERDALE	FL	33316
504213AA0760	MOODY,BRENT & KIMBERLY		1505 PONCE DE LEON DR	FORT LAUDERDALE	FL	33316
504213AA0770	SHLACKMAN,MARA		2100 S OCEAN DR #8-E	FORT LAUDERDALE	FL	33316
504213AA0780	LEARY,JOAN M		73 SPRINGS ST #3	MEDFIELD	MA	02052
504213AA0790	PAUL Q MOBERG REV TR	MOBERG,PAUL Q TRSTEE	9 BOG MEADOW RUN	SARATOGA SPRINGS	NY	12866
504213AA0800	GRAVES LIV TR	GRAVES,JAMES E JR TRSTEE ETAL	870 SHORE DRIVE	COLONIAL BEACH	VA	22443
504213AA0810	RUSSO,DANA L		2100 S OCEAN DR #8-J	FORT LAUDERDALE	FL	33316
504213AA0820	BONHAM,ROBERT Y	PRETTYMAN,JAMES W	2100 S OCEAN DR APT 8K	FORT LAUDERDALE	FL	33316

504213AA0830	BONHAM,ROBERT Y	PRETTYMAN,JAMES W	2100 S OCEAN DR APT 8K	FORT LAUDERDALE	FL	33316
504213AA0840	PRETTYMAN,JAMES W	BONHAM,ROBERT Y	2100 S OCEAN DR #8M	FORT LAUDERDALE	FL	33316
504213AA0850	MALCOLM,IAN		164 ALDWYCH AVE	*TORONTO ON	CA	M4J 1
504213AA0860	MARTIN J SICHEL IRREV TR	LAURA SICHEL IRREV TR ETAL	51 SADDLE RIDGE RD	OSSINING	NY	10562
504213AA0870	MAHAN,TEMPE		1008 OCEAN AVE	POINT PLEASANT BEACH	NJ	08742
504213AA0880	SMITH,MICHAEL		2100 S OCEAN DR #9E	FORT LAUDERDALE	FL	33316
504213AA0890	HOOKER,MAUREEN SMALL	MAUREEN SMALL HOOKER LIVE TR	128 MINOR RD	STERLINE	VA	20165
504213AA0900	LANDRY,ANGELA M	ANGELA M LANDRY REV TR	2100 S OCEAN DR #9G	FORT LAUDERDALE	FL	33316
504213AA0910	INFINITE ATLANTIC LLC		2100 S OCEAN DR #9H	FORT LAUDERDALE	FL	33316
504213AA0920	RAVEN 55 LLC		333 MAMARONECK 384	WHITE PLAINS	NY	10605
504213AA0930	ROGERS,MARJORIE H		PO BOX 990027	BOSTON	MA	02199
504213AA0940	YOUNG,CLAIRE M	YOUNG,MICHAEL	33 RALEIGH CT	PALOS HEIGHTS	IL	60463
504213AA0950	SIMON,GAYLE & JOHN	GAYLE N SIMON REV TR	2100 S OCEAN DR #9M	FORT LAUDERDALE	FL	33316
504213AA0960	SPIEGEL,SAMANTHA & ALEXANDER		1524 NE 26 AVE	FORT LAUDERDALE	FL	33304
504213AA0970	CANONICO,EDWARD	CANONICO,EDWARD SALVATORE	5 HAWTHORNE AVE	FLORAL PARK	NY	11001
504213AA0980	ATKINS,LEONA		2100 S OCEAN DR #10CD	FORT LAUDERDALE	FL	33316
504213AA0990	BERKI,JANOS JOZSEF		2100 S OCEAN DR #10E	FORT LAUDERDALE	FL	33316
504213AA1000	GARCIA,AYLI M & OBED		2100 S OCEAN DR #10F	FORT LAUDERDALE	FL	33316
504213AA1010	GULIA,FRANK S	GULIA,KATHY P	401 HILLTOP RD	ORANGE	CT	06477
504213AA1020	TRAUT,JOHN C	TRAUT,LEE ANN	2100 S OCEAN DR #10H	FORT LAUDERDALE	FL	33316
504213AA1030	ANTEBI,ALON	HERNANDEZ,MINDI	2100 S OCEAN DR #10J	FORT LAUDERDALE	FL	33316
504213AA1040	WILDASINN,SUE	GREGORY F WILDASINN REV TR ETAL	18030 MILLSTONE DR	CHAGRIN FALLS	OH	44023
504213AA1050	NORTH BAY 402 LLC		1731 SE 15 ST #205	FORT LAUDERDALE	FL	33316
504213AA1060	MORALES,NORBERTO & ELIZABETH		2100 S OCEAN DR #10M	FORT LAUDERDALE	FL	33316
504213AA1070	LEWIS,WILLIAM E JR	WILLIAM E LEWIS JR REV LIV TR	2100 S OCEAN DR #11A	FORT LAUDERDALE	FL	33316
504213AA1080	CIOCIA,DOMINICK & KATHLEEN	CIOCIA,ALEXANDER	10 RIVERVIEW TER	SMITHTOWN	NY	11787
504213AA1090	WHEATLEY,JANE L & WILLIAM		2100 S OCEAN DR #11C-D	FORT LAUDERDALE	FL	33316
504213AA1100	WEINSTEIN,JERROLD	WEINSTEIN,JUDITH AMSEL	345 E 81 ST #12J	NEW YORK	NY	10028
504213AA1110	BOWES,RICHARD	MORALES,WILFREDO	2100 S OCEAN DR #11F	FORT LAUDERDALE	FL	33316
504213AA1120	STRUVE,GAIL		800 ELGIN RD APT 511	EVANSTON	IL	60201
504213AA1130	KENNEDY,JAMES GEORGE		2100 S OCEAN DR #11H	FORT LAUDERDALE	FL	33316
504213AA1140	PRIDMORE,ANNA BETH		2100 S OCEAN DR #11J	FORT LAUDERDALE	FL	33316
504213AA1150	FOUNTAIN,NICOLE		630 NE 14 AVE	FORT LAUDERDALE	FL	33304
504213AA1160	BORBA,JOSEPH ANTHONY JR		2100 S OCEAN DR #11L	FORT LAUDERDALE	FL	33316
504213AA1170	SCHELBERT,HEIDY		BAUMGARTEN 10	*BUOCHS	CH	6374
504213AA1180	GOMEZ,DARVIN		2100 S OCEAN DR APT 12A	FORT LAUDERDALE	FL	33316



504213AA1190	ABRIL,KRISTINA		2100 S OCEAN DR #12B	FORT LAUDERDALE	FL	33316
504213AA1200	BELL,CURTIS T	CURTIS T BELL LIV TR	2100 S OCEAN DRIVE #12CD	FORT LAUDERDALE	FL	33316
504213AA1210	CURRINGTON,JILL HARRISON	JILL HARRISON CURRINGTON LIV TR	2100 S OCEAN DR #12E	FORT LAUDERDALE	FL	33316
504213AA1220	ANSELL,ROSEMARY	ROSEMARY ANSELL REV TR	2100 S OCEAN DR #12F	FORT LAUDERDALE	FL	33316
504213AA1230	FL QUALIFIED PERSONAL RES TR	GRUNT,BARBARA TRSTEE	2 CLARIDGE DR PH #12DE	VERONA	NJ	07044
504213AA1240	KUCHOVA,NICHOLAS & ROBBIN		2100 SOUTH OCEAN DR #12H	FORT LAUDERDALE	FL	33316
504213AA1250	RUSSO,ANTHONY J & RITA V		2611 NE 19 ST	POMPANO BEACH	FL	33062
504213AA1260	EASYPACK LLC		2100 S OCEAN DR #12K	FORT LAUDERDALE	FL	33316
504213AA1270	DOBBIE,JAMES		2100 S OCEAN DR APT 12L	FORT LAUDERDALE	FL	33316
504213AA1280	MCBREEN,HUGH G	TATE,MICHELE L	180 E PEARSON ST #5404	CHICAGO	IL	60611
504213AA1290	DALLE AVE,ANTHONY & DIANE		480 CLEARBROOK RD	ORANGE	CT	06477
504213AA1300	ELLSWORTH,MARSHA		2100 S OCEAN DR #14B	FORT LAUDERDALE	FL	33316
504213AA1310	BARKER,TONYA J		9608 JANEL DR	BLOOMINGTON	IL	61705
504213AA1320	BENTLEY,JEFFREY A		101 MAXWELL DR	BRISTOL	TN	37620
504213AA1330	MCGEE,MATTHEW E	MCGEE,PATRICIA M	80 MARTIN ST	WEST ROXBURY	MA	02132
504213AA1340	MORRIS,DAVID C	CANDG TR	1323 SE 17 ST #501	FORT LAUDERDALE	FL	33316
504213AA1350	SCHWEIKERT,DON		2100 S OCEAN DR #14H	FORT LAUDERDALE	FL	33316
504213AA1360	HOLMES,MICHAEL J		2100 S OCEAN DR #14J	FORT LAUDERDALE	FL	33316
504213AA1370	LARKIN,RONALD J & DONNA	JEFFREY A NICHOLS TR ETAL	2100 S OCEAN DR #14K	FORT LAUDERDALE	FL	33316
504213AA1380	USTYNOSKI,KENNETH H/E	KENNETH R USTYNOSKI TR ETAL	2100 S OCEAN DR #14L	FORT LAUDERDALE	FL	33316
504213AA1390	MCBREEN,MAURA ANN	MCBREEN,HUGH G ETAL	180 E PEARSON ST #5404	CHICAGO	IL	60611
504213AA1400	PLUMMER,ROBERT	ROBERT L PLUMMER REV TR	2100 S OCEAN DR #15A	FORT LAUDERDALE	FL	33316
504213AA1410	GRABLE,LINDA B H/E	WILTSHIRE,DENNIS ETAL	2100 S OCEAN DR #15B	FORT LAUDERDALE	FL	33316
504213AA1420	BUTLER,CHRISTOPHER & CAROLYN		2100 S OCEAN DR #15CD	FORT LAUDERDALE	FL	33316
504213AA1430	CASA GROVE ISLE LLC		155 WEST 71 ST #6F	NEW YORK	NY	10023
504213AA1440	IOVINO,JEANINE	DIORIO,HARRY T	2100 S OCEAN DR #15F	FORT LAUDERDALE	FL	33316
504213AA1450	MANCHEGO,ADOLFO		2100 S OCEAN DR #15G	FORT LAUDERDALE	FL	33316
504213AA1460	BROWN,SANDRA M	BROWN,THOMAS C	2100 S OCEAN DR #15H	FORT LAUDERDALE	FL	33316
504213AA1470	CIANCIOLA,JOAN M		81 BARNSTONE LN	CANFIELD	OH	44406
504213AA1480	BURGAT,CHARLES B & JAMIE M		2100 S OCEAN DR #15K	FORT LAUDERDALE	FL	33316
504213AA1490	PURCELL-MCCOY,SUSAN A	MCCOY,JESSE R ETAL	2100 S OCEAN DR #15L	FORT LAUDERDALE	FL	33316
504213AA1500	FURIO,ELAINE S	FURIO,VITO	256 BLACKHOUSE RD	TRUMBULL	CT	06611
504213AA1510	SHAW,TODD & LAURA		65 CHESTNUT ST	MOUNT SINAI	NY	11766
504213AA1520	PEREZ,LOURDES		2100 S OCEAN DR #16B	FORT LAUDERDALE	FL	33316
504213AA1530	JAMES MUNSON REV TR	JEANMARIE ERMELINO REV TR ETAL	186 BEACH 128 ST	BELLE HARBOR	NY	11694

504213AA1540	DUGA,JEFFREY	DUGA,SHARON	8929 KILKENNY DR	DARION	IL	60561
504213AA1550	CAMPAZZOZZI,DOMINIQUE &	CAMPAZZOZZI,MARIA	41 1RE AVE	*DELSON QC	CA	J5B 1
504213AA1560	RAYMOND & CAROLE MARTY REV TR	MARTY,RAYMOND TRSTEE	4607 103 LANE NE	KIRKLAND	WA	98033
504213AA1570	WEAVER,RUSSELL L	RUSSELL L WEAVER REV TR	2100 S OCEAN DR #16H	FORT LAUDERDALE	FL	33316
504213AA1580	QURESHI,AMIR	QURESHI,HAMID	8 ORCHARD CROSSING	ANDOVER	MA	01810
504213AA1590	GALDOS,MARIA A		110 SMOKE RISE DR	WARREN	NJ	07059
504213AA1600	GLOBAL YACHT ADVISORS LLC		1775 HARBOURVIEW DR #7	FORT LAUDERDALE	FL	33316
504213AA1610	LUEDER,WENDY K & RENNOLD A JR		2100 S OCEAN DR #16M	FORT LAUDERDALE	FL	33316
504213AA1620	CHICOS,RITA		2100 S OCEAN DR UNIT 17A	FORT LAUDERDALE	FL	33316
504213AA1630	CHICOS,RITA A		2100 S OCEAN DR #17-A	FORT LAUDERDALE	FL	33316
504213AA1640	JARAMILLO,ROBERTO	BRETTON,OLGA L	2100 S OCEAN DR #17CD	FORT LAUDERDALE	FL	33316
504213AA1650	LASPRILLA,PATRICIA	PATRICIA LASPRILLA TR	2100 S OCEAN DR #17E	FORT LAUDERDALE	FL	33316
504213AA1660	GUINTEHER,DAWN E H/E	MURRAY,PAUL R	2100 S OCEAN DR #17F	FORT LAUDERDALE	FL	33316
504213AA1670	NILES,CYNTHIA J &	NILES,DAN A	4 LIGHTHOUSE PT	FENTON	MI	48430
504213AA1680	NILES,DAN A	NILES,CYNTHIA J	2100 S OCEAN DR #17H	FORT LAUDERDALE	FL	33316
504213AA1690	CHICOS,RITA A		2100 S OCEAN DR #17-A	FORT LAUDERDALE	FL	33316
504213AA1700	CHICOS,RITA		2100 S OCEAN DR #17A	FORT LAUDERDALE	FL	33316
504213AA1710	NICHOLS,SARA A		2100 S OCEAN DR #17L	FORT LAUDERDALE	FL	33316
504213AA1720	ANGLEO V ANDON TR	ANDON,KAREN L TRSTEE ETAL	100 CLIFTON ST	BELMONT	MA	02478
504213AB0010	GLAZER,MELANIE M	MELANIE M GLAZER REV TR	2000 S OCEAN DR #201	FORT LAUDERDALE	FL	33316
504213AB0020	TODD READ CRAIG REV TR	CRAIG,TODD READ TRSTEE	16403 RINGER RD	WAYZATA	MN	55391
504213AB0030	EPSTEIN,ALICE L	HARDING,GARY H	8249 ROAD 46	MANCOS	CO	81328
504213AB0040	KELLY A BROWNE REV TR	BROWNE,KELLY A TRSTEE	2000 S OCEAN DR #207	FORT LAUDERDALE	FL	33316
504213AB0050	PUOPOLO,LUCA		2000 S OCEAN DR #208	FORT LAUDERDALE	FL	33316
504213AB0060	MARGERISON,JAMES		6009 INDIAN WOODS LN	COLLEGEVILLE	PA	19426
504213AB0070	KELLY A BROWNE REV TR	BROWNE,KELLY A TRSTEE	2000 S OCEAN DR PH3	FORT LAUDERDALE	FL	33316
504213AB0080	PLACHTER,W T JR	MCNAIR,CAROLINE	2000 S OCEAN DR APT 301	FORT LAUDERDALE	FL	33316
504213AB0090	WALTER DONALD GRAY III TR	SUSAN LEATH JORDAN-GRAY TR ETAL	2000 S OCEAN DR #302	FORT LAUDERDALE	FL	33316
504213AB0100	FUCCILLO,VETO	VETO N & JOAN D FUCCILLO LIV TR	2000 S OCEAN DR UNIT 303	FORT LAUDERDALE	FL	33316
504213AB0110	LIEBERMAN,ROBERT & SUSAN	SUSAN B GREENBERG REV TR	2000 S OCEAN DR #304	FORT LAUDERDALE	FL	33316
504213AB0120	WILLIS,CAROLE B		3001 E OAKLAND PARK BLVD APT 211	FORT LAUDERDALE	FL	33306
504213AB0130	FORT LAUDERDALE REALTIES INC		86 MALCOLM ST	*DOLLARD-DES-ORMEAU	CA	H9B 1
504213AB0140	RAU,RALPH E JR & DIANA W	DIANA W RAU REV TR	2000 S OCEAN DR UNIT 307	FORT LAUDERDALE	FL	33316
504213AB0150	FUCCILLO,WILLIAM B &	FUCCILLO,CYNTHIA	8A GAYLE RD	SKANEATELES	NY	13152

504213AB0160	LUQUE CORIA,JULIO ENRIQUE	OROSTICA BASAURE,CARMEN NORA	2000 S OCEAN DR #309	FORT LAUDERDALE	FL	33316
504213AB0170	JOHNSON,JOE DAVID		1716 KINGSBURY LN	OKLAHOMA CITY	OK	73116
504213AB0180	LATTA,DAVID		2000 S OCEAN DR #401	FORT LAUDERDALE	FL	33316
504213AB0190	TOOMEY,HELEN M	HELEN M TOOMEY TR	2000 S OCEAN DR #402	FORT LAUDERDALE	FL	33316
504213AB0200	POWER,JAMES N & SUSAN		2000 S OCEAN DR PH 2	FORT LAUDERDALE	FL	33316
504213AB0210	KUPELIAN,NAZARETH &	KUPELIAN,SUSAN	25 GRANDVIEW AVE	MEDFORD	MA	02155
504213AB0220	YOUNG,MICHAEL F	MICHAEL YOUNG REV TR	2000 S OCEAN DR APT 405	FORT LAUDERDALE	FL	33316
504213AB0230	WINDERMAN,HARRY & INA	WINDERMAN REV TR	2000 S OCEAN DR #406	FORT LAUDERDALE	FL	33316
504213AB0240	HERN,VICKI FERRARO		2000 S OCEAN DR #407	FORT LAUDERDALE	FL	33316
504213AB0250	MARRERO,KIMBERLY V		2000 S OCEAN DR #408	FORT LAUDERDALE	FL	33316
504213AB0260	MICHAEL YOUNG REV LIV TR	YOUNG,MICHAEL TRSTEE	2000 S OCEAN DR APT 405	FORT LAUDERDALE	FL	33316
504213AB0270	OLSON,PAUL & CATHLEEN		2000 S OCEAN DR #410	FORT LAUDERDALE	FL	33316
504213AB0280	WARD,JOHN	WARD,MARGUERITE	2000 S OCEAN DR #501	FORT LAUDERDALE	FL	33316
504213AB0290	SHELTON,RODNEY B		7417 HUMMINGBIRD DR	NINEVEH	IN	46164
504213AB0300	KNAPP,ANNETTE E H/E	MORGAN,JEANIE LYNN	4508 FARM LAKE DR	MYRTLE BEACH	SC	29579
504213AB0310	BENNETTO,FREDERIC C III		2000 S OCEAN DR #504	FORT LAUDERDALE	FL	33316
504213AB0320	MARY V FITZGERALD TR	FITZGERALD,MARY V TRSTEE	562 GLENVIEW RD	WILLIAMS BAY	WI	53191
504213AB0330	KELLY A BROWNE REV TR	BROWNE,KELLY A TRSTEE	2000 S OCEAN DR #PH3	FORT LAUDERDALE	FL	33316
504213AB0340	SCHWARTZ,LARRY J & LYNNE M		1440 N STATE PKWY APT 9D	CHICAGO	IL	60610
504213AB0350	SCHWARTZ,LARRY J	SCHWARTZ,LYNN M	1440 N STATE PKWY #9D	CHICAGO	IL	60610
504213AB0360	HAWTHORNE,CRYSTAL		2000 S OCEAN DR #509	FORT LAUDERDALE	FL	33316
504213AB0370	REID,BETTY F	REID,BETSY F	2000 S OCEAN DR #510	FORT LAUDERDALE	FL	33316
504213AB0380	SHOTMEYER,ELIZABETH J		2000 S OCEAN DR #601	FORT LAUDERDALE	FL	33316
504213AB0390	MARY LOUISE TOOMEY REV TR	TOOMEY,MARY LOUISE TRSTEE	2000 S OCEAN DR #602	FORT LAUDERDALE	FL	33316
504213AB0400	NOVAK,JULIANNE		2000 S OCEAN DR #603	FORT LAUDERDALE	FL	33316
504213AB0410	EACOBACCI,ANGELA	EACOBACCI,MITCHELL J	9 HUNTINGTON PL	ORMOND BEACH	FL	32174
504213AB0420	GRAHAM FAM REV TR	GRAHAM,JOHN STEPHEN TRSTEE ETAL	PO BOX 1186	TIBURON	CA	94920
504213AB0430	WOOLF,ADAM		6401 COGSWELL ST	ROMULUS	MI	48174
504213AB0440	RYAN,MATTHEW J	SETTEDUCATI,FRANCIS	PO BOX 850	BRIDGEHAMPTON	NY	11932
504213AB0450	BLAKE,BRENDON H/E	DEVARIS,JEANNETTE	2000 S OCEAN DR #608	FORT LAUDERDALE	FL	33316
504213AB0460	9236-3761 QUEBEC INC		4305 BLVD LAPINIERE #100	*BROSSARD QC	CA	J4Z 3
504213AB0470	CASA GROVE ISLE LLC		155 W 71 ST #6F	NEW YORK	NY	10023
504213AB0480	WENDY COSTA REV LIV TR	COSTA,WENDY TRSTEE	1604 SE 4 ST	FORT LAUDERDALE	FL	33301
504213AB0490	MCMAHON,BRIAN E		2000 S OCEAN DR #702	FORT LAUDERDALE	FL	33316
504213AB0500	NICKERSON,CLARKE C	KEPHART,HEIDI	2000 S OCEAN DR #703	FORT LAUDERDALE	FL	33316

504213AB0510	ROBERT & MICHELLE GENSER REV TR	GENSER,ROBERT & MICHELLE TRSTEE	777 BAYSHORE DR #1401	FORT LAUDERDALE	FL	33304
504213AB0520	NDIAYE,MOUHAMED L	RIESER,TERRY	2000 S OCEAN DR #705	FORT LAUDERDALE	FL	33316
504213AB0530	POPPER,MELANIE T	MELANIE T POPPER REV TR ETAL	2000 S OCEAN DR #706	FORT LAUDERDALE	FL	33316
504213AB0540	HUTSON,ROBERTA JOYCE		2000 S OCEAN DR #707	FORT LAUDERDALE	FL	33316
504213AB0550	CREEDON,NANCY C		2000 S OCEAN DR #708	FORT LAUDERDALE	FL	33316
504213AB0560	DLW PROPERTIES LLC		1041 SE 17 ST #300	FORT LAUDERDALE	FL	33316
504213AB0570	COSTA,ANDREW MONTGOMERY		2000 S OCEAN DR #710	FORT LAUDERDALE	FL	33316
504213AB0580	WEBER,STEVEN V	STEVEN V WEBER REV TR	2000 S OCEAN DR #801	FORT LAUDERDALE	FL	33316
504213AB0590	CODD FAM REV TR	CODD,THOMAS C TRSTEE ETAL	670 RITCHIE HWY	SEVERNA PARK	MD	21146
504213AB0600	THOMAS H & CATHERINE T DROHAN TR	DROHAN,THOMAS & CATHERINE TRSTES	35 PIONEER RD	HINGHAM	MA	02043
504213AB0610	BAUTISTA PROPERTY GROUP LLC		19509 S COQUINA WAY	WESTON	FL	33332
504213AB0620	HOLEY,SCOTT E		201 SW 9 AVE #5	FORT LAUDERDALE	FL	33312
504213AB0630	MARCELLE,KENDALL		2000 S OCEAN DR #806	FORT LAUDERDALE	FL	33316
504213AB0640	PICCIANO,TRACY MARIE		2000 S OCEAN DR #807	FORT LAUDERDALE	FL	33316
504213AB0650	PELAEZ,SEBASTIAN		2287 QUALL ROOST DR	WESTON	FL	33327
504213AB0660	BUREK,KENDRA	REINO,CHRISTOPHER	2000 S OCEAN DR #809	FORT LAUDERDALE	FL	33316
504213AB0670	NASTA,DANIEL		2000 S OCEAN DR UNIT 810	FORT LAUDERDALE	FL	33316
504213AB0680	JONES,RONALD N	RONALD N JONES REV TR	2000 S OCEAN DR #901	FORT LAUDERDALE	FL	33316
504213AB0690	JANUS,DEBRA & EDWARD		2000 S OCEAN DR #902	FORT LAUDERDALE	FL	33316
504213AB0700	RICHARD KURZENBERGER REV TR	KURZENBERGER,RICHARD TRSTEE	14 GREENWAY PLZ UNIT 16L	HOUSTON	TX	77046
504213AB0710	OLSON,GREGORY A &	OLSON,GINA	2000 S OCEAN DR APT 904	FORT LAUDERDALE	FL	33316
504213AB0720	GREENE,DEBORAH L & TIMOTHY S		2000 S OCEAN DR #905	FORT LAUDERDALE	FL	33316
504213AB0730	DANIEL L JONES REV TR	JONES,DANIEL L TRSTEE	12723 TOPPING ACRES ST	SAINT LOUIS	MO	63131
504213AB0740	BUTCHER,KIM P		2000 S OCEAN DR #907	FORT LAUDERDALE	FL	33316
504213AB0750	BELOUS,ALEXANDER & YVONNE		2000 S OCEAN DR #908	FORT LAUDERDALE	FL	33316
504213AB0760	BETSY F REID REV TR	REID,BETSY F TRSTEE	2000 S OCEAN DR #909	FORT LAUDERDALE	FL	33316
504213AB0770	NEGRO,ATTILIO G & KELLY	ATTILIO G NEGRO REV TR	2000 S OCEAN DR #910	FORT LAUDERDALE	FL	33316
504213AB0780	URAZOV,PETER & MARINA		42 BRAYTON CT N	SOUTH SETAUKET	NY	11720
504213AB0790	PETER C LAFOND LIV TR	LAFOND,PETER C TRSTEE	467 UNIVERSITY PL	GROSSE POINT	MI	48230
504213AB0800	CLARKE,SARAH		75 NORWICH RD	*WYMONDHAM NORFOLK	GB	NR180
504213AB0810	EVANS,JAMES		2000 S OCEAN DR UNIT 1004	FORT LAUDERDALE	FL	33316
504213AB0820	POWER,JAMES N	POWER,SUSAN	2000 S OCEAN DR #1005	FORT LAUDERDALE	FL	33316
504213AB0830	KLUGE,RANDALL B & KAREN A		2000 S OCEAN DR #1006	FORT LAUDERDALE	FL	33316
504213AB0840	SCHECHTER,JULIA A		2000 S OCEAN DR #1007	FORT LAUDERDALE	FL	33316
504213AB0850	BIRNBAUM,ANITA L EST		2000 S OCEAN DR APT 1008	FORT LAUDERDALE	FL	33316

504213AB0860	WIECZERZAK,JAN M & VIRGINIA E		2000 S OCEAN DRIVE #1009	FORT LAUDERDALE	FL	33316
504213AB0870	FERRARO FAM REV LIV TR	FERRARO,VICKI JO TRSTEE	2000 S OCEAN DR #1010	FORT LAUDERDALE	FL	33316
504213AB0880	FINK,JOHN C	DOLORES HESSE FINK REV TR ETAL	2000 S OCEAN DR APT 1101	FORT LAUDERDALE	FL	33316
504213AB0890	GARY L OTTMANN REV TR	OTTMANN,GARY L TRSTEE	1430 HIGHLAND AVE	PLAINFIELD	NJ	07060
504213AB0900	LOWRY,TERRY		4364 CR 813	CULLMAN	AL	35057
504213AB0910	JON P HULTING DDS PC EMP PSN PL	HULTING,JON P TRSTEE	4512 BROWN ST	DAVENPORT	IA	52806
504213AB0920	IZURIETA,ROBERTO		PO BOX 769	ARLINGTON	VA	22216
504213AB0930	EARNEST,THOMAS E JR H/E	EARNEST,PHYLLIS M	2000 S OCEAN DR #1106	FORT LAUDERDALE	FL	33316
504213AB0940	INCANDELA,RICHARD & GINA		2000 S OCEAN DR #1107	FORT LAUDERDALE	FL	33316
504213AB0950	INCANDELA,GINA M	INCANDELA,RICHARD	2000 S OCEAN DR #1108	FORT LAUDERDALE	FL	33316
504213AB0960	SACCOMANO,CHRISTINA		2000 S OCEAN DR #1109	FORT LAUDERDALE	FL	33316
504213AB0970	SERGI,FRANK R & RUTH A	RUTH A SERGI REV TR	2000 S OCEAN DR #1110	FORT LAUDERDALE	FL	33316
504213AB0980	SAMBLE,ROBERT E EST		2000 SOUTH OCEAN DR #1201	FORT LAUDERDALE	FL	33316
504213AB0990	MITCHELL H COLE REV TR	COLE,MITCHELL TRSTEE	512 N HIGHLANDS DR	HOLLYWOOD	FL	33021
504213AB1000	GRANOFF,ELIZABETH A		661 W LAKE ST STE 2N	CHICAGO	IL	60661
504213AB1010	NOYES,WILLIAM C III		2000 S OCEAN DR APT 1204	FORT LAUDERDALE	FL	33316
504213AB1020	EPSTEIN,JUDITH & JERRY	JUDITH EPSTEIN REV ASSET MGMT TR	2000 S OCEAN DR #1205	FORT LAUDERDALE	FL	33316
504213AB1030	TERGERSON,WILLIAM S & KATHY L		2000 S OCEAN DR #1206	FORT LAUDERDALE	FL	33316
504213AB1040	DEMBERG,GARY D & JANE M		2000 S OCEAN DR APT 1207	FORT LAUDERDALE	FL	33316
504213AB1050	STARK,MARC A		2000 S OCEAN DR #1209	FORT LAUDERDALE	FL	33316
504213AB1060	STARK,MARC A		2000 S OCEAN DR #1209	FORT LAUDERDALE	FL	33316
504213AB1070	WESTBROOK INVESTMENTS LTD		7016 CHARLESTON SHORES BLV #1	LAKE WORTH	FL	33467
504213AB1080	DELANEY,JOHN &	DELANEY,PATRICIA	2000 S OCEAN DR UNIT 1401	FORT LAUDERDALE	FL	33316
504213AB1090	ADAMS,NANCY RUTH	ADAMS TR	2000 S OCEAN DR #1402	FORT LAUDERDALE	FL	33316
504213AB1100	FISHER,DENIS	FISHER,LYNN	233-30 38 DR	DOUGLASTOWN	NY	11363
504213AB1110	1651273 ONTARIO LIMITED		PO BOX 1510	*BRADFORD ON	CA	L3Z 2
504213AB1120	JACKSON,HELEN A	HELEN A JACKSON REV LIV TR	2000 S OCEAN DR #1405	FORT LAUDERDALE	FL	33316
504213AB1130	MURPHY,PATRICIA CROWLEY		2611 SAND SHORE DR	CONROE	TX	77304
504213AB1140	STEEL,BARBARA A		2000 S OCEAN DR #1407	FORT LAUDERDALE	FL	33316
504213AB1150	RYAN,CAROLYN CONWAY	RYAN,DWIGHT P	2000 S OCEAN DR #1408	FORT LAUDERDALE	FL	33316
504213AB1160	KANDOLA,RANBIR		2000 S OCEAN DRIVE #1409	FORT LAUDERDALE	FL	33316
504213AB1170	STELLWAGEN,DINA & MARK		2000 S OCEAN DR #1410	FORT LAUDERDALE	FL	33316
504213AB1180	CAHIR,MAUREEN E		2000 S OCEAN DR #1501	FORT LAUDERDALE	FL	33316
504213AB1190	FERRIS,KIM A & HENRY B		2000 S OCEAN DR #1502	FORT LAUDERDALE	FL	33316
504213AB1200	HOUSER,DOREEN H/E	HOUSER,DOUGLAS	2000 S OCEAN DR #1503	FORT LAUDERDALE	FL	33316
504213AB1210	BARAKAT,AAMER & DAWN M		2000 S OCEAN DR #1504	FORT LAUDERDALE	FL	33316

504213AB1220	WEISER,NANCY M	NANCY M WEISER REV TR	2000 S OCEAN DR #1505	FORT LAUDERDALE	FL	33316
504213AB1230	MCMANUS,MICHAEL & LORETTA S		2000 S OCEAN DR #1506	FORT LAUDERDALE	FL	33316
504213AB1240	DAVID & B KENYON REV LIV TR	KENYON,DAVID W & BARBARA TRSTEE	428 FOWLER AVE	PELHAM	NY	10803
504213AB1250	CHINNIS,GREGORY ROSS		2000 S OCEAN DR UNIT 1508	FORT LAUDERDALE	FL	33316
504213AB1260	VIGILANCE,ROY D & GEORGINA E		2000 S OCEAN DR #1509	FORT LAUDERDALE	FL	33316
504213AB1270	BARR,BRENT	BARR,KAREY	1920 S OCEAN DR APT 601	FORT LAUDERDALE	FL	33316
504213AB1280	POGROSZEWSKI,STAN J	BEALS,DEAN	2000 S OCEAN DR #1601	FORT LAUDERDALE	FL	33316
504213AB1290	CROSSIN,MICHAEL	AMIRI,PARVIN R	2000 S OCEAN DR #1602	FORT LAUDERDALE	FL	33316
504213AB1300	ALBANO,MARK J	ALBANO,MARGARET G SHEA	2000 S OCEAN DR #1603	FORT LAUDERDALE	FL	33316
504213AB1310	TOMS,MARY LOU		82 BELLEVUE AVE	*TORONTO ON	CA	M5T 2
504213AB1320	SHAPIRO,BORIS & LARISA		2000 S OCEAN DR #1605	FORT LAUDERDALE	FL	33316
504213AB1330	WHITE,PHILIP H		PO BOX 4197	RIVER EDGE	NJ	07661
504213AB1340	DAVIS FAM TR	DAVIS,NEIL G TRSTEE	3 FRASER AVE	*BRAMPTON ON	CA	L6Y 1
504213AB1350	BALOGH,MARY K		2000 S OCEAN DR #1608	FORT LAUDERDALE	FL	33316
504213AB1360	FELDMAN,TONI ANN		52 LISA DR	CHATHAM	NJ	07928
504213AB1370	VALENTINE,JUDITH G	JUDITH G VALENTINE TR	2000 S OCEAN DR #1610	FORT LAUDERDALE	FL	33316
504213AB1380	LINDA S MALONE TR	MALONE,LINDA & MALONE,JOHN TRSTE	40645 HARD LOCUST LN	ALDIE	VA	20105
504213AB1390	SOTOS,THOMAS J & LINDA S		2454 WHALE HARBOR LN	FORT LAUDERDALE	FL	33312
504213AB1400	VIEIRA,MANUEL E	MANUEL E VIEIRA LIV TR	2000 S OCEAN DR # 1703	FORT LAUDERDALE	FL	33316
504213AB1410	BAHADKAR,VIRGINIA M		1835 CHOWAN ST	ELMONT	NY	11003
504213AB1420	SU,CHUN-WEN	CHUN-WEN SU REV LIV TR	2000 S OCEAN DR #1705	FORT LAUDERDALE	FL	33316
504213AB1430	2000 SOUTH OCEAN LLC	%DEREK SAMBLE	333 BELMONT AVE	SPRINGFIELD	MA	01108
504213AB1440	NOTHSTEIN,BARBARA EAKEN &	NOTHSTEIN,ERROL RAY JR	2000 S OCEAN DR #1707	FORT LAUDERDALE	FL	33316
504213AB1450	DISCALA,JANET RITA		2000 S OCEAN DR #1708	FORT LAUDERDALE	FL	33316
504213AB1460	HORTON,BARBARA BENFIELD H/E	PERESS,JONATHAN EDWARD	2000 S OCEAN DR #1709	FORT LAUDERDALE	FL	33316
504213AB1470	POWER,JAMES N	POWER,SUSAN	2000 S OCEAN DR #PH2	FORT LAUDERDALE	FL	33316
504213AB1480	PLUMB,NANCY JEAN		17 BAYSHORE DR	*LEAMINGTON ON	CA	N8H 4
504213AB1490	MENGER,RICHARD & MENGER,AMY		2000 S OCEAN DR #1802	FORT LAUDERDALE	FL	33316
504213AB1500	CASEY,THOMAS P & CAROLE R	THOMAS & C R CASEY JT REV LIV TR	2000 S OCEAN DR #1803	FORT LAUDERDALE	FL	33316
504213AB1510	HEIT,KENNETH H/E	SHER,YOLANDA	2000 S OCEAN DR UNIT 1804	FORT LAUDERDALE	FL	33316
504213AB1520	LANE HOLDINGS INC		1735 SE 9 ST	FORT LAUDERDALE	FL	33316
504213AB1530	TIMOTHY MACLEOD LIV TR	SHERRY ANN MACLEOD LIV TR	2000 S OCEAN DR # 1806	FORT LAUDERDALE	FL	33316
504213AB1540	DAVIS 2020 PROPERTY TR	DAVIS,NEIL G TRSTEE	24 QUEEN STREET EAST SUITE 800	*BRAMPTON ON	CA	L6Y 1
504213AB1550	SCHLEHUBER,SAMUEL M		2605 FAIRWAYS DR	HOMESTEAD	FL	33035

504213AB1560	PELLEGRINO,STEVEN JOSEPH JR		2000 S OCEAN DR #1809	FORT LAUDERDALE	FL	33316
504213AB1570	FRANCO,ELISA		645 ISLE OF PALMS DR	FORT LAUDERDALE	FL	33301
504213AB1580	BURKE FAM TR	BURKE,WILLIAM J TRSTEE	220 BENTLEY CIR	LOS ANGELES	CA	90049
504213AB1590	POWER,JAMES & SUSAN		2000 S OCEAN DR #PH2	FORT LAUDERDALE	FL	33316
504213AB1600	BROWNE,KELLY A	KELLY A BROWNE REV TR	2000 S OCEAN DR #PH3	FORT LAUDERDALE	FL	33316

# FREEMAN-ABRAMOVICI RESIDENCE

2616 INLET DRIVE



CITY OF FORT LAUDERDALE - ZONING DIVISION  
 BOARD OF ADJUSTMENT (BOA)  
 SUBMITTAL DRAWINGS

## DRAWING INDEX

SHEET	SHEET CONTENT	ISSUED SET FOR BOA 2024.03.08
A000	COVER SHEET, INDEX OF DRAWINGS	●
A010	COLOR PHOTOGRAPHS OF THE PROPERTY	●
A020	COLOR PHOTOGRAPHS OF THE PROPERTY	●
A030	SURVEY	●
A100	SITE PLAN	●
A401	ELEVATIONS - NORTH AND SOUTH	●
A402	ELEVATIONS - EAST AND WEST	●
L-01	LANDSCAPE PLAN	●

**ORCUTT  
ROSE**  
ARCHITECTS  
 2810 E OAKLAND PARK BLVD, STE 200  
 FORT LAUDERDALE, FL 33306  
 954-271-2718 ORCUTTROSE.COM  
 FL QUALIFICATION A R 9 7 3 9 0

CERTIFICATION:

ROBERT J ORCUTT AR97390

PROJECT INFORMATION:

CUSTOM RESIDENCE FOR:

FREEMAN-  
ABRAMOVICI  
FAMILY

2616 SE 21 STREET  
(INLET DRIVE)  
FORT LAUDERDALE,  
FL 33316

DRAWING NAME:

COVER SHEET  
AND INDEX OF  
DRAWINGS

DRAWING BY:

RO

ISSUE:

CONSTRUCTION DOCUMENTS

ISSUE DATE:

06/09/2023

ISSUE REVISIONS:

No.	DATE/ DESCRIPTION

PROJECT NUMBER:

220535

SHEET NUMBER:

**A000**





PHOTO #1: NORTH VIEW (UNDER CONSTRUCTION)



RESIDENCE CONCEPT RENDERING



PHOTO #2: NORTH - EAST AERIAL VIEW (UNDER CONSTRUCTION)



CERTIFICATION:

ROBERT J ORCUTT AR97390

PROJECT INFORMATION:

CUSTOM RESIDENCE FOR:

FREEMAN-  
ABRAMOVICI  
FAMILY

2616 SE 21 STREET  
(INLET DRIVE)  
FORT LAUDERDALE,  
FL 33316

DRAWING NAME:

COLOR  
PHOTOGRAPHS  
OF THE  
PROPERTY

DRAWING BY:

RO

ISSUE:

CONSTRUCTION DOCUMENTS

ISSUE DATE:

06/09/2023

ISSUE REVISIONS:

No.	DATE/ DESCRIPTION

PROJECT NUMBER:

220535

SHEET NUMBER:

**A010**

CERTIFICATION:  
  
ROBERT J ORCUTT AR97390

PROJECT INFORMATION:  
**CUSTOM RESIDENCE FOR:**  
  
**FREEMAN –  
ABRAMOVICI  
FAMILY**  
  
2616 SE 21 STREET  
(INLET DRIVE)  
FORT LAUDERDALE,  
FL 33316

DRAWING NAME:  
  
**COLOR  
PHOTOGRAPHS  
OF THE  
PROPERTY**

DRAWING BY:  
RO

ISSUE:  
CONSTRUCTION DOCUMENTS

ISSUE DATE:  
06/09/2023

ISSUE REVISIONS:

No.	DATE/	DESCRIPTION

PROJECT NUMBER:  
220535

SHEET NUMBER:

**A020**



PHOTO #4: SOUTH AERIAL VIEW (UNDER CONSTRUCTION)



PHOTO #5: SOUTH – WEST AERIAL VIEW (UNDER CONSTRUCTION)



PHOTO #6: BREAKWATER AERIAL SOUTH

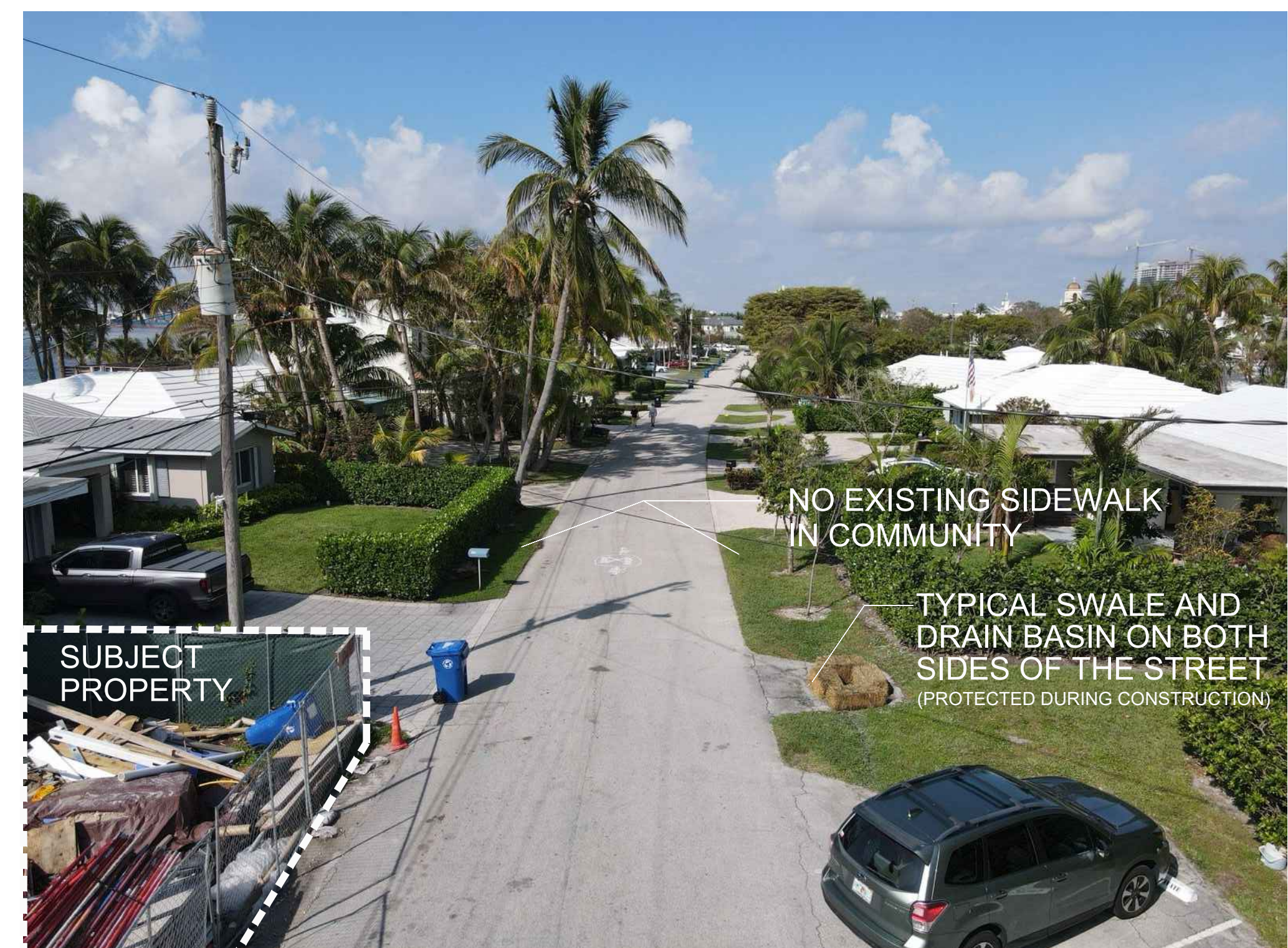
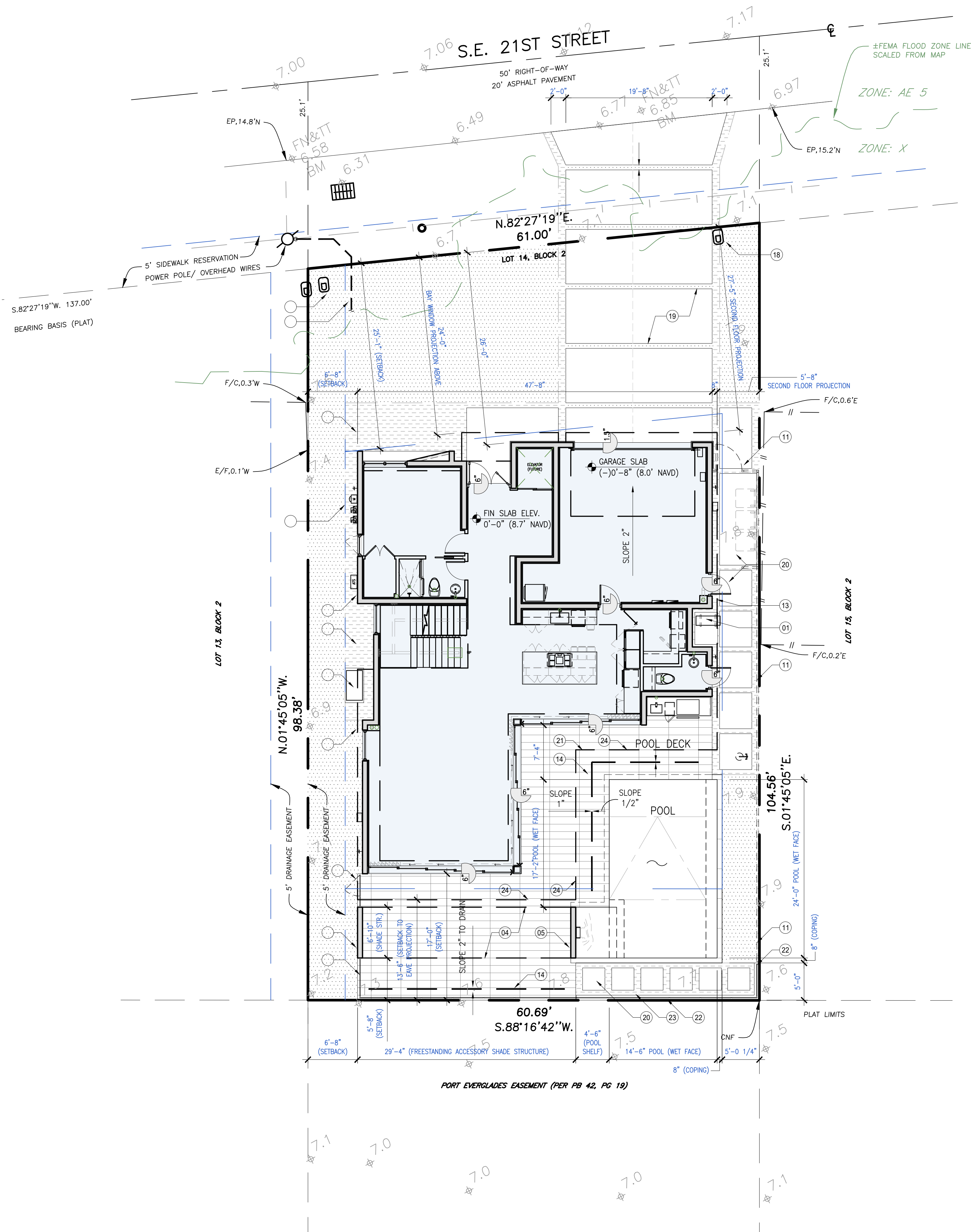


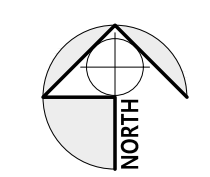
PHOTO #7: 21st STREET (INLET DRIVE) WEST VIEW

Orcutt Rose Architects, LLC. This is an Original Design and must not be released or copied unless applicable fee has been paid or job order placed.



**1**  
**A100**

**SITE PLAN**  
SCALE: 1/8" = 1'-0"



FLOOD ZONE CRITERIA			PROPERTY INFORMATION	
---------------------	--	--	----------------------	--

CURRENT FLOOD ZONE (FIRM DATE 2014.08.18)	'X'; 'AE-5' <sup>(1)</sup>	MAP# 12011C0576H	PROJECT	FREEMAN-ABRAMOVICI RESIDENCE
PRELIMINARY FLOOD ZONE (FIRM DATE 2021.02.25)	'X'	MAP# 12011C0576J	PROPERTY OWNER	CHRISTOPHER FREEMAN, ADI ARBAMOVICI
MINIMUM ELEVATION OF LOWEST FLOOR (ASCE 24-14)	N/A	-	ADDRESS	2616 SE 21 STREET, FORT LAUDERDALE 33316
EXISTING GRADE <sup>(2)</sup>	7.7' NAVD	7.6 + 7.4 7.9 + 7.9 / 4	BCPA FOLIO	504213150380
PROPOSED FINISHED FLOOR ELEVATION	8.7' NAVD	EXISTING GRADE + 12"	LEGAL DESCRIPTION (PER BCPA)	BREAKWATER 42-19 B LOT 14 BLK 2
			JURISDICTION	CITY OF FORT LAUDERDALE; BROWARD COUNTY

PROJECT SCOPE		
(1) PROPOSED STRUCTURE LIES COMPLETELY WITHIN FLOOD ZONE 'X'		
(2) DERIVED BY SELECTING A MINIMUM OF TWO (2) ELEVATION POINTS ON EACH ADJOINING PROPERTY LINE AND CALCULATING THE AVERAGE OF ALL THE SELECTED ELEVATION POINTS.		
NEW SINGLE-FAMILY RESIDENCE		

FLOOR AREA CALCULATIONS		ZONING TABULATION	
-------------------------	--	-------------------	--

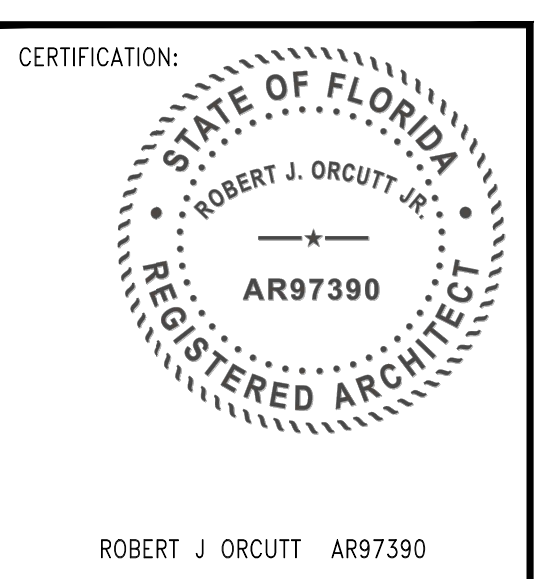
GROSS FLOOR AREA (A/C) - LEVEL 1	1610	ZONING: RS-8	
GROSS FLOOR AREA (A/C) - LEVEL 2	2121	USE: SINGLE-FAMILY RESIDENCE	
GROSS FLOOR AREA (A/C) - LEVEL 3	409		
TOTAL FLOOR AREA (A/C)	4,140	REQUIRED	PROVIDED
GARAGE (NON-A/C)	476	LOT AREA	6,000 SF (MIN.) 6,158 SF
TOTAL FLOOR AREA (GROSS)	4,616	LOT WIDTH	50'-0" (MIN.) 61'-0"
		DENSITY	N/A 1 DU
		DWELLING UNIT FLOOR AREA	1,000 SF (MIN.) 4,616 SF
		LOT COVERAGE (>7,500 SF)	6,158 SF X 0.75% = 3,079 SF (MAX.) 0,000 SF
		FLOOR AREA RATIO (>7,500 SF)	6,158 SF X 0.75% = 4,618 SF (MAX.) 4,616 SF
		STRUCTURE HEIGHT <sup>(1) (2)</sup>	35'-0" (MAX.) 34'-0"
		FRONT YARD SETBACK (NORTH)	25'-0" 25'-1"
		SIDE YARD SETBACK (WEST) <sup>(3)</sup>	5'-0" - UP TO 22 FT HT. 6'-8"
		SIDE YARD SETBACK (EAST)	5'-0" - UP TO 22 FT HT. 5'-8"
		REAR YARD SETBACK (SOUTH)	15'-0" 17'-0"

SITE PLAN KEYNOTES	
(01)	PAD MOUNTED POOL EQUIPMENT, MAINTAIN MIN. 5'-0" SETBACK FROM PROPERTY LINE
(02)	PAD MOUNTED GENERATOR, MAINTAIN MIN. 5'-0" SETBACK FROM PROPERTY LINE
(03)	CONCRETE PAD
(04)	FREE STANDING ACCESSORY SHADE STRUCTURE, 200 SF
(05)	SHADE STRUCTURE COLUMN
(06)	LARGE FORMAT CONCRETE PAVERS, EQUALLY SPACED - REFER TO LANDSCAPE DRAWINGS
(07)	EXISTING UNDERGROUND ELECTRIC SERVICE ENTRANCE - CONFIRM IN FIELD; PROVIDE UNDERGROUND SERVICE CONNECTION TO PROPOSED RESIDENCE
(08)	EXISTING WATER METER LOCATION - CONFIRM IN FIELD
(09)	PROPOSED GAS METER LOCATION - CONFIRM SERVICE CONNECTION IN FIELD
(10)	CONCRETE DRIVEWAY PADS
(11)	MIN. 4 FT HT ALUMINUM POOL BARRIER FENCE WITH GATE IN COMPLIANCE WITH R4501.1.17.1 THROUGH R4501.17.1.14. ACCESS GATES SHALL BE SELF CLOSING AND SELF LATCHING/ LOCKING, WITH RELEASE DEVICE LOCATED NOT LESS THAN 54 INCHES ABOVE THE BOTTOM OF THE GATE.
(12)	HATCHED AREA DENOTES GRAVEL/ ROCK GROUND COVER OVER NON-WOVEN LANDSCAPE FABRIC. CONFIRM ROCK SELECTION WITH ARCHITECT
(13)	STORM DRAIN TIE-IN TO UNDERGROUND
(14)	DECK DRAIN, TIE INTO ONSITE UNDERGROUND STORMWATER SYSTEM
(15)	PROVIDE UNDERGROUND ELECTRIC SERVICE
(16)	MAIN ELECTRIC PANEL AND METER
(17)	APPROX. UTILITY METER LOCATION; VERIFY IN FIELD
(18)	APPROX. UTILITY METER LOCATION; VERIFY IN FIELD
(19)	DRIVEWAY, CAST IN-PLACE CONCRETE SLAB PANELS WITH TURF STRIPS
(20)	CAST IN-PLACE CONCRETE SLAB STEPS, EQUALLY SPACED
(21)	SAND SET PAVERS OVER CONCRETE POOL DECK, PROVIDE POSITIVE SLOPE TO DECK DRAINS
(22)	MIN. 4 FT HT FRAMELESS GLASS POOL BARRIER FENCE WITH GATE IN COMPLIANCE WITH R4501.1.17.1 THROUGH R4501.17.1.14. ACCESS GATES SHALL BE SELF CLOSING AND SELF LATCHING/ LOCKING, WITH RELEASE DEVICE LOCATED NOT LESS THAN 54 INCHES ABOVE THE BOTTOM OF THE GATE. GLAZING SHALL BE CATEGORY-II RATED SAFETY GLAZING. GC SHALL SUBMIT ENGINEERED SHOP DRAWINGS FOR ARCHITECT APPROVAL.
(23)	CONTINUOUS CONCRETE FOOTING FOR FRAMELESS GLASS POOL BARRIER FENCE
(24)	ROOF OVERHANG ABOVE, TYPICAL

### GENERAL NOTES

1. GC SHALL VERIFY ALL SITE CONDITIONS PRIOR TO BEGINNING ANY WORK. CONTRACTOR SHALL SECURE AND PROTECT ALL MATERIALS BROUGHT ON SITE. CONTRACTOR SHALL RESTORE ALL AREAS IMPACTED BY PROPOSED WORK TO EXISTING CONDITION OR BETTER.
2. IT IS THE GC'S RESPONSIBILITY TO VERIFY FINAL SETBACKS ON THE SITE, ACCOMMODATING THE THICKNESS OF ANY FINISH MATERIAL ON THE BUILDING PRIOR TO LAYING FOUNDATION AND ERECTING THE SHELL. THESE DRAWINGS ILLUSTRATE THE SHELL OF THE EXTERIOR, PRIOR TO APPLICATION OF ANY EXTERIOR FINISHES. FINISHES MUST BE ACCOUNTED FOR IN CONFORMANCE WITH THE REQUIRED SETBACKS OF THE SITE, AS INDICATED ON THESE PLANS AND APPROVED BY THE JURISDICTION.

### LOCATION AERIAL MAP (N.T.S.)



CERTIFICATION: ROBERT J. ORCUTT AR97390

PROJECT INFORMATION:

**CUSTOM RESIDENCE FOR:**

**FREEMAN-ABRAMOVICI FAMILY**

**2616 SE 21 STREET (INLET DRIVE)  
FORT LAUDERDALE, FL 33316**

DRAWING NAME:

**SITE PLAN**

DRAWING BY: RO

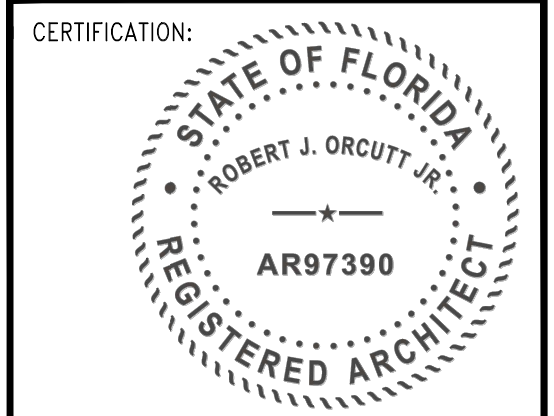
ISSUE: CONSTRUCTION DOCUMENTS

ISSUE DATE: 06/09/2023

ISSUE REVISIONS:	
No.	DATE/ DESCRIPTION

PROJECT NUMBER: **220535**

SHEET NUMBER: **A100**



ROBERT J. ORCUTT AR97390

PROJECT INFORMATION:

**CUSTOM RESIDENCE FOR:**

**FREEMAN-  
ABRAMOVICI  
FAMILY**

2616 SE 21 STREET  
(INLET DRIVE)  
FORT LAUDERDALE,  
FL 33316

DRAWING NAME:

**ELEVATIONS**

DRAWING BY:  
RO

ISSUE:  
CONSTRUCTION DOCUMENTS

ISSUE DATE:  
06/09/2023

ISSUE REVISIONS:

No.	DATE/ DESCRIPTION

PROJECT NUMBER:  
220535

SHEET NUMBER:

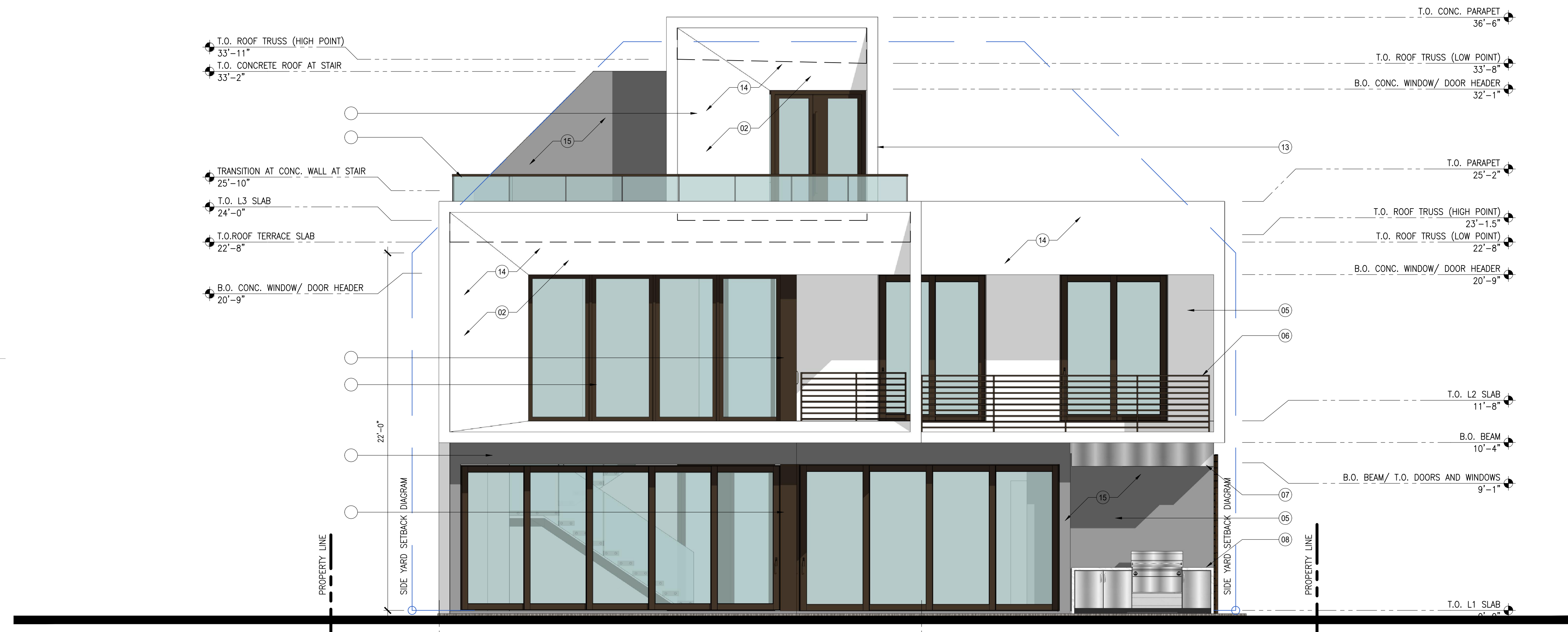
**A401**

**ELEVATIONS KEYNOTES**

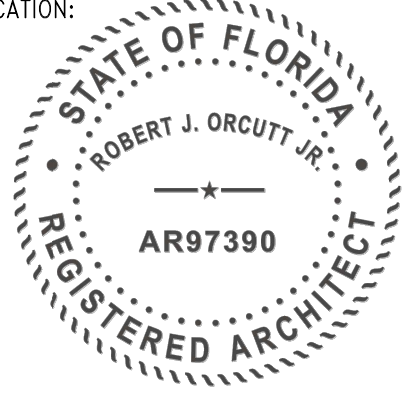
- 01 PARKLEY PRODEMA, "NATURSIDING-W," 6" HORIZONTAL SIDING CLADDING SYSTEM. INSTALL OVER CMU WALL WITH SURFACE APPLIED PENETRATING WATERPROOFING (DARK COLOR), PRESSURE TREATED BATTEN FURRING AND CONCEALED CLIPS PER FL #41713 AND MANUFACTURER SPECIFICATIONS, PROVIDE COLOR SELECTION SUBMITTAL FOR ARCHITECT APPROVAL.
- 02 ANGLED SURFACES, STUCCO OVER PAPER BACKED GALV. METAL LATH, OVER 5/8" DENSGLASS, OVER GALV. METAL STUD FRAMING. REFER TO STRUCTURAL DRAWINGS.
- 03 ALUMINUM AND GLASS IMPACT RATED DOOR OR WINDOW. REFER TO PLANS, ELEVATIONS AND EXTERIOR D/W SCHEDULE FOR SIZE AND STYLE TYPES.
- 04 BREAK METAL OVER CONC. BEAM, COLOR TO MATCH WINDOWS FRAME.
- 05 CONCRETE/CMU STUCCO SYSTEM WITH FLAT SHEEN FINISH PAINT, TYPICAL.
- 06 IMPACT RATED GLASS RAILING SYSTEM, SUBMIT SHOP DRAWINGS WITH NOA FOR ARCH. REVIEW AND APPROVAL, REFER TO DETAILS, SHEET A504.
- 07 OUTDOOR KITCHEN EXHAUST INSERT WITH CUSTOM STAINLESS STEEL HOOD, PROVIDE SHOP DRAWINGS FOR ARCHITECT REVIEW.
- 08 OUTDOOR KITCHEN WITH QUARTZ COUNTERTOP WITH WATERFALL EDGE, PROVIDE SHOP DRAWINGS COORDINATED WITH SCHEDULED EQUIPMENT / FIXTURES FOR ARCHITECT REVIEW.
- 09 DENOTES EMERGENCY OVERFLOW SCUPPER, REFER TO ROOF PLAN FOR LOCATIONS AND DETAIL, SHEET A601.
- 10 ROLL BACK PANEL GARAGE DOOR WITH CLADDING FINISH TO MATCH WALL CLADDING, SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL.
- 11 DENOTES PROFILE OF ROOF OR STRUCTURE BEYOND.
- 12 SHADE STRUCTURE, REFER TO SHEET A403.
- 13 LEVEL 3, STRUCTURE BEYOND
- 14 STUCCO SYSTEM WITH WHITE FLAT SHEEN FINISH PAINT
- 15 STUCCO SYSTEM WITH DARK GREY FLAT SHEEN FINISH PAINT
- 16 POOL WATERFALL FEATURE, G.C. TO COORDINATE WITH POOL DESIGN.
- 17 SHADE STRUCTURE METAL SCUPPER (OR EQUAL) EXTENDED 4" PAST FACE OF WALL.



**1 A401**  
**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 A401**  
**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

CERTIFICATION:  
  
 ROBERT J. ORCUTT AR97390

PROJECT INFORMATION:  
**CUSTOM RESIDENCE FOR:**  
  
**FREEMAN-  
ABRAMOVICI  
FAMILY**  
  
**2616 SE 21 STREET  
(INLET DRIVE)  
FORT LAUDERDALE,  
FL 33316**

DRAWING NAME:  
**ELEVATIONS**

DRAWING BY:  
 RO

ISSUE:  
 CONSTRUCTION DOCUMENTS

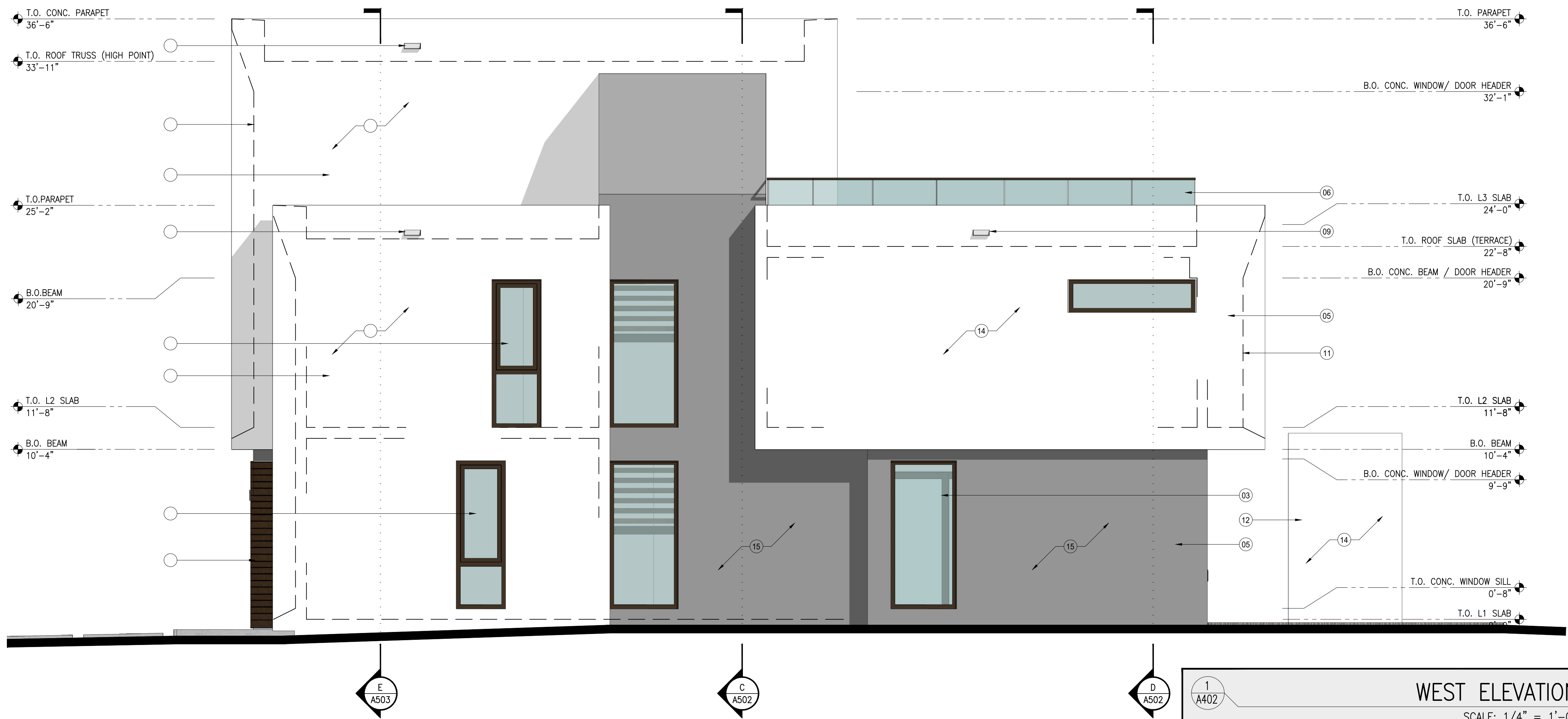
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 06/09/2023

ISSUE REVISIONS:

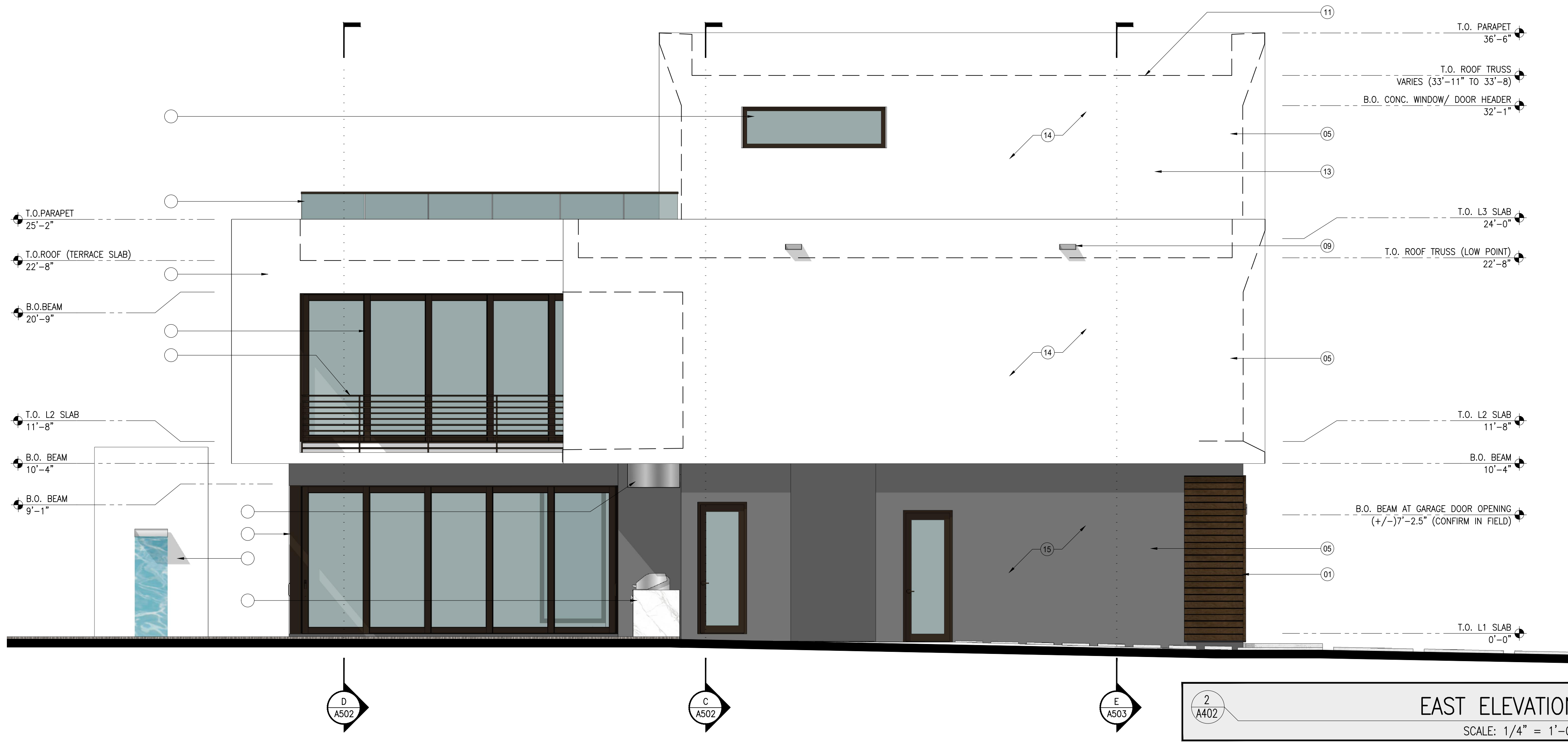
No.	DATE/ DESCRIPTION

PROJECT NUMBER:  
**220535**

SHEET NUMBER:  
**A402**



**WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"



**EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"






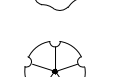
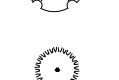


### Landscape Data:

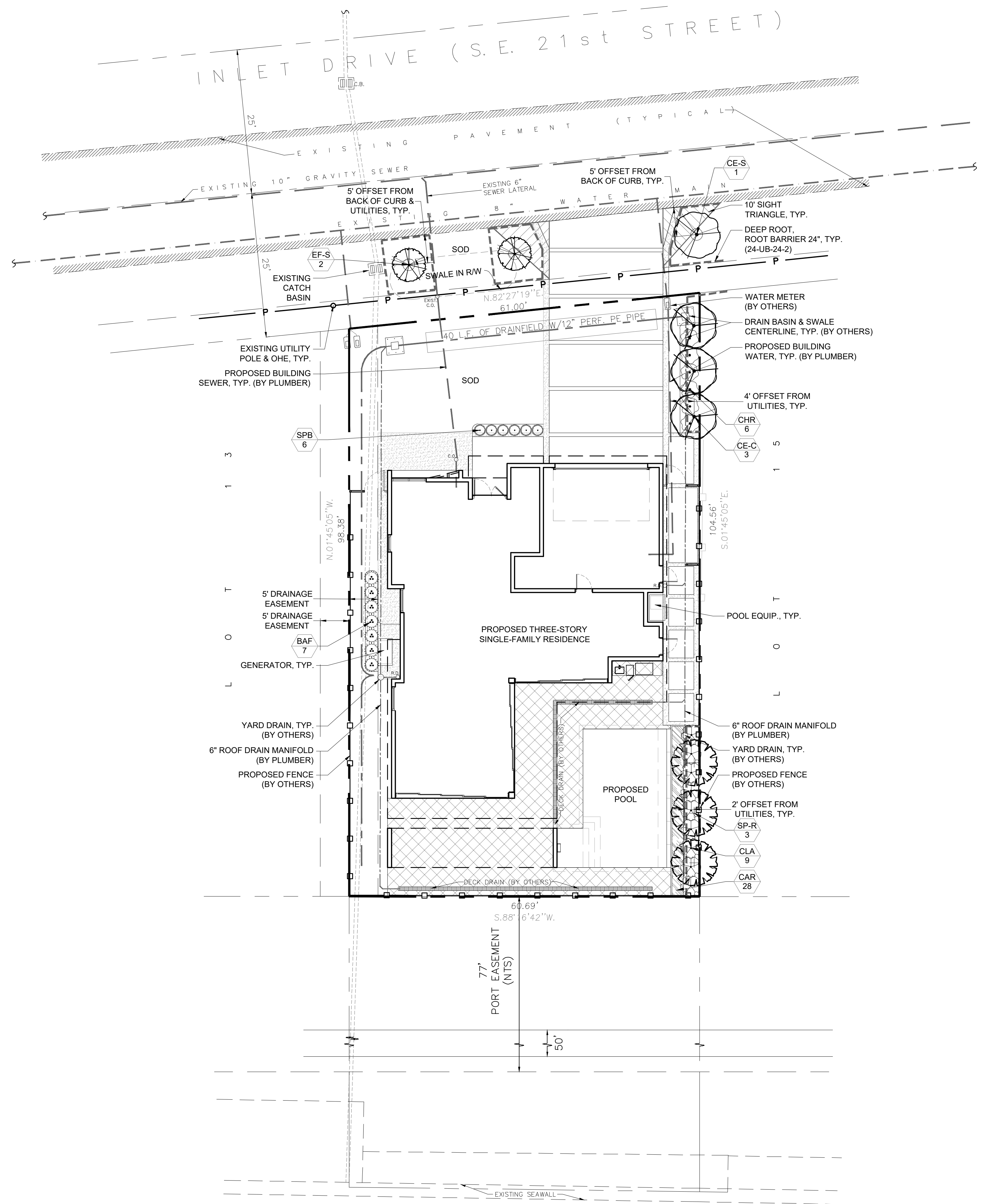
Single Family Districts (RS-8)	Required	Provided
<b>Street Trees</b> One street tree per 40 linear feet or portion thereof of street frontage of property wherein said improvements are proposed. Where overhead utilities exist, required street trees may be small trees provided at a ratio of one street tree per twenty (20) feet of street frontage.	3 Small Trees  (61'/20')	3 Small Trees  (See Plant Schedule)
<b>Net Lot Area</b> A minimum of 1 Tree per 1000 SF of Net Lot Area *One Family Residences shall require a minimum of 4 Trees (3 in the front yard, 1 in the back yard)	*4 Trees  (1,969 SF)	4 Trees  (3 Existing Sabals)
<b>Turfgrass</b> No more than 60% of the landscape area for single-family and duplex dwellings may be turfgrass.	1,181 SF Max (1,969 SF Landscape Area)	766 SF Turfgrass (39%)
<b>Total:</b>	7 Trees	7 Trees

### Landscape Notes:

- Alternative plant species for required landscape may be permitted subject to review and approval by the City of Fort Lauderdale Planning Department prior to installation.
- All prohibited exotic or invasive species shall be removed from the entire site prior to the issuance of a Certificate of Occupancy.
- All required landscaping shall be installed prior to the issuance of a Certificate of Occupancy.
- No Cypress Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting beds.
- Enhanced landscaping beyond minimum requirements will conform to all applicable sections of the City of Fort Lauderdale Landscape Code.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled 'Plant the Right Tree in the Right Place' and City of Hollywood Landscape Manual.
- For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power lines.
- Tree species shall be selected as to minimize conflicts with existing or proposed utilities.
- See engineer's plans for all underground & overhead utilities and field locate all prior to installation; contact Landscape Designer/Owner regarding any conflicts.
- All site drainage by others. No grading or utilities to affect root zones of existing oak trees.
- Landscape adjacent to vehicular traffic to be maintained to preserve sight line visibility.
- Irrigation Note: All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Fort Lauderdale Irrigation Code of Ordinances, the Florida Building Code, State Law, and the regulations of the South Florida Water Management District. Failure to maintain or disconnection of the irrigation system shall be a violation of these regulations.
- ALL PROPOSED TREES AND PALMS TO MEET REQUIRED SEPARATION FROM UTILITIES. MINIMUM HORIZONTAL CLEARANCE TO UTILITIES OF 5 FEET FOR SMALL TREES AND PALMS, AND A MINIMUM OF 10 FEET FOR LARGE TREES AND PALMS. UTILITIES MUST BE PROTECTED USING A ROOT BARRIER FABRIC WRAP OR EQUIVALENT.

### Plant Schedule:

EXISTING TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	FLORIDA FRIENDLY	DROUGHT TOLERANCE	
	SP-R	3	Sabal palmetto	Relocated Sabal Palmetto	Relocated on Site	Yes	Yes	High	
CODE TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	FLORIDA FRIENDLY	DROUGHT TOLERANCE	
	CE-C	3	Conocarpus erectus	Buttonwood	FG, 12' HT x 6' SPR, 2.5" CAL, STD, SP	Yes	Yes	High	
STREET TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	FLORIDA FRIENDLY	DROUGHT TOLERANCE	
	CE-S	1	Conocarpus erectus	Green Buttonwood	FG, 12' HT x 6' SPR, 2.5" CAL, STD, SP	Yes	Yes	High	
	EF-S	2	Eugenia foetida	Spanish Stopper	FG, 12' HT x 6' SPR, 2.5" CAL, STD, SP	Yes	Yes	High	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	FLORIDA FRIENDLY	DROUGHT TOLERANCE	
	BAF	7	Bambusa multiplex 'Fernleaf'	Fernleaf Hedge Bamboo	7G, 6' OA, SP	No	Yes	Moderate	
	CHR	6	Chrysobalanus icaco 'Redtip'	Red Tip Cocoplum	3G, 24" HT x 18" SPR, F, 30" OC	Yes	Yes	High	
	CLA	9	Clusia guttifera	Small-Leaf Clusia	7G, 42" HT, FTB, SP	No	Yes	High	
	SPB	6	Spartina bakeri	Sand Cordgrass	1G, 18" HT x 12" SPR, F	Yes	Yes	High	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	FLORIDA FRIENDLY	DROUGHT TOLERANCE	SPACING
	CAR	28	Carissa macrocarpa 'Emerald Blanket'	Emerald Blanket Carissa	3G, 12" OA, F,	No	Yes	High	18" o.c.



Project Team

Landscape Architect:

**LAS** LANDSCAPE ARCHITECTURAL SERVICES, LLC

Brandon White | Owner  
772-834-1357 | brandon@las-fl.com

Paul Goulas | Owner  
772-631-8400 | paul@las-fl.com  
3708 SE Joy Haven Street  
Fort St. Lucie, FL 34983

Architect / Applicant:

**ROSE**  
ARCHITECTURE-CONSTRUCTION  
3109 Bayview Drive  
Fort Lauderdale, FL 33306  
(954) 271-2718  
luis@rosearchitects.com  
kevin@rosearchitects.com

# Proposed Residence

2616 Inlet Drive, Fort Lauderdale, FL 33316

## Landscape Plan

Revisions		
Date	Init.	Description
05.19.23	DC	Initial Permit Set

REGISTERED LANDSCAPE ARCHITECT

PAUL A. GOULAS

LA 6666807

STATE OF FLORIDA

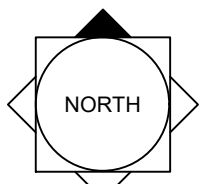
PAUL GOULAS, RLA  
FLORIDA REG. # LA6666807

Drawn By: DC

Checked By: PG

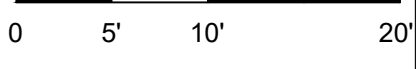
Municipal Project:

Scale:



NORTH

SCALE: 1" = 10'



0 5' 10' 20'

**L-01**



P O R T E V E R G L A D E S I N L

**BROWARD COUNTY-DEVELOPMENT SERVICES DEPARTMENT**  
**Board of Adjustment (BOA) Application PLN-BOA-2403003**  
**NARRATIVE**

For Special Relief to not install a sidewalk **Sec. 25-62(b)(3)** At  
**2616 SE 21st Street, Fort Lauderdale, FL 33316**  
By Christopher Freeman and Adi Abramovici

**CRITERIA**

- A. Does the proposed development or use meet requirements for a special exception as provided by the ULDR

The proposed use is a Single-Family Residence, which is permitted in zone RS-8. Sec 25-62 (b) (3) requires the use, and the owner can seek special relief from the requirement to install a sidewalk.

- B. Granting the special exception shall not be incompatible with adjoining properties or surrounding neighborhood or otherwise contrary to the public interest.

The requested special exception would:

1. Maintain the highly successful rainwater swale system within the neighborhood.
2. Preserve the appearance of larger front yards, enhancing the appeal of all adjacent properties.
3. Since there would be no other sidewalks anywhere in the vicinity of the lot, a sidewalk would have no connection at either end. This would detract from the overall look of the community and, possibly, create a trip-and-fall hazard at either end of the unconnected sidewalk.
4. Our street has, for decades, comfortably and safely facilitated its unrestricted use by pedestrians, cyclists, joggers, and vehicles.

## SUPPLEMENTAL INFORMATION

We as the property owners are requesting a special exception/relief under **Section 25-62(b)(3)**. The unique circumstances particular to our property issues that would otherwise preclude the installation of a sidewalk in the specified location because of the following reasons:

1. Disrupt the highly successful rainwater swale system within the neighborhood that has worked without exception since 1958.
  - The proposed sidewalk location is in the swale and will disrupt the runoff of rain not only for this property but for many adjacent homes.
  
2. With no other sidewalks anywhere in the vicinity of the lot, the sidewalk would have no connection at either end.
  - This could create a trip-and-fall hazard at either end of the unconnected sidewalk as proposed.
  
3. Preserve the appearance of larger front yards, enhancing the appeal of all adjacent properties.
  - The sidewalk location would reduce the already small front yards by 30%, potentially impacting the value of the properties.
  
4. This would detract from the overall look of the community with a sidewalk to nowhere and possibly impact property values.
  - Our street has, for decades, comfortably and safely facilitated its unrestricted use by pedestrians, cyclists, joggers, and vehicles.



**LEGEND**

- IFP&L BOX
- CONTROL VALVE
- GUY ANCHOR
- WATER METER
- FIRE HYDRANT
- CABLE JUNCTION BOX
- ELECTRIC SERVICE
- POOL EQUIPMENT
- POWER/LIGHT POLE
- SPRINKLER SYSTEM
- BRICK/TILE PAVERS
- CENTERLINE
- CONCRETE/CHAT
- CONCRETE WALL
- ELEVATION
- METAL FENCE
- OVERHEAD WIRES
- WOOD DECK/DOCK
- WOOD/PVC FENCE

**ABBREVIATIONS**

- AC AIR CONDITIONER
- ADJ ADJUTANT
- BL BUILDING CORNER
- BM BENCHMARK
- BW BACK OF WALK
- C CALCULATED
- DF DRAINAGE EASEMENT
- E/F END/FENCE
- EP EDGE OF PAVEMENT
- EW EDGE OF WATER
- F/C FENCE CORNER
- F/L FENCE/LINE
- FF FOUND IRON PIPE
- FN FOUND NAIL & DISC
- FR FOUND IRON ROD
- FR&L FOUND IRON ROD & LIGHT
- GEN GENERATOR
- INSTR INSTRUMENT
- INSTR INSTRUMENT
- OFFICIAL OFFICIAL RECORD BOOK
- M MEASURED
- NT NOT TO SCALE
- PLAT PLAT BOOK
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PG PAGE
- PRC POINT OF REVERSE CURVE
- PRM PERMANENT REFERENCE
- R RECORD
- PT POINT OF TANGENCY
- RAD RADIAL
- RIGHT-OF-WAY
- RW&D RIGHT-OF-WAY
- SPN SCREENED PORCH
- SP&C SET 1/2" PIN & CAP
- UE UTILITY EASEMENT

**ATLANTIC COAST SURVEYING, INC.**

*Paul J. Stowell*

PAUL J. STOWELL  
 PROFESSIONAL LAND SURVEYOR  
 FLORIDA CERTIFICATION NO. 5241  
 ATLANTIC COAST SURVEYING, INC.  
 13798 NW 4th Street, Suite 306  
 Sunrise, FL 33325  
 P: 954.587.2100 E: info@accsweb.net

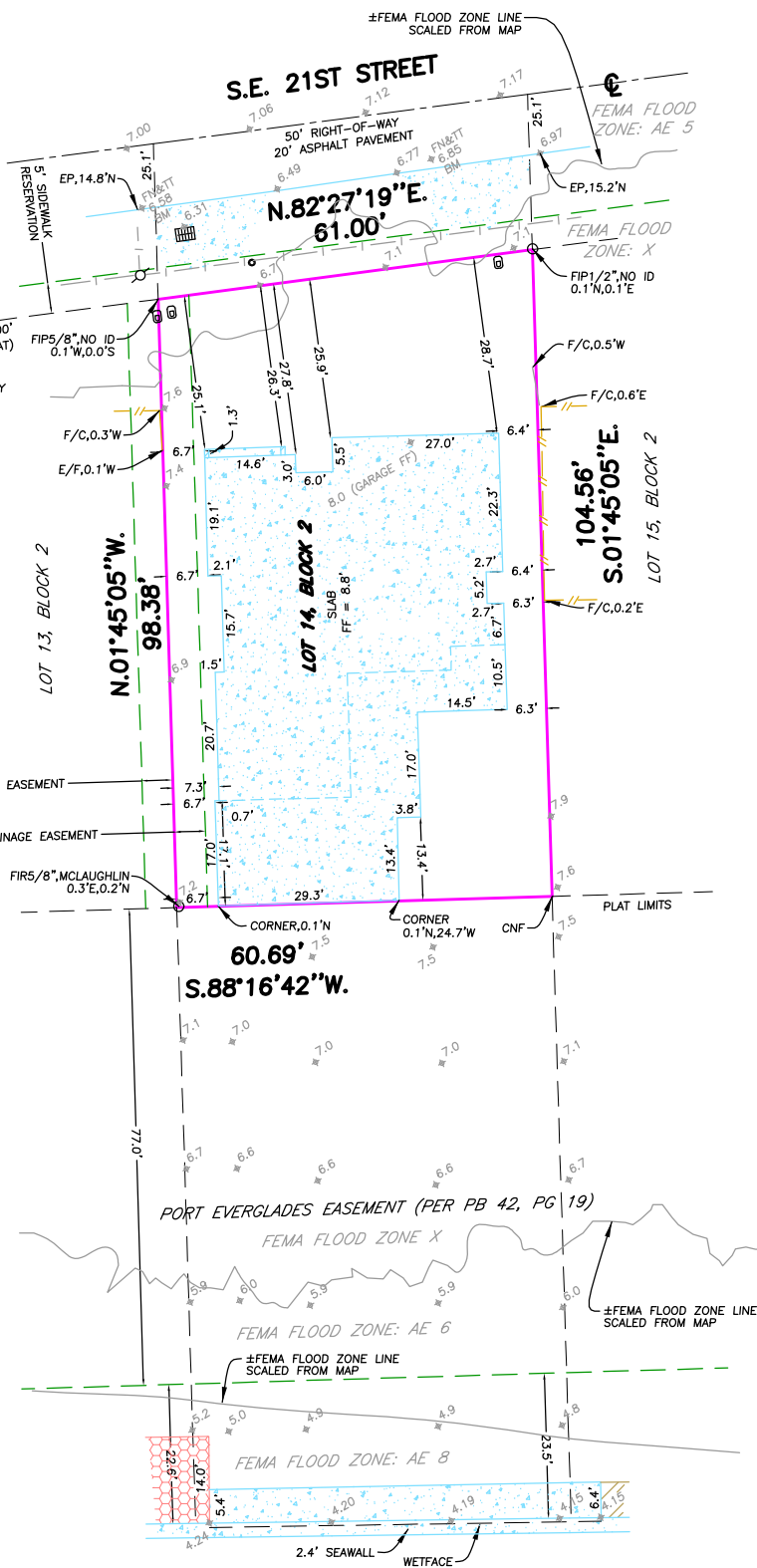
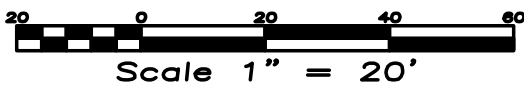
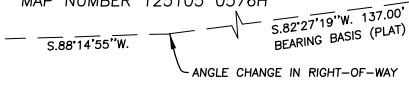
LEGAL DESCRIPTION  
 LOT 14, BLOCK 2, OF BREAKWATER, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 42, PAGE 19, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CERTIFIED TO:  
 FREEMAN, CHRISTOPHER & ABRAMOVICI, ADI

PROPERTY ADDRESS  
 2616 SE 21ST STREET (INLET DR)  
 FORT LAUDERDALE, FL 33316

BOUNDARY SURVEY  
 INVOICE # 44038SS  
 SURVEY DATE 10/26/22  
 ADDED FEMA FLOOD LINES 01/27/23  
 PILE LAYOUT 08/18/23  
 SPOT ON FORM BOARDS 10/02/23  
 SPOT ON SLAB DATE 10/20/23

FLOOD ZONE AE5/X  
 MAP DATE 08/18/14  
 MAP NUMBER 125105 0576H



PAUL J. STOWELL  
 LICENSE NUMBER 5241  
 STATE OF FLORIDA  
 REGISTERED LAND SURVEYOR

Digitally signed  
 by Paul J Stowell  
 Date: 2023.11.17  
 12:33:00 -05'00'

**SURVEYOR'S NOTES**

1. BASIS OF BEARINGS ASSUMED UNLESS OTHERWISE INDICATED ON SKETCH.
2. LEGAL DESCRIPTION PROVIDED BY CLIENT OR PROPERTY APPRAISER WEBSITE.
3. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR EASEMENTS, RIGHT-OF-WAYS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
4. UNDERGROUND OR INTERIOR PORTIONS OF FOOTINGS, FOUNDATIONS, WALLS OR OTHER NON-VISIBLE IMPROVEMENTS WERE NOT LOCATED.
5. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 UNLESS OTHERWISE INDICATED ON SKETCH.
6. FLOOR ELEVATION OBTAINED FROM MAIN ENTRY WAY OF STRUCTURE UNLESS OTHERWISE INDICATED ON SKETCH.
7. FENCE TIES ARE TO THE CENTER-LINE OF FENCE. WALL TIES ARE TO THE FACE OF WALL.
8. IN SOME INSTANCES GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
9. THE DIMENSIONS AND DIRECTIONS SHOWN HEREON ARE IN SUBSTANTIAL AGREEMENT WITH RECORD VALUES UNLESS OTHERWISE NOTED.
10. PARTY WALLS ARE CENTERED ON PROPERTY LINE AND ARE 0.7' WIDE UNLESS OTHERWISE NOTED.
11. EXISTING CORNERS FOUND OFFSETS WITNESS PROPERTY CORNERS
12. OBSTRUCTED CORNERS ARE WITNESSED BY IMPROVEMENTS.
13. NO ATTEMPT WAS MADE TO LOCATE WRITTEN OR UNWRITTEN EASEMENTS OR RIGHTS-OF-WAY, OTHER THEN THOSE SHOWN HEREON.



March 4, 2024

Dear Members of the Board of Adjustment,

I am providing this letter in support of the review you will be conducting on the requests by two of our Breakwater Surf Club homeowners to not be required to add sidewalks to their construction projects in our neighborhood.

Breakwater Surf Club is a long-established Fort Lauderdale neighborhood, having been developed and built in 1957 and 1958. While a small neighborhood in comparison to many others in the city, it has been noted as having a significant role in the development of the “mid-century modern” school of architecture, which came to define the typical architecture of South Florida in the post-World War II period.

The original homes, and the layout of our community were designed and built under the supervision of Charles McKirahan, who is credited with being an early exponent of the mid-century modern movement in Fort Lauderdale. His designs of our homes, as well as the Atlantic Tower, Breakwater Tower, Everglades House, Point of Americas 1 and, most famously, the Mai-Kai Restaurant are widely considered to be the earliest exponents of what was eventually called the “Miami modern” architectural style.

I mention the above not just because of the style of architecture McKirahan developed and popularized but, also, because of the way that he designed and built our development to blend in with, and take advantage of, the South Florida environment. We were built as an integral, small community of only four streets, three of which are interior to our community. It was, moreover, designed to not only blend with its sub-tropical environment but to also take advantage of – and account for – the South Florida weather.

More specifically, Breakwater – in keeping with McKirahan’s vision of blending with the environment – is a perfect example of how he dealt with rainwater. Lots have swales on all four sides, channeling the rainwater away from the houses and diverting it parallel to our streets towards the Port Everglades inlet channel. As a result, neither our streets nor our lots are prone to flooding. In fact, during the major, 24 inches of rain, storm of April, 2023, Breakwater did not flood. By contrast, Harbour Inlet, which adjoins Breakwater on our west side, had several streets at least partially under water for several days – precisely because, due to a lack of swales and contouring – the water had nowhere to go.

As a result, requiring that the properties at 2517 and 2616 Inlet Drive include sidewalks in their reconstruction design will have two negative effects: one will be the disruption of the flow of heavy rainwater, as the sidewalks will have to be built exactly on top of the

rainwater swales. This will actually result in flooding both in the vicinity of, and up-slope from, these properties. In short, Breakwater – at a minimum on Inlet Drive – will flood.

In addition, requiring that these two houses have sidewalks will mean that there will be two widely separated strips of 60 or so feet of sidewalk in our community. Everywhere else in Breakwater there will be green grass and water-diverting swales. Further, when the City asked us to poll our residents concerning sidewalks, we received 54 replies within the first 24 hours: every homeowner replied that they did not want sidewalks.

This is not the first time that our residents have rejected adding sidewalks to our community. In 2008-2009 the City sought to fund an “anti-crime” program that, in the case of Breakwater and the Harbour Isles area, would add sidewalks funded by the homeowners through placing a City lien of up to \$3,000 on each property.

As is the case with the current sidewalks issue, none of our owners were in favor of adding sidewalks to a community that neither wanted them nor, under the premise of an anti-crime program, had a need for them. Following a number of meetings with City personnel and appeals to the City Commission, it was agreed that Breakwater would not be required to have sidewalks. Rather, the funds, along with funds earmarked from other neighboring communities, were used for a Harbour Isles area beautification program.

Finally, I would note that our District 4 Commissioner – both the previous Commissioner, Ben Sorensen and the current Commissioner, Dr. Warren Sturman – have expressed their understanding of, and support for, not requiring sidewalks in Breakwater. Commissioner Sturman, furthermore, has advised me as recently as March 2 that he is prepared to take the no-sidewalks issue to the City Commission in order to secure a permanent change to the ordinance’s requirement for sidewalks in the case of neighborhoods that overwhelmingly do not want them.

In closing, I want to commend all the Board members for the valuable service they provide to the City of Fort Lauderdale, especially as the growth of large projects and the threatened loss of distinctive neighborhoods become a matter of ever-greater concern to neighborhoods such as ours. I trust that, as fellow citizens of our special city, you will take into consideration the above information in making your decision.

Sincerely,

A handwritten signature in black ink, appearing to read "J.L. Wilkinson".

John L. Wilkinson  
President, Breakwater Homes Association