



DEVELOPMENT APPLICATION FORM

Application Form: All Applications | Rev. 01/24/2023

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The development application form must be filled out accurately and all applicable sections must be completed. Only complete the sections indicated for application type with N/A for those section items not applicable. Refer to "Specifications for Plan Submittal" by application type for information requirements for submittal. Select the application type and approval level in **SECTION A** and complete the sections specified.

A APPLICATION TYPE AND APPROVAL LEVEL Select the application type from the list below and check the applicable type.

<input type="checkbox"/> LEVEL I ADMINISTRATIVE REVIEW COMMITTEE (ADMIN) <ul style="list-style-type: none"> New nonresidential less than 5,000 square feet Change of use (same impact or less than existing use) Plat note/Nonvehicular access line amendment Administrative site plan Amendment to site plan* Property and right-of-way applications (MOTs, construction staging) Parking Agreements (separate from site plans) 	<input checked="" type="checkbox"/> LEVEL II DEVELOPMENT REVIEW COMMITTEE (DRC) <ul style="list-style-type: none"> New Nonresidential 5,000 square feet or greater Residential 5 units or more Nonresidential use within 100 feet of residential property Redevelopment proposals Change in use (if great impact than existing use) Development in Regional Activity Centers (RAC)* Development in Uptown Project Area* Regional Activity Center Signage Design Review Team (DRT) Affordable Housing (≥10%) 	<input type="checkbox"/> LEVEL III PLANNING AND ZONING BOARD (PZB) <ul style="list-style-type: none"> Conditional Use Parking Reduction Flex Allocation Cluster / Zero Lot Line Modification of Yards* Waterway Use Mixed Use Development Community Residences* Social Service Residential Facility (SSRF) Medical Cannabis Dispensing Facility* Community Business District for uses greater than 10,000 square feet 	<input type="checkbox"/> LEVEL IV CITY COMMISSION (CC) <ul style="list-style-type: none"> Land Use Amendment Rezoning Plat Public Purpose Use Central Beach Development of Significant Impact* Vacation of Right-of-Way City Commission Review Only (review not required by PZB) Vacation of Easement*
COMPLETE SECTIONS B, C, D, G	COMPLETE SECTIONS B, C, D, E, F	COMPLETE SECTIONS B, C, D, E, F	COMPLETE SECTIONS B, C, D, E, F
<input type="checkbox"/> EXTENSION Request to extend approval date for a previously approved application	<input type="checkbox"/> DEFERRAL Request to defer after an application is scheduled for public hearing	<input type="checkbox"/> APPEAL/DE NOVO <ul style="list-style-type: none"> Appeal decision by approving body De Novo hearing items 	<input type="checkbox"/> PROPERTY AND ROW ITEM <ul style="list-style-type: none"> Road closures Construction staging plan Revocable licenses
COMPLETE SECTIONS B, C, H	COMPLETE SECTIONS B, C, H	COMPLETE SECTIONS B, C, H	COMPLETE SECTIONS B, C, E

*Application is subject to specific review and approval process. Levels III and IV are reviewed by Development Review Committee unless otherwise noted.

B APPLICANT INFORMATION If applicant is the business operator, complete the agent column and provide property owner authorization.

Applicant/Property Owner	Victoria Park Development LLC	Authorized Agent	Andrew J. Schein, Esq. Lochrie & Chakas, P.A.
Address		Address	699 N. Federal Hwy, Suite 400
City, State, Zip		City, State, Zip	Fort Lauderdale, FL 33304
Phone		Phone	954-617-8919
Email		Email	ASchein@lochrirelaw.com
Proof of Ownership		Authorization Letter	Letter Attached
Applicant Signature:		Agent Signature:	Andrew Schein <small>Digitally signed by Andrew Schein DN: cn=Andrew Schein, o=au, email=ASchein@lochrirelaw.com, c=US Date: 2024.03.07 10:10:22 -0500</small>

C PARCEL INFORMATION

Address/General Location	809 NE 16th Avenue
Folio Number(s)	494234060650, 494234060620, 494234060600, 494234060590, 494234060580
Legal Description (Brief)	Progresso 2-18 D Lots 1-9, Block 242
City Commission District	2
Civic Association	Victoria Park

D LAND USE INFORMATION

Existing Use	Vacant
Land Use	Medium-High Residential
Zoning	RMM-25
Proposed	<i>Applications requesting land use amendments and rezonings.</i>
Proposed Land Use	
Proposed Zoning	

E PROJECT INFORMATION Provide project information. Circle yes or no where noted. If item is not applicable, indicate N/A.

Project Name	809 NE 16th Avenue										
Project Description (Describe in detail)	24-unit townhome development										
Estimated Project Cost	\$	<i>(Estimated total project cost including land costs for all new development applications only)</i>									
Affordable Housing		30%	50%	60%	80%	100%	120%	140%			
Number of Units											



Waterway Use	No					
Flex Units Request	No					
Commercial Flex Acreage	No					
Residential Uses						
Single Family						
Townhouses	4					
Multifamily						
Cluster/Zero Lot Line						
Other						
Total (dwelling units)						
Unit Mix (dwelling units)	<table border="1"> <tr> <td>Studio or Efficiency</td> <td>1-Bedroom</td> <td>2-Bedroom</td> <td>3+ Bedroom</td> <td>24</td> </tr> </table>	Studio or Efficiency	1-Bedroom	2-Bedroom	3+ Bedroom	24
Studio or Efficiency	1-Bedroom	2-Bedroom	3+ Bedroom	24		

Traffic Study Required	No
Parking Reduction	No
Public Participation	No
Non-Residential Uses	
Commercial	
Restaurant	
Office	
Industrial	
Other	
Total (square feet)	0

F PROJECT DIMENSIONAL STANDARDS *Indicate all required and proposed standards for the project. Circle yes or no where indicated.*

	Required Per ULDR	Proposed
Lot Size (Square feet/ acres)	7,500 SF	60,750 SF / 1.39 acres
Lot Density (Units/ acres)	25 units/acre	17.2 du/acre
Lot Width	50'	135'
Building Height (Feet)	35'	35'
Structure Length	200'	Max 81' - 8" per townhouse arounding
Floor Area Ratio (F.A.R)	None	1.19
Lot Coverage	None	41.2%
Open Space	None	35,687 SF
Landscape Area	8,921.75 SF*	10,944 SF
Parking Spaces	54	54
SETBACKS (Indicate direction N,S,E,W)	Required Per ULDR	Proposed
Front [E]	15'	15'
Side [S]	10'	44' - 4"
Corner / Side [N]	15'	20'
Rear [W]	20'	20'

For projects in Downtown, Northwest, South Andrews, and Uptown Master Plans to be completed in conjunction with the applicable items above.

	Required Per ULDR	Proposed	Deviation
Tower Stepback			
Front / Primary Street []			
Sides / Secondary Street []			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate (square feet)			
Residential Unit Size (minimum)			

*Development area (41.2% of the site, or 25,063 SF) is excluded from the 25% requirement. 0.25 * 35,687 SF = 8,921.75 SF

G AMENDED PROJECT INFORMATION *Provide approved and proposed amendments for project. Circle yes or no where indicated.*

Project Name			
Proposed Amendment Description (Describe in detail)			
	Original Approval	Proposed Amendment	Amended
Residential Uses (dwelling units)			
Non-Residential Uses (square feet)			
Lot Size (Square feet/ acres)			
Lot Density (Units/ acres)			
Lot Width			
Building Height (Feet)			
Structure Length			
Floor Area Ratio (F.A.R)			
Lot Coverage			
Open Space			
Landscape Area			
Parking Spaces			
Tower Stepback			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate (square feet)			
Residential Unit Size (minimum)			
Does this amendment require a revision to the traffic statement or traffic study completed for the project?			
Does this amendment require a revised water sewer capacity letter?			

H EXTENSION, DEFERRAL, APPEAL INFORMATION *Provide information for specific request. Circle approving body and yes or no.*

Project Name						
Request Description						
	EXTENSION REQUEST		DEFERRAL REQUEST		APPEAL REQUEST / DE NOVO HEARING	
Approving Body		Approving Body		Approving Body		
Original Approval Date		Scheduled Meeting Date		30 Days from Meeting (Provide Date)		
Expiration Date (Permit Submittal Deadline)		Requested Date		60 Days from Meeting (Provide Date)		
Expiration Date (Permit Issuance Deadline)		Previous Deferrals Granted		Appeal Request		



<p>Requested Extension <i>(No more than 24 months)</i></p> <p>Code Enforcement <i>(Applicant Obtain by Code Compliance Division)</i></p>	<p>Justification Letter Provided</p>	<p>Indicate Approving Body Appealing De Novo Hearing Due to City Commission Call-Up</p>
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CHECKLIST FOR SUBMITTAL AND COMPLETENESS: The following checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide this information will result in your application being deemed **incomplete**.

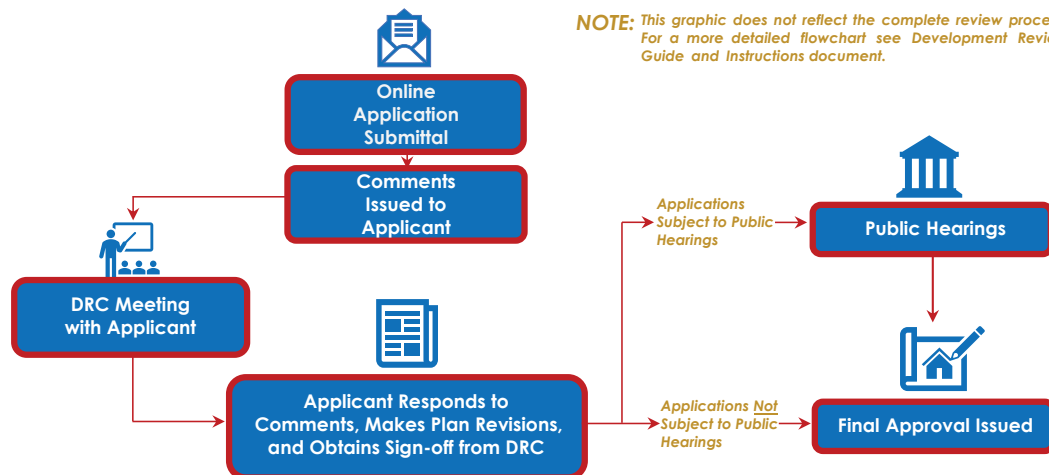
- Preliminary Development Meeting** completed on the following date: **PROVIDE DATE**
- Development Application Form** completed with the applicable information including signatures.
- Proof of Ownership** warranty deed or tax record including corporation documents and SunBiz verification name.
- Address Verification Form** applicant contact David Goodrum at 954-828-5976 or DDGoodrum@fortlauderdale.gov
- Project and Unified Land Development Code Narratives** project narrative and the applicable ULDR sections and criteria as described in the specifications for submittal by application type.
- Electronic Files, File Naming, and Documents** consistent with the applicable specifications for application type, consistent with the online submittal requirements including file naming convention, plan sets uploaded as single pdf.
- Traffic Study or Statement** submittal of a traffic study or traffic statement.
- Stormwater Calculations** signed and sealed by a Florida registered professional engineer consistent with calculations as described in the specifications for plan submittal for site plan applications.
- Water and Wastewater Capacity Request** copy of email to Public Works requesting the capacity letter.*

*Public Works no longer sends these emails; capacity request submitted through Lauderbuild, Case No. ENG-CR-24030002

OVERVIEW FOR ONLINE SUBMITTAL REQUIREMENTS: Submittals must be conducted through the City's online citizen access portal [LauderBuild](#). No hardcopy application submittals are accepted. Below only highlights the important submittal requirements that applicants must follow to submit online and be deemed complete. View all the requirements at [LauderBuild Plan Room](#).

- **Uploading Entire Submittal** upload all documents at time the application is submitted to prevent delays in processing.
- **File Naming Convention** file names must adhere to the City's [File Naming Convention](#).
- **Reduce File Size** plan sets and other large files must be merged or flattened to reduce file size.
- **Plan Sets** plan sets like site plans, plats, etc. must be submitted as a single pdf file. Staff will instruct when otherwise.
- **Document Categories** choose the correct document category when uploading.

DRC PROCESS OVERVIEW: The entire development review process flowchart can be found in the [Development Application Guide and Instructions](#) document. Below is a quick reference flowchart with key steps in the process to guide applicants.



NOTE: This graphic does not reflect the complete review process. For a more detailed flowchart see [Development Review Guide and Instructions](#) document.

CONTACT INFORMATION: Questions regarding the development process or LauderBuild, see contact information below.

GENERAL URBAN DESIGN AND PLANNING QUESTIONS	
Planning Counter 954-828-6520, Option 5 planning@fortlauderdale.gov	

LAUDERBUILD ASSISTANCE AND QUESTIONS	
DSD Customer Service 954-828-6520, Option 1 lauderbuild@fortlauderdale.gov	

809 NE 16TH AVENUE

809 NE 16TH AVENUE, FORT LAUDERDALE, FL 33304

DRC SUBMISSION

DATE: 02-28-2024



809 NE 16th AVENUE, FORT LAUDERDALE, FLORIDA 33304

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DRAWING INDEX			SUBMISSION 02-28-2024
PROJECT: 2355 809 NE 16TH AVENUE			
Cells (Revisions):			
Discipline	Sheet	Description	
Arch. KCAD	A0.00	COVER	X
		SURVEY	X
	A1.00	PROJECT DATA	X
	A1.01	OPEN AREA CALCULATIONS	X
	A1.02	CONTEXT SITE MAP	X
	A1.03	CONTEXT PHOTOS	X
	A1.04	SURROUNDING BUILDINGS	X
	A1.05	RENDERING - STREET VIEW	X
	A1.06	RENDERING - STREET VIEW	X
	A2.00	SITE PLAN LEVEL 1	X
	A2.01	SITE PLAN LEVEL 2	X
	A2.02	SITE PLAN LEVEL 3	X
	A2.03	SITE PLAN LEVEL _ROOF VIEW	X
	A3.00	ENLARGED UNIT_TYPE A	X
	A3.01	ENLARGED UNIT_TYPE B	X
A3.02	ENLARGED UNIT_TYPE C	X	
A3.03	ENLARGED UNIT_TYPE D	X	
A4.00	BUILDING ELEVATION 1	X	
A4.01	BUILDING ELEVATION 2 & 4	X	
A4.02	BUILDING ELEVATION 3	X	
A4.03	BUILDING ELEVATION 5	X	
A4.04	BUILDING ELEVATION 6	X	
A5.00	SECTIONS A & B	X	
MEP	PH 1.00	PHOTOMETRIC FLOOR PLAN - LEVEL 1 (NORMAL)	X
	PH 2.00	PHOTOMETRIC FLOOR PLAN - LEVEL 1 (EMERGENCY)	X
LANDSCAPE	L-1	LANDSCAPE PLAN	X
	L-2	ROOF DECK LANDSCAPE PLAN	X
	TD-1	TREE DISPOSITION PLAN	X
CIVIL	C100	GENERAL NOTES AND SPECIFICATIONS	X
	C200	PAVING GRADING AND DRAINAGE PLAN	X
	C201	PAVING GRADING AND DRAINAGE PLAN	X
	C300	WATER AND SEWER PLAN	X
	C301	WATER AND SEWER PLAN	X
	C400	WATER AND SEWER DETAIL	X
	C500	DRAINAGE DETAIL	X
	C600	SEDIMENTATION AND EROSION CONTROL PLAN	X
C601	SEDIMENTATION AND EROSION CONTROL PLAN	X	

Rev.	Date	Rev.	Date
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DRC SET

809 NE 16th AVENUE
809 NE 16th AVENUE
FORT LAUDERDALE, FL 33304

Owner:
Name: REGENCY DEVELOPMENT GROUP LLC
Address: HUEHL ROAD, SUITE 4B
Address: NORTHBROOK, IL 60062
Tel: 847-436-7777
Email: alex@regencydevgroup.com

Consultant:
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Address: 8101 BISCAYNE BLVD
Address: MIAMI, FL 33138
Tel: 786-253-5252
Email: wluigo@oceanengineeringinc.com

Consultant:
Name: AAL ARCHITECTURAL ALLIANCE LANDSCAPE
Address: 612 SW 4th AVE
Address: FORT LAUDERDALE, FL 33315
Tel: 954-205-1721
Email: beuel@archall.net

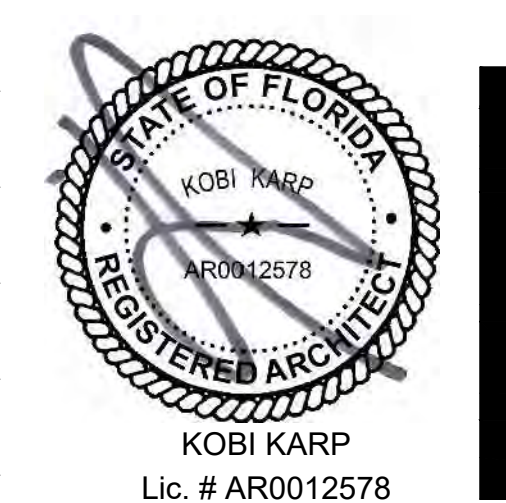
Consultant:
Name:
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Consultant:
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Consultant:
Name:
Address:
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Email:

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
371 NW 28th STREET
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



SCOPE OF WORK:
THE EXTENT OF THE SCOPE OF WORK FOR THIS PACKAGE CONSISTS OF THE FOLLOWING:

- 1- NEW CONSTRUCTION OF A 3 STORY RESIDENTIAL BUILDING ON A CLEAN AND GRUBBED SITE READY FOR FOUNDATION.
- 2- CONCRETE STRUCTURE , TYPE 2 CONSTRUCTION.
- 3- THE NEW BUILDING WILL BE ABOVE GRADE (9'-6") WITH GROUND FLOOR AT 9'-6" NGVD.
- 4- FULLY EQUIPPED THROUGHOUT WITH ALARM SYSTEM AND IMPACT RESISTANT STOREFRONT & DOORS.
- 5- TOTAL CONSTRUCTION AREA: 73,598 SF.
- 6- TOTAL RESIDENTIAL AREA: 72,421 SF.
- 7- 2 PARKING SPACES PER UNITS , 6 VISITOR PARKING SPACE INCLUDING 1 ADA PARKING SPACE .
- 8- THE PROJECT WILL BE FULLY ACCESSIBLE IN COMPLIANCE WITH ADA REQUIREMENTS.

AREA OF WORK : NET LAND AREA : 60,750 SF.

CIVIL ENGINEER

OCEAN ENGINEERING
8101 BISCAYNE BLVD
SUITE 508
MIAMI, FL 33138
TEL: 786-518-2008

MEP ENGINEER

REYES-GAVILAN
16252 NW 79th AVE
HIALEAH, FL 33016
TEL: 305-828-0644

LANDSCAPE DESIGN

ARCHITECTURAL ALLIANCE LANDSCAPE
612 SW 4th AVE
FORT LAUDERDALE, FL 33315
TEL: 954-764-8858

TRAFFIC CONSULTANT

LANGAN
110 EAST BROWARD, SUITE 1500
FORT LAUDERDALE, FL 33301
TEL: 954-320-2155

OWNER

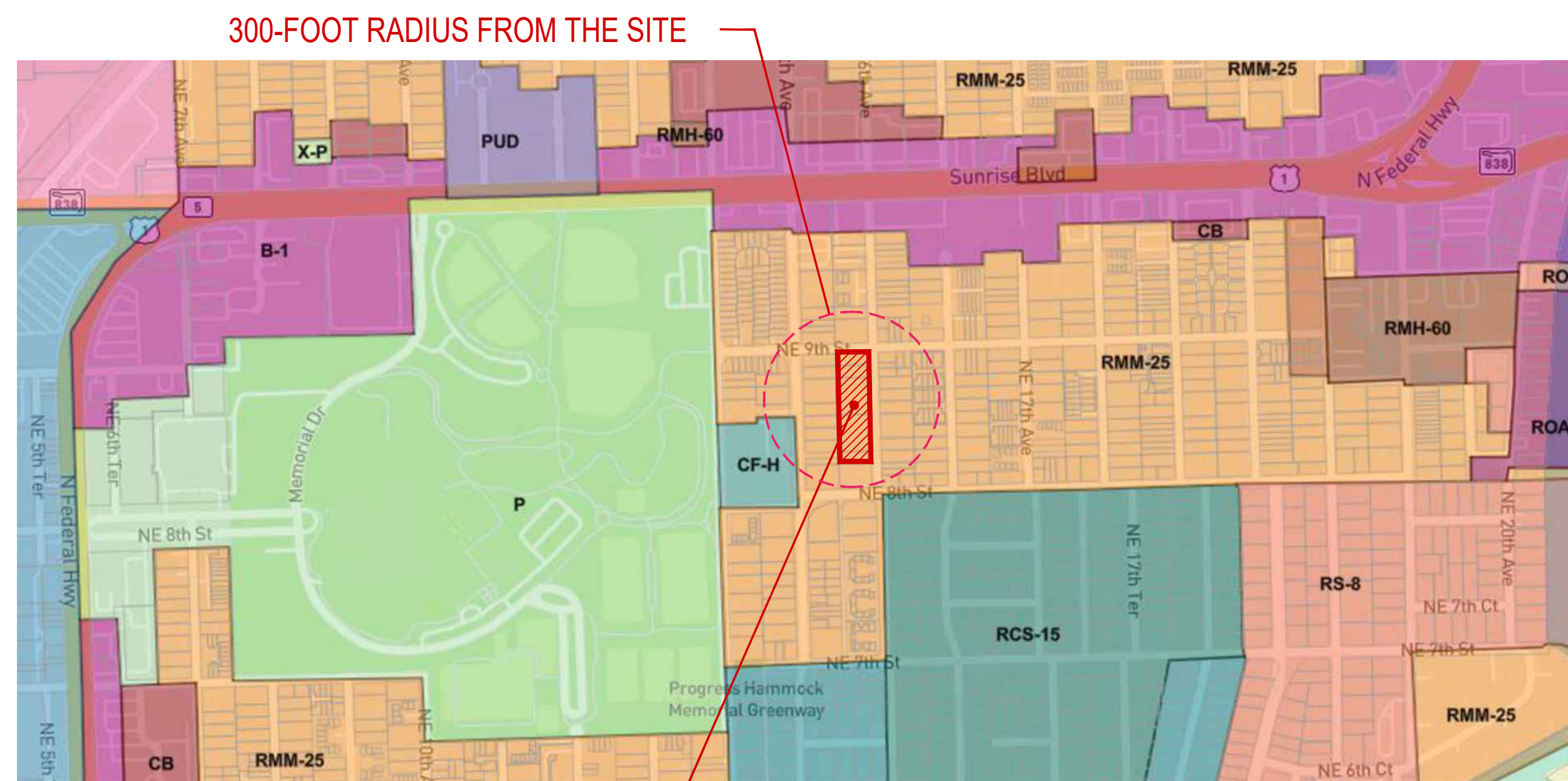
809 NE 16th AVENUE, LLC
809 NE 16th AVENUE
FORT LAUDERDALE
FL 33304

ARCHITECTS

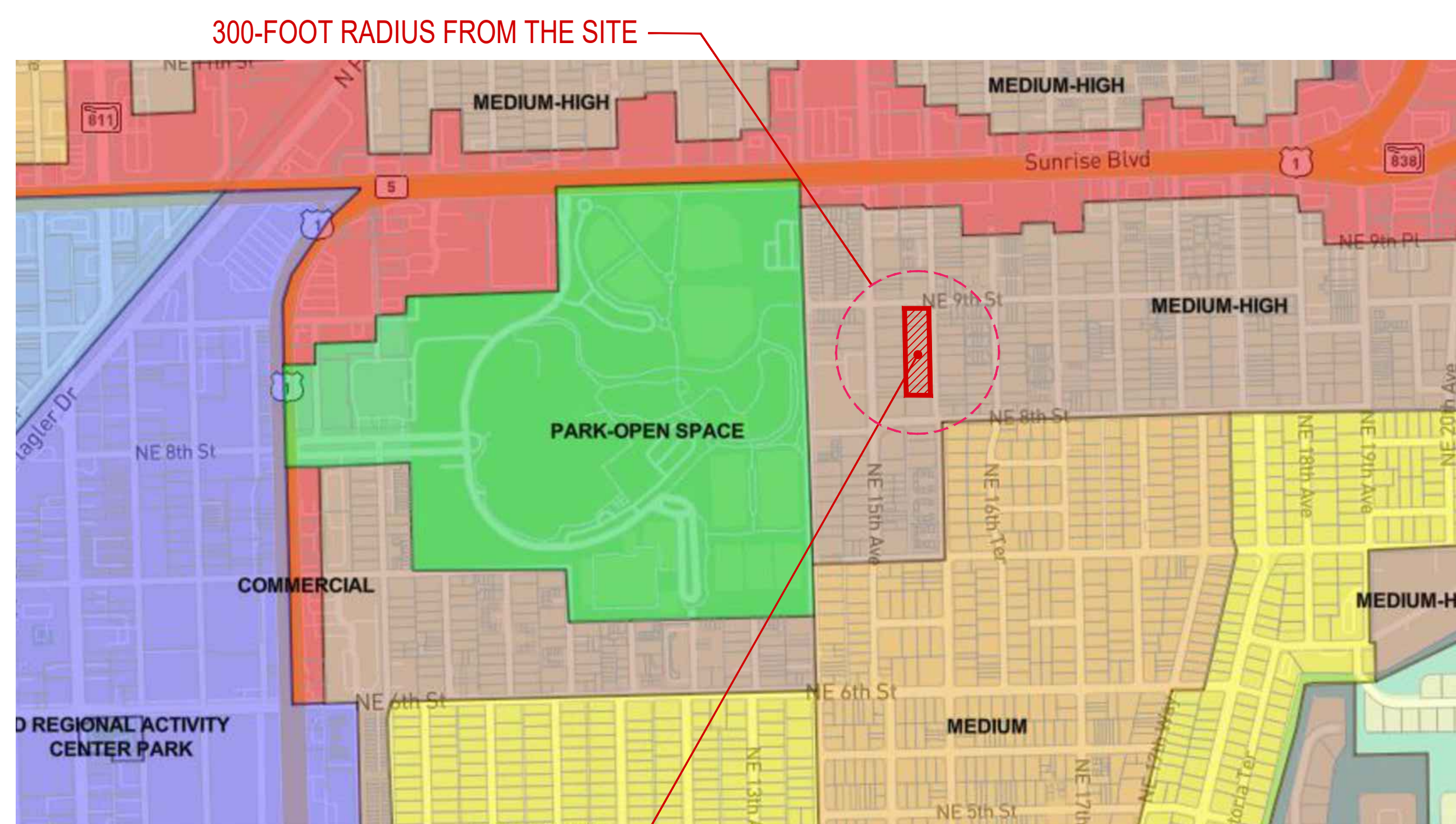
KOBI KARP ARCHITECTURE &
INTERIOR DESIGN
571 NW 28th STREET
MIAMI, FL 33127
TEL: 305.573.1818

COVER

Date:	Sheet No.
Scale:	A0.00
Project: 2355	



AREA OF WORK
1 ZONING DESIGNATIONS MAP
 N.T.S



AREA OF WORK
2 FUTURE LAND USE MAP
 N.T.S



AREA OF WORK
3 FLOOD MAP
 N.T.S

FEMA FLOOD ZONE X 0.2%

ZONING INFORMATION

SECTION	PROJECT NAME: TOWNHOUSE DEVELOPMENT PROJECT ADDRESS: 809 NE 16TH AVE, FORT LAUDERDALE, FL 33304 ZONING: RMM-25 COMPREHENSIVE PLAN FLUM DESIGNATION: MEDIUM-HIGH DENSITY RESIDENTIAL (25 DU / ACRE) NET LAND AREA: 60,750 SF (1.39 ACRES) BASE FLOOD ELEVATION: 9'-6" NGVD					
	SITE REQUIREMENTS					
		ALLOWED / REQUIRED	PROPOSED			
	A) LOT AREA	MINIMUM 7,500 SF	60,750 SF (1.39 ACRES)			
	B) DENSITY	25 DU / ACRE 1.39 ACRES X 25 = 34.75 UNITS MAX = (34 UNITS)	24 UNITS			
C) BUILDING HEIGHT	35'-0"	35'-0"				
D) BUILDING LENGTH	200' MAX ABOVE 45', 120' MAX	81'-8"				
E) OPEN SPACE & PLANTING REQ.	35% LOT AREA MIN. 60,750 X 0.35 = 21,262 SF MIN.	35,687 SF = 58 %				
SECTION	SETBACK REQUIREMENTS					
		ALLOWED / REQUIRED	PROPOSED			
	A) FRONT YARD SETBACK (EAST SIDE)	15'-0"	15'-0" (REDUCED) EAST SIDE			
	B) SIDE YARD SETBACK (SOUTH SIDE)	10' & ABOVE 22' PER EACH 1" HEIGHT = ADDITIONAL 1'-0" UNTIL 35' MAX HEIGHT	44'-4"			
	C) REAR YARD SETBACK (WEST SIDE)	20'-0"	20'-0"			
D) STREET CORNER YARD (NORTH SIDE)	20'-0"	20'-0"				
SECTION	UNIT BREAKDOWN					
	UNIT TYPE	LEVEL 1	LEVEL 2	LEVEL 3	TOTAL AREA	TOTAL AREA WITHOUT GARAGE
	A	991 SF	951 SF	1,032 SF	2,974 SF	2,626 SF
	B	980 SF	936 SF	1,014 SF	2,930 SF	2,582 SF
	C	1,026 SF	985 SF	1,066 SF	3,077 SF	2,729 SF
	D	980 SF	936 SF	1,014 SF	2,930 SF	2,582 SF
E	991 SF	951 SF	1,032 SF	2,974 SF	2,626 SF	
SECTION	AREA BREAKDOWN					
	UNITS AREA :	2,974 SF X 4 UNITS = 11,896 SF		TOTAL SALEABLE AREA :		2,626 SF X 4 UNITS = 10,504 SF
	TYPE A - 4 UNITS	2,930 SF X 1 UNIT = 2,930 SF		TYPE B - 1 UNIT		2,582 SF X 1 UNIT = 2,582 SF
	TYPE B - 1 UNIT	3,077 SF X 11 UNITS = 33,847 SF		TYPE C - 11 UNITS		2,729 SF X 11 UNITS = 30,019 SF
	TYPE C - 11 UNITS	2,930 SF X 1 UNIT = 2,930 SF		TYPE D - 1 UNIT		2,582 SF X 1 UNIT = 2,582 SF
	TYPE D - 1 UNIT	2,974 SF X 7 UNITS = 20,818 SF		TYPE E - 7 UNITS		2,626 SF X 7 UNITS = 18,382 SF
	TYPE E - 7 UNITS	72,421 SF		TOTAL - 24 UNITS		64,069 SF
	TOTAL - 24 UNITS	72,421 SF		TOTAL - 24 UNITS		64,069 SF
SECTION	PARKING REQUIREMENTS					
		AREA / UNIT	PARKING RATE	REQUIRED	PROPOSED	
5	-RESIDENTIAL	24 UNITS	2 P.S. x UNIT	48 P.S.	48 P.S.	
	-GUEST PARKING		0.25 P.S. X UNIT PER ZONING CODE SEC 23-24 (c)(3)	6 P.S.	5 P.S. + 1 ADA	

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DRC SET

809 NE 16th AVENUE
 809 NE 16th AVENUE
 FORT LAUDERDALE, FL 33304

Owner:
 Name: REGENCY DEVELOPMENT GROUP LLC
 Address: HUEHL ROAD, SUITE 4B
 Address: NORTHBROOK, IL 60062
 Tel: 847-436-7777
 Email: alex@regencydevgroup.com

Consultant:
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 Name: LANDSCAPE AAL ARCHITECTURAL ALLIANCE LANDSCAPE
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 Email: beuel@archall.net

Consultant:
 Name:
 Address:
 Address:
 Tel:
 Email:

Consultant:
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 Address:
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Consultant:
 Name:
 Address:
 Address:
 Tel:
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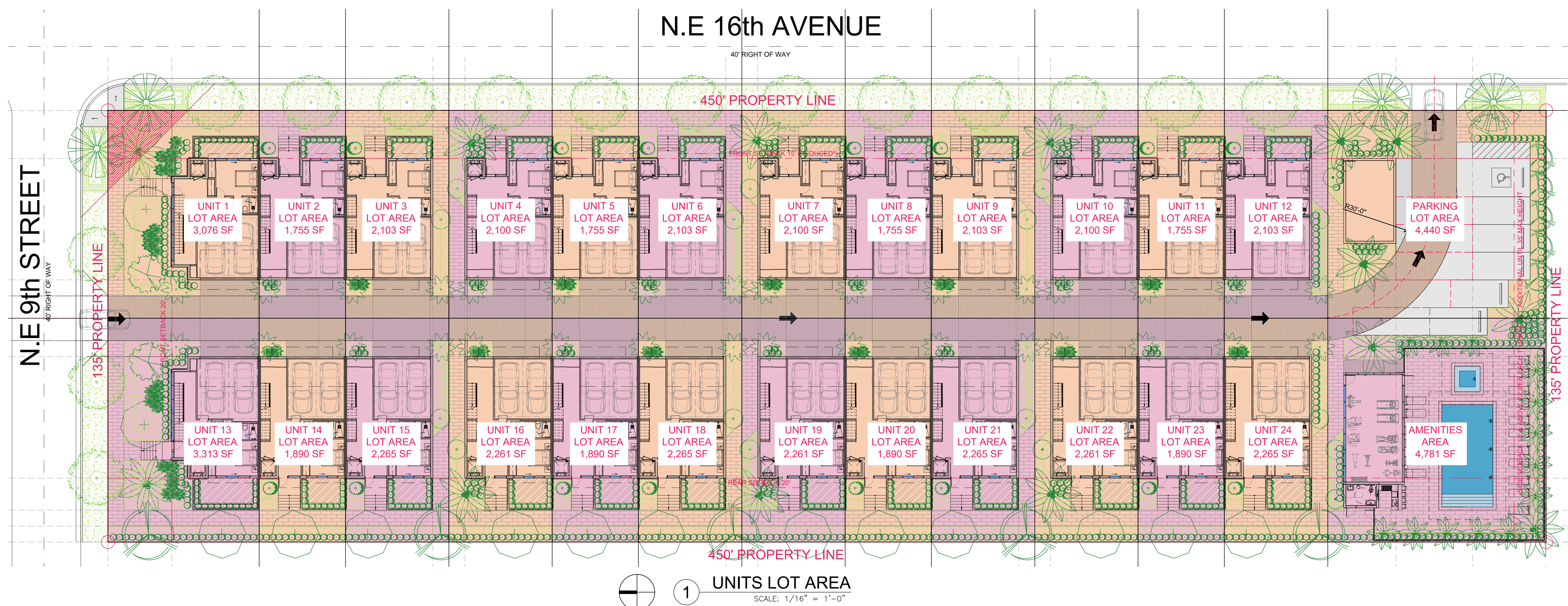
Consultant:
 Name:
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 Address:
 Tel:
 Email:

Architect of Record:
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 371 NW 25th STREET
 Miami, Florida 33137 USA
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 Fax: +1(305) 573 3766

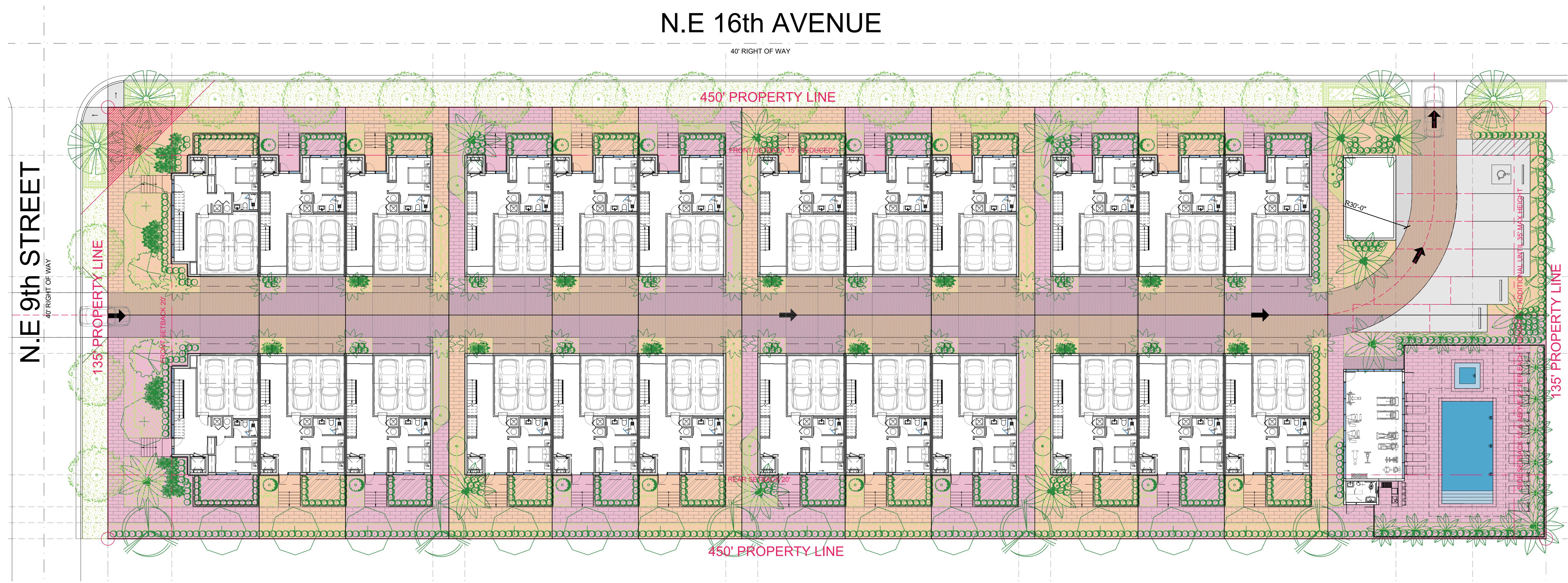


PROJECT DATA

Date:	Sheet No.
Scale:	A1.00
Project: 2355	



1 UNITS LOT AREA
SCALE: 1/16" = 1'-0"



2 UNITS OPEN AREA CALCULATION
SCALE: 1/16" = 1'-0"

UNITS	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	PARKING LOT	AMENITIES	TOTAL	
LOT AREA	3,076 SF	1,755 SF	2,103 SF	2,100 SF	1,755 SF	2,103 SF	2,100 SF	1,755 SF	2,103 SF	2,100 SF	1,755 SF	2,103 SF	3,313 SF	1,890 SF	2,265 SF	2,261 SF	1,890 SF	2,265 SF	2,261 SF	1,890 SF	2,265 SF	2,261 SF	1,890 SF	2,265 SF	4,440 SF	4,440 SF	60,750 SF	
COVERED AREA	990 SF	990 SF	1,004 SF	1,004 SF	990 SF	1,004 SF	1,004 SF	990 SF	1,004 SF	1,004 SF	990 SF	1,004 SF	990 SF	1,004 SF	990 SF	1,004 SF	990 SF	1,004 SF	990 SF	1,004 SF	990 SF	990 SF	1,004 SF	990 SF	1,004 SF	433 SF	744 SF	25,063 SF
OPEN AREA CALC.	2,086 SF	765 SF	1,099 SF	1,096 SF	765 SF	1,099 SF	765 SF	765 SF	1,099 SF	1,096 SF	765 SF	1,099 SF	2,323 SF	900 SF	1,261 SF	1,271 SF	900 SF	1,261 SF	1,271 SF	900 SF	1,261 SF	1,271 SF	900 SF	1,261 SF	4,007 SF	3,696 SF	35,687 SF	
% OPEN SPACE AND PLANTING	67 %	43 %	52 %	52%	43 %	52 %	36 %	43 %	52 %	52 %	43 %	52 %	70 %	47%	55 %	56 %	47 %	55 %	56 %	47 %	55 %	56 %	47 %	55 %	90 %	83 %	58 %	

OPEN SPACE AND PLANTING AREA MEETS MINIMUM 35% REQUIRED AS PER FBC - SEC 47-21.13.

UNITS LOT AREA & UNITS OPEN AREA CALCULATION

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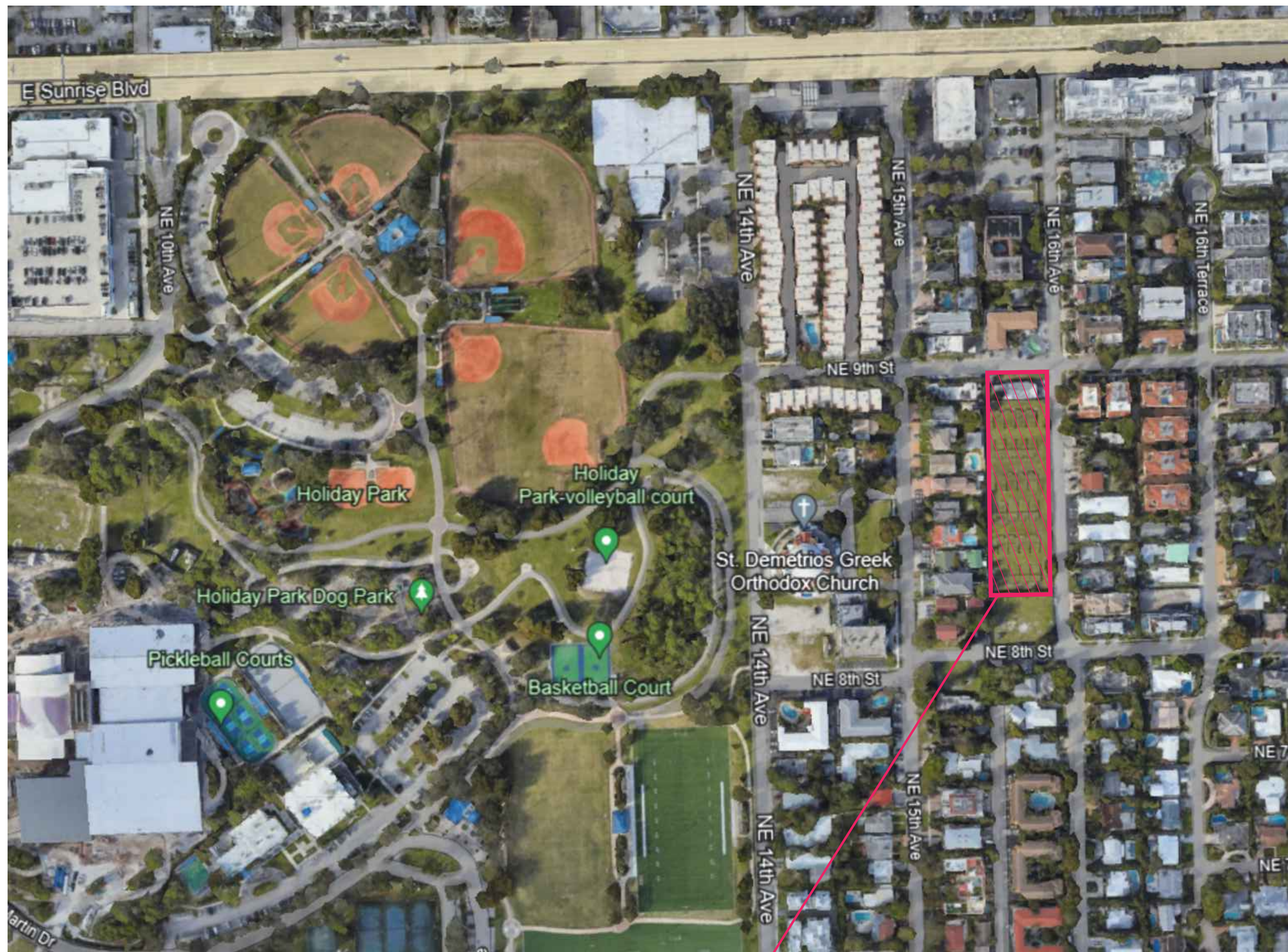
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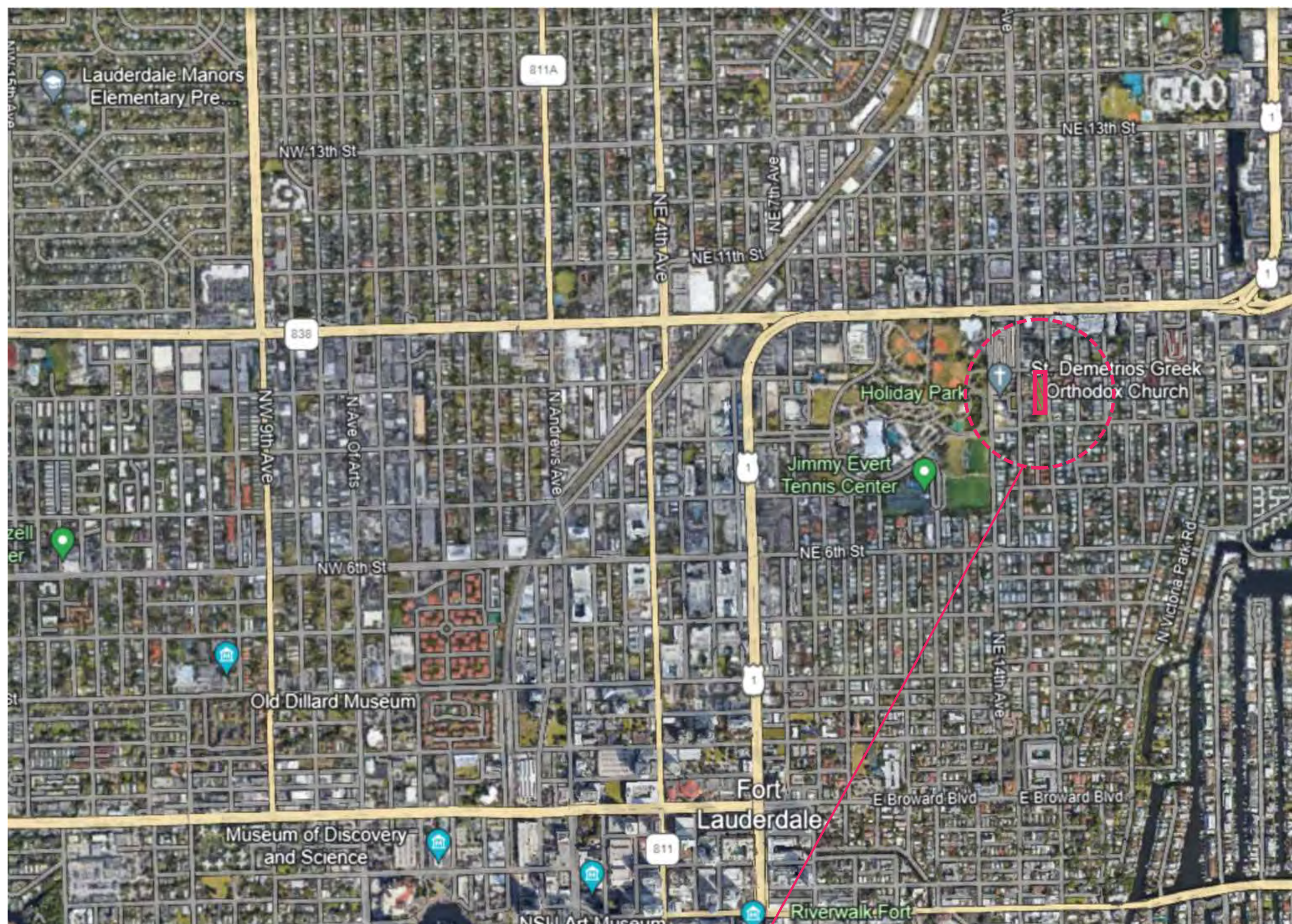


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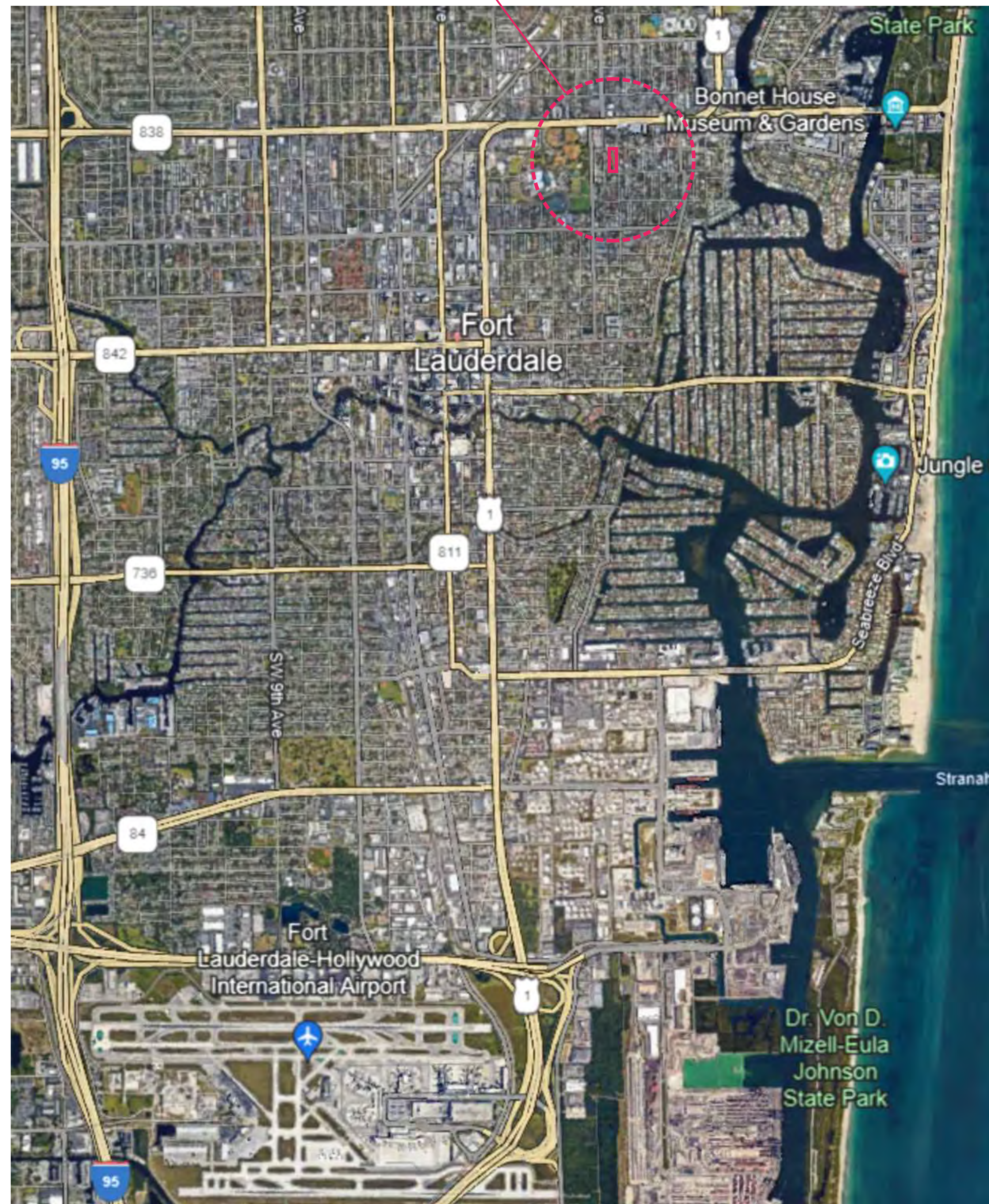
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Project: 2355	



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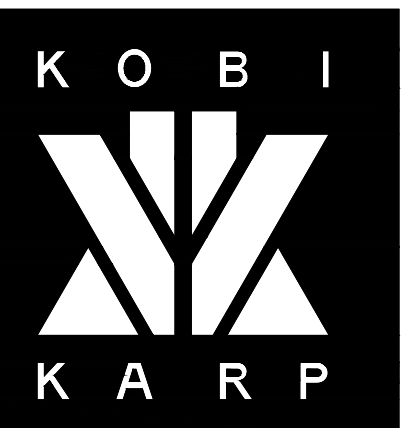
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CONTEXT SITE MAP

Date:	Sheet No.
Scale:	A1.02
Project: 2355	

CONTEXT SITE MAP
SCALE: N.T.S.



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SCALE: N.T.S.



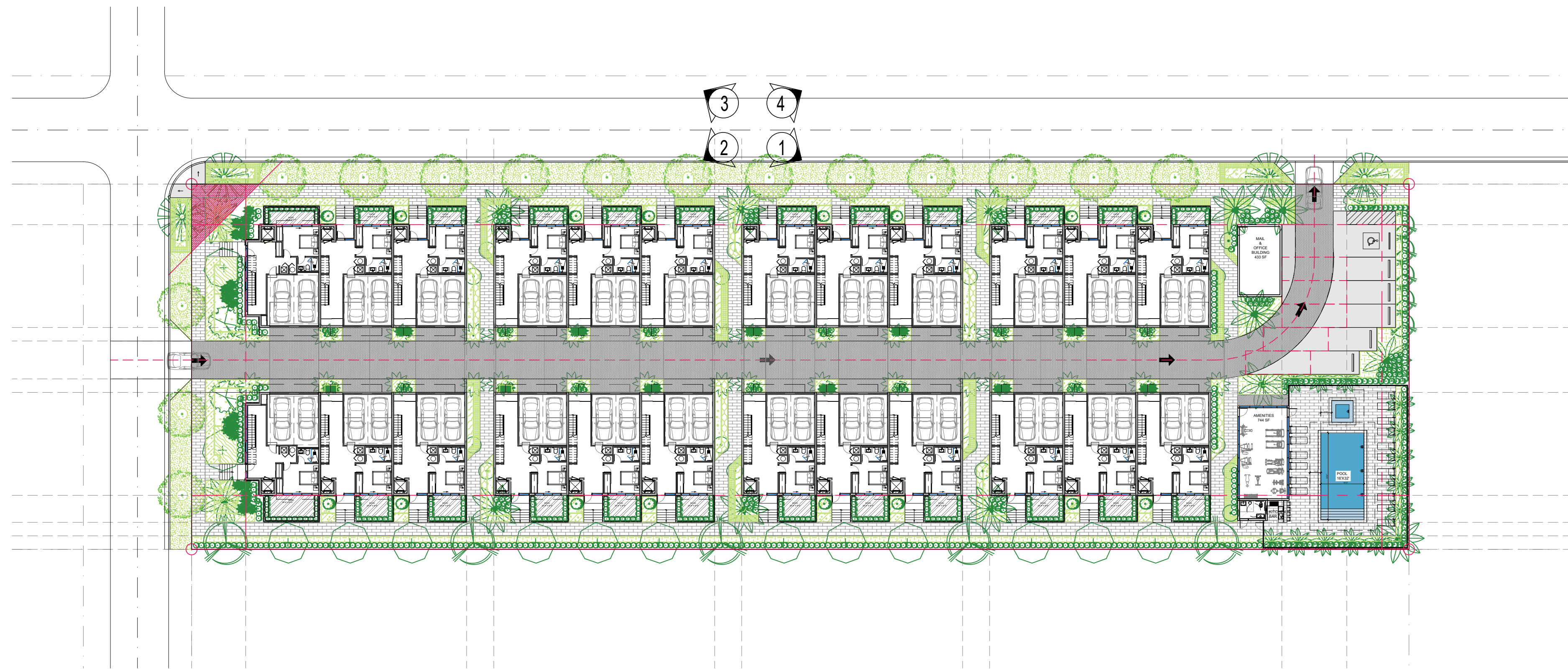
2 STREET VIEW
SCALE: N.T.S.



3 STREET VIEW
SCALE: N.T.S.



4 STREET VIEW
SCALE: N.T.S.



5 KEY PLAN
SCALE: N.T.S.

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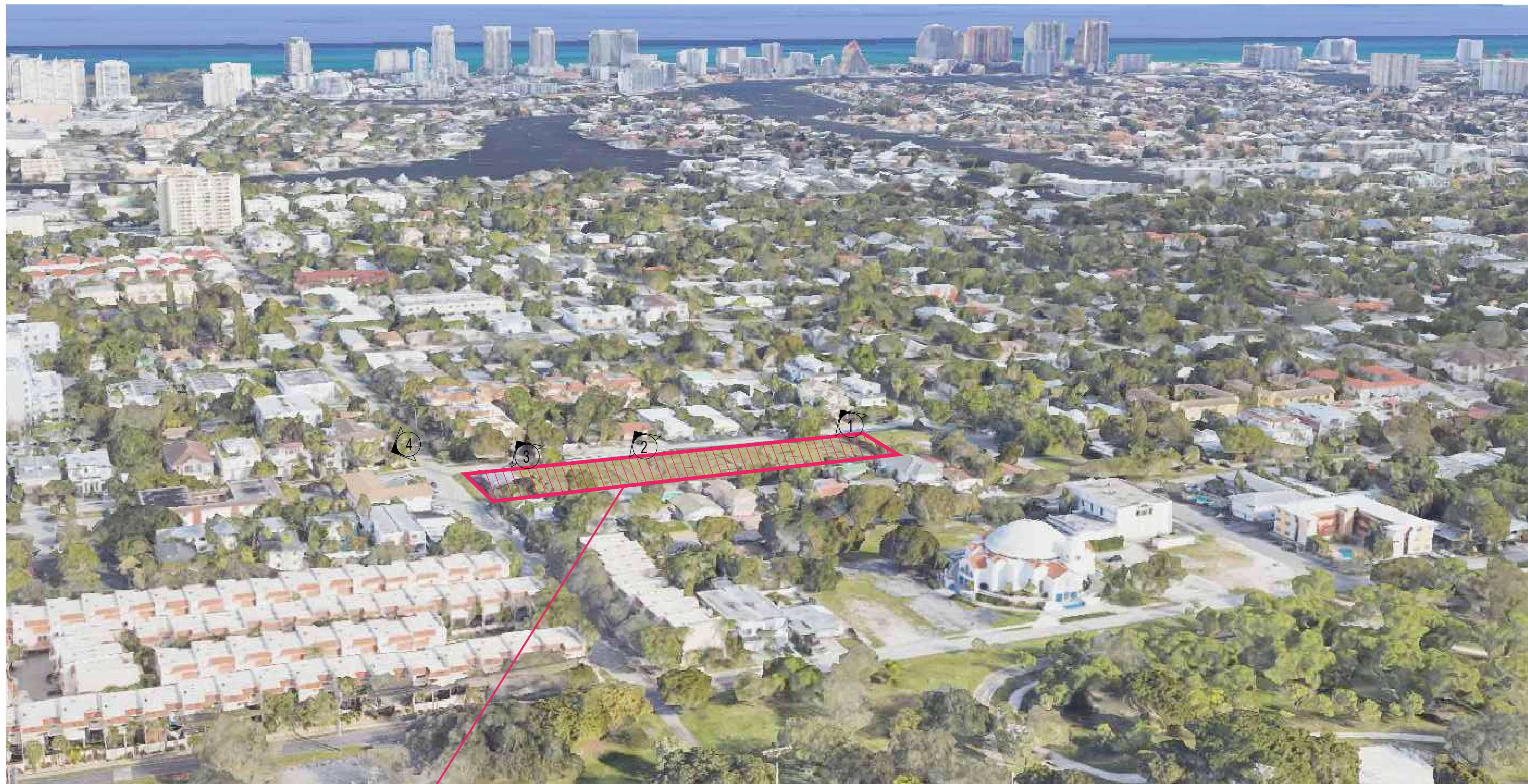
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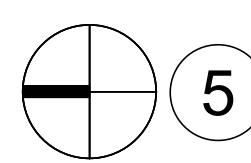


CONTEXT PHOTOS

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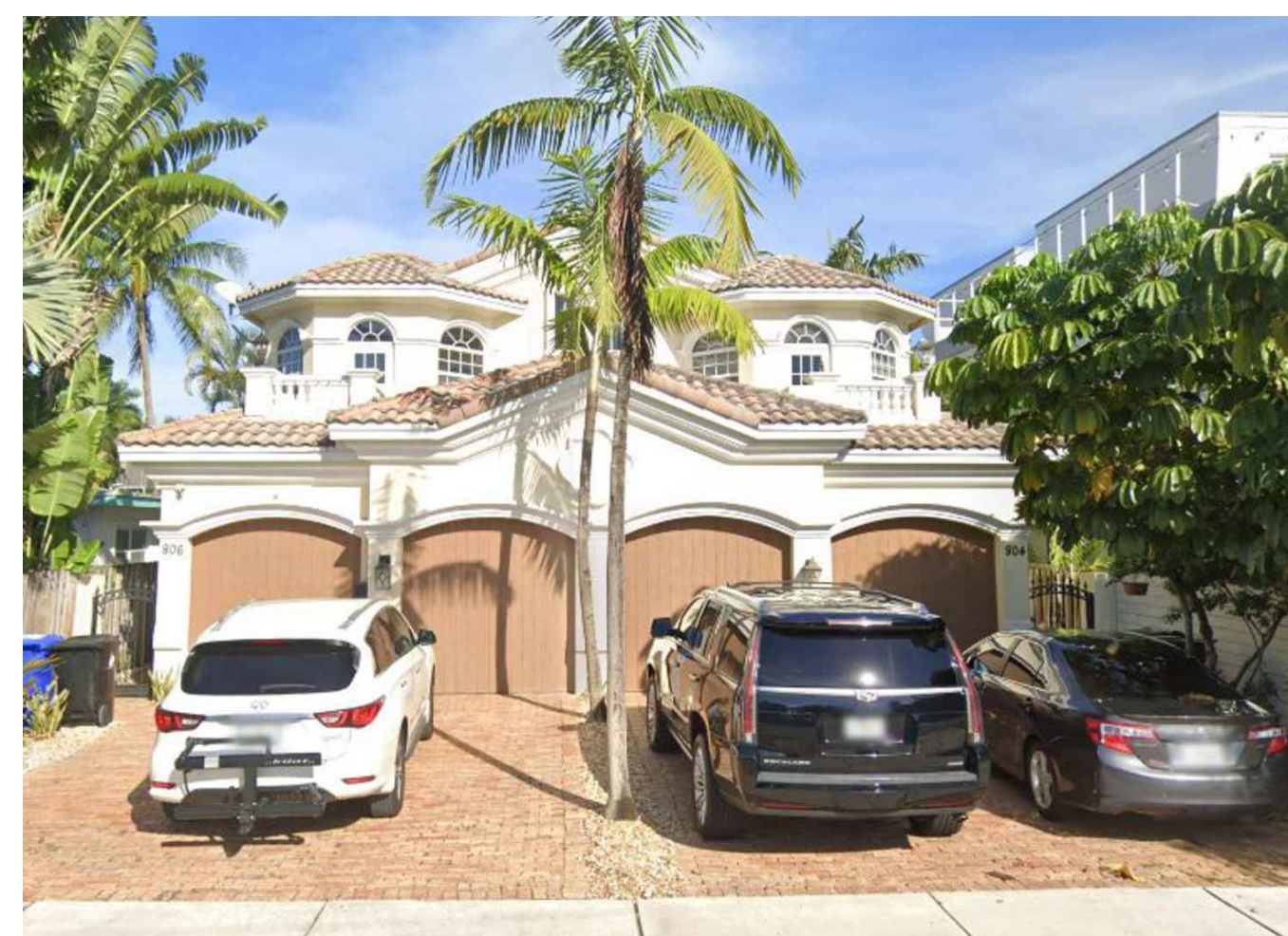


SITE



5 SURROUNDING BUILDINGS

SCALE: N.T.S.



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SCALE: N.T.S.



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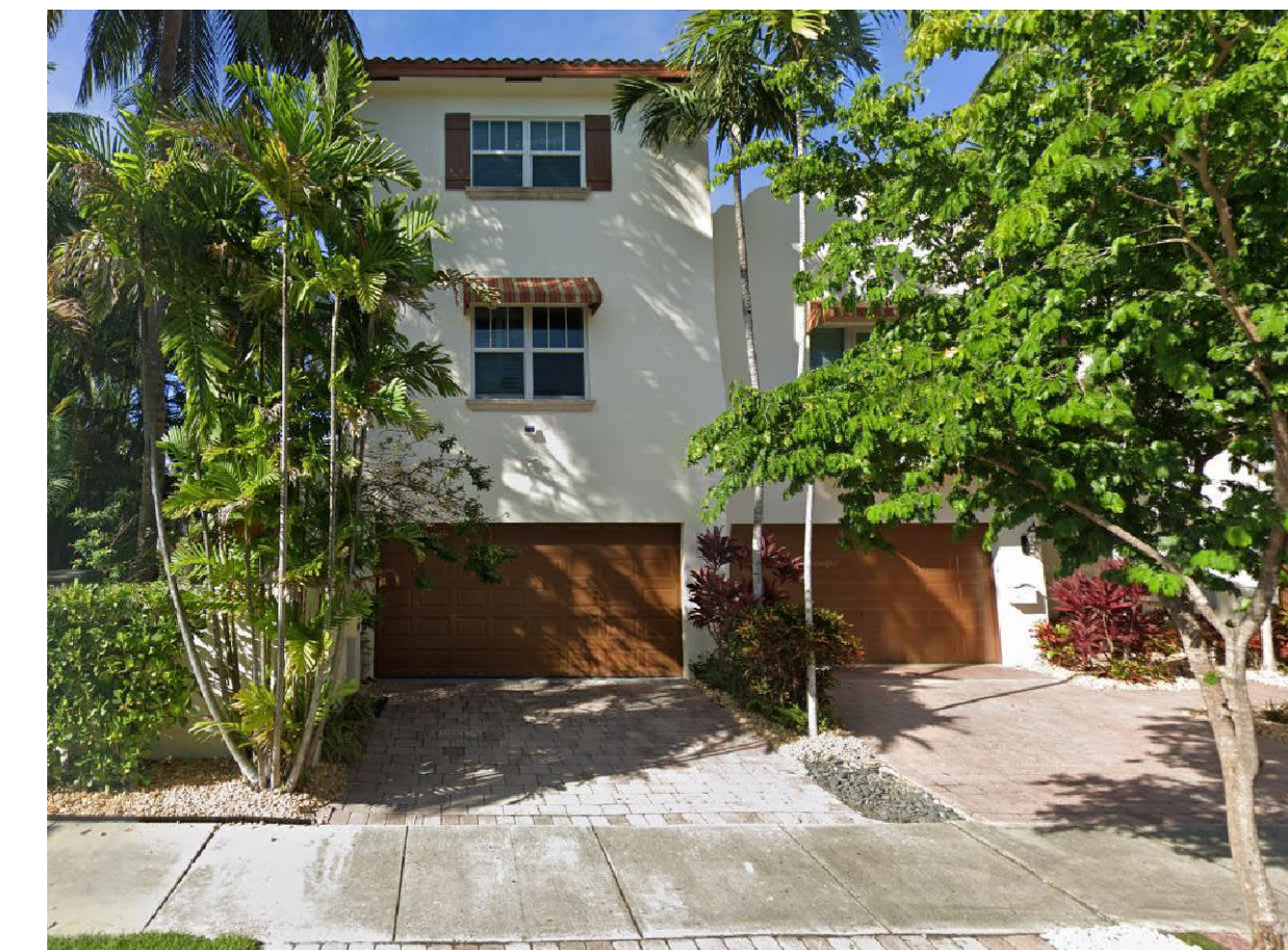
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SCALE: N.T.S.

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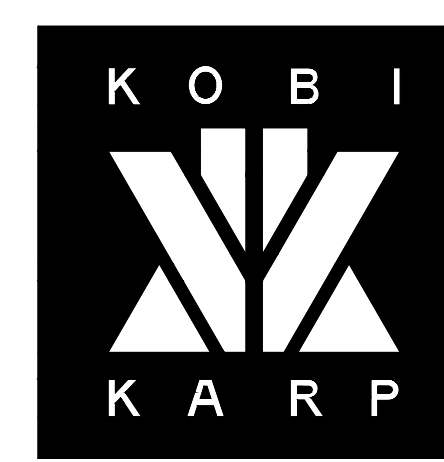
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SURROUNDING BUILDINGS

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Scale:	A1.04
Project: 2355	



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RENDERING - STREET VIEW

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Project: 2355	

1 RENDERING - STREET VIEW
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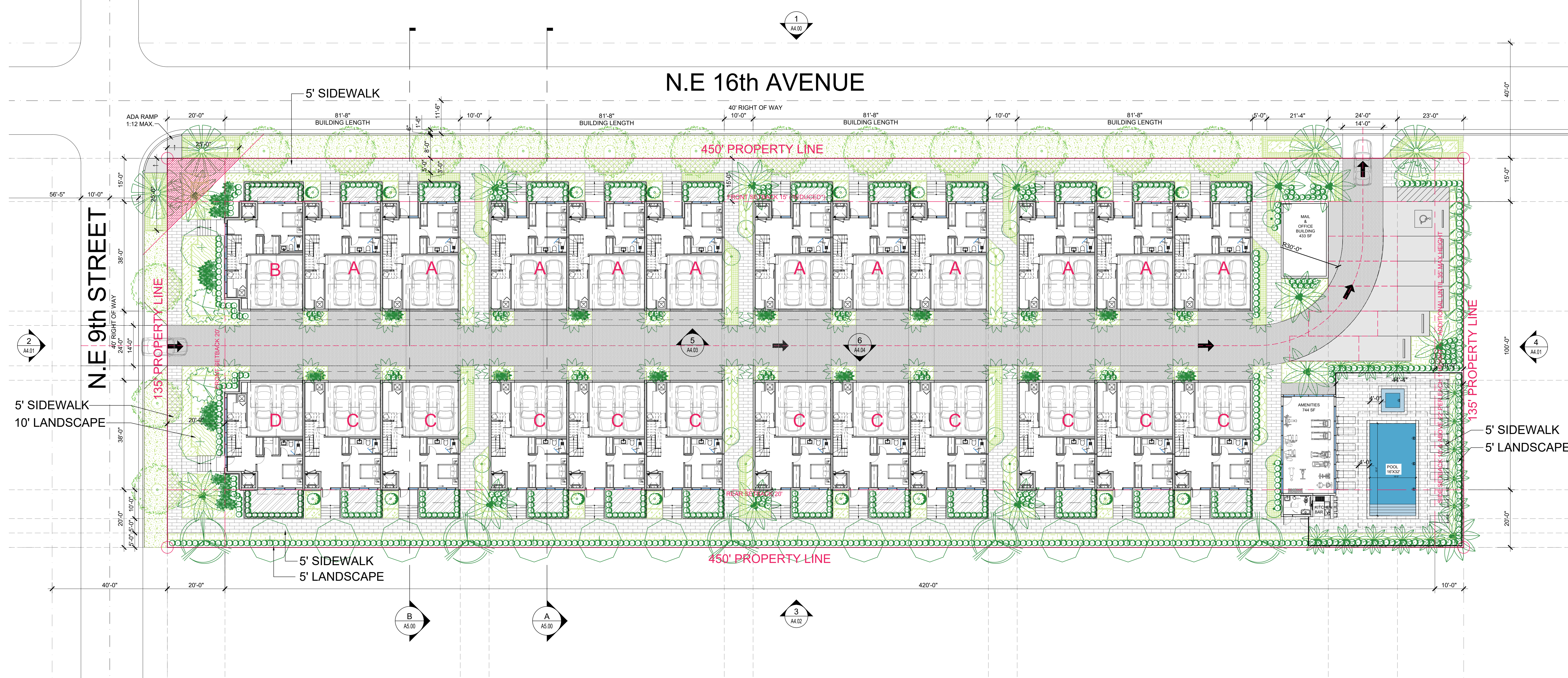
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RENDERING - STREET VIEW

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1 RENDERING - AERIAL VIEW
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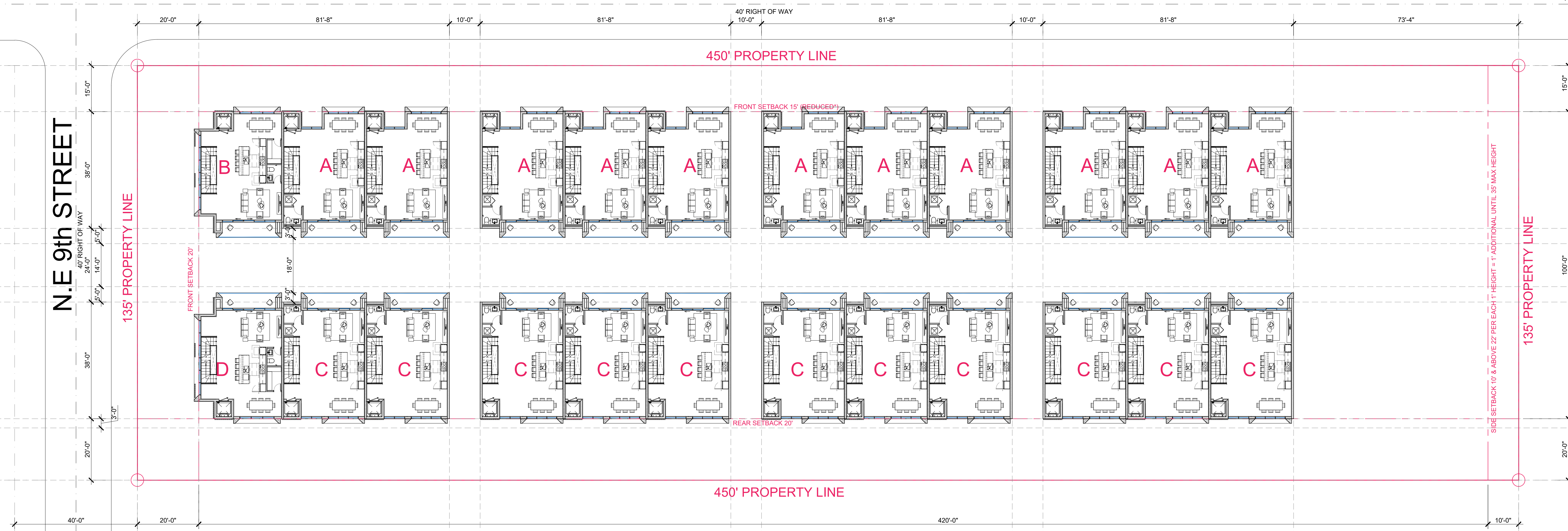


SITE PLAN - LEVEL 1

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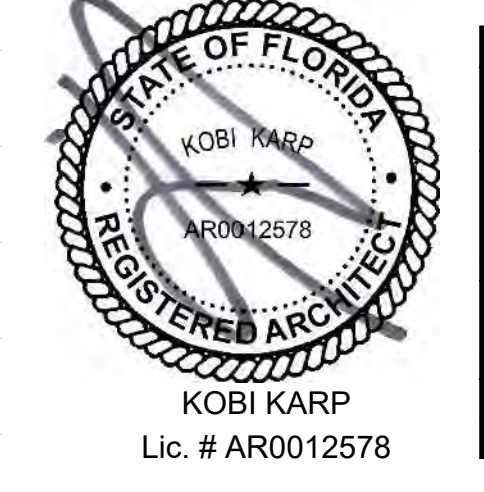
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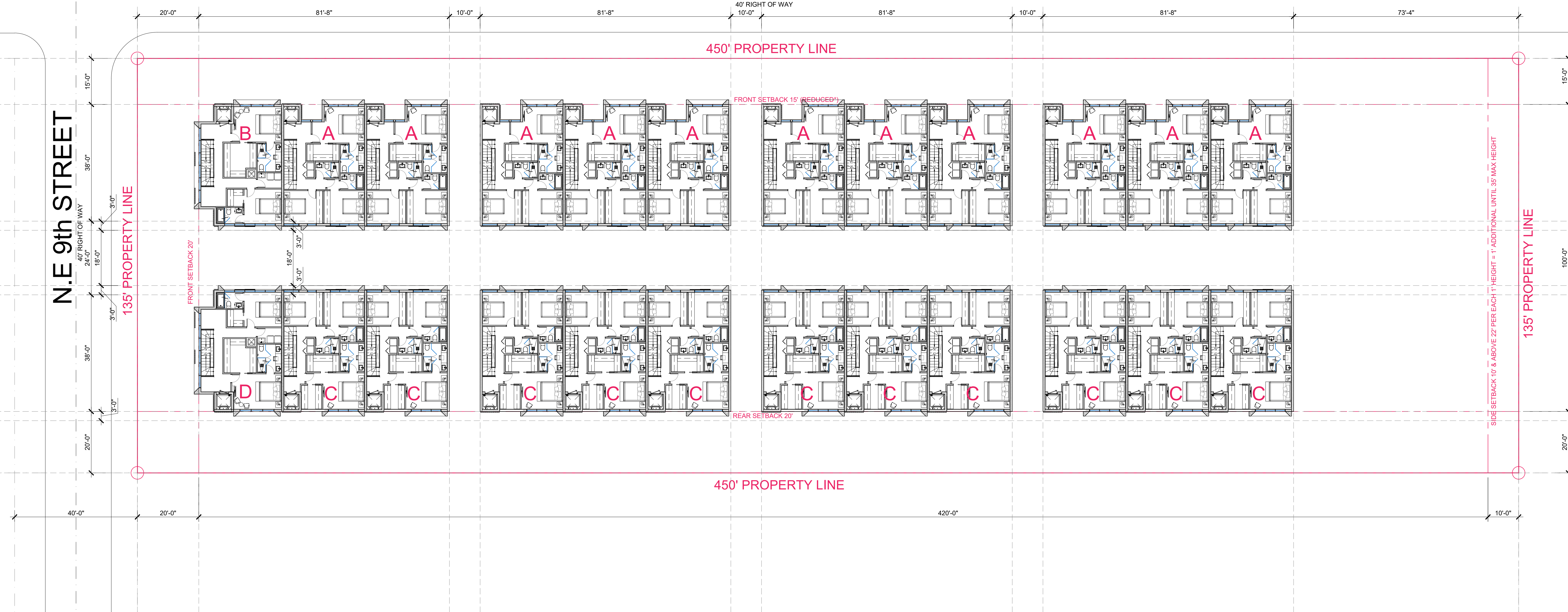
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SITE PLAN - LEVEL 2

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Project: 2355	

N.E 16th AVENUE



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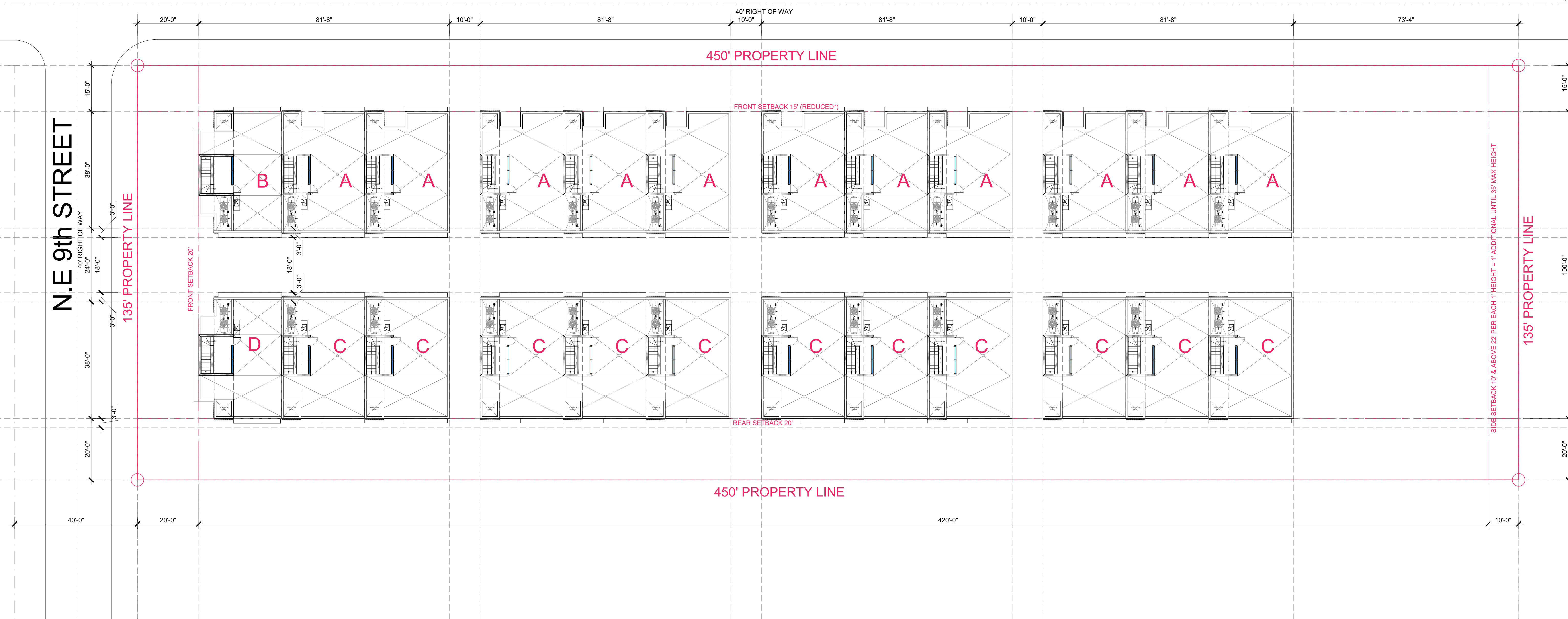
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SITE PLAN - LEVEL 3

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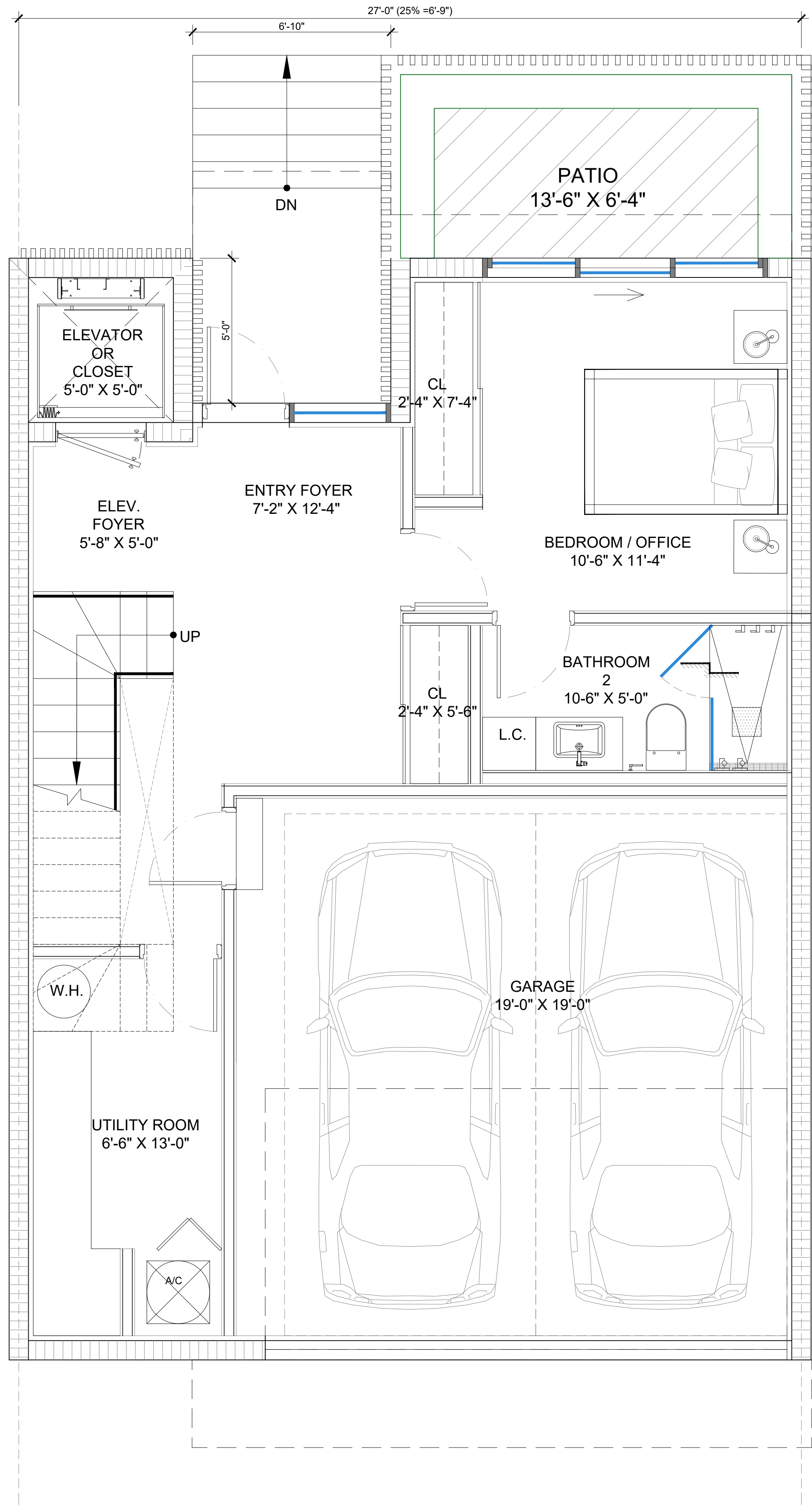
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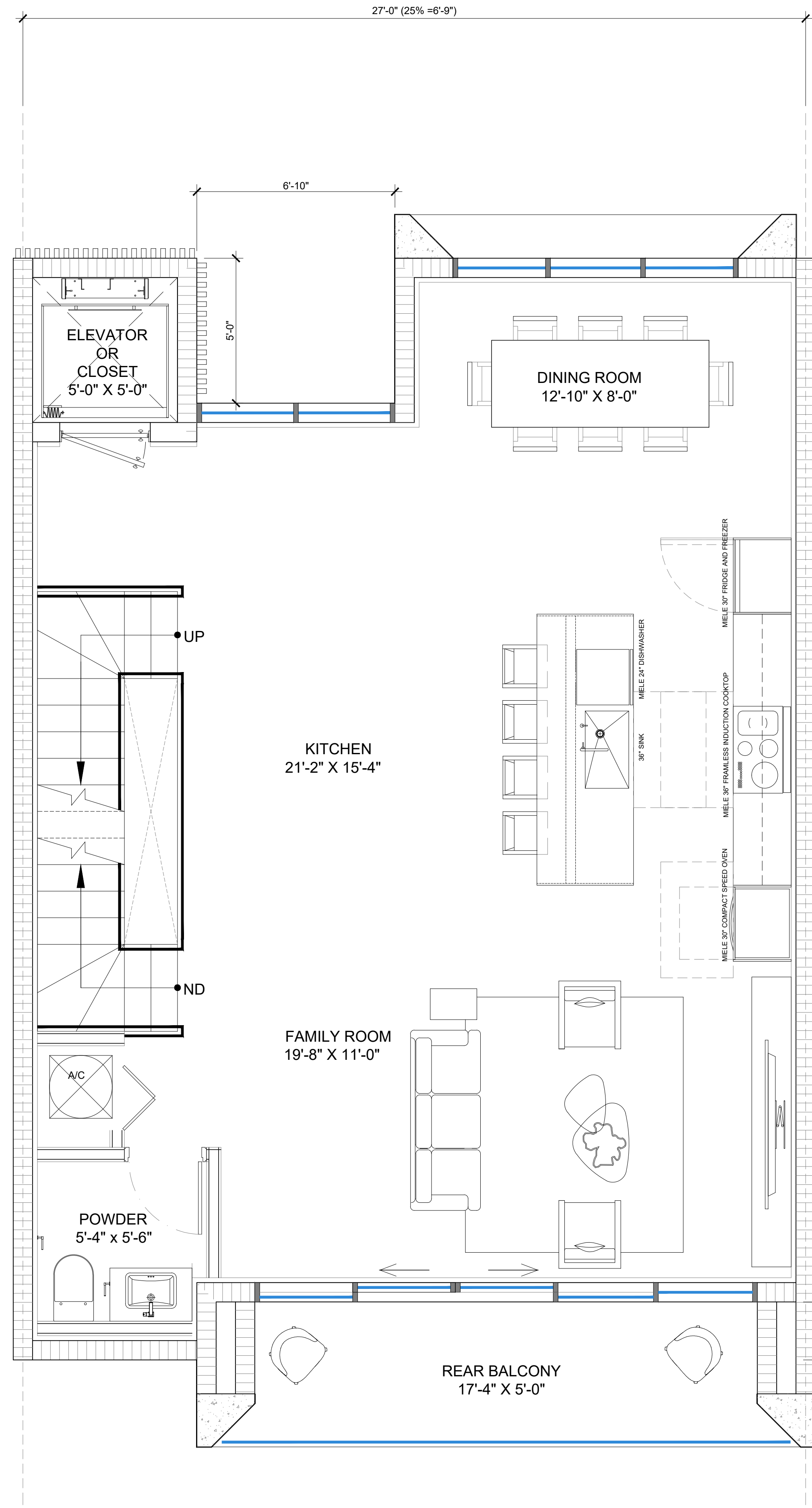


SITE PLAN - ROOF VIEW

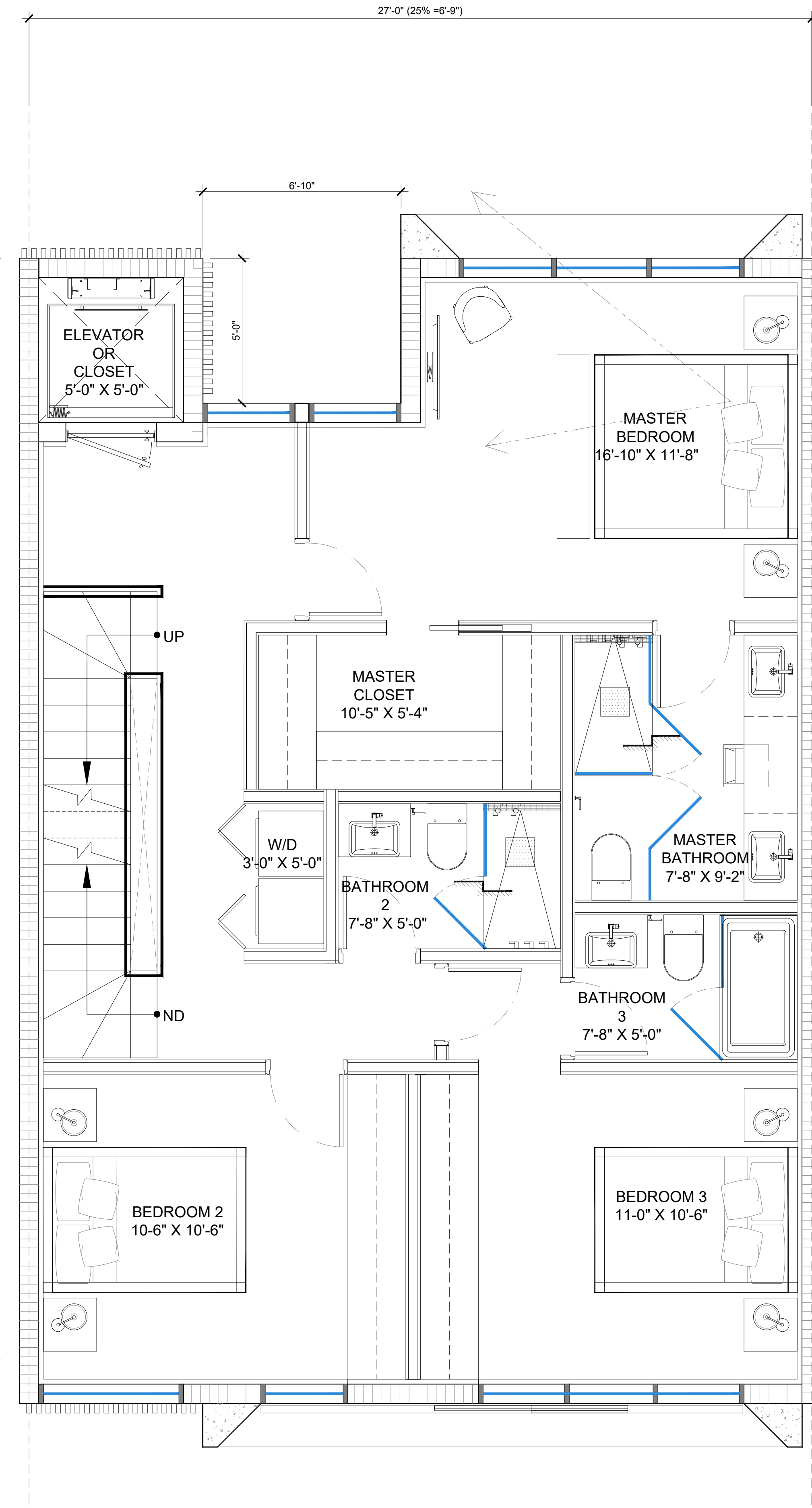
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Project: 2355	



1 ENLARGED UNIT _ TYPE A (LEVEL 1)
SCALE: 3/8" = 1'-0"



2 ENLARGED UNIT _ TYPE A (LEVEL 2)
SCALE: 3/8" = 1'-0"



3 ENLARGED UNIT _ TYPE A (LEVEL 3)
SCALE: 3/8" = 1'-0"

UNIT AREA FOR UNIT TYPE "A"			
	LEVEL 1	LEVEL 2	LEVEL 3
TOTAL AREA PER FLOOR	991 SF.	951 SF.	1,032 SF.
AREA WITHOUT GARAGE			2,974 SF.
			2,626 SF.

ENLARGED UNIT _ TYPE A
SCALE: 3/8" = 1'-0"

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809 NE 16th AVENUE
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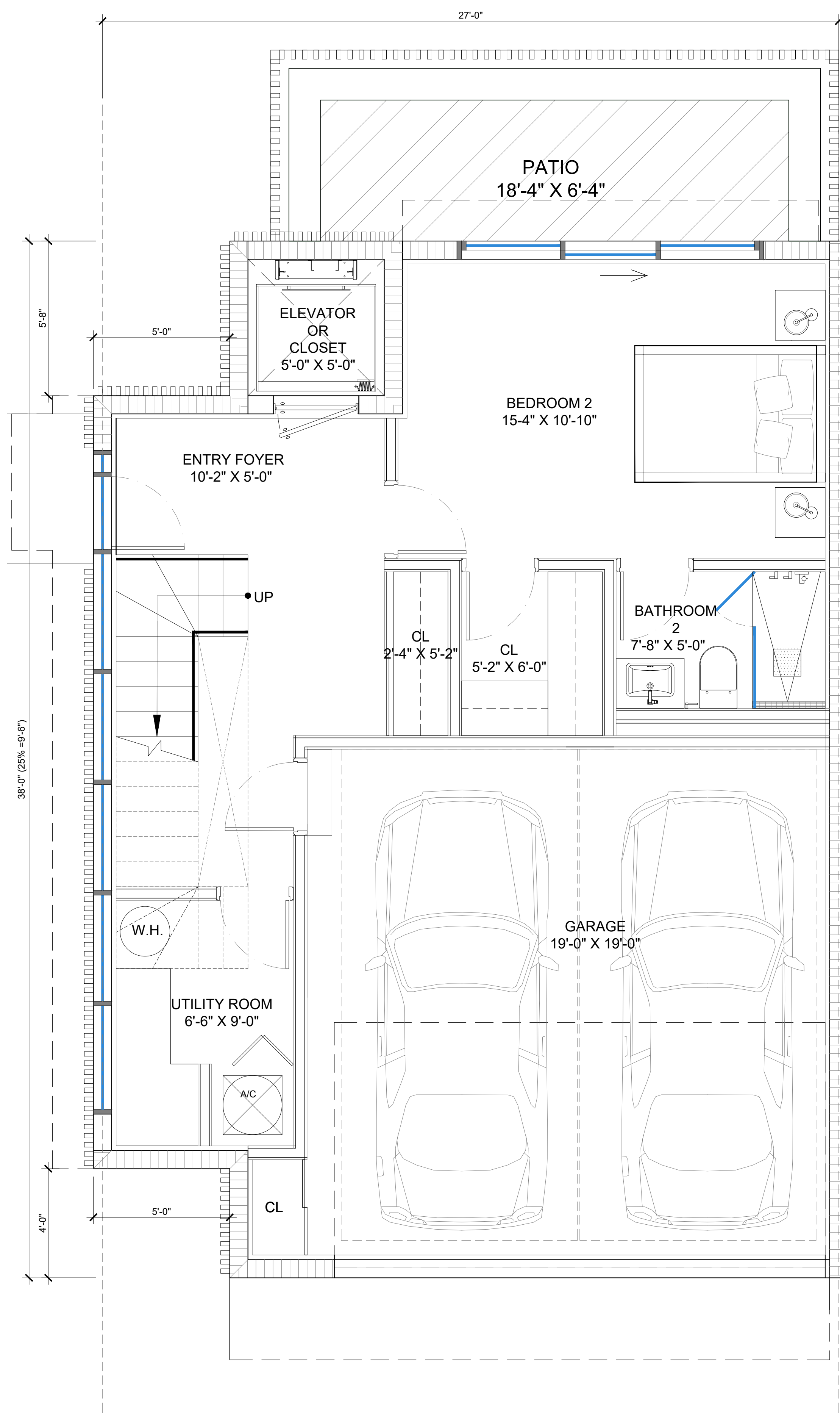
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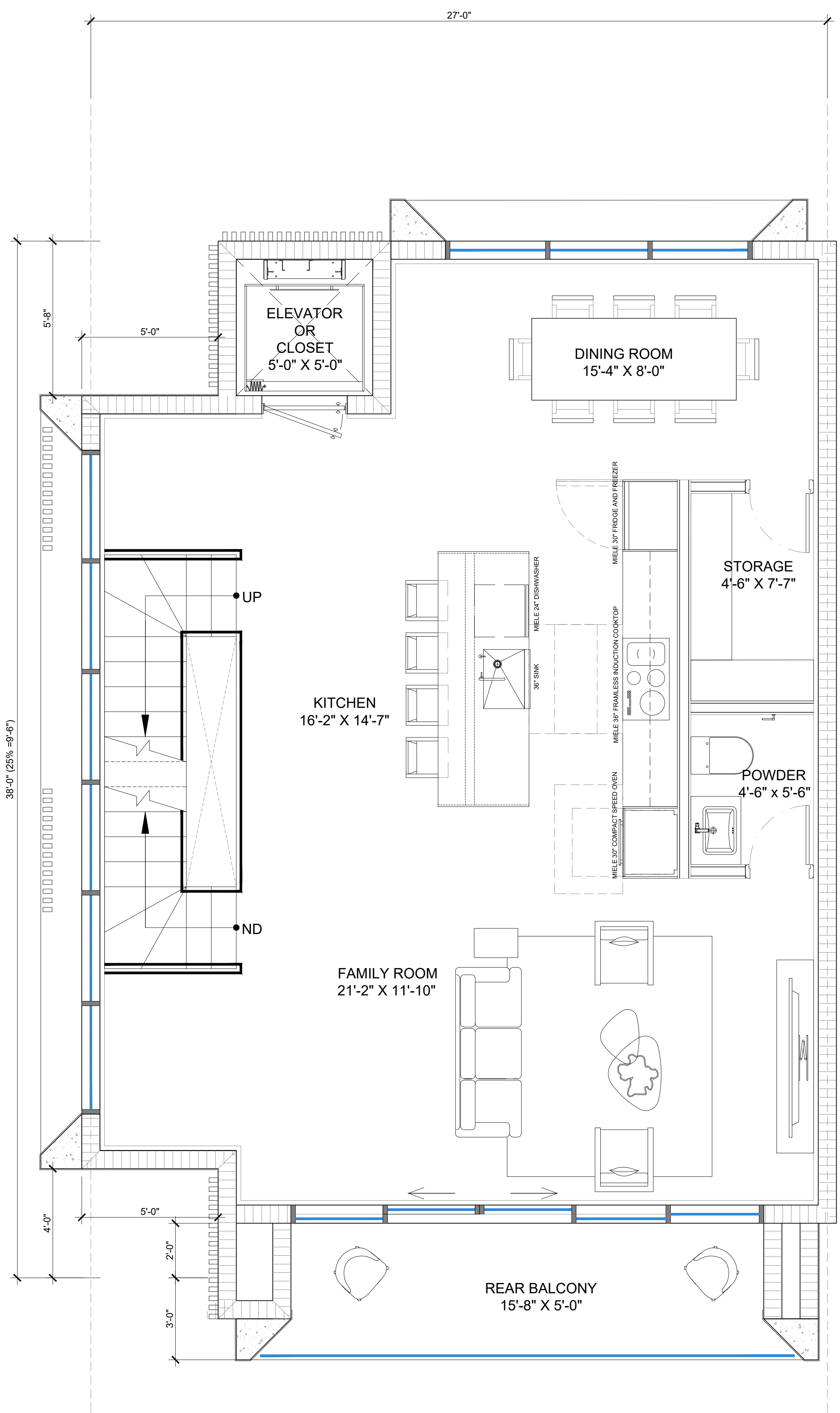


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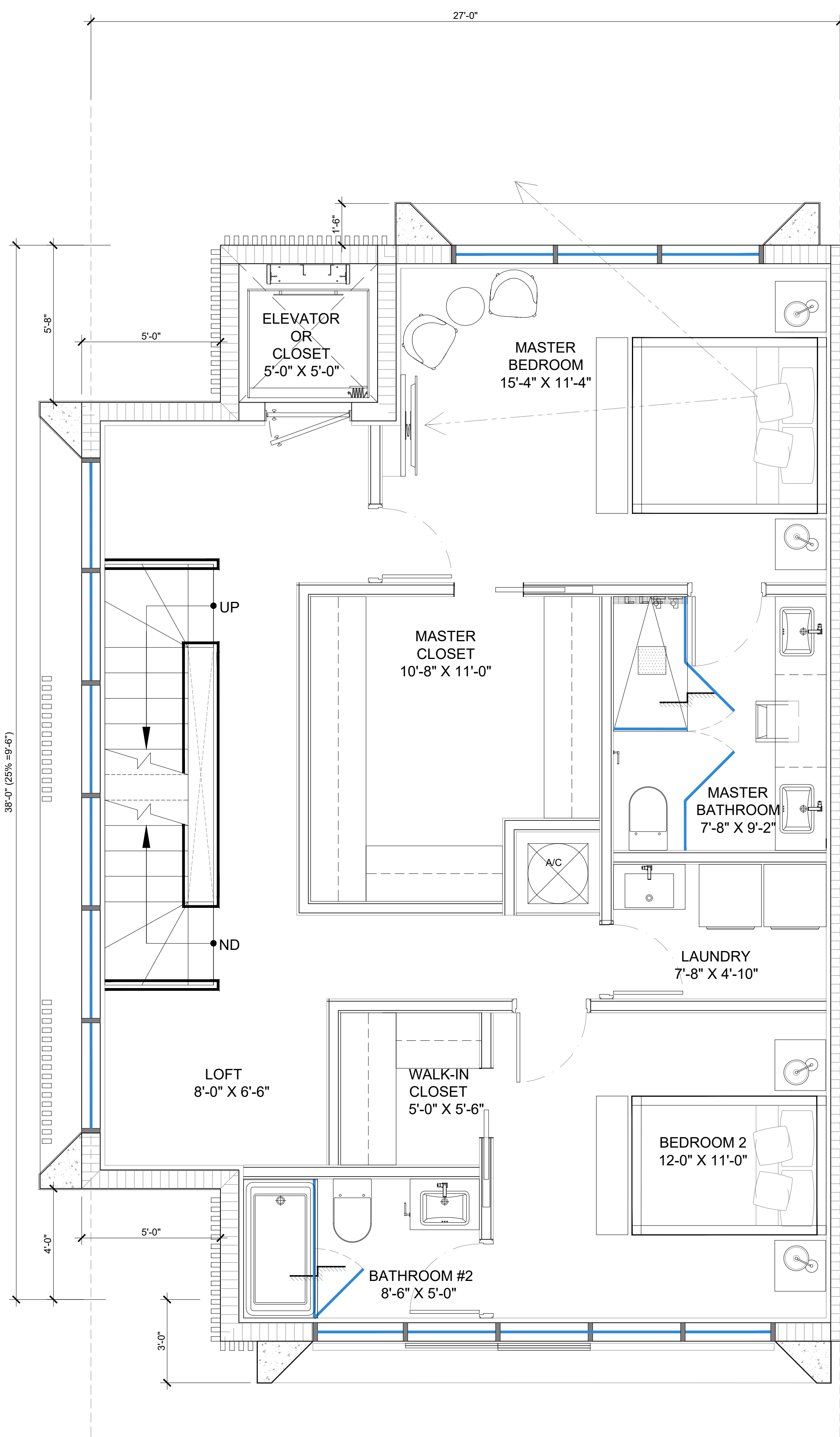
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Project: 2355	



1 ENLARGED UNIT _ TYPE B (LEVEL 1)
SCALE: 3/8" = 1'-0"



2 ENLARGED UNIT _ TYPE B (LEVEL 2)
SCALE: 3/8" = 1'-0"



3 ENLARGED UNIT _ TYPE B (LEVEL 3)
SCALE: 3/8" = 1'-0"

UNIT AREA FOR UNIT TYPE "B"			
	LEVEL 1	LEVEL 2	LEVEL 3
TOTAL AREA PER FLOOR	980 SF.	936 SF.	1,014 SF.
AREA WITHOUT GARAGE			2,582 SF.

ENLARGED UNIT _ TYPE B
SCALE: 3/8" = 1'-0"

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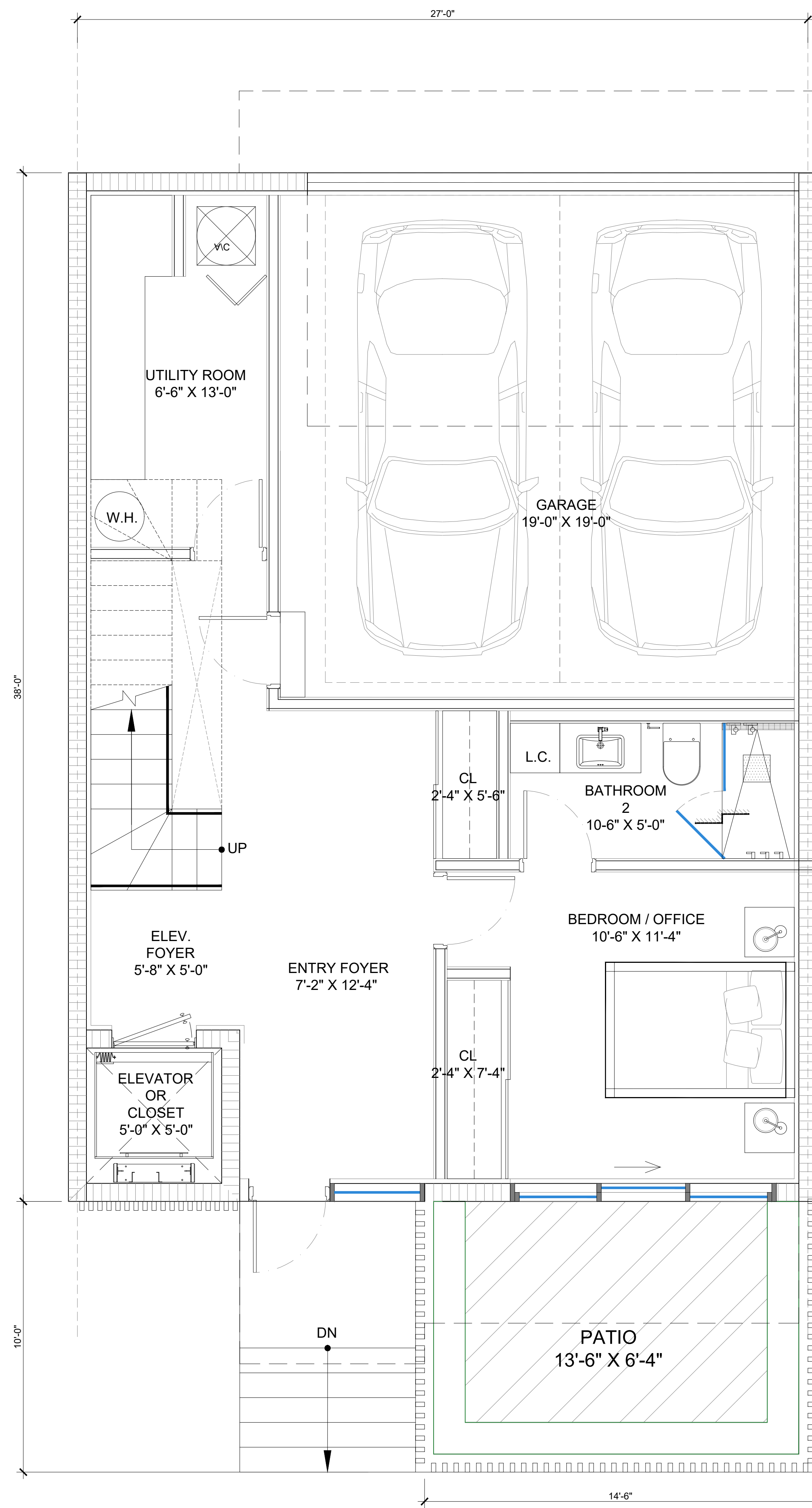
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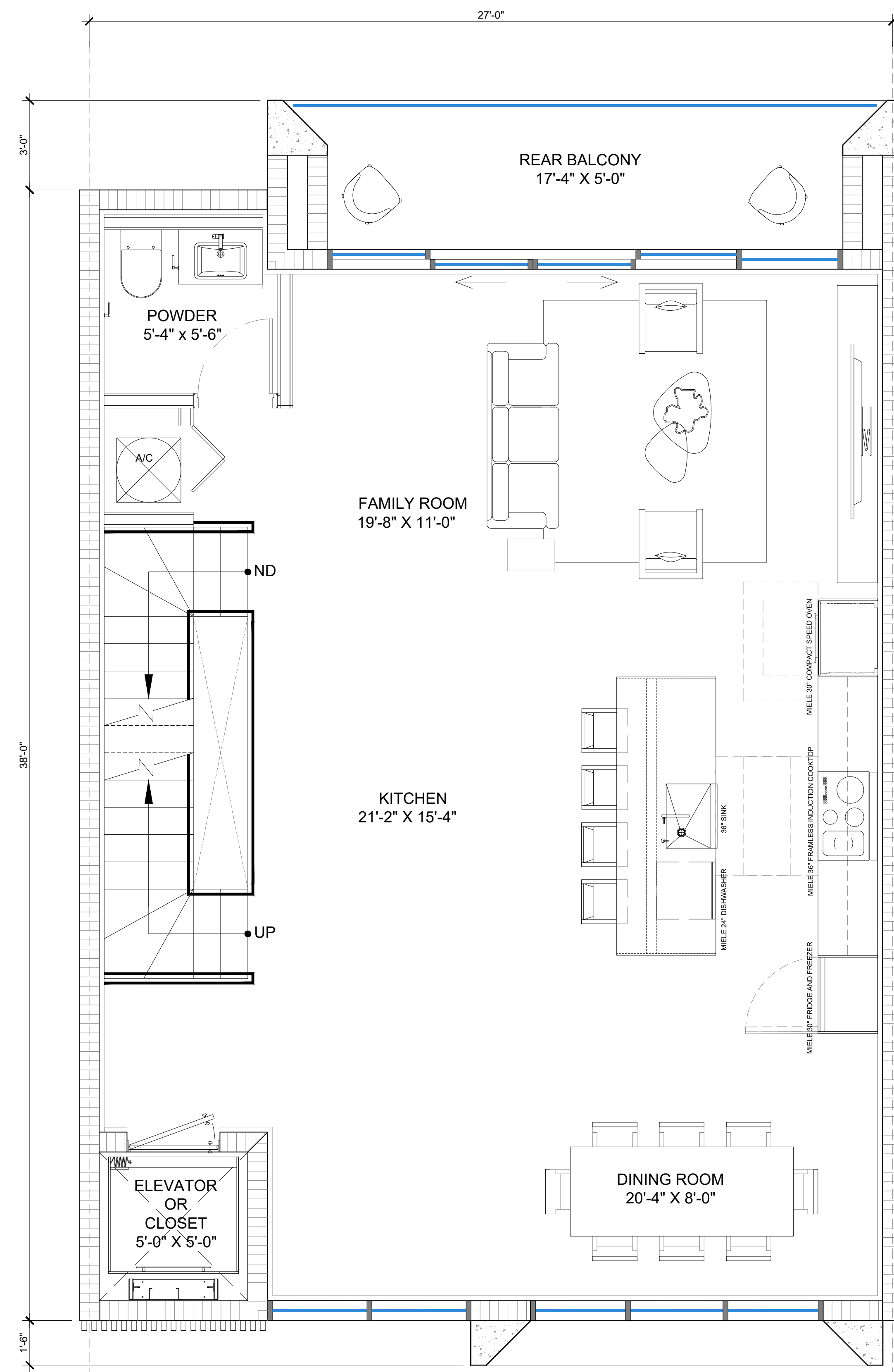


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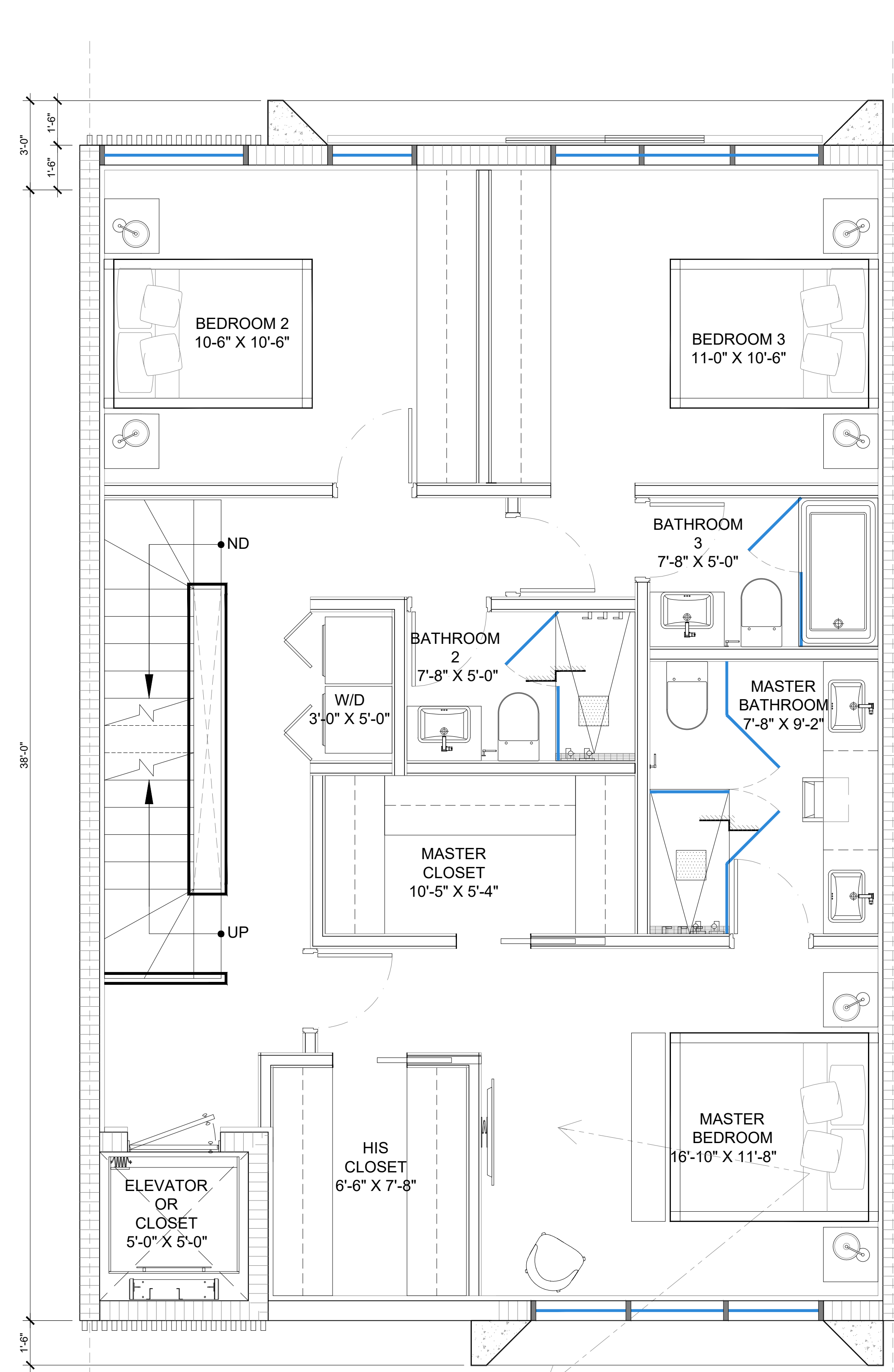
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Project:	2355



1 ENLARGED UNIT _ TYPE C (LEVEL 1)
SCALE: 3/8" = 1'-0"



2 ENLARGED UNIT _ TYPE C (LEVEL 2)
SCALE: 3/8" = 1'-0"



3 ENLARGED UNIT _ TYPE C (LEVEL 3)
SCALE: 3/8" = 1'-0"

UNIT AREA FOR UNIT TYPE 'C'				
	LEVEL 1	LEVEL 2	LEVEL 3	TOTAL AREA
TOTAL AREA PER FLOOR	1,026 SF.	965 SF.	1,066 SF.	3,077 SF.
AREA WITHOUT GARAGE				2,729 SF.

ENLARGED UNIT _ TYPE C
SCALE: 3/8" = 1'-0"

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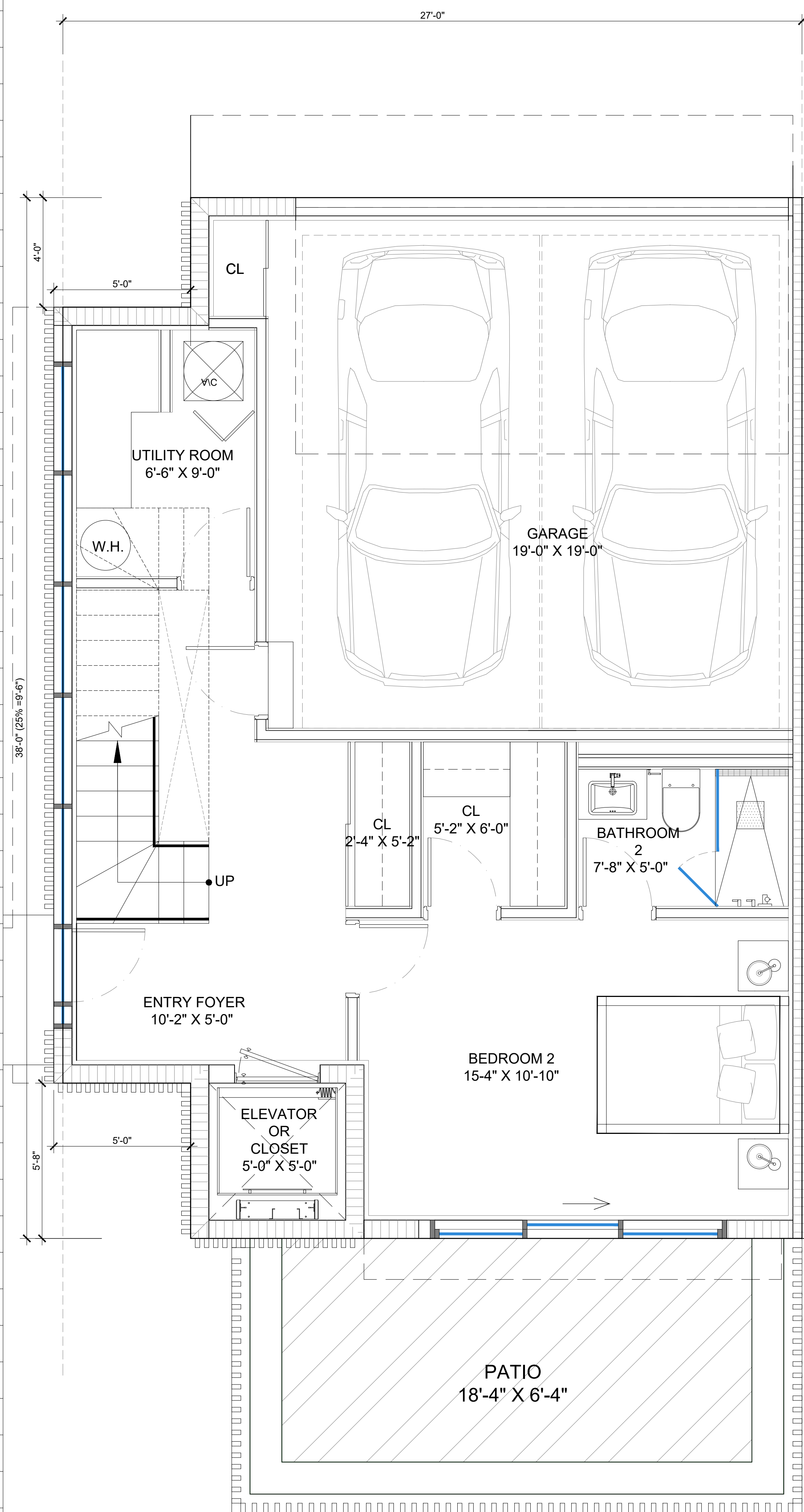
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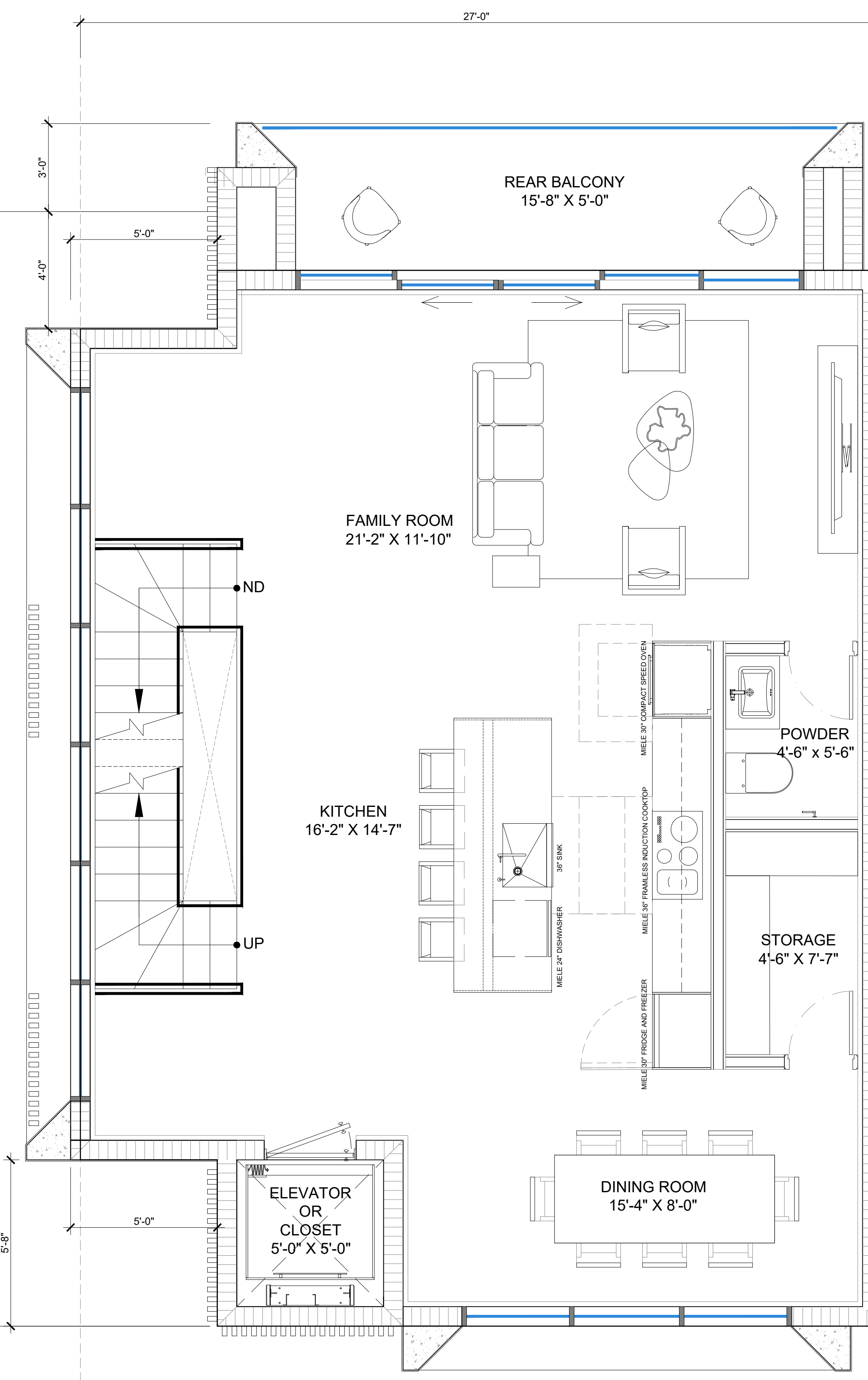


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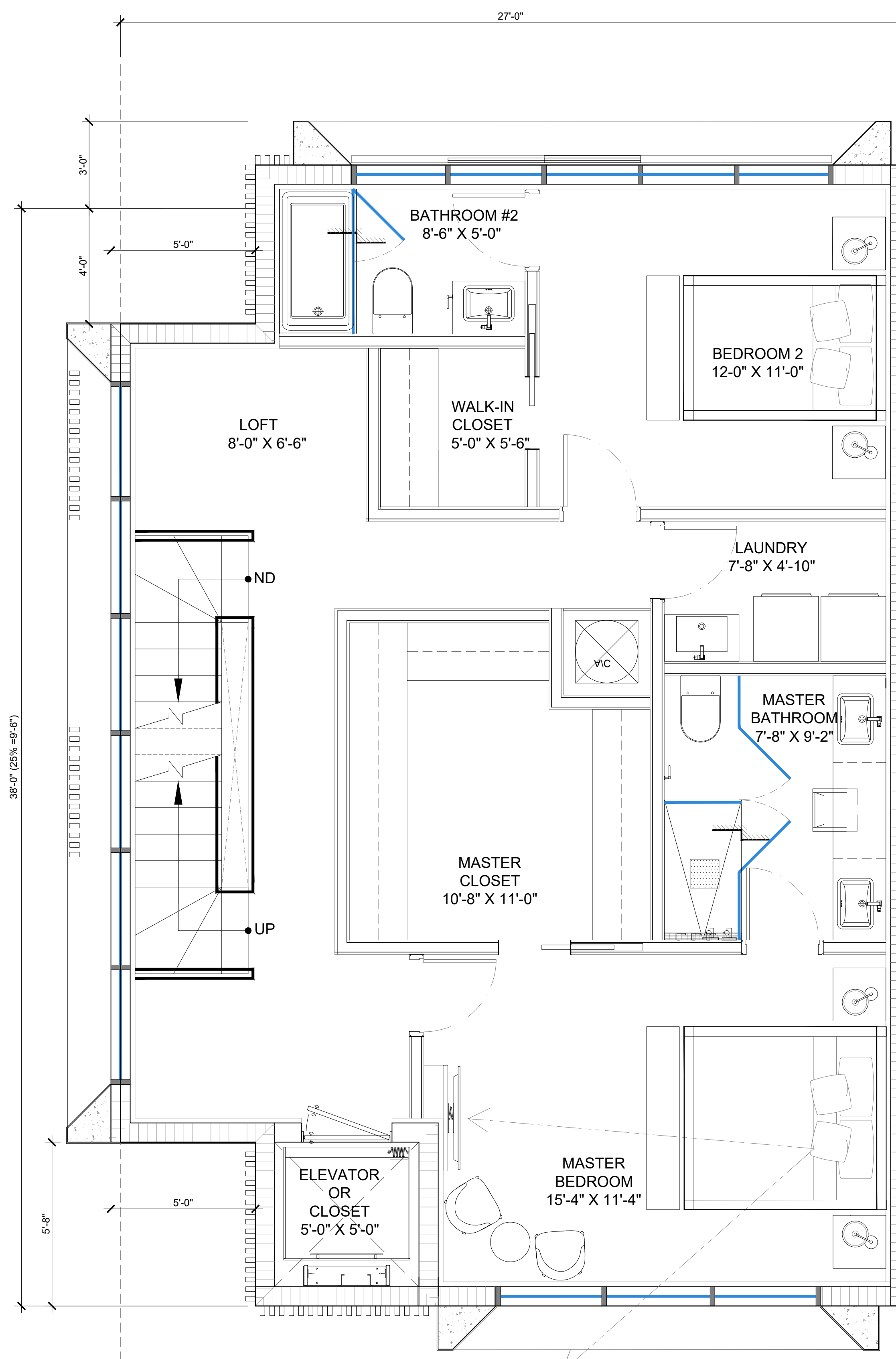
Date:	Sheet No.
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Project: 2355	



1 ENLARGED UNIT _ TYPE D (LEVEL 1)
SCALE: 3/8" = 1'-0"



2 ENLARGED UNIT _ TYPE D (LEVEL 2)
SCALE: 3/8" = 1'-0"



3 ENLARGED UNIT _ TYPE D (LEVEL 3)
SCALE: 3/8" = 1'-0"

UNIT AREA FOR UNIT TYPE 'D'				
	LEVEL 1	LEVEL 2	LEVEL 3	TOTAL AREA
TOTAL AREA PER FLOOR	980 SF.	936 SF.	1,014 SF.	2,930 SF.
AREA WITHOUT GARAGE				2,582 SF.

ENLARGED UNIT _ TYPE D
SCALE: 3/8" = 1'-0"

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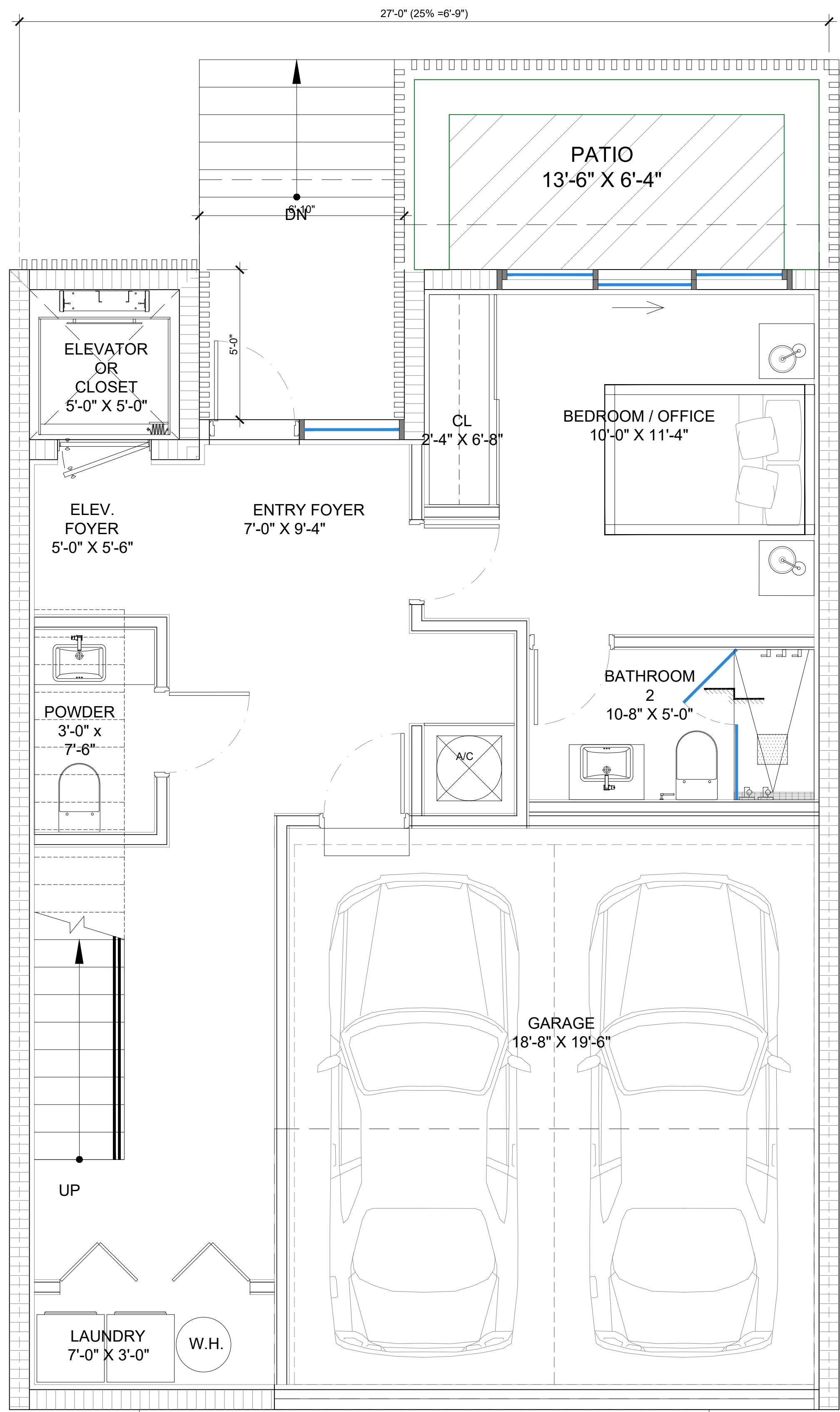
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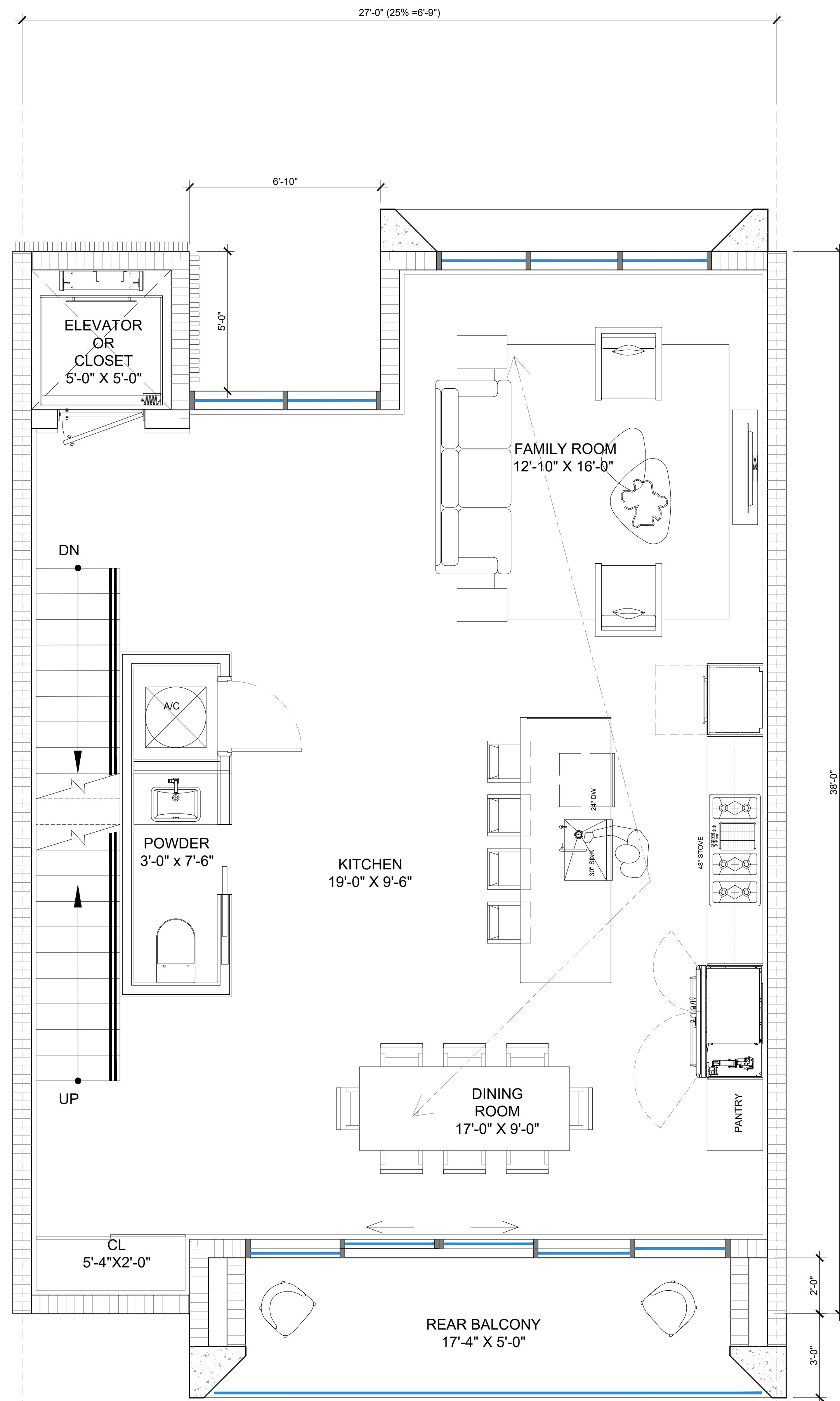


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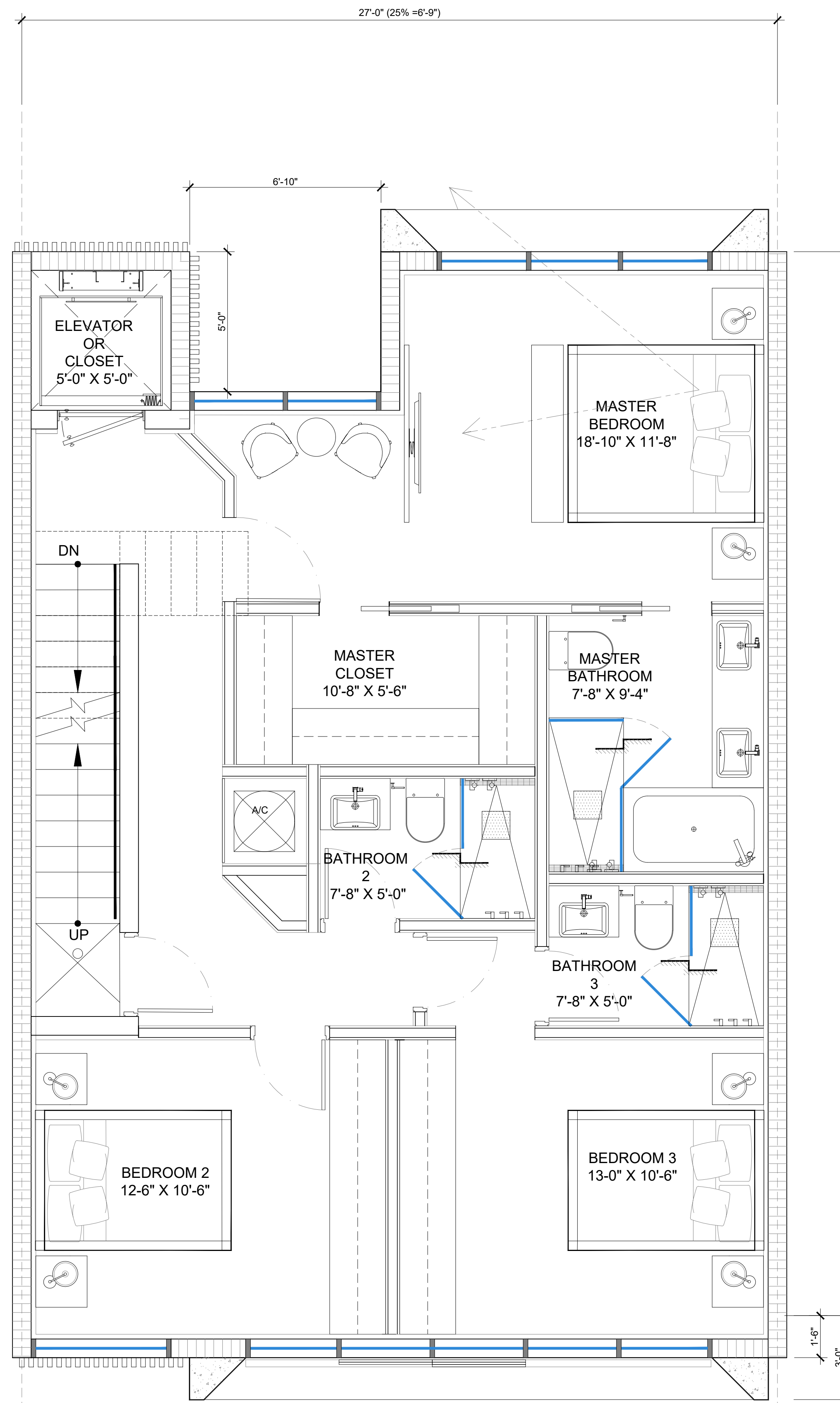
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Scale:	A3.03
Project:	2355



1 ENLARGED UNIT _ TYPE E (LEVEL 1)
SCALE: 3/8" = 1'-0"



2 ENLARGED UNIT _ TYPE E (LEVEL 2)
SCALE: 3/8" = 1'-0"



3 ENLARGED UNIT _ TYPE E (LEVEL 3)
SCALE: 3/8" = 1'-0"

UNIT AREA FOR UNIT TYPE 'E'			
	LEVEL 1	LEVEL 2	LEVEL 3
TOTAL AREA PER FLOOR	991 SF.	951 SF.	1,032 SF.
AREA WITHOUT GARAGE			2,974 SF.
			2,626 SF.

ENLARGED UNIT _ TYPE E
SCALE: 3/8" = 1'-0"

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ENLARGED UNIT _ TYPE E

Date:	Sheet No.
Scale:	A3.04
Project: 2355	



1 BUILDING ELEVATION 1
SCALE: 1/16" = 1'-0"



AA PARTIAL ELEVATION 1
SCALE: 1/8" = 1'-0"



BB PARTIAL ELEVATION 1
SCALE: 1/8" = 1'-0"



A GLAZING BRONZE COLOR



B RAILING CLEAR COLOR



C ALUM. FRAMING BLACK COLOR



D 2" X 4" ALUM. CLADDING WOODEN PATTERN



E 2" X 4" ALUM. CLADDING LIGHT WOODEN PATTERN



F 2" X 4" ALUM. SCREEN, 50% TRANSPARENCY WOODEN FINISH



G ALUM. CLADDING BRONZE METAL FINISH



H ALUM. CLADDING SILVER METAL FINISH

Rev.	Date	Rev.	Date
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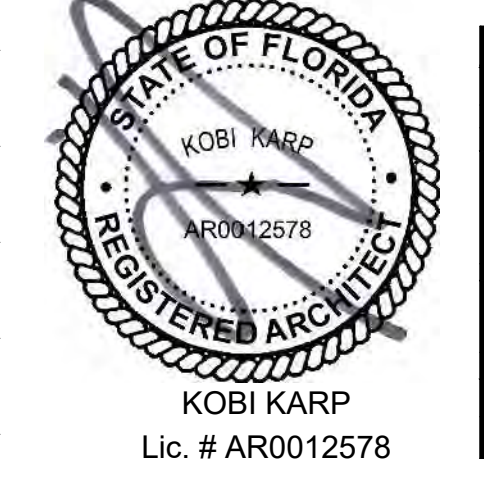
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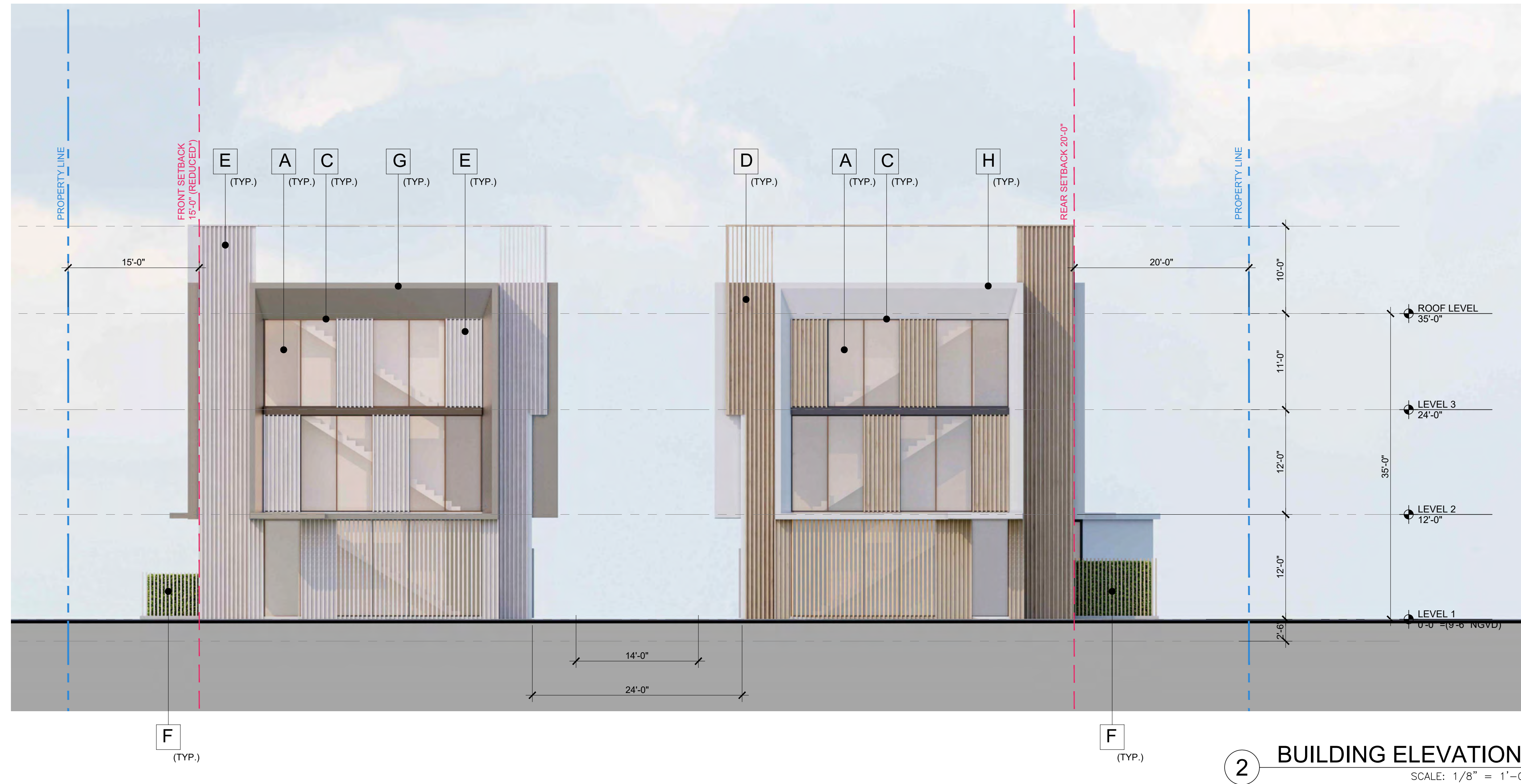
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BUILDING ELEVATION 1

Date:	Sheet No.
Scale:	A4.00
Project: 2355	



2 BUILDING ELEVATION 2
SCALE: 1/8" = 1'-0"



1 BUILDING ELEVATION 4
SCALE: 1/8" = 1'-0"

- 

A GLAZING
BRONZE COLOR
- 

B RAILING
CLEAR COLOR
- 

C ALUM. FRAMING
BLACK COLOR
- 

D 2" X 4" ALUM. CLADDING
WOODEN PATTERN
- 

E 2" X 4" ALUM. CLADDING
LIGHT WOODEN PATTERN
- 

F 2" X 4" ALUM. SCREEN,
50% TRANSPARENCY
WOODEN FINISH
- 

G ALUM. CLADDING BRONZE
METAL FINISH
- 

H ALUM. CLADDING SILVER
METAL FINISH

Rev.	Date	Rev.	Date
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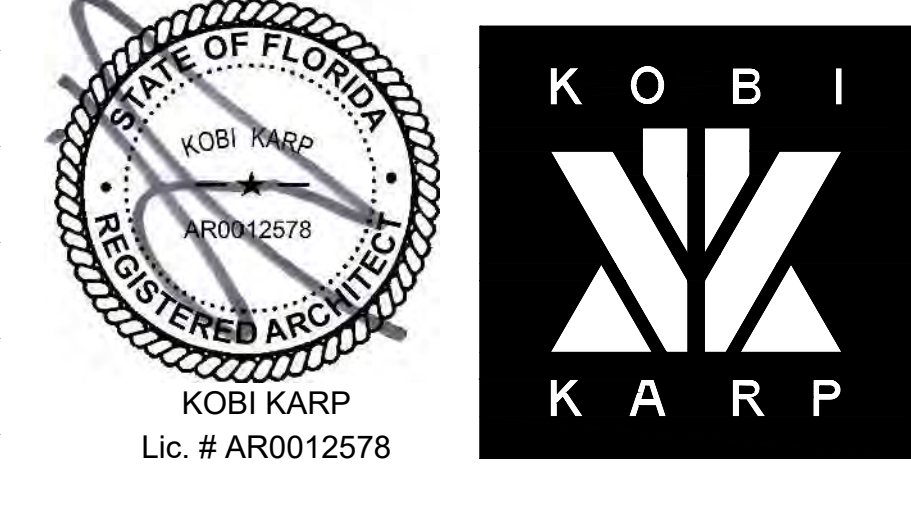
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BUILDING ELEVATION 2 & 4

Date:	Sheet No.
Scale:	A4.01
Project: 2355	



1 BUILDING ELEVATION 3
SCALE: 1/16" = 1'-0"



AA PARTIAL ELEVATION 3
SCALE: 1/8" = 1'-0"



BB PARTIAL ELEVATION 3
SCALE: 1/8" = 1'-0"

- 
A GLAZING
BRONZE COLOR
- 
B RAILING
CLEAR COLOR
- 
C ALUM. FRAMING
BLACK COLOR
- 
D 2" X 4" ALUM. CLADDING
WOODEN PATTERN
- 
E 2" X 4" ALUM. CLADDING
LIGHT WOODEN PATTERN
- 
F 2" X 4" ALUM. SCREEN,
50% TRANSPARENCY
WOODEN FINISH
- 
G ALUM. CLADDING BRONZE
METAL FINISH
- 
H ALUM. CLADDING SILVER
METAL FINISH

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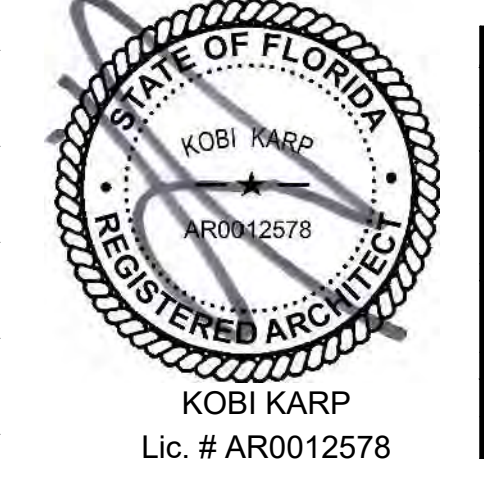
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BUILDING ELEVATION 3

Date:	Sheet No.
Scale:	A4.02
Project: 2355	



1 BUILDING ELEVATION 5
SCALE: 1/16" = 1'-0"



AA PARTIAL ELEVATION 5
SCALE: 1/8" = 1'-0"



BB PARTIAL ELEVATION 5
SCALE: 1/8" = 1'-0"

- 

A GLAZING
BRONZE COLOR
- 

B RAILING
CLEAR COLOR
- 

C ALUM. FRAMING
BLACK COLOR
- 

D 2" X 4" ALUM. CLADDING
WOODEN PATTERN
- 

E 2" X 4" ALUM. CLADDING
LIGHT WOODEN PATTERN
- 

F 2" X 4" ALUM. SCREEN,
50% TRANSPARENCY
WOODEN FINISH
- 

G ALUM. CLADDING BRONZE
METAL FINISH
- 

H ALUM. CLADDING SILVER
METAL FINISH

Rev.	Date	Rev.	Date
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DRC SET

809 NE 16th AVENUE
809 NE 16th AVENUE
FORT LAUDERDALE, FL 33304

Owner:
Name: REGENCY DEVELOPMENT GROUP LLC
Address: HUEHL ROAD, SUITE 4B
Address: NORTHBROOK, IL 60062
Tel: 847-436-7777
Email: alex@regencydevgroup.com

Consultant:
Name: CIVIL OCEAN ENGINEERING
Address: 8101 BISCAYNE BLVD
Address: MIAMI, FL 33138
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Email: wluogo@oceanengineeringinc.com

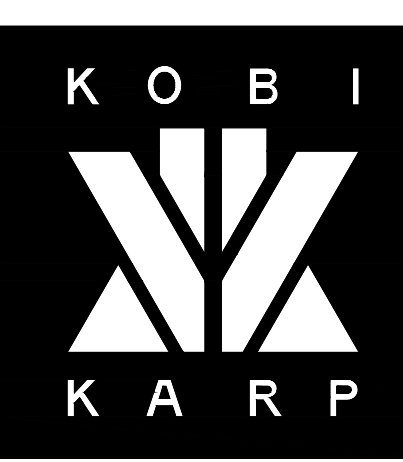
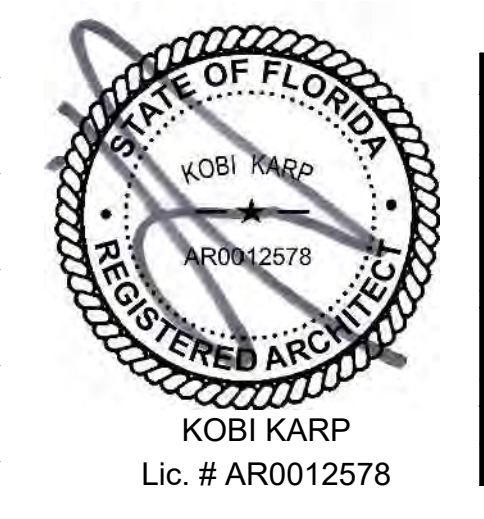
Consultant:
Name: LANDSCAPE AAL ARCHITECTURAL ALLIANCE LANDSCAPE
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Email: [Blank]

Consultant:
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Address: [Blank]
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Architect of Record:
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BUILDING ELEVATION 5

Date:	Sheet No.
Scale:	A4.03
Project: 2355	



1 BUILDING ELEVATION 6
SCALE: 1/16" = 1'-0"



AA PARTIAL ELEVATION 6
SCALE: 1/8" = 1'-0"



BB PARTIAL ELEVATION 6
SCALE: 1/8" = 1'-0"



A GLAZING
BRONZE COLOR



B RAILING
CLEAR COLOR



C ALUM. FRAMING
BLACK COLOR



D 2" X 4" ALUM. CLADDING
WOODEN PATTERN



E 2" X 4" ALUM. CLADDING
LIGHT WOODEN PATTERN



F 2" X 4" ALUM. SCREEN,
50% TRANSPARENCY
WOODEN FINISH



G ALUM. CLADDING BRONZE
METAL FINISH



H ALUM. CLADDING SILVER
METAL FINISH

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DRC SET

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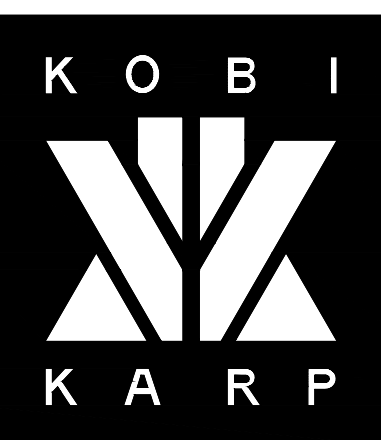
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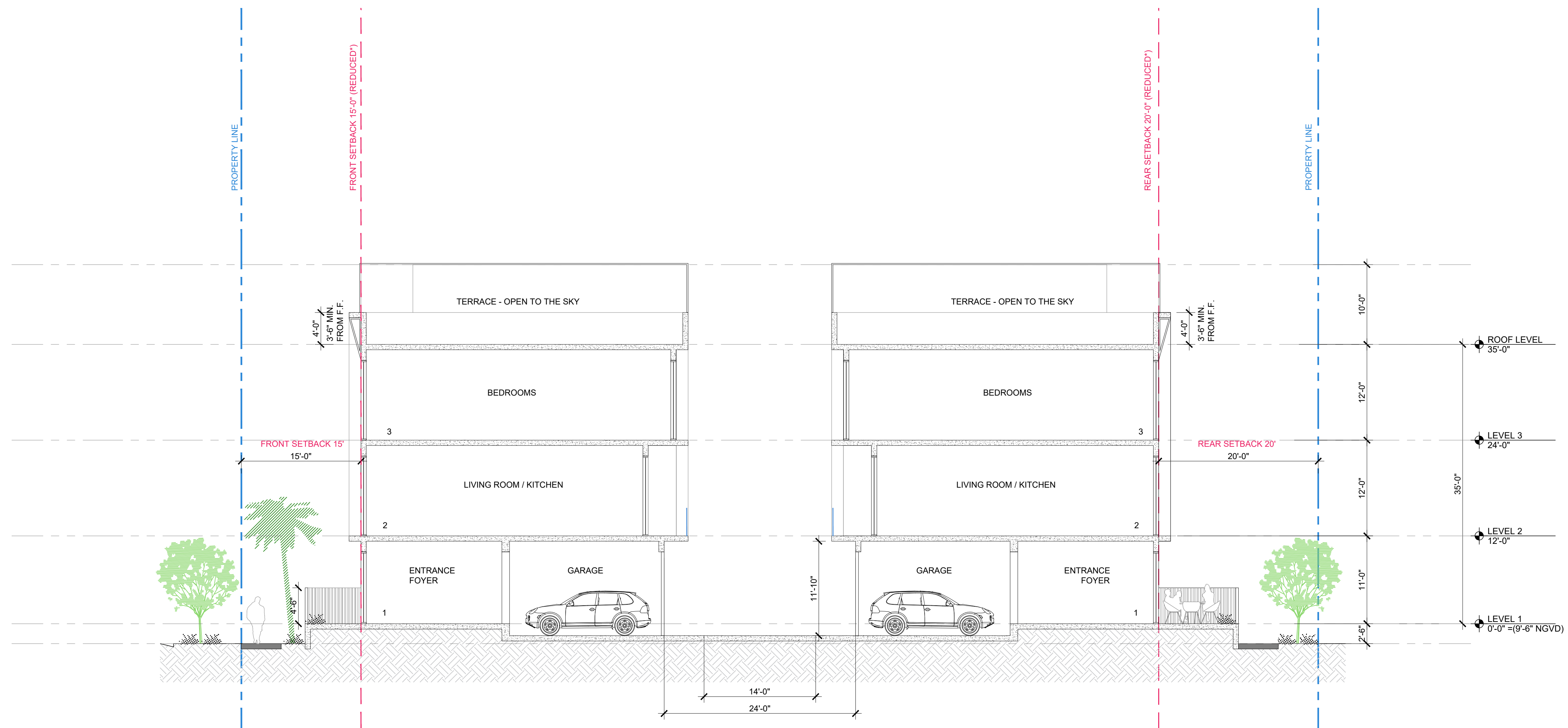
Consultant:
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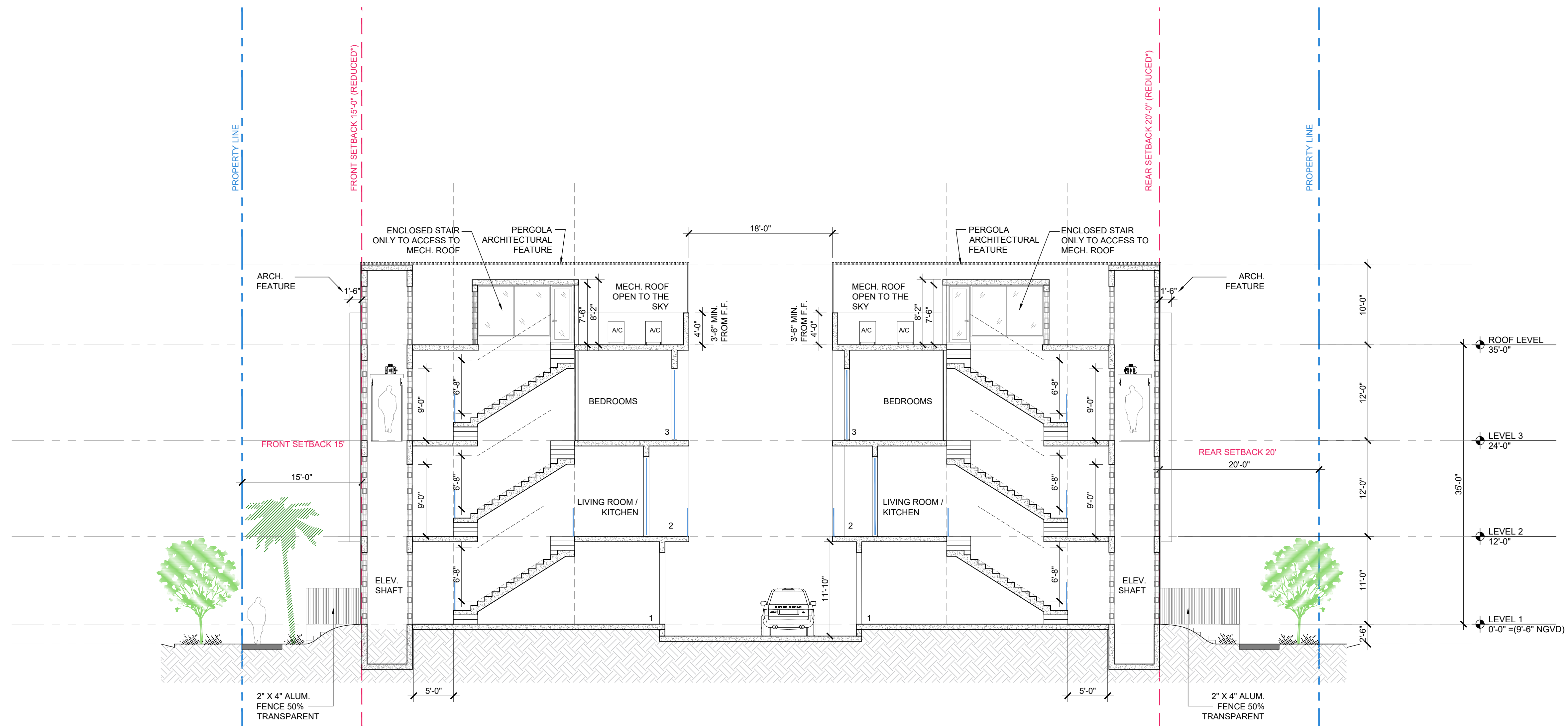


BUILDING ELEVATION 6

Date:	Sheet No.
Scale:	A4.04
Project: 2355	



2 BUILDING SECTION "A"
SCALE: 1/8" = 1'-0"



1 BUILDING SECTION "B"
SCALE: 1/8" = 1'-0"

Rev.	Date	Rev.	Date
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DRC SET

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FORT LAUDERDALE, FL 33304

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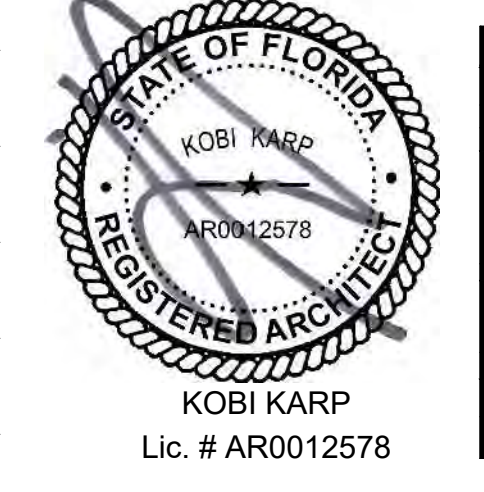
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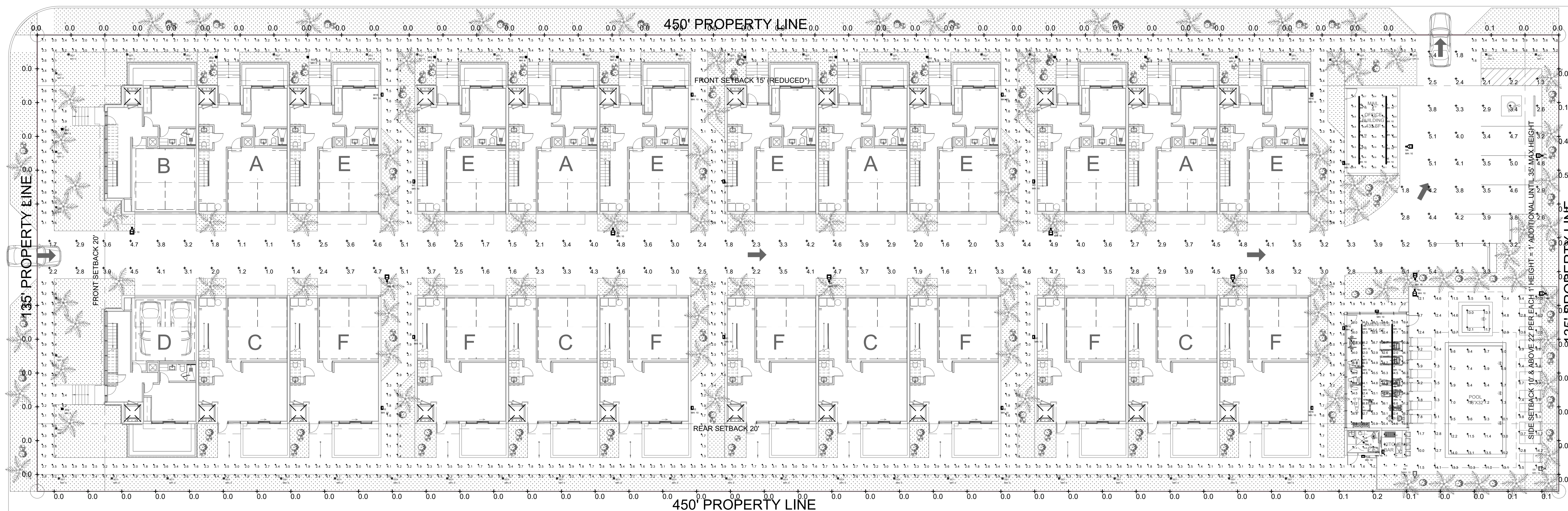
BUILDING SECTIONS A & B

Date:	Sheet No.
Scale:	A5.00
Project: 2355	

N.E 16th AVENUE

40' RIGHT OF WAY

N.E 9th STREET
40' RIGHT OF WAY



1 PHOTOMETRICS FLOOR PLAN - LEVEL 1 (NORMAL)
SCALE: 1/16" = 1'-0"

LUMINAIRE SCHEDULE									
Scene: NORMAL									
SYMBOL	LABEL	ARRANGEMENT	MANUFACTURER	CATALOG NUMBER	MOUNTING	EMERGENCY	LLF	LUMINAIRE LUMENS	LUMINAIRE WATTS
	A	Single	Mark Architectural Lighting	SL2L 4 FLP 80CRI 40K 600LMF	RECESSED	N/A	0.900	2193	23.3
	AE	Single	Mark Architectural Lighting	SL2L 4 FLP 80CRI 40K 600LMF E10WLCP	RECESSED	BATTERY	0.900	2193	23.3
	BE	Single	LEDRA BRANDS	NU4-RD-SW-25LM-30K-80-65D-DL-WH-WH-ICAT-EM7	RECESSED	BATTERY	0.670	2234	21
	SA	Single	Lithonia Lighting	DSX0 LED P2 30K 70CRI T2M HS	POLE MOUNTED: 10' A.F.G.	N/A	0.900	5086	45.14
	SB	Single	Lithonia Lighting	DSX0 LED P3 30K 70CRI LCCO	POLE MOUNTED: 10' A.F.G.	N/A	0.900	6194	68.95
	SC	Single	Lithonia Lighting	DSX0 LED P3 30K 70CRI RCCO	POLE MOUNTED: 10' A.F.G.	N/A	0.900	6194	68.95
	SD1	Single	Lumenpulse	BLDB TM1 xxx 3FT CSL N05 30K CRI 70 3 BLS	BOLLARD	N/A	0.900	337	6
	SD2	Single	Lumenpulse	BLDB TM1 xxx 3FT CSL N05 30K CRI 70 4	BOLLARD	N/A	0.900	349	6
	W1	Single	Lithonia Lighting	WDGE2 LED P0 30K 80CRI T1S	WALL MOUNTED: 10' A.F.G.	N/A	0.900	666	6.89
	W1E	Single	Lithonia Lighting	WDGE2 LED P0 30K 80CRI T1S E10WH	WALL MOUNTED: 10' A.F.G.	N/A	0.900	666	6.89

CALCULATION SUMMARY										
Scene: NORMAL										
LABEL	CALC TYPE	UNITS	SPACING L-R (FT)	SPACING T-B (FT)	HEIGHT (FT)	AVG	MAX	MIN	AVG/MIN	MAX/MIN
AMENITIES Floor	Illuminance	Fc	3	3	0	34.94	45.5	19.4	1.80	2.35
KITCHEN BAR	Illuminance	Fc	3	3	0	1.91	2.6	1.5	1.27	1.73
MAIL & OFFICE Floor	Illuminance	Fc	3	3	0	36.18	46.1	23.8	1.52	1.94
PARKING & DRIVE	Illuminance	Fc	8	8	0	3.34	5.9	1.0	3.34	5.90
POOL DECK	Illuminance	Fc	5	5	0	10.26	14.8	3.4	3.02	4.35
POOL FACE	Illuminance	Fc	5	5	0	9.35	15.2	5.9	1.58	2.58
PUBLIC RR Floor	Illuminance	Fc	3	3	0	12.65	15.6	10.8	1.17	1.44
SPA	Illuminance	Fc	5	5	0	12.48	13.1	11.7	1.07	1.12
SPILL	Illuminance	Fc	10	N.A.	N.A.	0.02	0.5	0.0	N.A.	N.A.
WALKING AREA	Illuminance	Fc	3	3	0	2.92	9.3	1.0	2.92	9.30

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DRC SET

809 NE 16th AVENUE
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FORT LAUDERDALE, FL 33304

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Lic. # AR0012578

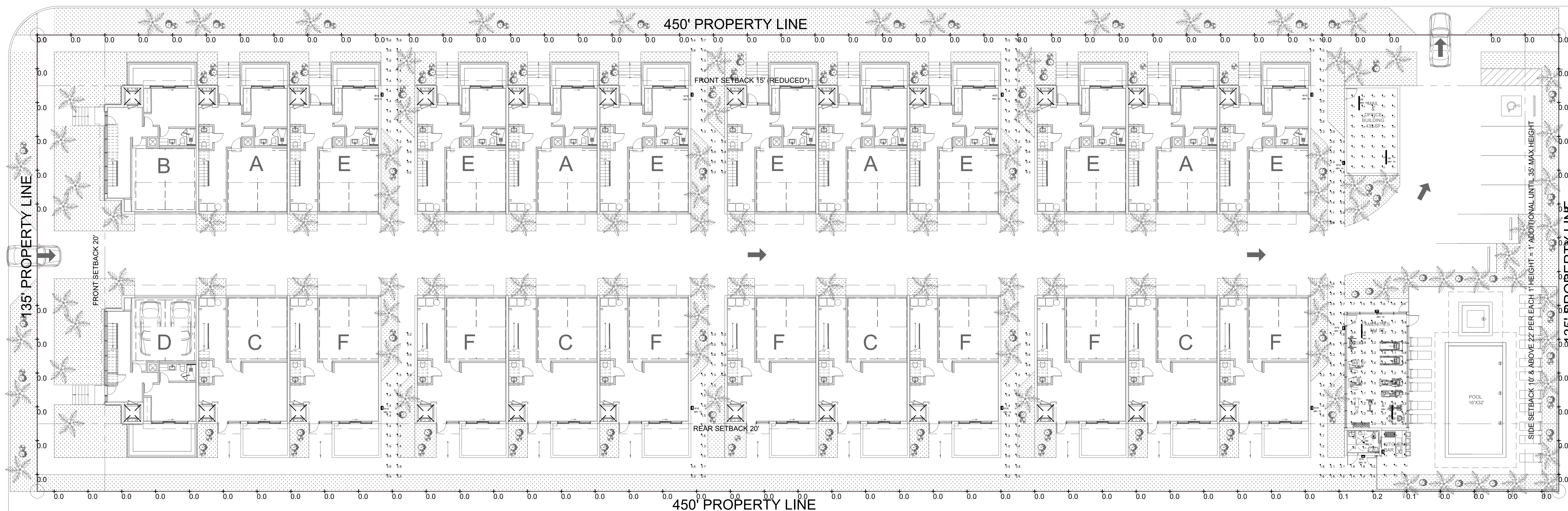
PHOTOMETRIC FLOOR PLAN - LEVEL 1 (NORMAL)

Date:	Sheet No.
Scale:	PH1.00
Project: 2355	

N.E 16th AVENUE

40' RIGHT OF WAY

N.E 9th STREET
40' RIGHT OF WAY



1 PHOTOMETRICS FLOOR PLAN-LEVEL 1 (EMERGENCY)

SCALE: 1/16" = 1'-0"

LUMINAIRE SCHEDULE									
Scene: EMERGENCY									
SYMBOL	LABEL	ARRANGEMENT	MANUFACTURER	CATALOG NUMBER	MOUNTING	EMERGENCY	LLF	LUMINAIRE LUMENS	LUMINAIRE WATTS
	AE	Single	Mark Architectural Lighting	SL2L 4 FLP 80CRI 40K 600LMF E10WLCF	RECESSED	BATTERY	0.900	2193	23.3
	BE	Single	LEDRA BRANDS	NU4-RD-SW-25LM-30K-80-65D-DL-WH-WH-ICAT-EM7	RECESSED	BATTERY	0.670	2234	21
	W1E	Single	Lithonia Lighting	WDGE2 LED P0 30K 80CRI T1S E10WH	WALL MOUNTED: 10' A.F.G.	N/A	0.900	666	6.89

CALCULATION SUMMARY											
Scene: EMERGENCY											
LABEL	CALC TYPE	UNITS	SPACING L-R (FT)	SPACING T-B (FT)	HEIGHT (FT)	AVG	MAX	MIN	AVG/MIN	MAX/MIN	
AMENITIES_Floor_EM	Illuminance	Fc	3	3	0	2.02	4.6	0.7	2.89	6.57	
KITCHEN BAR_EM	Illuminance	Fc	3	3	0	1.65	2.4	1.3	1.27	1.85	
MAIL & OFFICE_Floor_EM	Illuminance	Fc	3	3	0	2.93	4.9	1.2	2.44	4.08	
PUBLIC RR_Floor_EM	Illuminance	Fc	3	3	0	4.35	5.3	3.8	1.14	1.39	
SPILL	Illuminance	Fc	10	N.A.	N.A.	0.00	0.2	0.0	N.A.	N.A.	
WALKING AREA_EM	Illuminance	Fc	3	3	0	1.28	2.8	0.2	6.40	14.00	

Rev.	Date	Rev.	Date
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DRC SET

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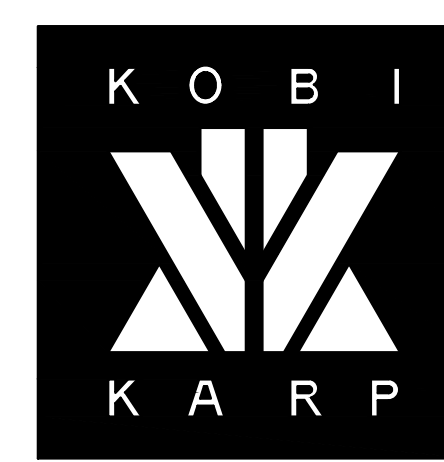
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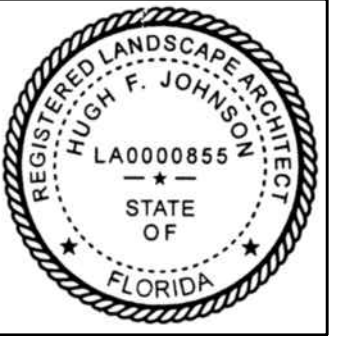
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PHOTOMETRIC FLOOR PLAN - LEVEL 1 (EMERGENCY)

Date:	Sheet No.
Scale:	PH2.00
Project: 2355	



Revision Dates

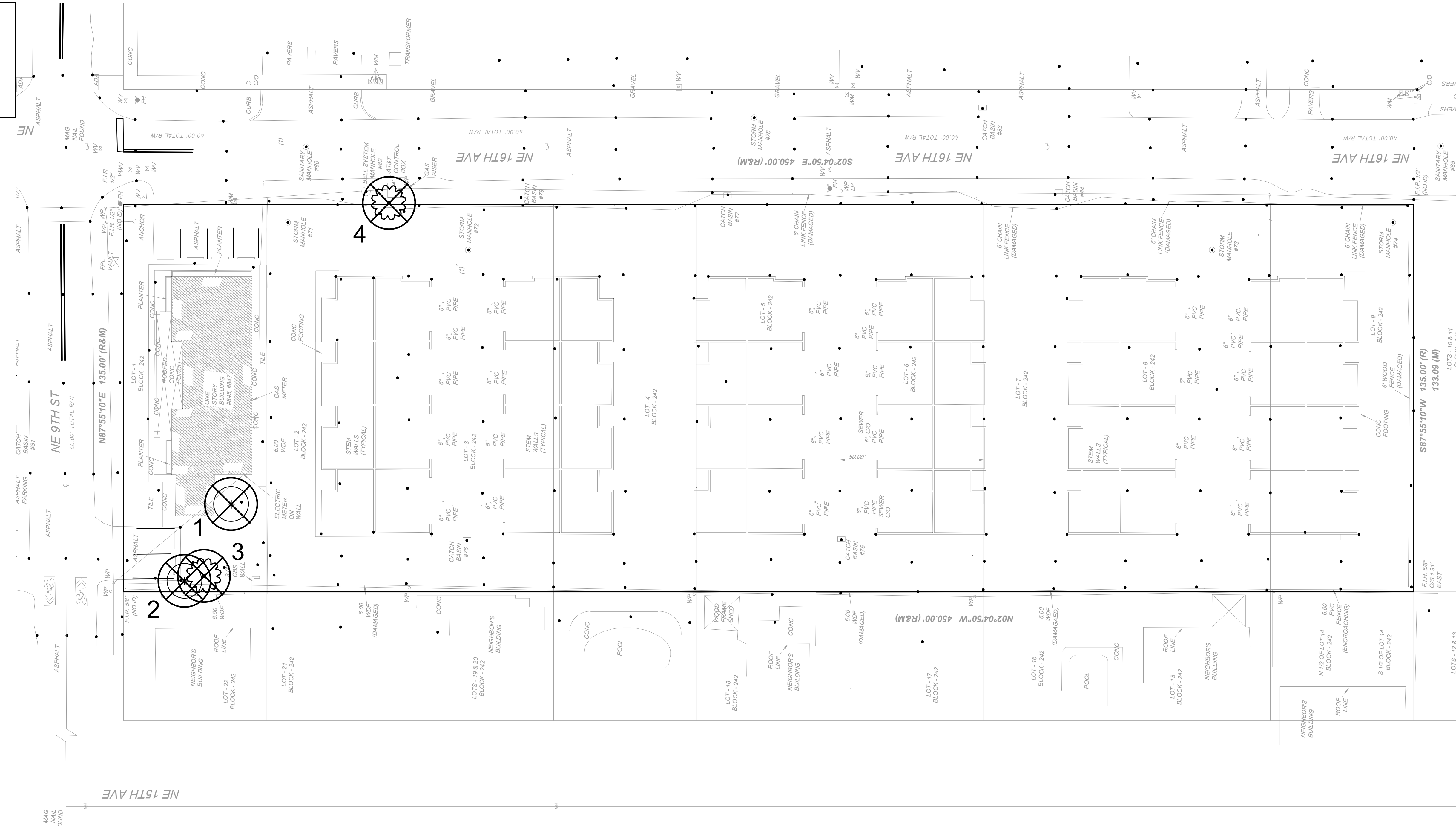
DRC SUBMITTAL
809 NE 16TH AVENUE
 809 NE 16TH AVENUE
 FORT LAUDERDALE, FLORIDA 33304

Sheet Description
TREE DISPOSITION PLAN

Release Date
 02-07-24

Project Number
 2409

Drawing Number
TD-1
 Sheet 1 OF 2



809-847 NE 16th Avenue											
#	EXISTING TREE SURVEY	COMMON NAME	2/7/2024	CAL (IN.)	HEIGHT (FEET)	CANOPY (FEET)	CONDITION	DISPOSITION	NATIVE	INCHES REMOVED	COMMENT
1	<i>Ficus carica</i>	Fig Tree	4,4,6,5	30	30	30	30%	Remove		19	Poor condition, Fruit Tree
2	<i>Sabal palmetto</i>	Cabbage Palm	20	10 ct	15	60%	Remove	X		20	crowded/ shaded by Fig Tree
3	<i>Persea americana</i>	Avocado Tree	36	25	25	50%	Remove			36	Poor condition, Fruit Tree
4	<i>Sabal palmetto</i>	Cabbage Palm	12	10 ct	10	60%	Remove	X		12	Conflict with powerlines/ ATT box

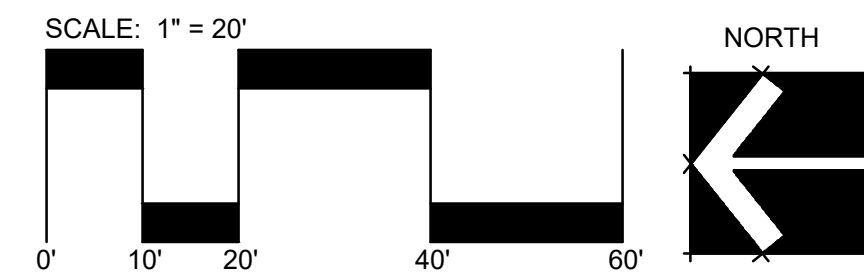
809-847 NE 16th Avenue						
Key	Tree Species	Tree Species	Species Category Rating Percentage	Trunk Diameter (CT inches)	Condition Percentage	Caliper Replacement Required (inches)
1	<i>Ficus carica</i>	Fig	30%	19	30%	1.71
3	<i>Persea americana</i>	Avocado	50%	36	50%	9
Total						10.71

Trees Only (no palms)

Species Category	Rating Percentage	Formula
A	100%	(Species cat. rating %) x (trunk dia. [dbh inches]) x (condition %) = (Equivalent Replacement [inches])
B	80%	
C	60%	
D	40%	
E	20%	
F	0%	

MITIGATION
 10.71" Inches Required to be Mitigated on Site
 66.5" Inches Cat. A Trees Provided on Site.
 (14) 2.5" Pigeon Plums = 35", (5) 3.5" Buttonwood = 17.5", (5) 2" Silver Buttonwood = 10", (15) 4" Live Oak = 60"

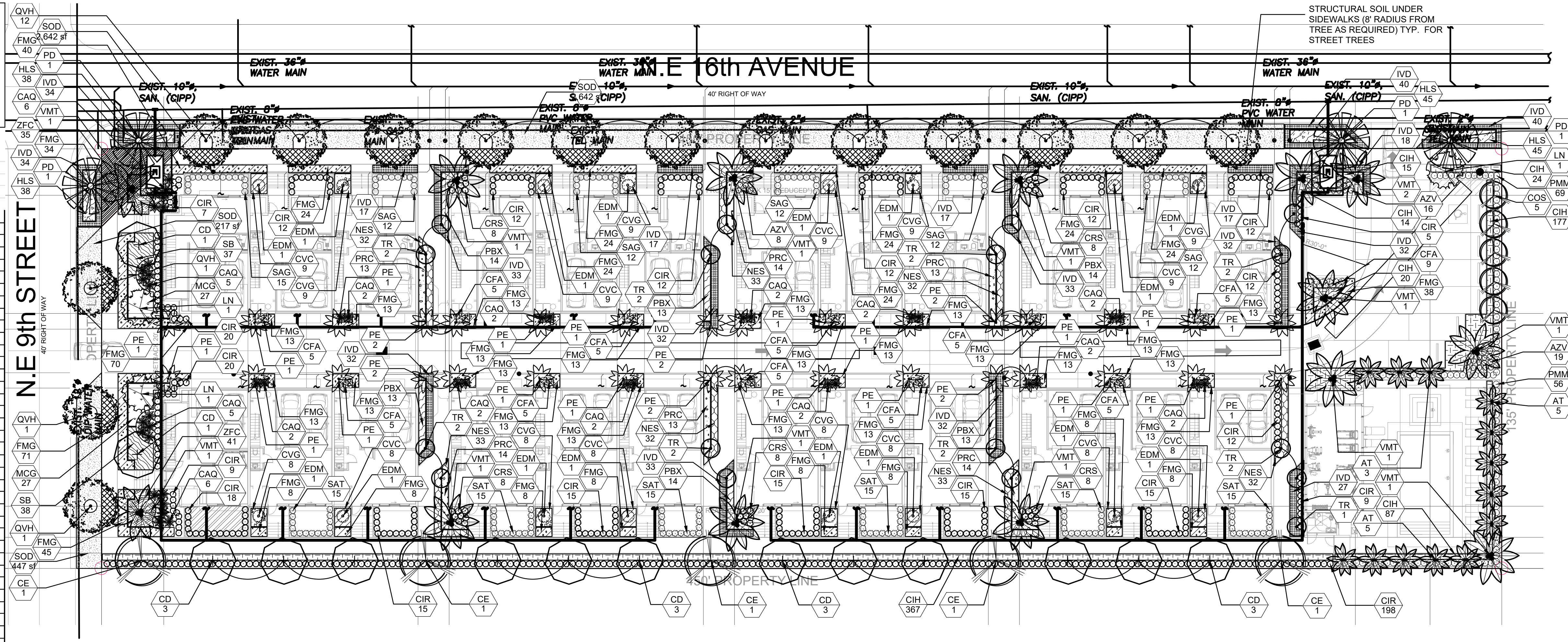
PALM MITIGATION
 REMOVED: (2) SABALS 1 TOTAL 2 PALMS REMOVED
 PROVIDED: (60) PALMS PROPOSED



NOTES:

- ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
- IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR
- SEE SHEET TD-1 TREE DISPOSITION PLAN.
- SEE SHEET L-200 PLANTING PLAN
- SEE SHEET L-200 FOR LANDSCAPE SCHEDULE AND CALCULATIONS
- SEE SHEET L-210 FOR LANDSCAPE DETAILS AND NOTES
- A PRE-PLANTING MEETING SHALL BE SCHEDULED WITH THE CITY FORESTER OR LANDSCAPE INSPECTOR AND THE LANDSCAPE CONTRACTOR PRIOR TO ANY INSTALLATION ON THE SITE.

LANDSCAPE CALCULATIONS		
809 NE 16TH AVENUE		
LAND USE: RESIDENTIAL		
ZONING: RU-25		
SITE AREA	1.39 AC.	60,700 SF
TOTAL PERVIOUS AREA PROPOSED		10,944 SF
TOTAL LANDSCAPE AREA PROVIDED		10,944 SF
TOTAL VUA		10,316 SF
LANDSCAPE VUA AREA (20% OF VUA)		2,064 SF
PERIMETER VUA	1,884 SF	
INTERIOR VUA (30 SF EACH SPACE) - 6 SPACES	180 SF	180 SF
	REQUIRED	PROVIDED
VEHICULAR USE AREA (1 TREE PER 1,000 SF)		
TREES (1 TREE PER 1,000 SF OF VUA)	11	11
25% SHADE SPECIES WITH 3 1/2" CALIPER	3	3
25% SHADE SPECIES WITH 2 1/2" CALIPER	3	3
20% FLOWERING SPECIES	3	3
20% PALM SPECIES	2	2
10% OPTIONAL SPECIES	n/a	
SHRUBS (6 SHRUBS PER 1,000 SF OF VUA) 6"x11" @ 6'		
	66 Shrubs	66
NET LOT AREA (1 TREE PER 1,000 SF)		
8,292 SF / 1,000 SF = 9 TREES	9 Trees	19 Trees / 56 palms
SHRUBS (12 SHRUBS PER 1,000 SF) 12 x 9 = 108	108 Shrubs	891 Shrubs
STREET TREES		
1 TREE PER 40 LF		
NE 16TH AVE (NORTH): 450 LF / 40 LF = 11.25 Trees	12 Trees	9 Trees & 3 Palms
NE 9TH STREET (WEST): 136 LF / 40 LF = 3.4 Trees	4 Trees	3 Trees & 1 Palm
	SUB-TOTAL	16 Trees
50% of Street Trees shall be Shade Trees		12 Trees & 4 Palms
		75% Trees
TOTAL TREES	36 Trees	42 Trees & 9 Palms
NATIVE TREES		
40% TREES MUST BE NATIVE (36 TREES X 40% = 14.4)	15 Trees	38 Trees
50% NATIVE PLANT MATERIAL		
Total Provided - 4,013 x 50% = 2,007 (50%)	2,007 (50%)	2,335 (56%)
SOD		
50% MAX. SOD FOR PERVIOUS AREA - ON SITE		
10,944 SF Total Pervious / 50% = 5,497 SF Max	50% - 5,497 SF	0% - 0 SF
Only providing sod within Street ROW's nothing On-Site		
ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.		
IRRIGATION SYSTEM SHALL ALSO BE EQUIPT WITH A RAIN SENSOR.		



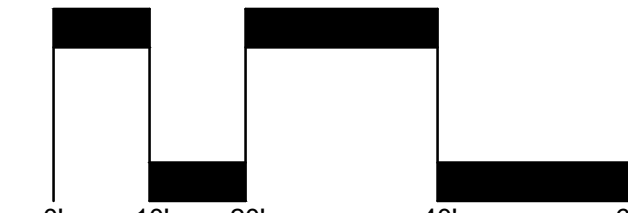
PLANT SCHEDULE									
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	SIZE	NATIVE	DROUGHT	
TREES									
CD	14	COCOLOBIA DIVERSIFOLIA	PIGEON PLUM	FG/B&B	2.5" CAL	12' HT X 5' SPR	YES	HIGH	
CE	5	CONOCARPUS ERECTUS	BUTTONWOOD	FG/B&B	3.5" CAL	14' HT. X 5' SPR. 5' CT., FULL CANOPY	YES	HIGH	
COS	5	CONOCARPUS ERECTUS SERICEUS	SILVER BUTTONWOOD	FG/B&B	2" CAL	12' HT. X 5' SPR., 5' CT. STD.	YES	HIGH	
QVH	15	QUERCUS VIRGINIANA 'HIGHRISE OAK'	HIGHRISE LIVE OAK	FG/B&B	4" CAL	18' HT. X 7' SPR., 8' CT.	YES	HIGH	
PALM TREES									
AT	13	ADONIDIA MERRILLII	CHRISTMAS PALM	FG/B&B		14-16' OA, DOUBLE FLORIDA FANCY	NO	HIGH	
PD	4	PHOENIX DACTYLIFERA	MEDJOOOL DATE PALM	FG/B&B		12' CT., MATCHED HEIGHTS	NO	HIGH	
PE	32	PTYCHOSPERMA ELEGANS	SOLITAIRE PALM	FG/B&B	3" CAL	12' CT SINGLE STRAIGHT TRUNK	NO	HIGH	
TR	17	THRINAX RADIATA	FLORIDA THATCH PALM	FG/B&B		8-10' OA SINGLE STRAIGHT TRUNK	YES	HIGH	
VTM	14	VEITCHIA MONTGOMERYANA	MONTGOMERY PALM	FG/B&B	3" CAL	16-18' OA, TRIPLE TRUNK	NO	HIGH	
FLOWERING TREES									
LN	13	LAGERSTROEMIA INDICA 'NATCHEZ'	WHITE CRAPE MYRTLE	FG/B&B	2.5" CAL	13' HT. X 6' SPR. 5' CT. STANDARD	NO	HIGH	
SHRUBS									
AZV	43	ALPINIA ZERUMBET 'VARIEGATA'	VARIEGATED SHELL GINGER	-		24"X24" OA	NO	MEDIUM	
CIR	457	CHRYSOBALANUS ICAGO 'REDTIP'	RED TIP COCOPLUM	-		24" HT. X 24" SPD.	YES	MEDIUM	
CAQ	44	CRINUM AUGUSTUM 'QUEEN EMMA'	'QUEEN EMMA' CRINUM	-		4' OA, FULL	NO	HIGH	
PMM	125	PODOCARPUS MACROPHYLLUS MAKI	SHRUBBY YEW	-		30"HT X 24"SPR	NO	HIGH	
SAG	75	SCHEFFLERA ARBORICOLA 'DWARF'	DWARF SCHEFFLERA	-		24"HT X 24"SPR	NO	HIGH	
SAT	90	SCHEFFLERA ARBORICOLA 'TRINETTE'	SCHEFFLERA	-		24"HT X 24"SPR	NO	HIGH	
ACCENT SHRUB									
CFA	64	CORDYLINE FRUTICOSA 'AUNTIE LOU'	PINK TI PLANT	-		20"X30"	NO	HIGH	
CRS	40	CORDYLINE FRUTICOSA 'RED SISTER'	RED SISTER TI	-		24-28" OA	NO	HIGH	
EDM	16	ELAEOCARPUS DECIPENS 'MONPROUD'	JAPANESE BLUEBERRY TREE DWARF	-		5-6' OA, FULL TO BASE	NO	HIGH	
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	SIZE	NATIVE	DROUGHT	SPACING
GROUND COVERS									
CIH	704	CHRYSOBALANUS ICAGO 'HORIZONTALIS'	HORIZONTAL COCOPLUM	-		12"HT X 12"SPR	YES	HIGH	18" o.c.
CVC	68	CODIAEUM VARIEGATUM 'CURLYBOY'	CURLYBOY CROTON	-		15" HT FULL	NO	HIGH	24" o.c.
CVG	68	CODIAEUM VARIEGATUM 'GOLDEN DUST'	GOLD DUST CROTON	-		15" HT FULL	NO	HIGH	24" o.c.
FMG	816	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	-		12"HT X 12"SPR	NO	HIGH	18" o.c.
HLS	166	HYMENOCALLIS LATIFOLIA	SPIDER LILY	-		12" HT. FULL	YES	HIGH	18" o.c.
IVD	520	ILEX VOMITORIA 'STOKES DWARF'	DWARF YAUPON HOLLY	-		12"HT X 12"SPR	YES	HIGH	18" o.c.
NES	227	NEPHROLEPIS EXALTATA	BOSTON FERN	-		12" HT. FULL	YES	HIGH	18" o.c.
PBX	81	PHILODENDRON BURLE-MARXII	BURLE-MARX PHLODENDRON	-		15" HT FULL	NO	MEDIUM	24" o.c.
PRC	81	PHILODENDRON X 'ROJO CONGO'	ROJO CONGO PHLODENDRON	-		15" HT FULL	NO	MEDIUM	24" o.c.
SB	75	SPARTINA BAKERI	SAND CORD GRASS	-		12" HT. FULL	YES	HIGH	18" o.c.
ZFC	76	ZAMIA FLORIDANA	COONTIE PALM	-		12" HT. FULL	YES	HIGH	18" o.c.
SOD/SEED									
SOD	13,306 SF	STENOTAPHRUM SECUNDATUM 'FLORITAM'	'FLORITAM' ST. AUGUSTINE SOD	SOD					
TALL GROUND COVERS									
MCG	54	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	-		15" HT FULL	YES	HIGH	24" o.c.

NOTES:

- ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
- IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR
- SEE SHEET TD-1 TREE DISPOSITION PLAN.
- SEE SHEET L-200 PLANTING PLAN
- SEE SHEET L-200 FOR LANDSCAPE SCHEDULE AND CALCULATIONS
- SEE SHEET L-210 FOR LANDSCAPE DETAILS AND NOTES
- A PRE-PLANTING MEETING SHALL BE SCHEDULED WITH THE CITY FORESTER OR LANDSCAPE INSPECTOR AND THE LANDSCAPE CONTRACTOR PRIOR TO ANY INSTALLATION ON THE SITE.



SCALE: 1" = 20'



NORTH



DRC SUBMITTAL
809 NE 16TH AVENUE
 809 NE 16TH AVENUE
 FORT LAUDERDALE, FLORIDA 33304

Sheet Description
LANDSCAPE PLAN

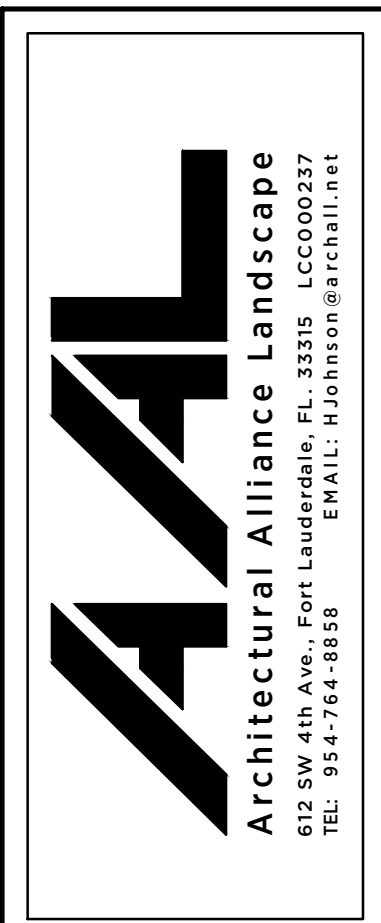
Release Date
02-07-24

Project Number
2409

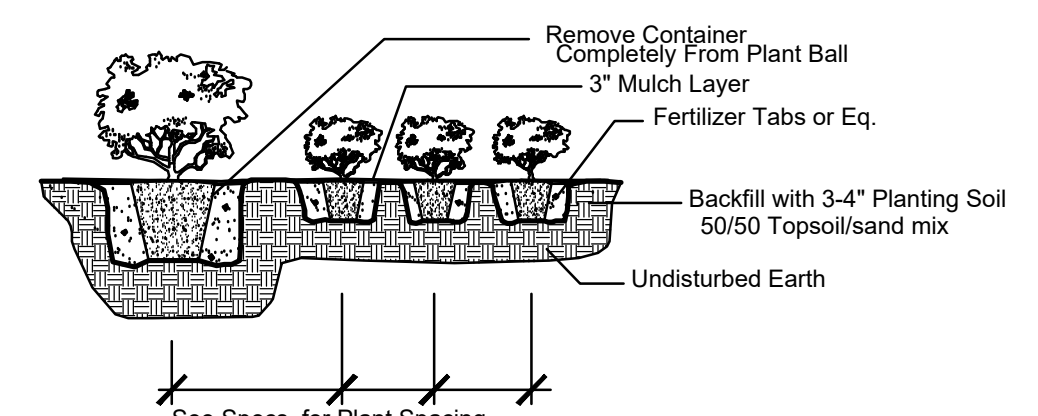
Drawing Number

L-200

Sheet 1 OF 2



Revision Dates



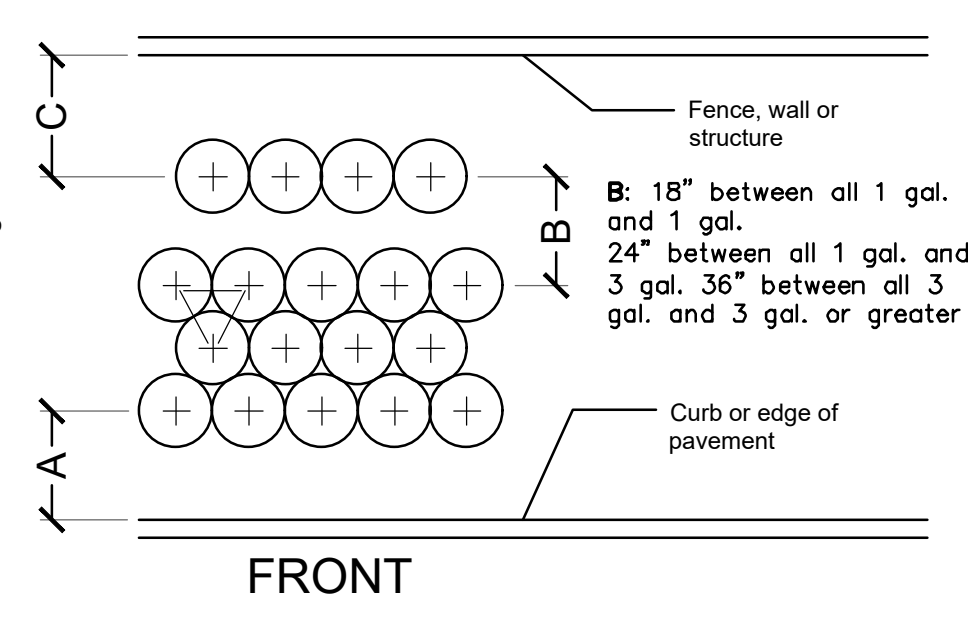
Shrub & Ground Cover Planting Detail

NTS

C: 18" for all 1 gal.
30" for all 3 gal. or greater
vines not included

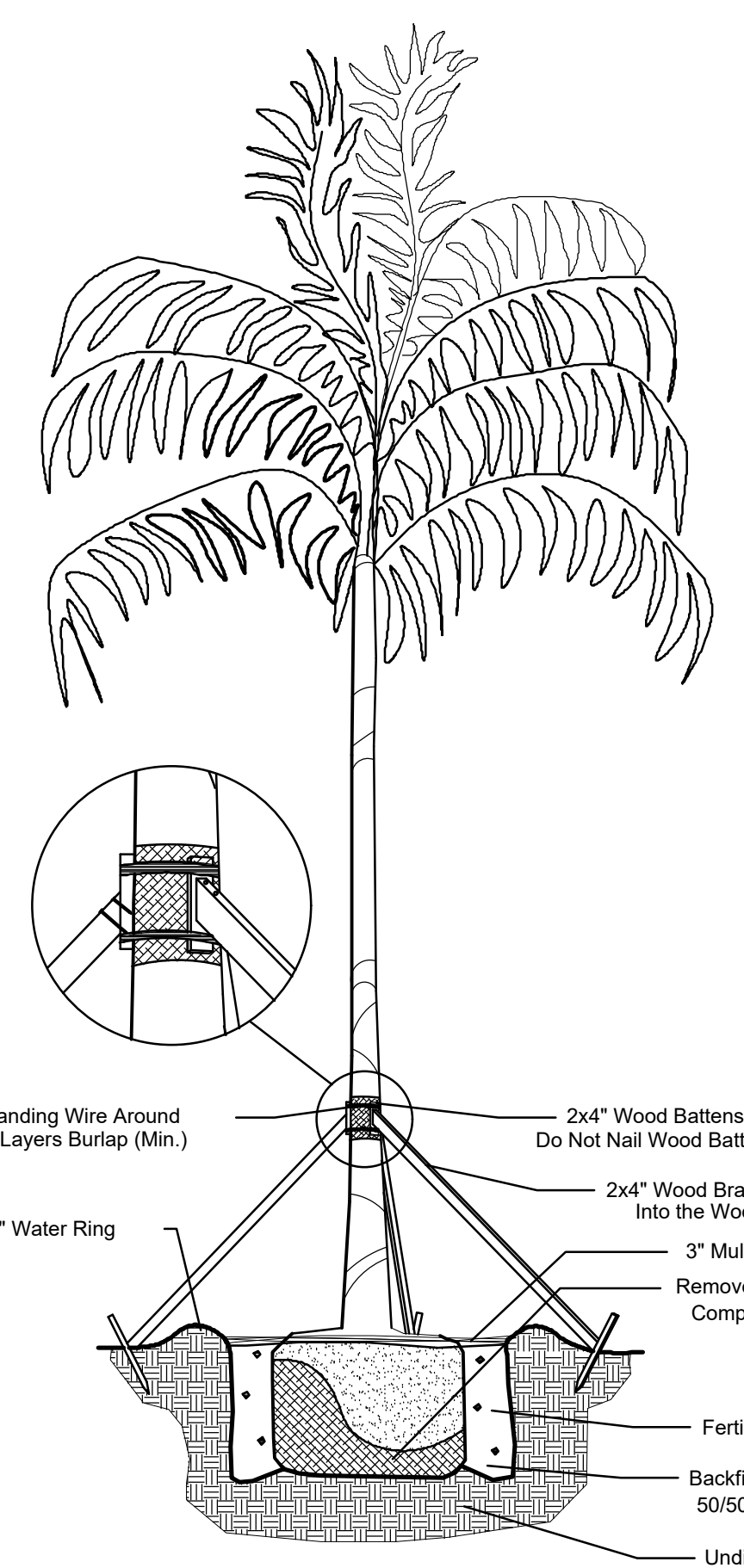
NOTE: All shrub and groundcover masses to use triangular spacing except as a singular hedge row or where noted. Refer to the plant list for individual plant spacing.

A: 14" for all 1 gal.
24" for all 3 gal. or greater



Typical Plant Spacing

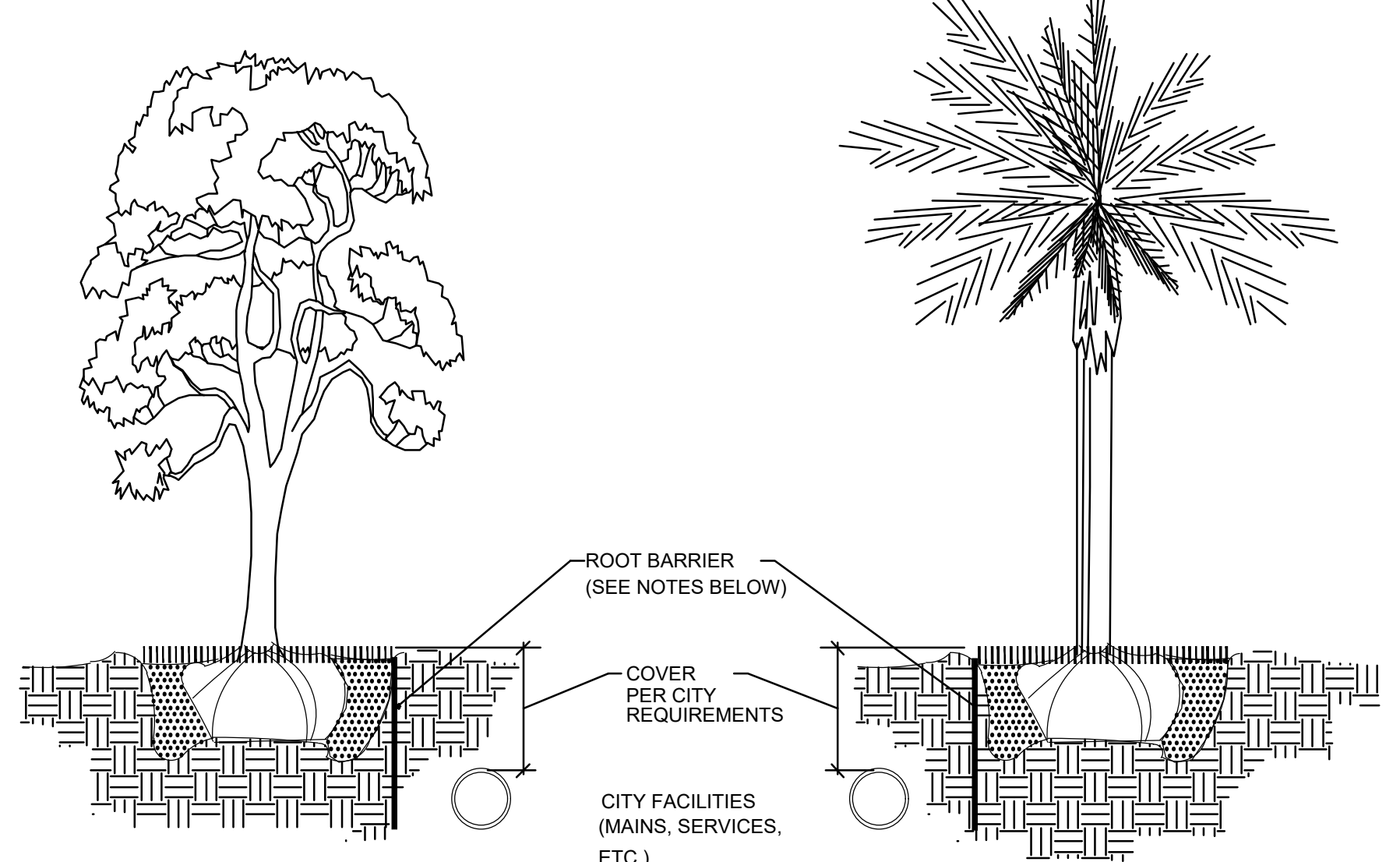
NTS



Palm Planting Detail

NTS

NOTE: PROVIDE ROOT BARRIERS AS REQUIRED ON ALL TREES IN CONFLICT WITH MINIMUM CLEARANCE WITH UTILITIES. MINIMUM CLEARANCE OF 5' FT FOR PALMS AND SMALL TREES AND 10' FT FOR LARGE TREES WITH INTRUSIVE ROOT SYSTEMS PER CITY OF FORT LAUDERDALE REQUIREMENTS. SEE TYPICAL DETAIL BELOW.

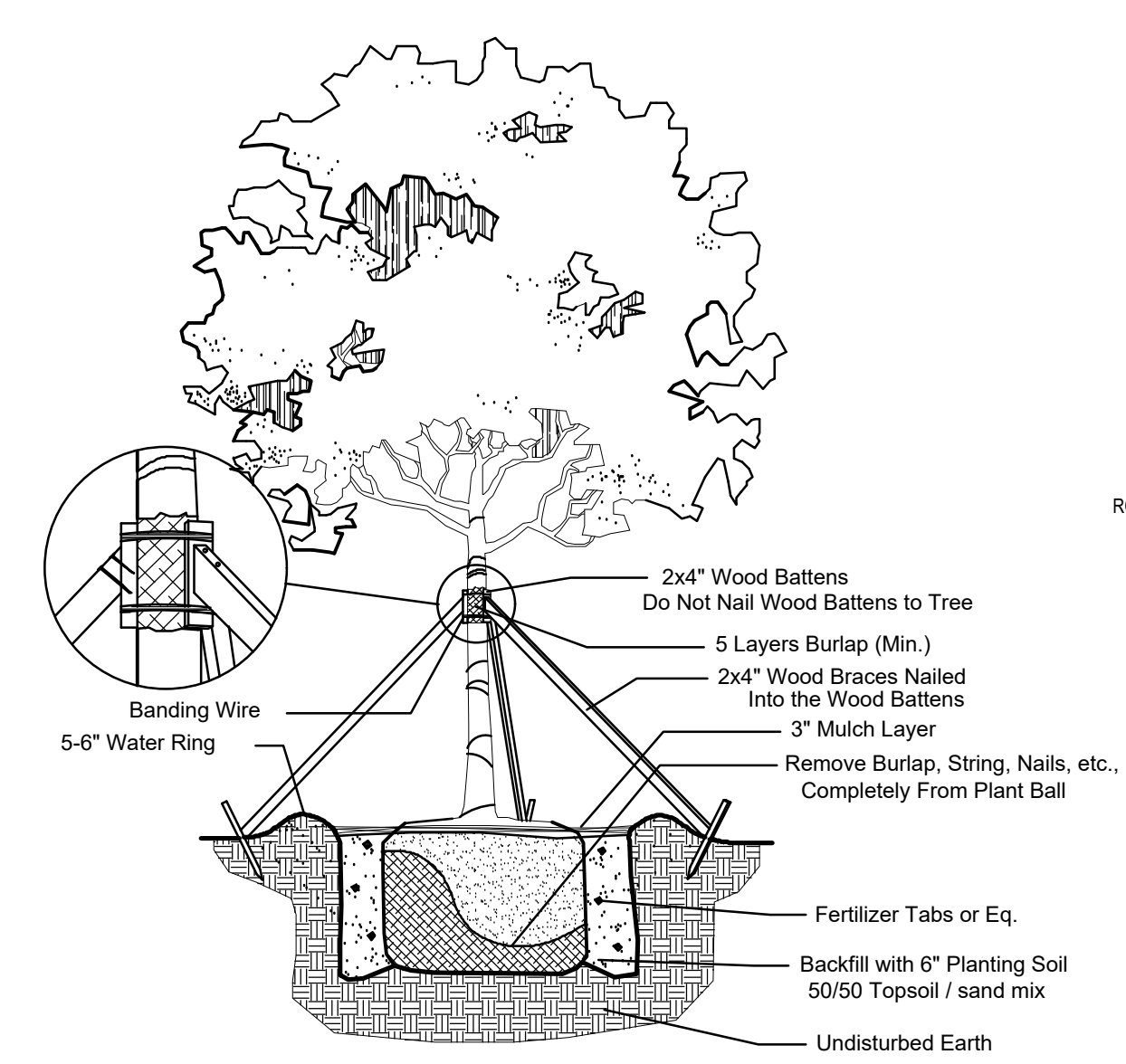


NOTES:

1. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
2. ROOT BARRIERS SHALL HAVE MINIMUM DEEP PER CITY REQUIREMENTS. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER.
3. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

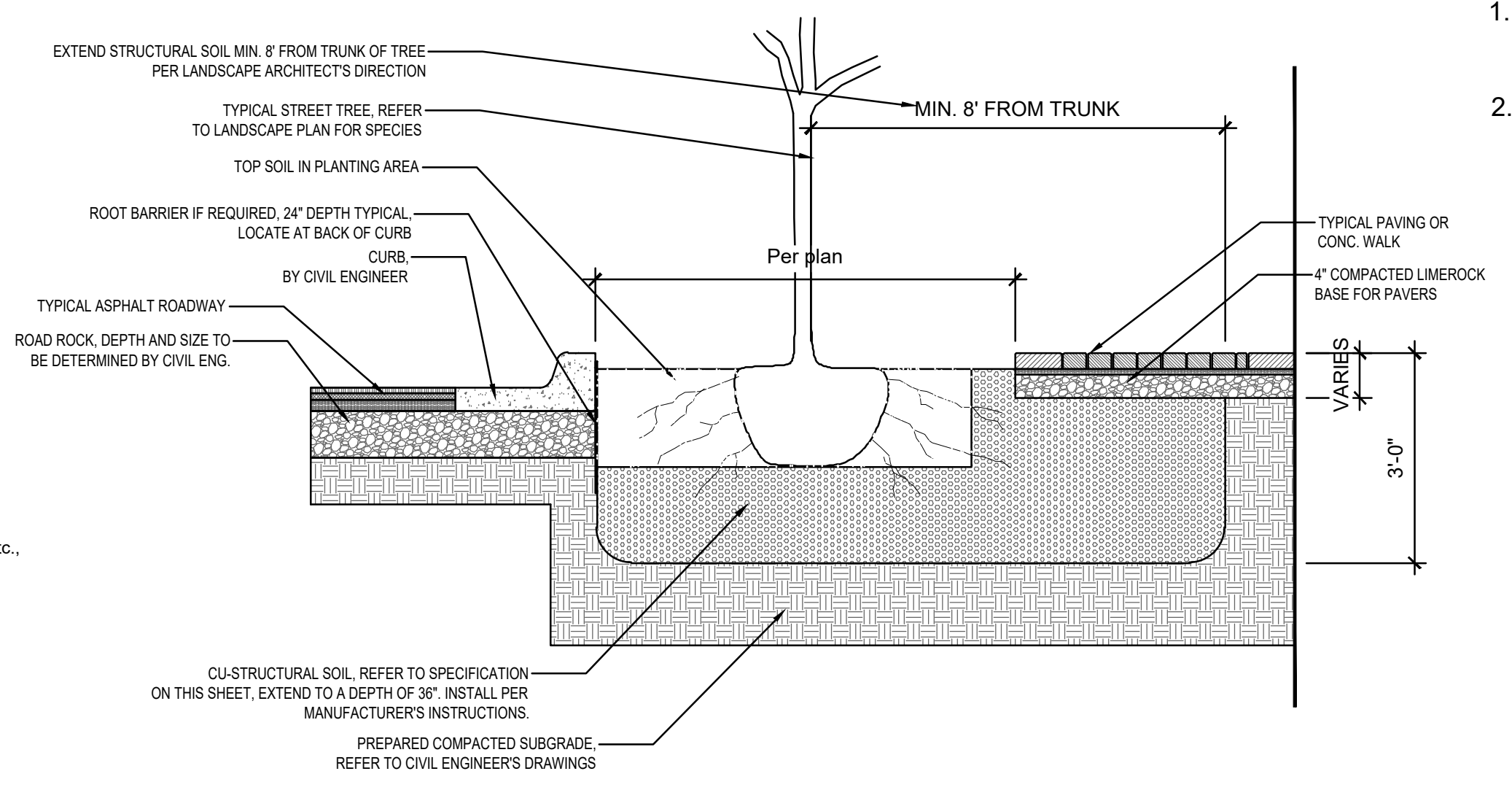
Typical Root Barrier Detail

NTS



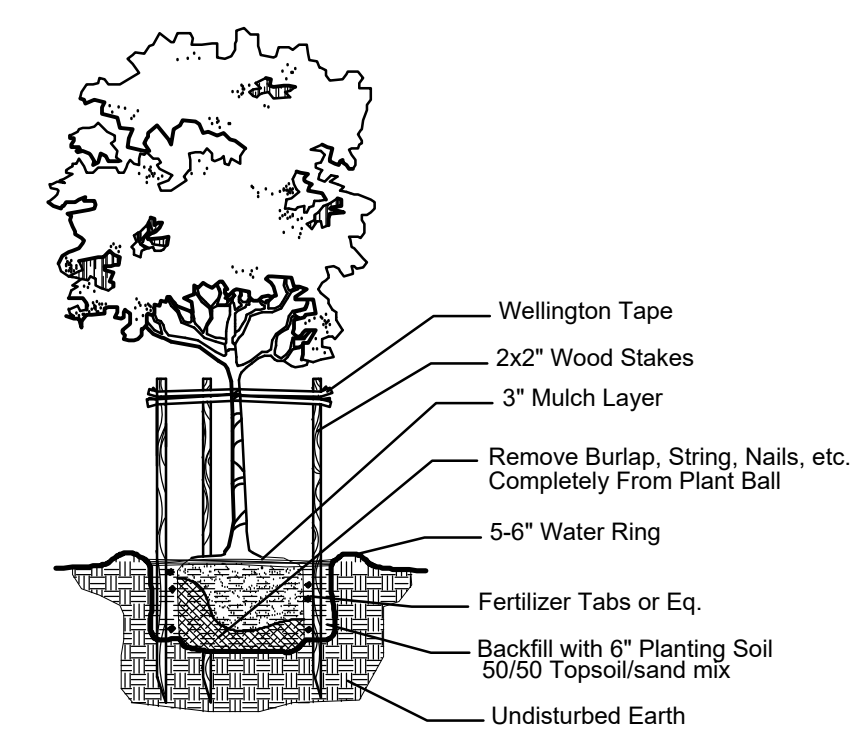
Large Tree Planting Detail

NTS



CU-STRUCTURAL SOIL DETAIL

NTS



Small Tree Planting Detail

NTS

CU-STRUCTURAL SOIL* SPECIFICATIONS

PART 2 - MATERIALS

2.1 CLAY LOAM

A. Soil shall be a "loam" with a minimum clay content of 20% or a "clay loam" based on the "USDA classification system" as determined by mechanical analysis (ASTM D-422) and it shall be of uniform composition, without admixture of subsoil. It shall be free of stones, lumps, plants and their roots, debris and other extraneous matter. It shall not contain toxic substances harmful to plant growth. Clay loam shall contain not less than 2% or more than 5% organic matter as determined by the loss on ignition of oven-dried samples. Test samples shall be oven-dried to a constant weight at a temperature of 230 degrees F., plus or minus 9 degrees.

B. Mechanical analysis for the loam or clay loam shall be as follows:

Textural Class	% of Total Weight
Gravel	less than 5%
Sand	20-45%
Silt	20-50%
Clay	20-40%

C. Chemical analysis: Meet, or be amended to meet the following criteria:

1. pH between 5.5 to 6.5
2. Percent organic matter 2% - 5% by dry weight

3. Adequate nutrient levels
4. Soluble salt less than 1.0 mmho/cm
5. Cation Exchange Capacity (CEC) greater than 10
6. Carbon/Nitrogen ratio less than 33:1

D. Loam or clay loam shall not come from USDA - classified prime farmland.

2.2 FERTILIZER (if needed)

A. Should nutrient analysis suggest that the loam or clay loam need additional nutrients, it shall be amended by Amerseq's licensed producer.

2.3 SULFUR (if needed)

- A. Sulfur shall be a commercial granular, 90% pure sulfur, with material and analysis appearing on the labeled container.
- B. Sulfur used to lower pH shall be a ferrous sulfate formulation.
- C. Application rates shall be dependent on soil test results.

2.4 LIME (if needed)

- A. Agricultural lime containing a minimum of 85% carbonates.
- B. Application rates shall be dependent on soil test results.

2.5 CRUSHED STONE

- A. The size of the crushed stone shall be 0.75 inches to 1.5 inches allowing for up to 10% being greater than 1.5 inches, and up to 10% less than 0.75 inches.
- B. Acceptable aggregate dimensions will not exceed 2.5:1.0 for any two dimensions.
- C. Minimum 90% with two or more fractured faces.
- D. Results of Aggregate Soundness Loss test shall not exceed 18%.
- E. Losses from LA Abrasion tests shall not exceed 40%.

2.6 HYDROGEL

A. Hydrogel shall be a coated potassium propenoate-propionamide copolymer (Gelscape® Hydrogel Tackifier) as manufactured by Amerseq, Inc. 800-832-8788.

2.7 WATER

A. The installing contractor shall be responsible to furnish his own supply of water (if needed) free of impurities, to the site.

2.8 CU-STRUCTURAL SOIL*

A. A uniformly blended urban tree mixture of crushed stone, clay loam and Gelscape® Hydrogel tackifier, as produced by an Amerseq-licensed company, mixed in the following proportion:

Material	Unit of Weight
specified crushed Stone	100 units dry weight
specified clay loam	20 25 units (to achieve minimum CBR of 50)
Gelscape® Hydrogel Tackifier	0.055 units dry weight
moisture	ASTM D698/ASHTO T-99 optimum moisture

CU-STRUCTURAL SOIL SPECIFICATIONS

SPECIAL INSTRUCTIONS:

1. GENERAL SITE AND BERM GRADING TO +/- 1 INCH (1") SHALL BE PROVIDED BY THE GENERAL CONTRACTOR. ALL FINISHED SITE GRADING AND FINAL DECORATIVE BERM SHAPING SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR.
2. ALL SOD AREAS AS INDICATED ON THE PLANTING PLAN SHALL RECEIVE STENOTAPHRUM SECUNDATUM, ST. AUGUSTINE 'PALMETTO' SOLID SOD. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO INCLUDE IN THE BID, THE REPAIR OF ANY SOD WHICH MAY BE DAMAGED FROM THE LANDSCAPE INSTALLATION OPERATIONS.

NOTES:

1. ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
2. IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR
3. SEE SHEET XXX TREE DISPOSITION PLAN.
4. SEE SHEET XXX PLANTING PLAN
5. SEE SHEET XXX FOR LANDSCAPE SCHEDULE AND CALCULATIONS
6. SEE SHEET XXX FOR LANDSCAPE DETAILS AND NOTES
7. A PRE-PLANTING MEETING SHALL BE SCHEDULED WITH THE CITY FORESTER OR LANDSCAPE INSPECTOR AND THE LANDSCAPE CONTRACTOR PRIOR TO ANY INSTALLATION ON THE SITE.

GENERAL PLANTING REQUIREMENTS

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI specifications.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.

All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications.

Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. A four-inch clear space must be left for air between plant bases and the mulch. Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 100% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a rain sensor.

It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of AAL.

The plan takes precedence over the plant list.



Revision Dates

DRC SUBMITTAL
809 NE 16TH AVENUE
FORT LAUDERDALE, FLORIDA 33304

Sheet Description
LANDSCAPE
DETAILS
AND NOTES

Release Date
02-07-24

Project Number
2409

Drawing Number

L-210

Sheet 1 OF 2

GENERAL NOTES AND SPECIFICATIONS

I. APPLICABLE CODES

1. ALL WORK AND MATERIALS SHALL CONFORM TO CURRENT CITY OF FORT LAUDERDALE AND BROWARD COUNTY STANDARDS AS WELL AS ALL LOCAL, STATE, AND NATIONAL CODES AND REGULATORY REQUIREMENTS, AS APPLICABLE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.
3. LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER SITE FEATURES SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY BY OTHERS.
4. EXISTING UTILITIES TO BE ADJUSTED IN ACCORDANCE WITH PROPOSED GRADES AND REQUIREMENTS OF UTILITY OWNERS, AS REQUIRED.
5. EXISTING STRUCTURES, UTILITIES AND OTHER IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, TREES SUCH AS BUILDING SEWERS, DRAINS, WATER OR GAS PIPES, CONDUITS, POLES, WALLS, COLUMNS, ETC., WHETHER OR NOT SHOWN ON THE PLANS, ARE TO BE CAREFULLY PROTECTED FROM DAMAGE. IF DAMAGE OCCURS FROM WORK PERFORMED UNDER THIS CONTRACT, THE CONTRACTOR SHALL PROMPTLY REPAIR THE DAMAGED ITEM(S) TO THE CONDITION OF THE ITEM(S) PRIOR TO THE DAMAGE. THIS WORK SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
6. THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES AND UNDERGROUND UTILITIES.
7. CONTRACTOR SHALL PRESERVE ALL STREET SIGNS, PARKING METERS, BENCHES, TRAFFIC CONTROL SIGNS, ETC. WHEN DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL REINSTALL OR DELIVER SAID PUBLIC PROPERTY TO THE COUNTY YARD.
8. THE CONTRACTOR SHALL COORDINATE HIS/HERS WORK WITH ANY OTHER UTILITY AND BUILDING TRADES WORKING ON THIS OR ADJACENT PROJECT.
9. ALL DITCH EXCAVATION SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE PROVISIONS OF THE FLORIDA TRENCH SAFETY ACT.
10. THE CONTRACTOR SHALL TAKE SPECIAL NOTE OF SOIL CONDITIONS THROUGHOUT THIS PROJECT. ANY SPECIAL SHORING, SHEETING OR OTHER PROCEDURES NECESSARY TO PROTECT ADJACENT PROPERTY, EITHER PUBLIC OR PRIVATE, DURING EXCAVATION OF SUBSOIL MATERIAL OR DURING THE FILING OF ANY AREA, OR FOR ANY OPERATION DURING CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

II. PRECONSTRUCTION RESPONSIBILITIES

1. THE INFORMATION PROVIDED IN THESE PLANS IS TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT ANY INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED AND UPON WHICH THEIR BIDS WILL BE BASED.
2. 48 HOURS BEFORE BEGINNING CONSTRUCTION IN THE AREA, THE CONTRACTOR SHALL NOTIFY SUNSHINE STATE CALL ONE OF FLORIDA, INC. AT 1-800-432-4770 AND ANY OTHER UTILITIES WHICH MIGHT BE AFFECTED.
3. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER, AND THE ENGINEER OF RECORD.
4. THE CONTRACTOR SHALL APPLY FOR AND PROCURE ALL PERMITS AND LICENSES, PAY ALL CHARGES, TAXES, ROYALTIES & FEES, AND GIVE ALL NOTICES NECESSARY TO COMPLETE THIS PROJECT. (WITH THE EXCEPTION OF DRAINAGE AND WATER & SEWER APPROVALS FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND FDOT WHICH WILL BE OBTAINED BY THE ENGINEER OF RECORD.)
5. THE CONTRACTORS SHALL COORDINATE WITH UTILITY COMPANIES TO ARRANGE FOR ANY REMOVAL, RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK, IF APPLICABLE.
6. THE LOCATIONS OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL LOCATE AND EXPOSE ALL EXISTING UTILITIES TO BE CONNECTED SUFFICIENTLY AHEAD OF CONSTRUCTION TO ALLOW REDESIGN BY THE ENGINEER IF SUCH UTILITIES ARE FOUND TO BE DIFFERENT THAN THOSE SHOWN ON PLANS.

III. INSPECTION AND TESTING

THE ENGINEER SHALL REQUIRE A COLOR T.V. SURVEY AND SHALL REQUIRE AN EXFILTRATION/INFILTRATION TEST PRIOR TO ACCEPTANCE. THE SURVEY AND TESTING SHALL BE AT THE CONTRACTOR'S EXPENSE.

INSPECTIONS:

THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS:

- 1.) STORM DRAINAGE
- 2.) SANITARY SEWER
- 3.) WATER SYSTEM SUBGRADE – SUBMIT AND HAVE APPROVED DENSITIES PRIOR TO PLACEMENT OF ROCK.
- 4.) LIMEROCK BASE – SUBMIT AND HAVE APPROVED DENSITIES AND AS-BUILTS PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- 5.) ASPHALTIC CONCRETE
- 6.) FINAL WALK-THROUGH INSPECTION
- 7.) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL APPLICABLE REGULATORY AGENCIES FOR INSPECTION REQUIREMENTS.

IV. SHOP DRAWINGS

1. PRIOR TO CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD FOR THE FOLLOWING ITEMS: WATER/SEWER MAIN PIPING AND ASSOCIATED FITTINGS, CATCH BASINS AND ALL OTHER DRAINAGE STRUCTURES, DRAINAGE PIPE, BALLAST ROCK, EXFILTRATION TRENCH FILTER FABRIC. IN ADDITION, SOME CITIES, COUNTIES, STATE AND/OR NATIONAL REGULATORY AGENCIES REQUIRE THEIR OWN INDIVIDUAL REVIEW AND APPROVAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY SHOP DRAWING APPROVALS IF REQUIRED.

V. TEMPORARY FACILITIES

1. TEMPORARY FACILITIES
 - A. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES, AND ELECTRICITY, DURING CONSTRUCTION.
 - B. THE CONTRACTOR SHALL MAINTAIN AT LEAST ONE ACCESS ENTRANCE TO COMMERCIAL PROPERTIES AT ALL TIMES, IF APPLICABLE.

C. THE CONTRACTOR SHALL MAINTAIN A CLEAR PATH FOR ALL SURFACE WATER DRAINAGE STRUCTURES AND DITCHES DURING ALL PHASES OF CONSTRUCTION, IF APPLICABLE.

2. TRAFFIC REGULATION

- A. THE CONTRACTOR SHALL PROVIDE ALL WARNING SIGNALS, SIGNS, LIGHTS AND FLAG PERSONS AS NECESSARY FOR THE MAINTENANCE OF TRAFFIC WITHIN PUBLIC RIGHT-OF-WAYS IN ACCORDANCE WITH M.U.T.C.D. AND FDOT.
- B. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
- C. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT THE EXPRESS PERMISSION OF THE CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT.

VI. PROJECT CLOSE OUT:

1. CLEANING UP

A. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEANUP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP BROOM CLEAN.

B. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS/HER WORK, EQUIPMENT AND/OR EMPLOYEES TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS.

C. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZED EARTH, CURBS, DRIVEWAYS, SIDEWALKS, FENCES, MAILBOXES, SIGNS AND ANY OTHER IMPROVEMENTS REMOVED DURING CONSTRUCTION WITH THE SAME TYPE OF MATERIAL AND TO THE CONDITION WHICH EXISTED PRIOR TO THE BEGINNING OF OPERATIONS.

D. WHERE MATERIAL OR DEBRIS HAVE WASHED OR FLOWED INTO, OR HAVE BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.

E. ALL DISPOSAL OF EXCESS AND UNSUITABLE EXCAVATED MATERIAL, DEMOLITION, VEGETATION, RUBBISH AND DEBRIS SHALL BE MADE OUTSIDE THE LIMITS OF CONSTRUCTION AT A LEGAL DISPOSAL SITE PROVIDED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE, WITH THE PRIOR APPROVAL OF THE ENGINEER. MATERIAL CLEARED FROM THE SITE SHALL NOT BE DEPOSITED ON ADJACENT AND/OR NEARBY PROPERTY.

2. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.

3. PROJECT RECORD DOCUMENTS

A. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.

B. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH AS-BUILT GRADES AND LOCATIONS OF FINISHED PAVEMENT, SIDEWALKS, CURBS, AND ALL PHYSICAL IMPROVEMENTS. SUCH GRADES SHALL BE OBTAINED BY A LICENSED SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF FLORIDA, AND SHALL DOCUMENT THE INTENT OF THE PROPOSED GRADES SHOWN ON THE PLANS. THIS SHALL BE DONE AT NO COST TO THE OWNER.

4. CONTRACTOR TO REPLACE ALL FOUND PIPES WITH NAIL AND DISKS.

VII. STORM DRAINAGE

GENERAL

1. THE TRENCH FILTER FABRIC SHALL BE SELECTED FROM THE MANUFACTURERS AND FABRIC TYPES APPROVED BY THE BROWARD COUNTY PUBLIC WORKS DEPARTMENT. IT SHALL BE USED TO WRAP ALL SIDES, BOTTOM AND TOP OF THE EXFILTRATION TRENCH. THE TOP SECTION OF THE MATERIAL SHALL BE LAPPED A MINIMUM OF 12 INCHES AND THE CONTRACTOR SHALL TAKE EXTREME CARE IN BACKFILLING TO AVOID BUNCHING OF THE FABRIC.

2. SOLID AND PERFORATED STORM DRAINAGE PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE (H.D.P.E.) SELECTED FROM THE MANUFACTURES AND TYPES APPROVED BY THE BROWARD COUNTY PUBLIC WORKS DEPARTMENT. PERFORATED PIPE SHALL TERMINATE 4'-0" FROM THE DRAINAGE STRUCTURE. THE REMAINING 4'-0" SHALL BE NON-PERFORATED PIPE.

3. PROVIDE A MINIMUM PROTECTIVE COVER OF 24 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.

4. ALL STORMWATER STRUCTURES SHALL COMPLY WITH THE CITY OF FT. LAUDERDALE STORMWATER DESIGN CRITERIA INCLUDING BUT NOT LIMITED TO A MINIMUM STORMWATER PIPE DIAMETER OF 12 INCHES.

5. THE CONTRACTOR SHALL PROTECT COMPLETED DRAINAGE STRUCTURES AND EXFILTRATION TRENCH SYSTEMS FROM CONTAMINATION OF SILT AND CONSTRUCTION DEBRIS. PLACE PLYWOOD OR, FILTER FABRIC BETWEEN, THE FRAME AND INLET GRATE UNTIL CONSTRUCTION OPERATIONS ARE FINISHED.

VII. PAVING

1. GENERAL

- A. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMEROCK BASE.
- B. ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
- C. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT.
- D. PROPOSED ASPHALT PAVEMENT SHALL BE CONNECTED TO EXISTING AS PER CITY OF FORT LAUDERDALE STANDARD DETAILS. CONTRACTOR SHALL MATCH EXISTING ELEVATIONS ON NEW SIDEWALK OR NEW PAVEMENT.
- E. CONTRACTOR SHALL REMOVE AND DISPOSE OF THE EXISTING CONC. CURB, CURB & GUTTER, SIDEWALK AND ASPHALT WHERE NEW SIDEWALK, CURB & GUTTER AND MEDIAN IS PROPOSED TO BE CONSTRUCTED.
- F. NONE OF THE EXISTING LIMEROCK BASE THAT IS REMOVED IS TO BE INCORPORATED INTO THE PROPOSED LIMEROCK BASE.
- G. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY, CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE BROWARD COUNTY PUBLIC WORKS DEPARTMENT INSPECTOR OR THE GEOTECHNICAL ENGINEER.

VIII. PAVEMENT MARKINGS AND TRAFFIC SIGNS

1. PAVEMENT MARKINGS

- A. INSTALLATION OF ALL PAVEMENT MARKINGS SHALL BE MADE IN ACCORDANCE WITH FDOT STANDARDS.
- B. MATERIALS: (1) WHERE THE PLANS CALL FOR PAINTED PAVEMENT MARKINGS (P), INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. (2) WHERE THE PLANS CALL FOR THERMOPLASTIC PAVEMENT MARKINGS (T), INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- C. PROTECTION: THE CONTRACTOR SHALL NOT ALLOW TRAFFIC ONTO NEWLY APPLIED PAVEMENT STRIPING/MARKINGS UNTIL THEY ARE SUFFICIENTLY DRY TO PERMIT VEHICLES TO CROSS THEM WITHOUT DAMAGE. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REMOVE AND REPLACE ANY PORTION OF THE PAVEMENT STRIPING/MARKINGS DAMAGED BY PASSING TRAFFIC OR FROM ANY OTHER CAUSE.

2. TRAFFIC SIGNS

- A. INSTALLATION: TRAFFIC SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.), PART II, IN LOCATIONS SHOWN ON PLANS.
- B. MATERIALS: FOLLOW SECTION NO. 700, HIGHWAY SIGNING, OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND M.U.T.C.D.

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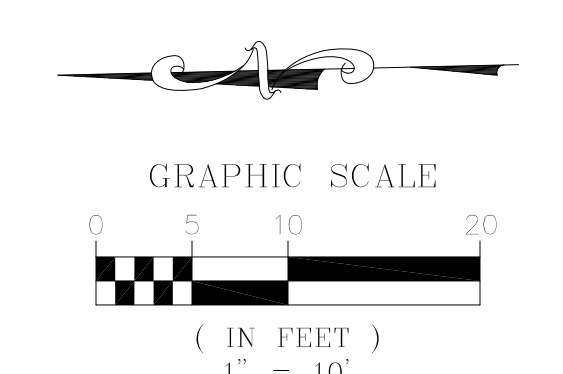
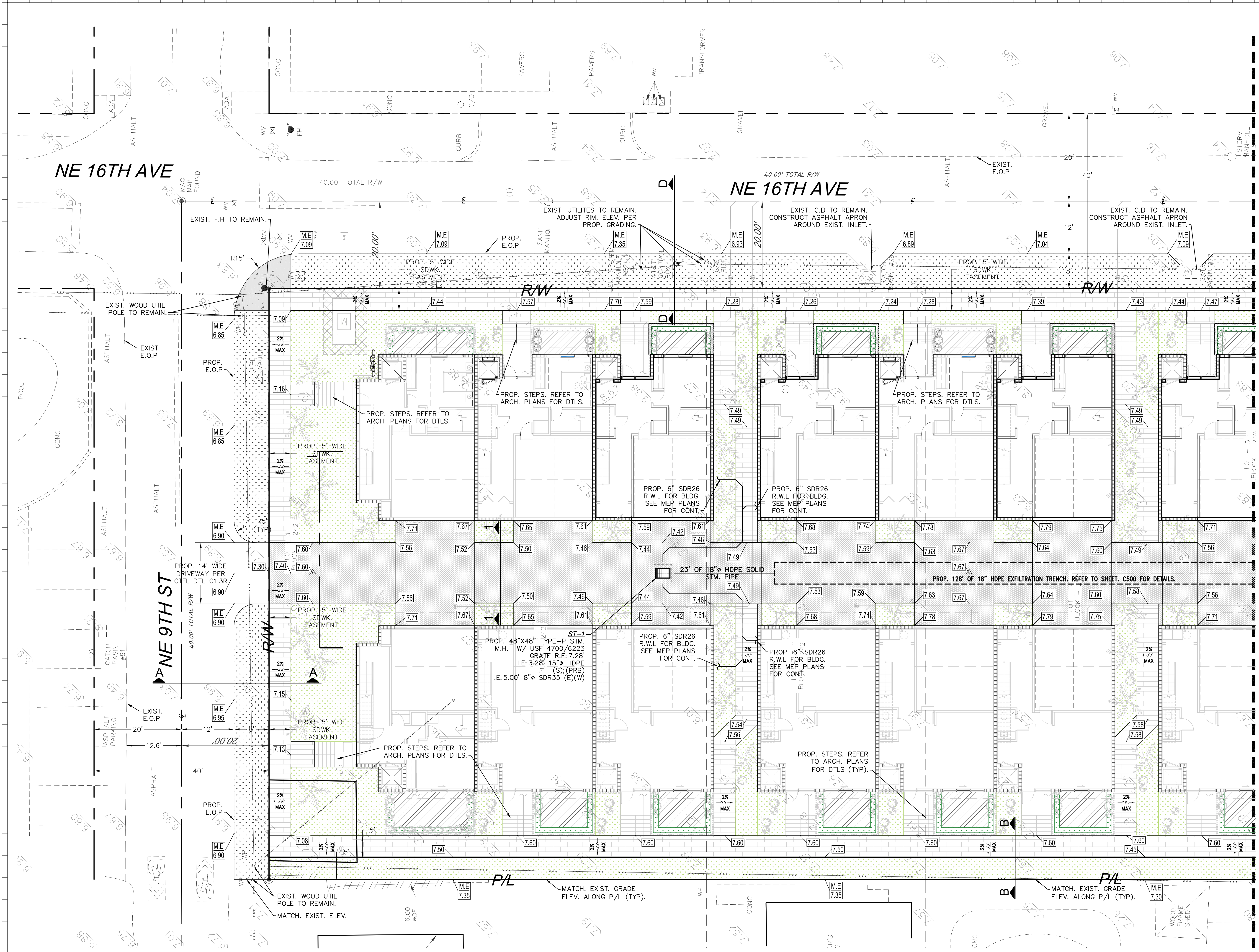
Architect of Record:
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GENERAL NOTES AND SPECIFICATIONS

Date:	Sheet No.
Scale:	C100
Project: 2355	





- LEGEND:**
- - - R/W LINE / PROPERTY LINE
 - - - CENTER LINE
 - - - EXISTING CURBING
 - [Hatched Box] PROP. LANDSCAPE AREA. REFER TO LA PLAN FOR DETAILS.
 - [Hatched Box] PROP. PAVERS. REFER TO ARCH PLANS FOR DETAILS.
 - - - DIRECTION OF SURFACE RUNOFF
 - 12.60 PROP. GRADE ELEVATION (NAVD)
 - A PROP. PAVEMENT SECTIONS (SEE DETAIL ON THIS SHT.)
 - [Dashed Box] PROP. EXFLT. TRENCH (REFER TO SHT. C500 FOR DETAILS)

FOR CONTINUATION SEE SHT. C201

1. ALL CONSTRUCTION JOINTS ARE TO BE SAW CUT TO ACQUIRE A STRAIGHT PERPENDICULAR EDGE.
2. ANY SURFACE UTILITIES AFFECTED BY THE MODIFICATION OF THE EXISTING SIDEWALK WILL NEED TO BE FIELD ADJUSTED TO THE PROPOSED ELEVATIONS DETAILED ON THIS SHEET.
3. ANY DAMAGE INCURRED DURING CONSTRUCTION TO THE SIDEWALKS, RAMPS, CURB AND GUTTER, PAVEMENT MARKINGS AND/OR SIGNAGE WITHIN RIGHT-OF-WAY SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR BETTER.
4. ANY ROADWAY CONSTRUCTION ALONG THE GUTTERLINE OF NE 1ST AVE SHALL MAINTAIN THE EXISTING CURB & GUTTER ELEVATIONS UNLESS INDICATED DIFFERENTLY ON THE PLANS.
5. EXISTING AND PROPOSED DRAINAGE INLETS WITHIN R/W SHALL BE PRESSURE CLEANED AND VACUUMED OF LOOSE AND DEPOSITED DEBRIS.
6. CONTRACTOR SHALL PLACE SEDIMENTATION BARRIERS AND FILTER FABRICS TO PROTECT ALL DRAINAGE INLETS FROM CONTAMINATION, DEBRIS INTRUSION, AND SILT ACCUMULATION DURING CONSTRUCTION PER F.D.O.T STORM WATER POLLUTION PREVENTION PLAN (SWPP) STANDARDS.
7. THE EXISTING ASPHALT SHALL BE SAW-CUT WITH STRAIGHT EDGES PRIOR TO THE REMOVAL OF THE SHOULDER AND/OR GUTTER TO PREVENT DAMAGE TO THE ASPHALT. ANY DAMAGES TO THE ASPHALT SHALL BE RESTORED BY MEANS OF MILLING AND RESURFACING 50- FEET ON BOTH SIDES OF THE DAMAGED AREA AND FULL TRAVEL LANE. DAMAGED PAVEMENT WILL BE RESTORED AT THE PERMITTED EXPENSE.
8. THE DETECTABLE WARNING SURFACE SHALL BE SELECTED FROM AN APPROVED MANUFACTURE LISTED ON THE MIAMI-DADE COUNTY AND/OR FLORIDA DEPT. OF TRANSPORTATION APPROVED PRODUCT LIST (SECTION 527).

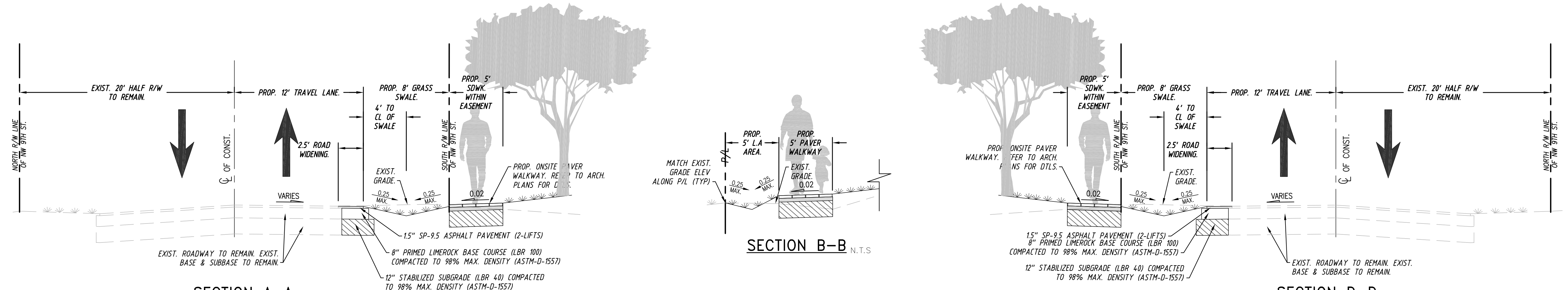
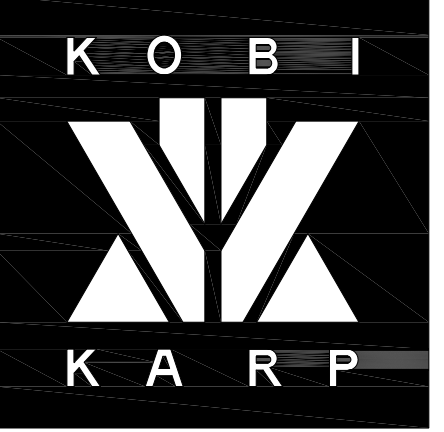
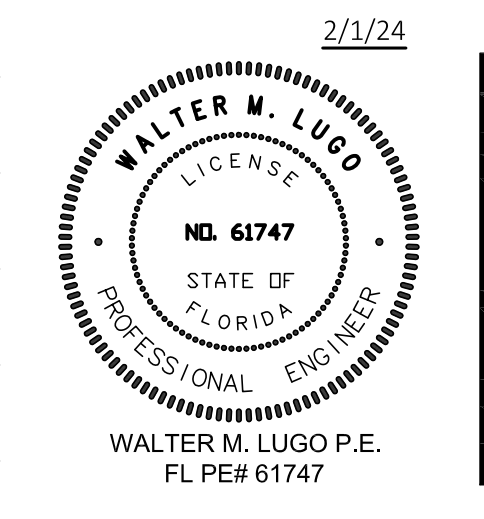
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ZONING PHASE

809 NE 16th AVENUE
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FORT LAUDERDALE, FL 33304

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- Consultant:**
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Architect of Record:
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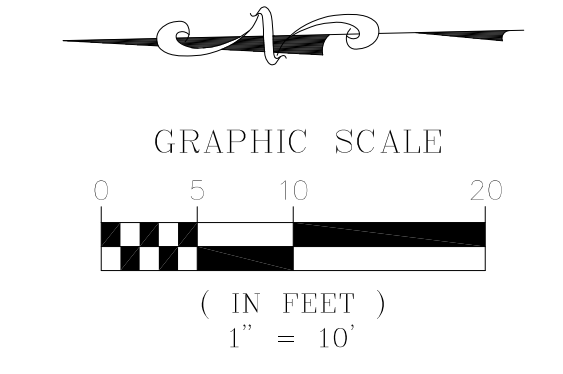
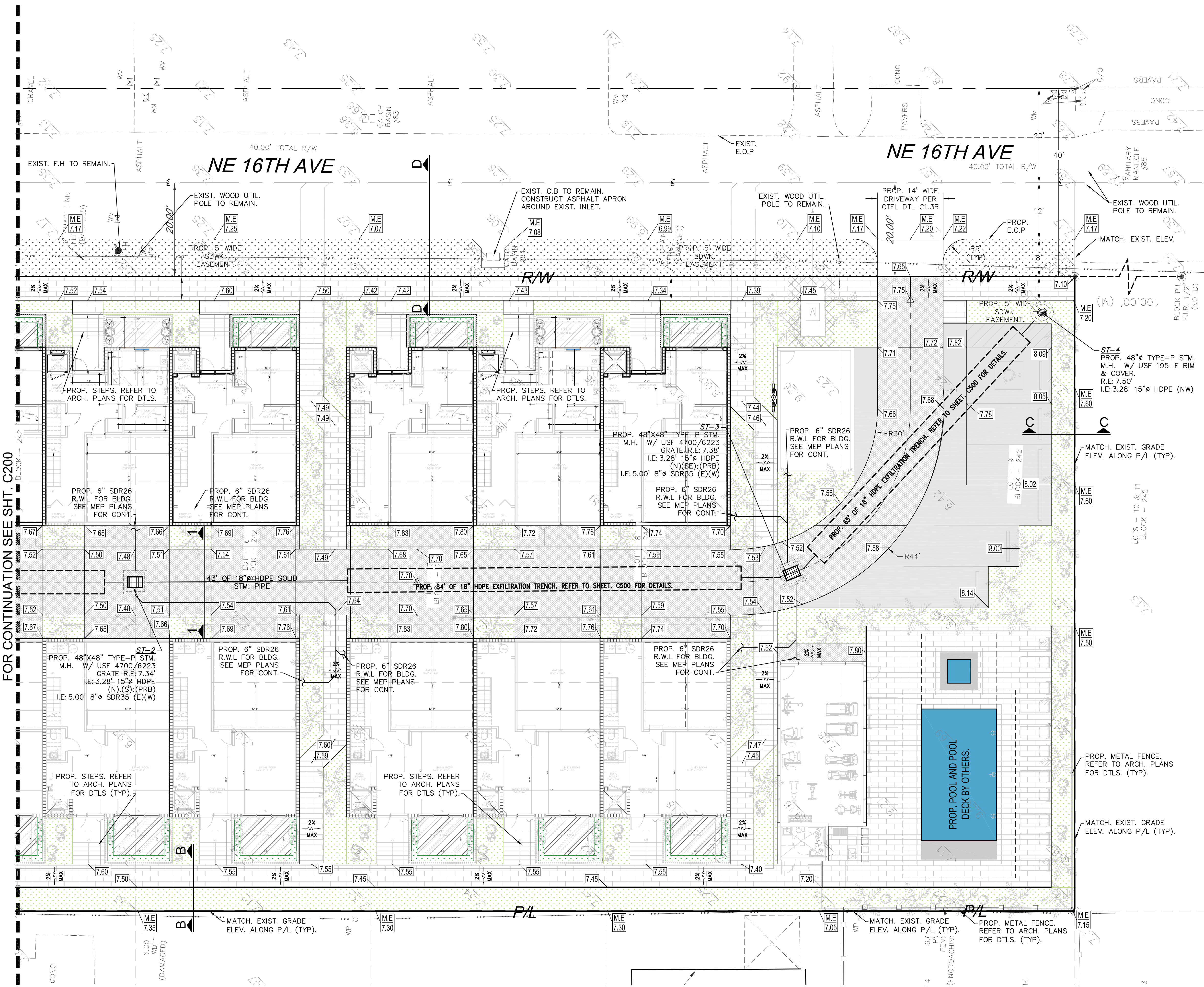


NOTE:
1. THE PROPOSED OFFSITE ROADWAY IMPROVEMENTS SHALL FOLLOW THE DESIGN PARAMETERS SET FORTH IN THE CITY OF FT.LAUDERDALE PUBLIC WORKS DESIGN STANDARD - P1.1 TYPICAL ROAD (40' RIGHT-OF-WAY) DETAIL.

NOTE:
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1000 W. UNIVERSITY BLVD., SUITE 1000
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TEL: 352.433.8800 FAX: 352.433.8801
WWW.OCEANENGINEERINGCONSULTANTS.COM



- LEGEND:**
- R/W LINE / PROPERTY LINE
 - CENTER LINE
 - EXISTING CURBING
 - PROP. LANDSCAPE AREA. REFER TO LA PLAN FOR DETAILS.
 - PROP. PAVERS. REFER TO ARCH PLANS FOR DETAILS.
 - DIRECTION OF SURFACE RUNOFF
 - PROP. GRADE ELEVATION (NAVD)
 - PROP. PAVEMENT SECTIONS (SEE DETAIL ON THIS SHT.)
 - PROP. EXFIL. TRENCH (REFER TO SHT. C500 FOR DETAILS)

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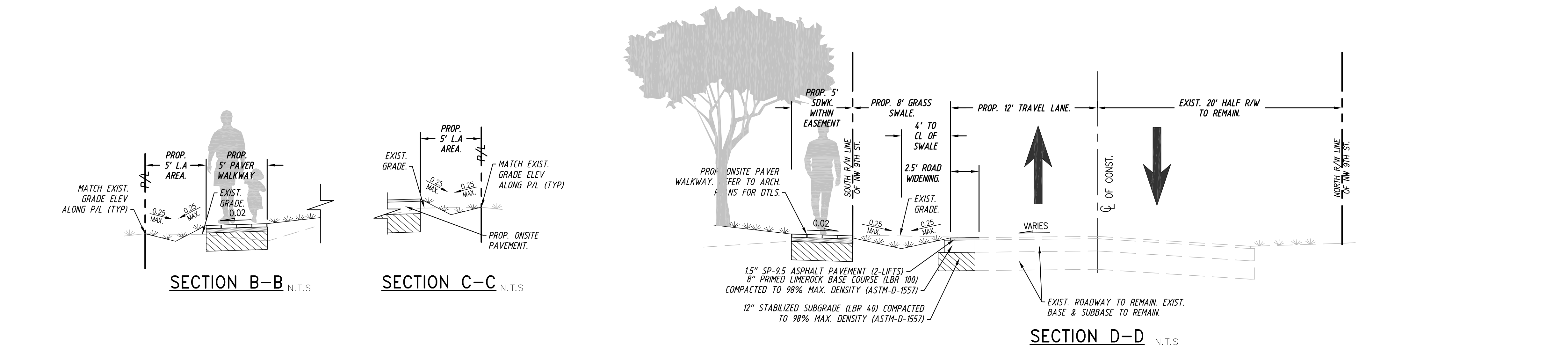
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Architect of Record:
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2/1/24

WALTER M. LUGO P.E.
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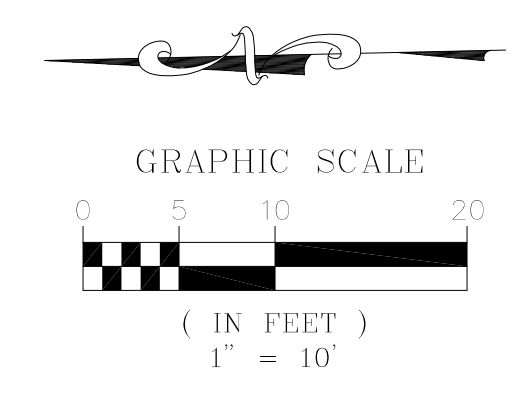
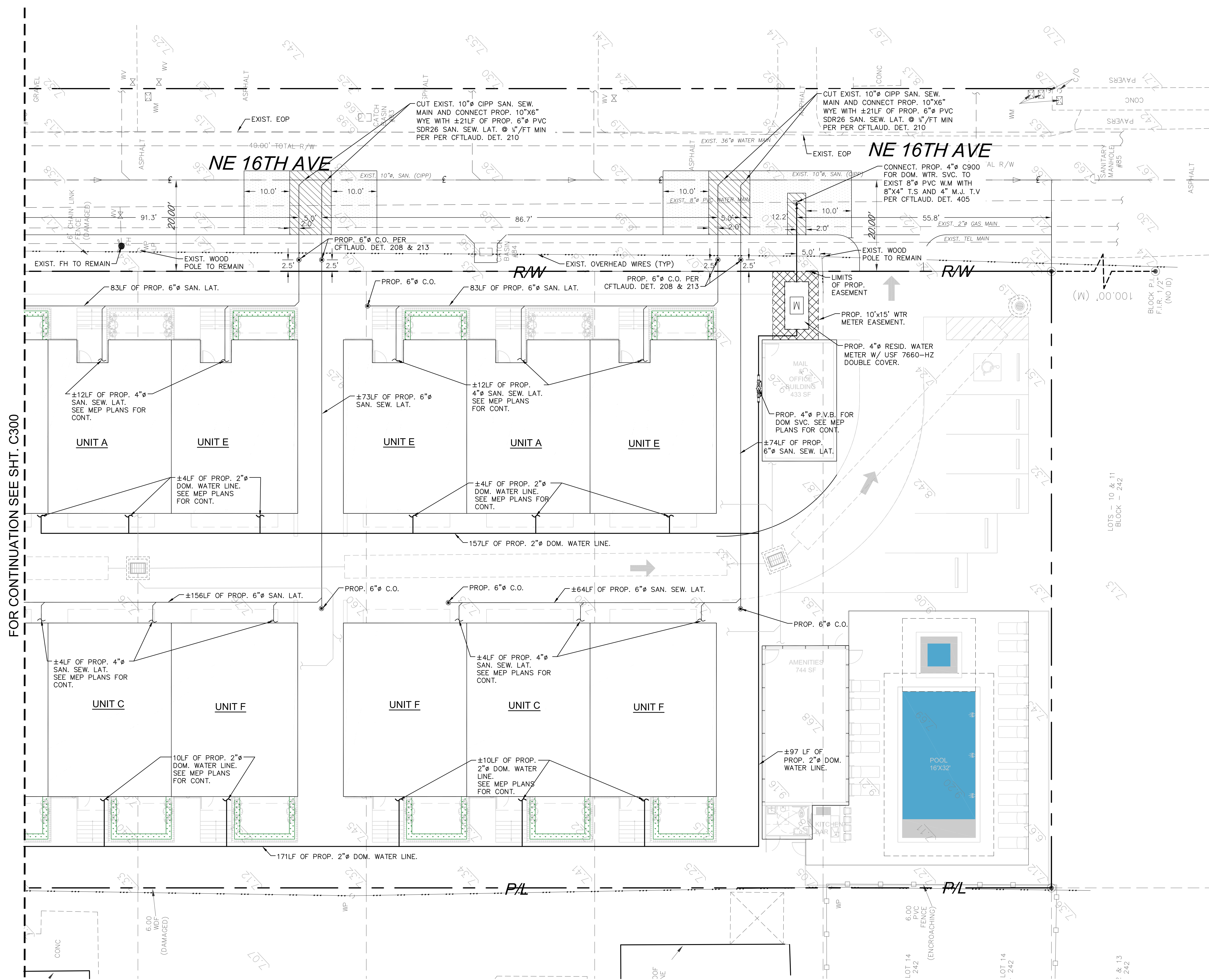


NOTE:
 1. THE PROPOSED OFFSITE ROADWAY IMPROVEMENTS SHALL FOLLOW THE DESIGN PARAMETERS SET FORTH IN THE CITY OF FT.LAUDERDALE PUBLIC WORKS DESIGN STANDARD P1.1 TYPICAL ROAD (40' RIGHT-OF-WAY) DETAIL.

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PAVING GRADING AND DRAINAGE PLAN

Date:	Sheet No.
Scale:	C201
Project: 2355	



- LEGEND:**
- R/W LINE / PROPERTY LINE
 - CENTER LINE
 - EXISTING CURBING
 - EXISTING ELEVATIONS (N.G.V.D.)
 - LIMITS OF PROP. UTILITY TRENCH RESTORATION (SEE DETAIL BELOW)
 - LIMITS OF PROP. MILLING AND RESURFACING (SEE DETAIL BELOW)

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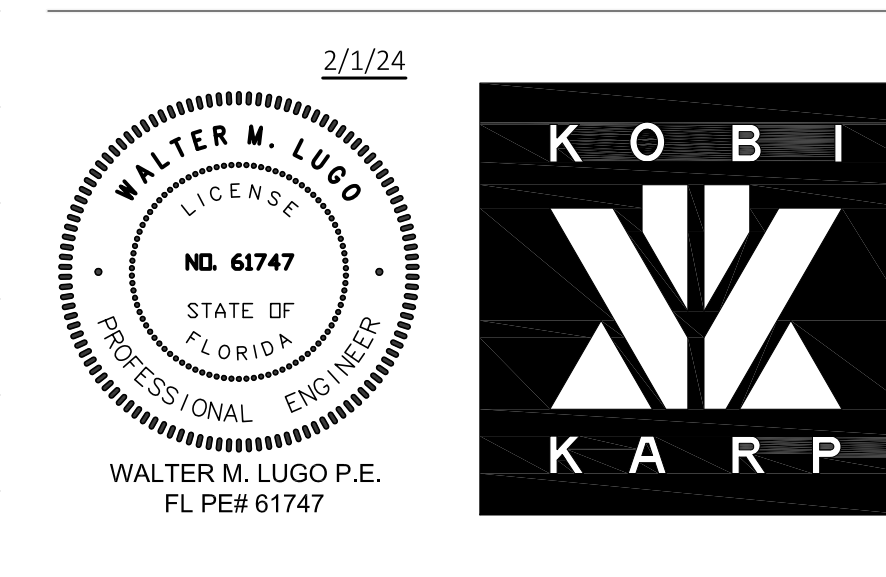
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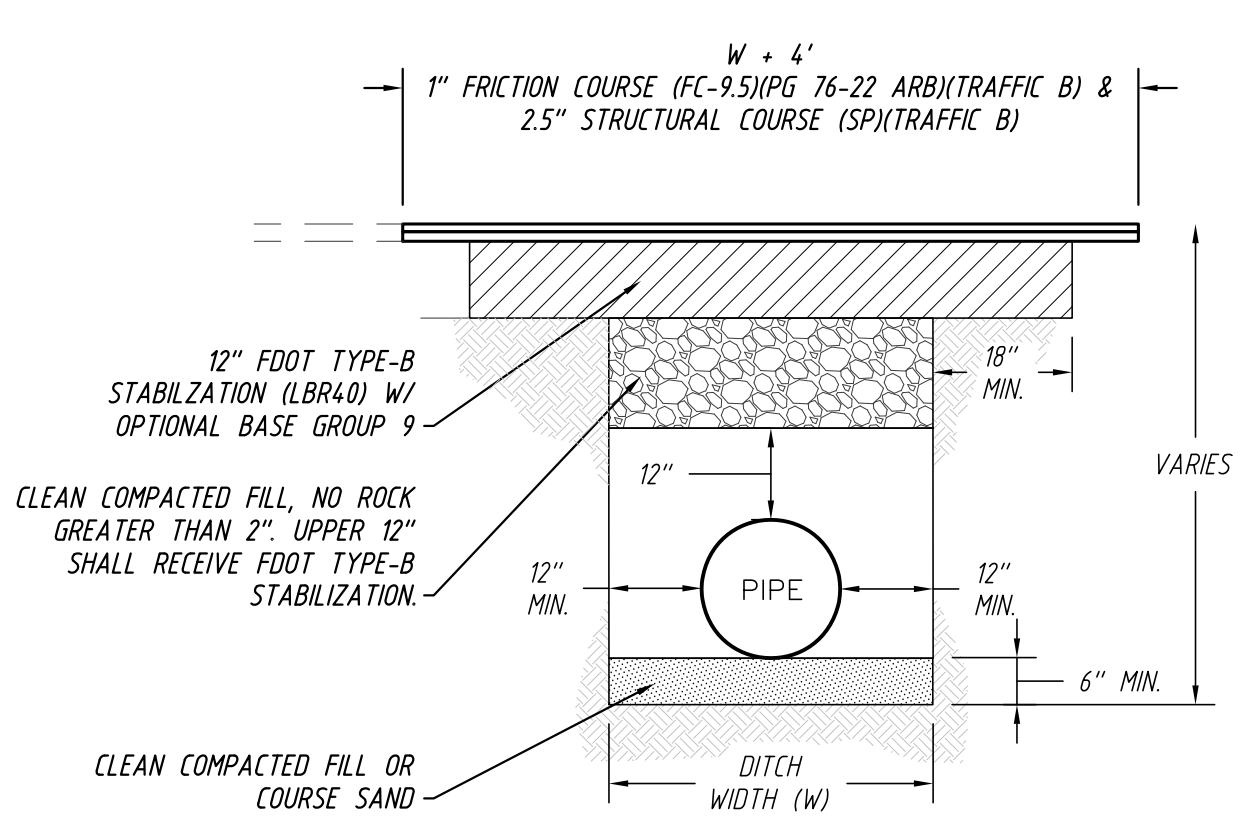
Architect of Record:
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WATER AND SEWER PLAN

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Project: 2355	

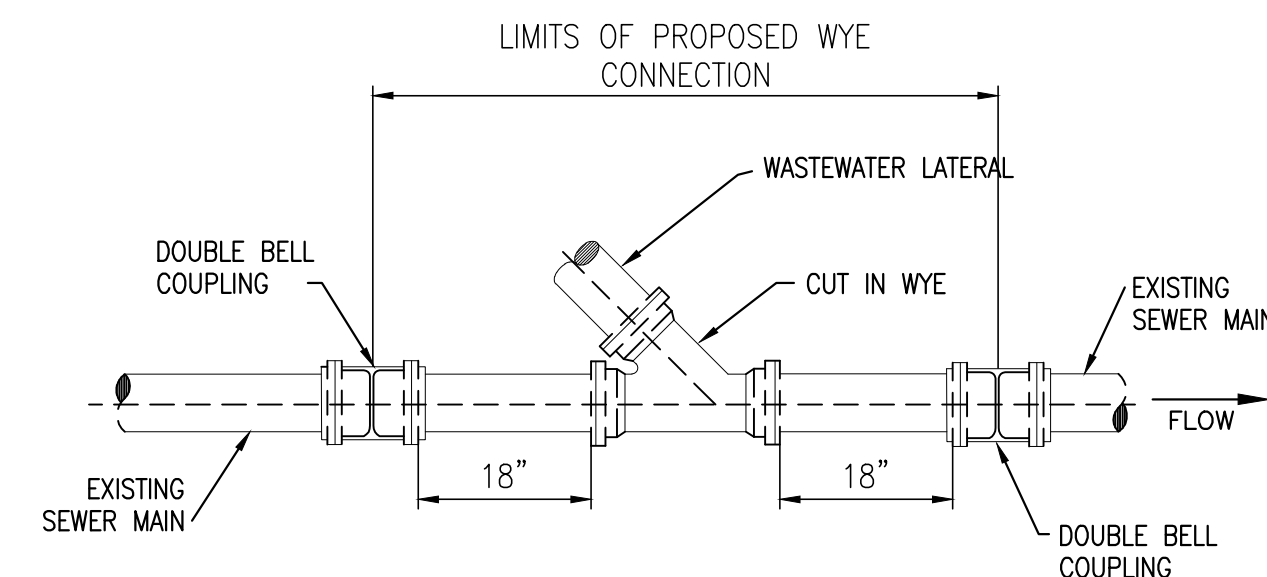
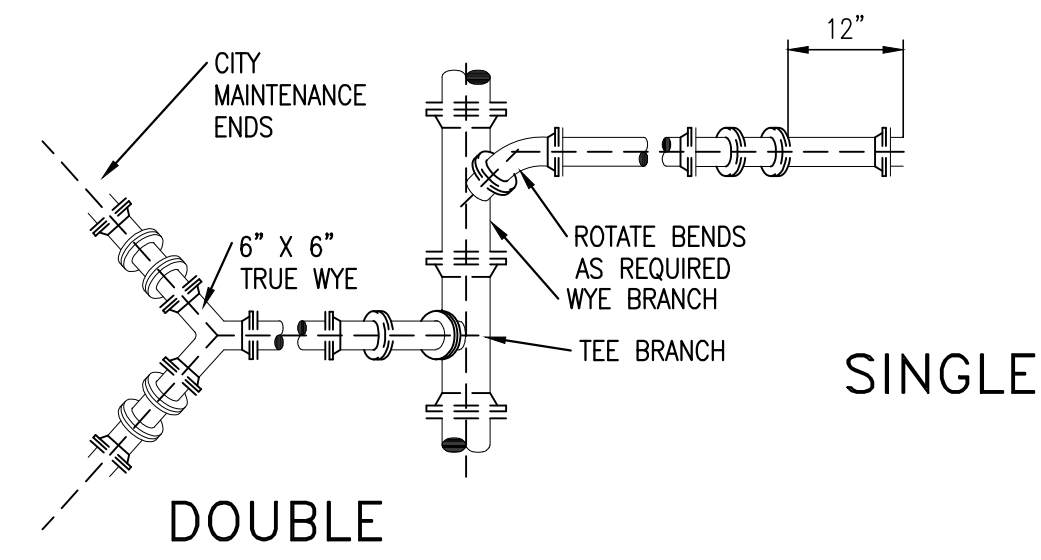
- NOTE:**
- ELEVATIONS SHOWN HEREIN WERE DETERMINED THROUGH INFORMATION SPECIFIED BY THE PROJECT'S SURVEYOR AND/OR READILY AS-BUILT INFORMATION PROVIDED BY THE UTILITY PROVIDERS. INSTANCES WHERE UTILITY AS-BUILT AND SITE SURVEY INFORMATION DIFFER, INFORMATION FROM THE SURVEY WILL SUPERSEDE.
 - PRIOR TO ANY UTILITY INSTALLATION, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES SHOWN HEREIN. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORDS SHOULD ANY OF THE EXISTING UTILITIES ARE NOT IN CONFORMANCE TO THE UTILITIES ILLUSTRATED ON THIS PLAN.
 - ALL WORK ALONG S. FEDERAL HWY./US 1/SR 5 INCLUDING BUT NOT LIMITED TO SIDEWALKS, PAVEMENT RESTORATION, RAMPS AND/OR CURB AND GUTTER WORK SHALL BE CONSTRUCTED IN ACCORDANCE TO F.D.O.T 2020-21 DESIGN STANDARDS INDEX NO. 300, 304, AND 310 AND F.D.O.T STANDARD SPECIFICATIONS 522.
 - ALL ROADWAY CONSTRUCTION ALONG THE GUTTERLINE OF ROADWAYS SHALL MAINTAIN THE EXISTING CURB & GUTTER ELEVATIONS UNLESS OTHERWISE NOTED WITHIN THE PROPOSED PLANS.
 - EXISTING AND PROPOSED DRAINAGE INLETS WITHIN F.D.O.T R/W SHALL BE PRESSURE CLEANED AND VACUUMED OF LOOSE AND DEPOSITED DEBRIS.
 - CONTRACTOR SHALL PLACE SEDIMENTATION BARRIERS AND FILTER FABRICS TO PROTECT ALL DRAINAGE INLETS FROM CONTAMINATION, DEBRIS INTRUSION, AND SILT ACCUMULATION DURING CONSTRUCTION PER F.D.O.T STORMWATER POLLUTION PREVENTION PLAN (SWPP) STANDARDS.
 - ANY PAVEMENT MARKINGS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED TO ITS ORIGINAL LOCATION AND CONDITION OR BETTER.



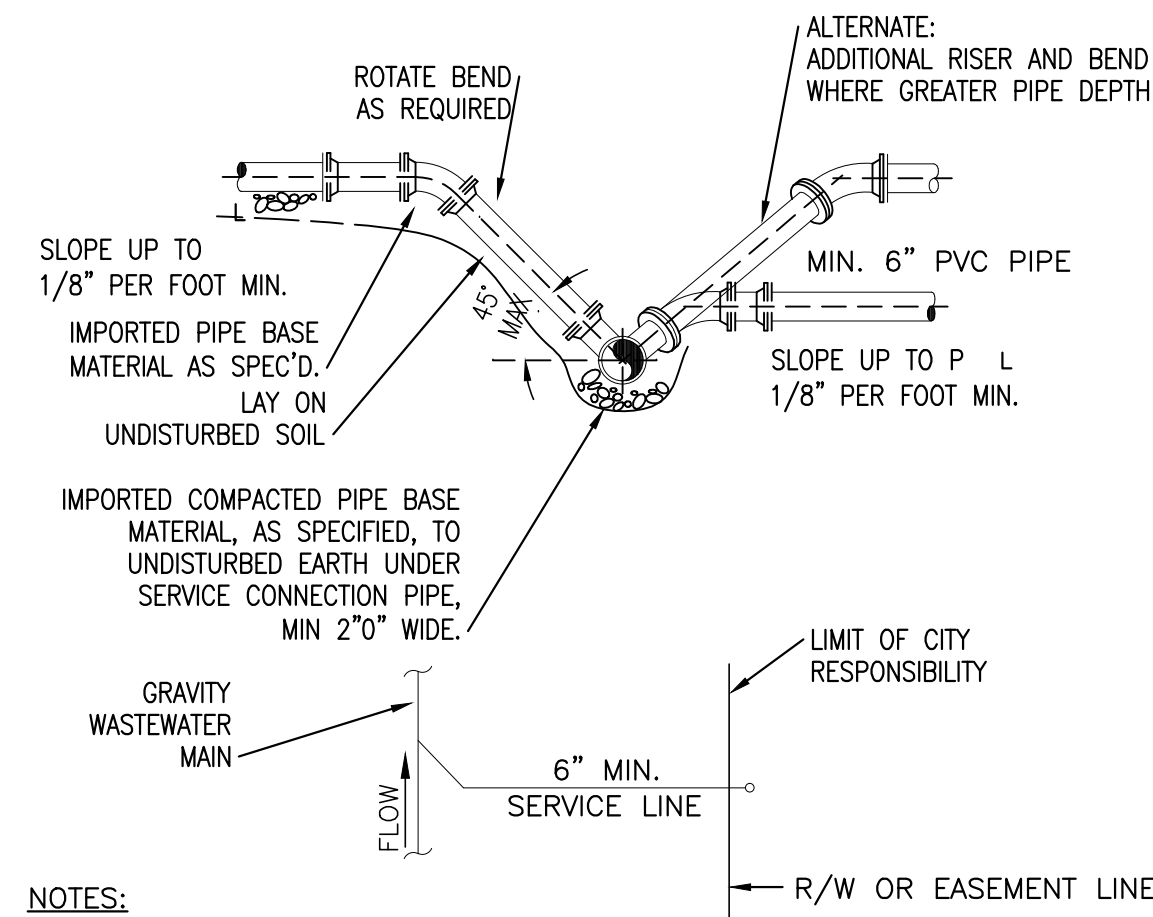
- NOTE:**
- EXISTING PAVEMENT SHALL BE SAW CUT ALONG A NEAT STRAIGHT LINE TO THE FARTHEST POINT OF BROKEN OR DISTURBED ASPHALT.
 - THE REPLACEMENT ASPHALT SHALL MATCH THE EXISTING STRUCTURAL AND FRICTION COURSES FOR TYPE AND THICKNESS IN ACCORDANCE WITH CURRENT FDOT ASPHALT MIX SPECIFICATIONS.
 - THE NEW BASE MATERIALS SHALL BE EITHER OF THE SAME TYPE AND COMPOSITION AS THE ARTERIALS REMOVED OR OF EQUAL OR GREATER STRUCTURAL ADEQUACY.
 - BACKFILL SHALL BE INSTALLED IN TWO STAGES. FIRST STAGE SHALL INSTALL COMPACTED FILL TO HAUNCHES OF PIPE. SECOND STAGE SHALL INSTALL COMPACTED FILL ALONG SIDES AND UPPER SECTIONS OF THE PIPE.
 - PAVEMENT RESTORATION SHALL BE RESTORED TO FULL LANE WIDTH.
 - PAVEMENT MARKINGS AND STRIPING SHALL BE REPLACED TO ORIGINAL CONDITION UNLESS OTHERWISE NOTED ON PROPOSED PLANS.
 - PAVEMENT RESTORATION SHALL FOLLOW THE RECOMMENDATIONS SET FORTH IN F.D.O.T STANDARD PLANS (F721-22) INDEX 125-001

UTILITY TRENCH RESTORATION DETAIL



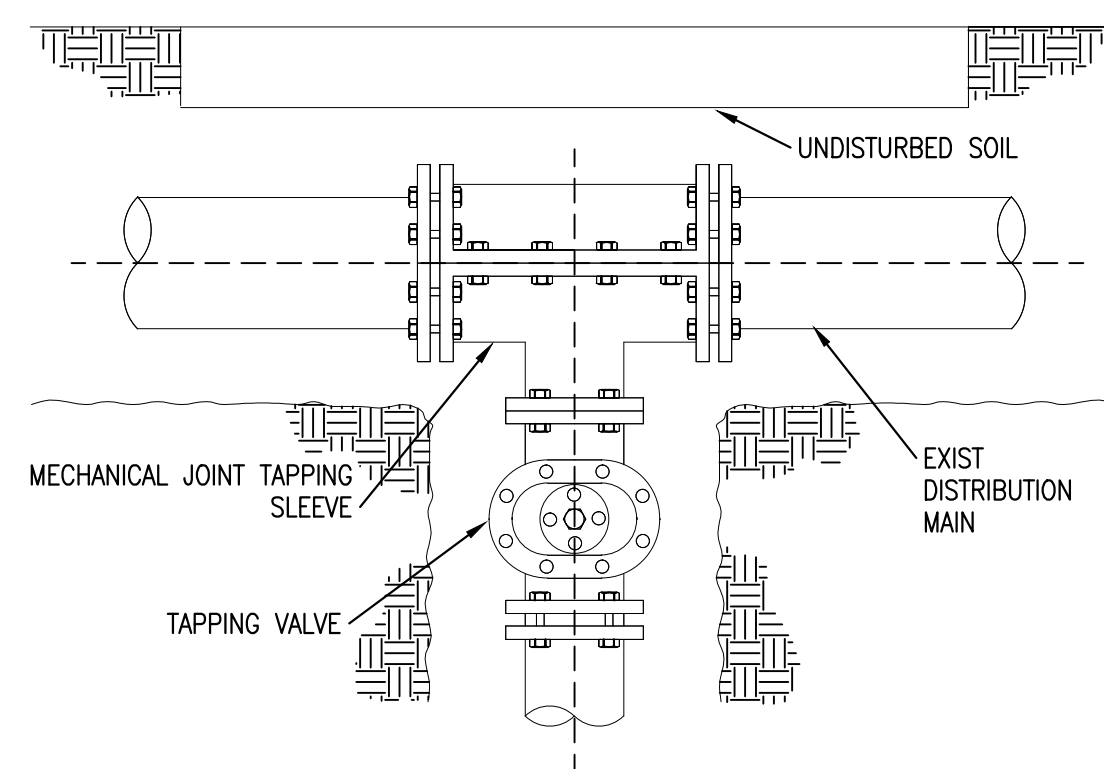


NEW LATERAL ON EXISTING GRAVITY WASTEWATER MAIN (210)

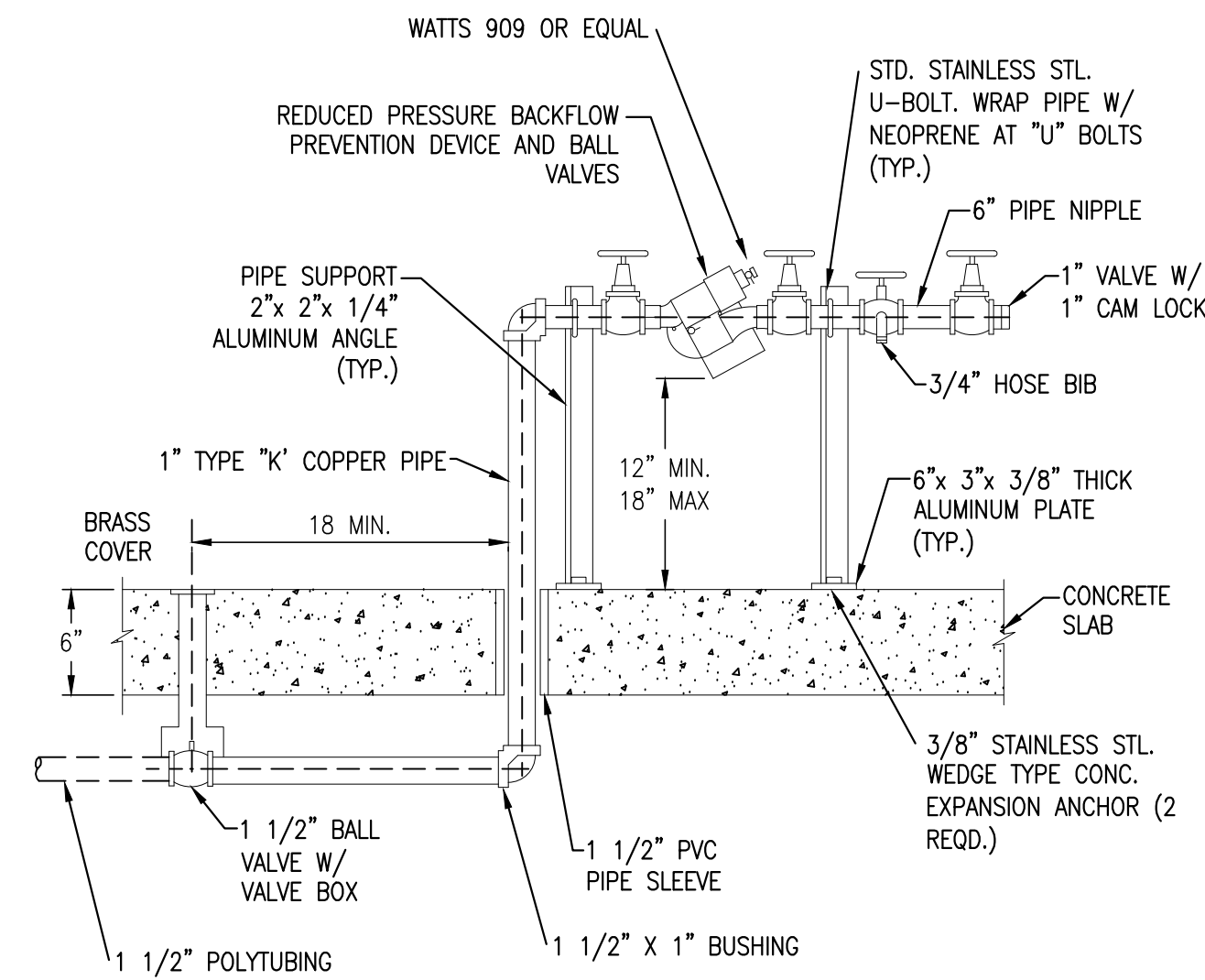


- NOTES:
1. WASTEWATER MAIN WYE BRANCH TO MATCH MAIN PIPE MATERIAL.
 2. NO 90° BENDS SHALL BE USED FOR WASTEWATER SERVICE AND CLEANOUT INSTALLATIONS.
 3. SERVICE LATERALS SHALL TERMINATE AT 12" INSIDE THE PROPERTY LINE AT A DEPTH OF 3 FEET EXCEPT WHERE A DEEPER INVERT IS REQUIRED BY EXISTING BUILDING CONDITIONS.

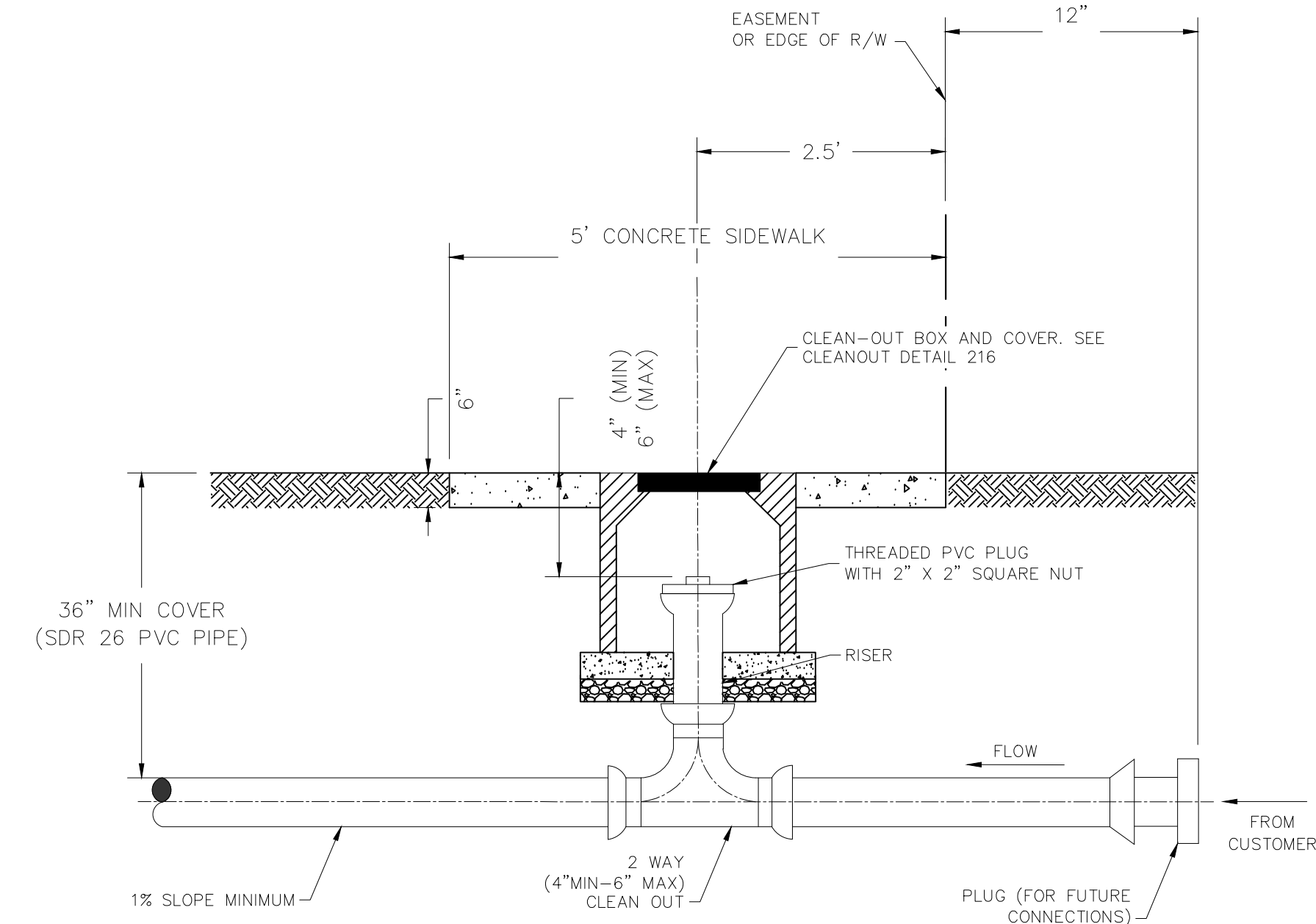
TYPICAL WASTEWATER SERVICE CONNECTION (208)



PLAN TAPPING TEE ASSEMBLY DETAIL (405)



REDUCED PRESSURE BACKFLOW PREVENTER WITH HOSE CONNECTION FOR LIFT STATION (307)



1. THE CLEAN OUT SHALL BE INSTALLED IN THE MIDDLE OF THE SIDEWALK. THIS DIMENSION WILL VARY DEPENDING UPON THE WIDTH OF THE SIDEWALK. 2.5' APPLIES TO 5' SIDEWALK WIDTH. IF SIDEWALKS DO NOT EXIST, THE CLEAN OUT SHALL BE INSTALLED 2.5' FROM THE RIGHT OF WAY LINE.
2. A NEW SECTION OF SIDEWALK SHALL BE POURED AROUND THE CLEAN-OUT BOX WHEN WORKING IN AN AREA WITH EXISTING SIDEWALKS. IF TRENCHLESS METHOD IS USED FOR CLEANOUT INSTALLATION, WHERE A PORTION OF THE CONCRETE SIDEWALK IS REMOVED BY CORE CUTTING, THE CIRCULAR CONCRETE CORE SURROUNDING THE CLEANOUT MAY BE RESTORED WITHOUT REPLACING THE ENTIRE SIDEWALK SLAB, AS LONG AS NO OTHER CRACKS AND/OR DEFECTS EXIST ON THE SLAB. IF CRACKS AND/OR DEFECTS EXIST ON THE SLAB, THE ENTIRE SLAB MUST BE REPLACED.
3. IN UNPAVED AREAS INSTALL 24-INCH-SQUARE OR 24-INCH-DIAMETER CONCRETE COLLAR (3,000 PSI AT 28 DAYS), FORMED UP TO AND AROUND THE CLEAN-OUT BOX AND HAVING A DEPTH OF 6-INCHES. THE COMPLETED CONCRETE COLLAR SHALL BE BROOM-FINISHED AND LEVEL WITH THE CLEAN-OUT BOX COVER AND FINISHED GRADE ELEVATION OF SURROUNDING GRASS, MULCH, GRAVEL, OR OTHER. SLOPE COLLAR FROM CENTER TO EDGE 1/4-INCH PER DETAIL S213A.
4. SEE DETAILS 213 THROUGH 216 FOR ADDITIONAL CLEANOUT DETAILS AND NOTES.

SANITARY SERVICE CONNECTION AT PROPERTY LINE OR EASEMENT LINE (PROFILE) (213)

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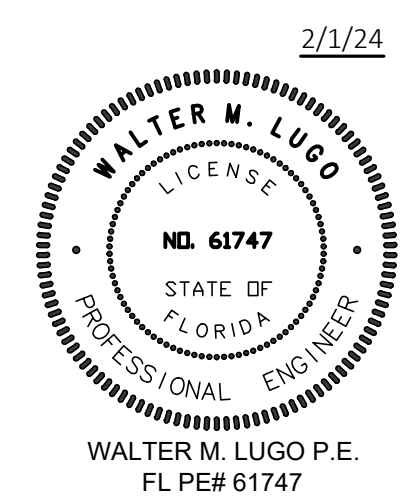
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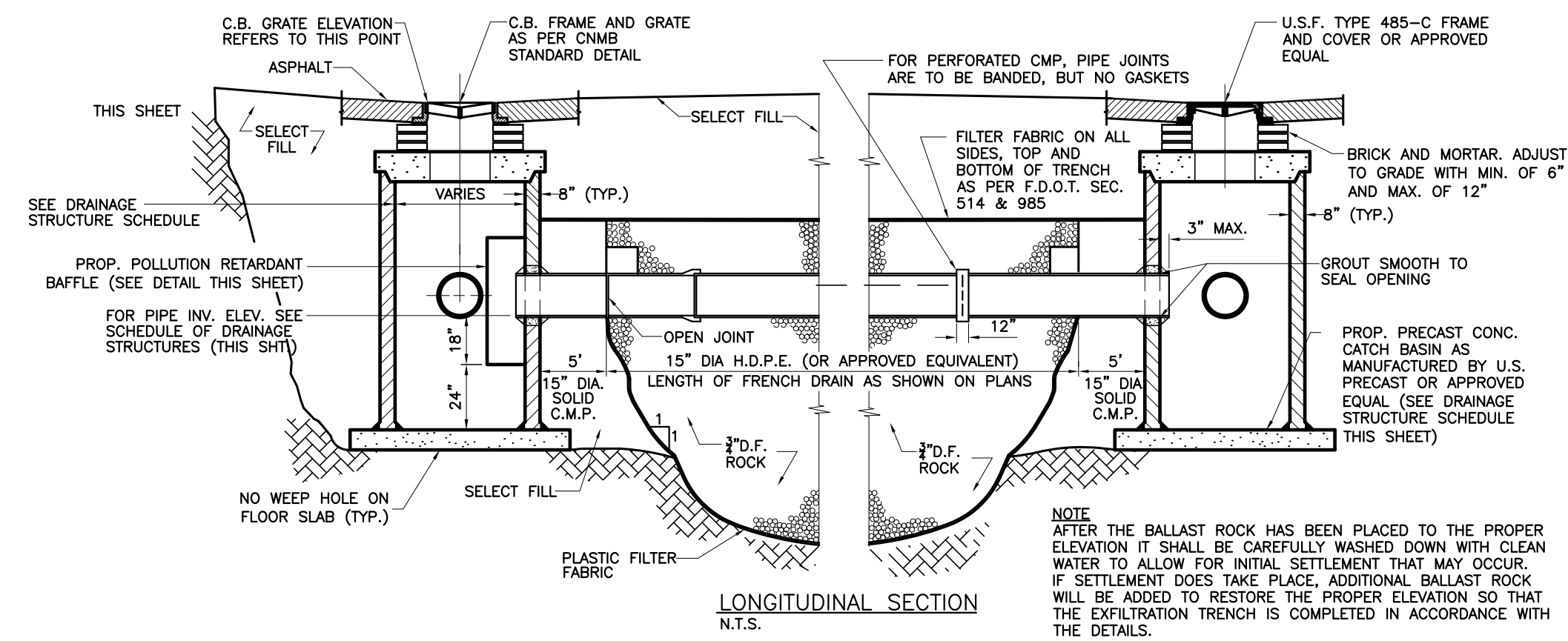
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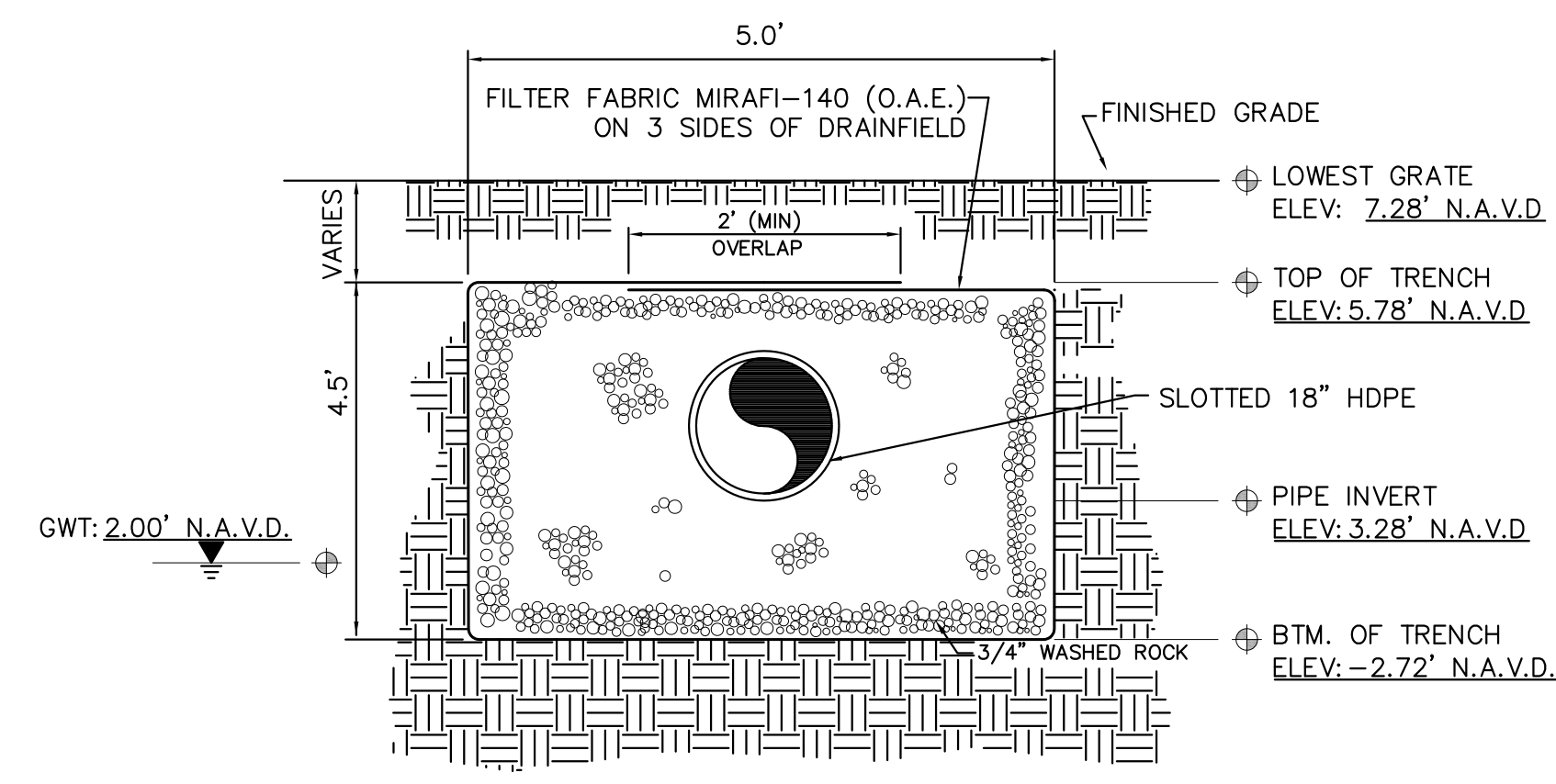
WATER AND SEWER DETAILS

Date:	Sheet No.
Scale:	C400
Project: 2355	

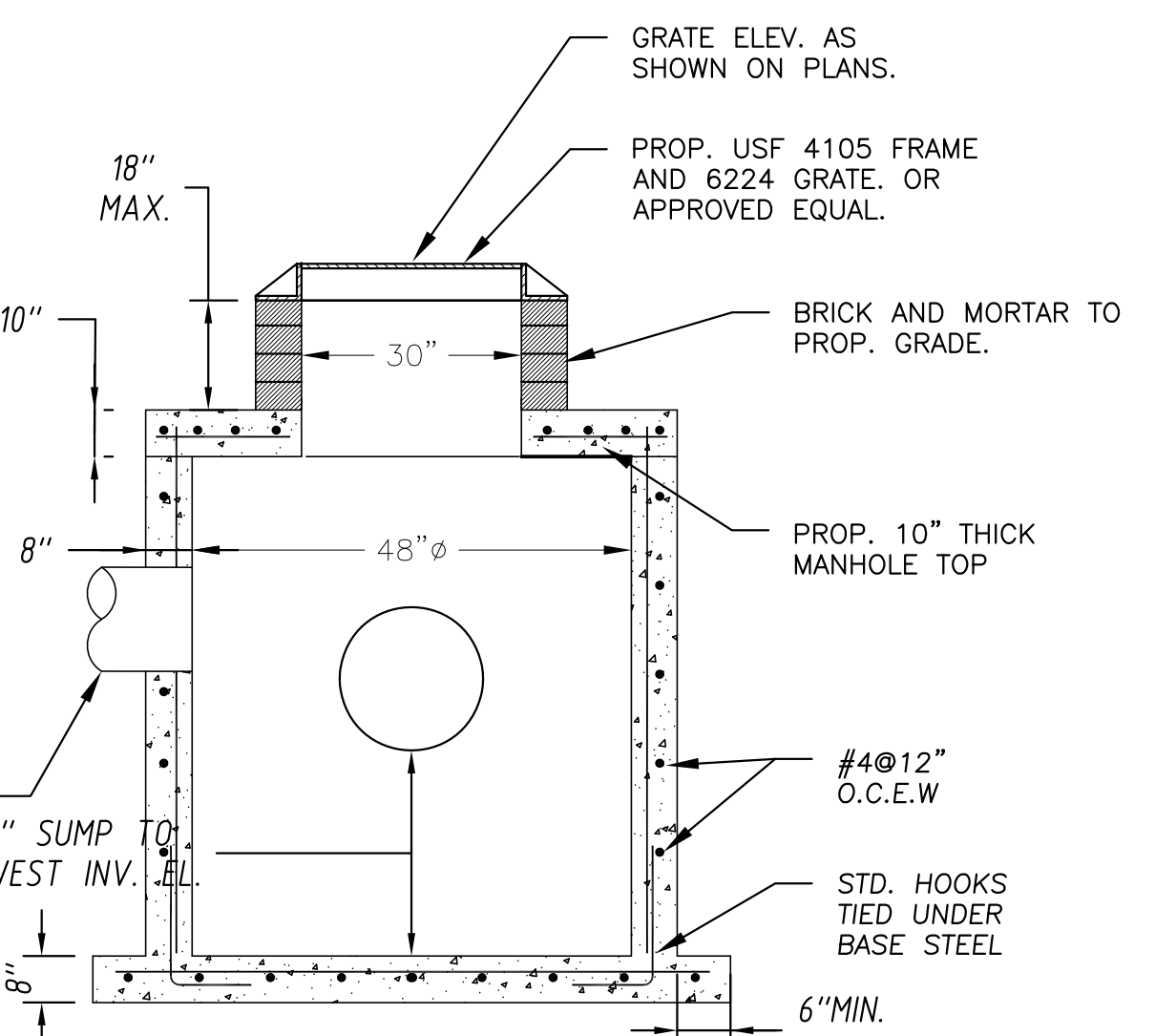
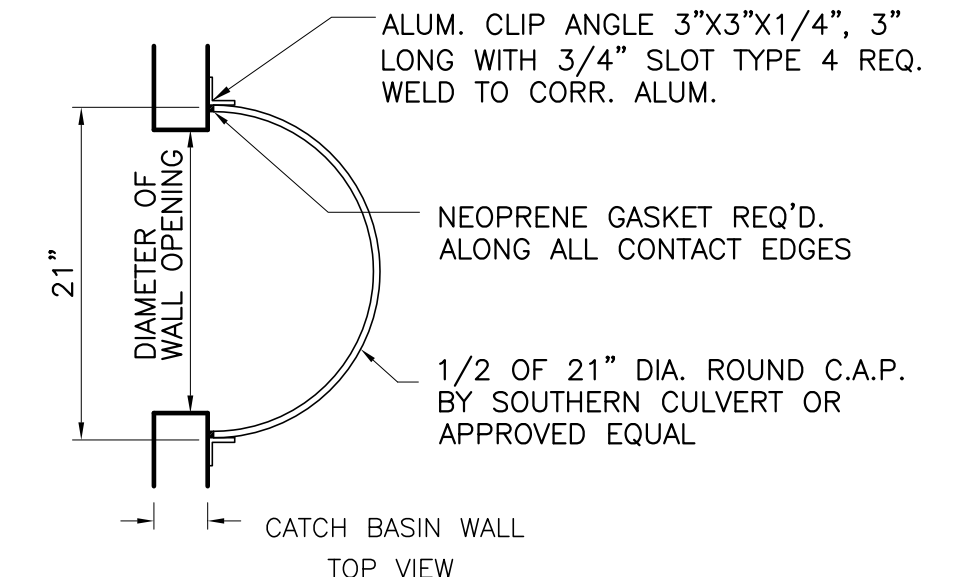




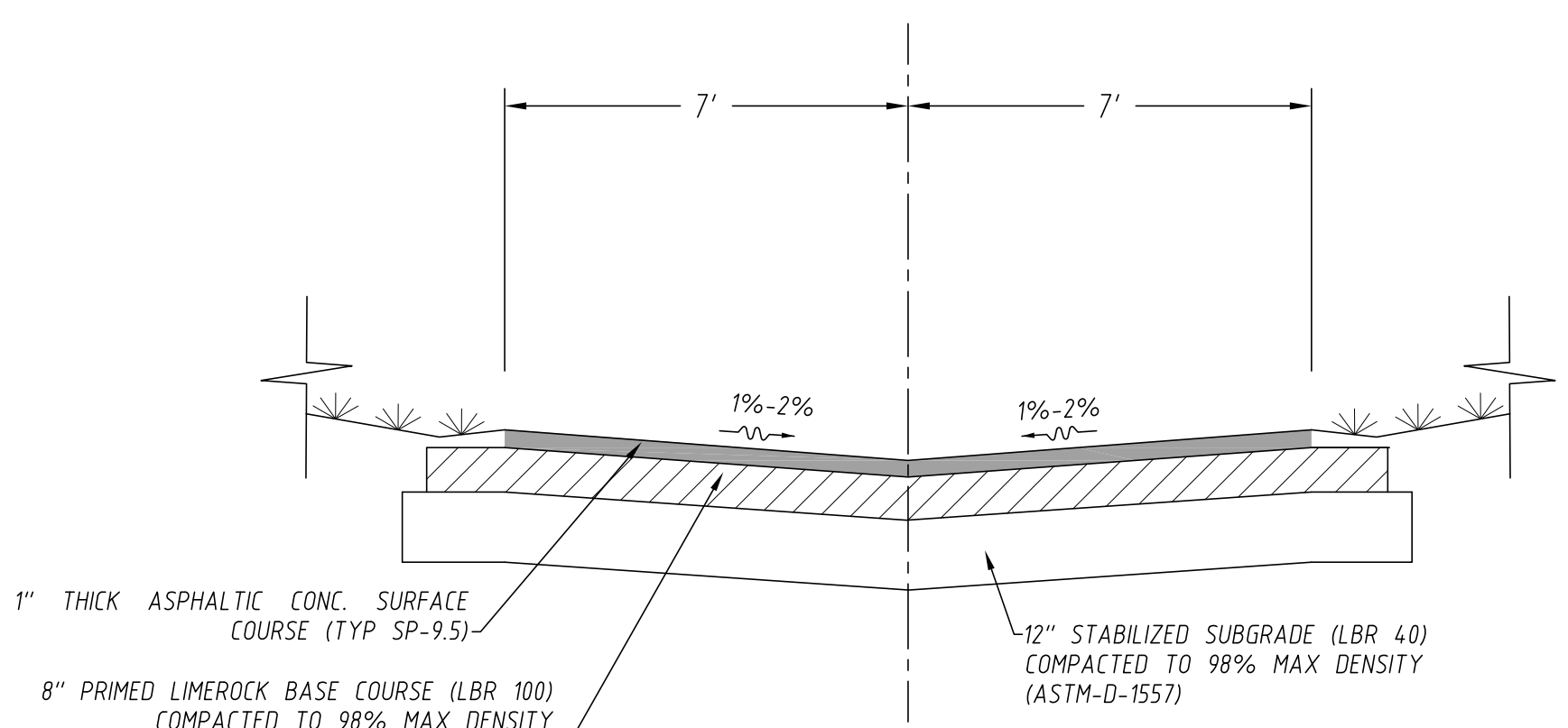
TYPICAL CATCH BASIN AND EXFILTRATION TRENCH DETAIL
N.T.S.



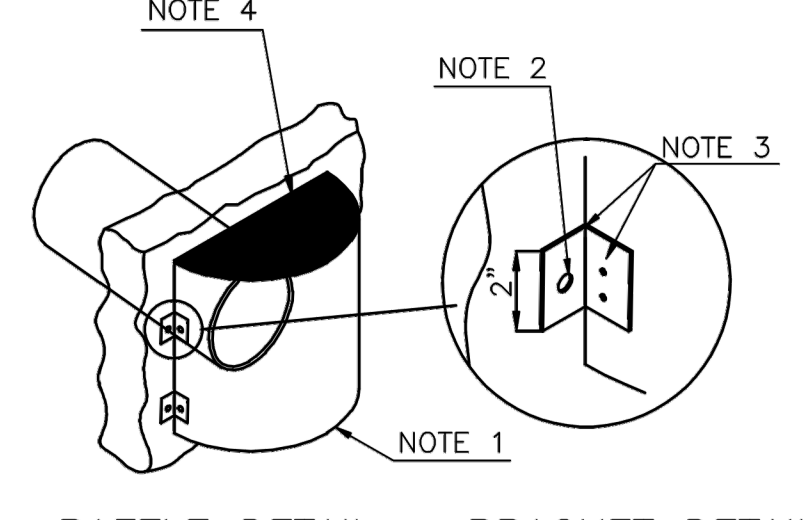
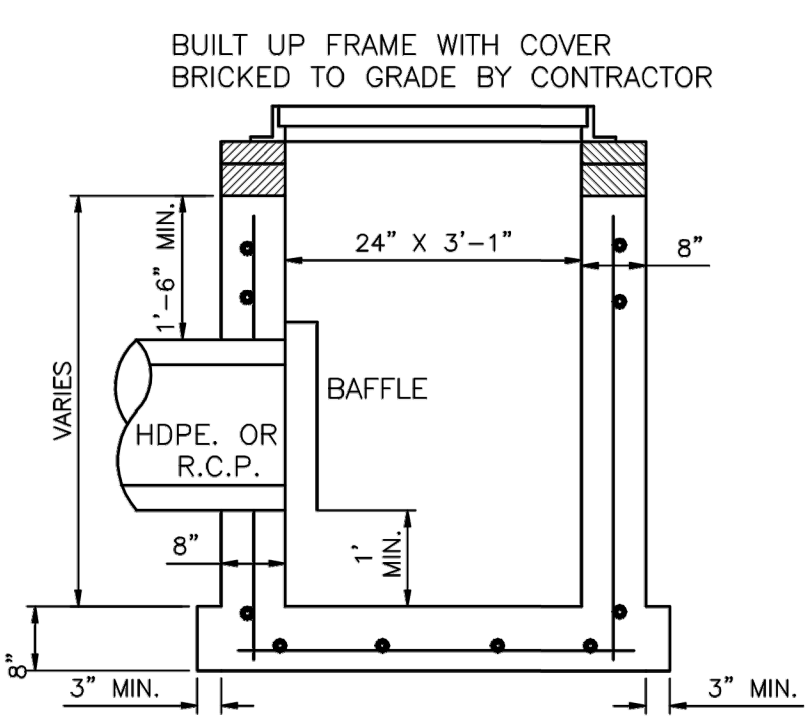
EXFILTRATION TRENCH FOR 15\"/>



PRECAST CONCRETE CATCH BASIN



SECTION 1-1 PRIVATE ROADWAY SECTION
N.T.S.



- BAFFLE DETAIL** **BRACKET DETAIL**
- NOTES**
 1) BAFFLE SHALL BE C.M.P. OR C.A.P. SECTION (OUTFALL DIAMETER PLUS 6").
 2) 1/2" GALV. WEDGE ANCHORS (ULT. PULLOU 6000, ULT. SHEAR 5900.)
 3) WELD OR 2-3/8" THRU BOLTS
 4) BOLTED TO WALL WITH TOP CAPPED. (WATER TIGHT)

- TYPE "C" CATCH BASIN (USP 3-3.0)**
- NOTES**
 1) MINIMAL CONC. STRENGTH FOR ALL CATCH BASINS AND MANHOLE STRUCTURES SHALL BE 4000 PSI.
 2) CONTRACTOR IS RESPONSIBLE FOR FINAL ELEVATION AND LOCATION ADJUSTMENTS OF CATCH BASINS, GRATES, MANHOLES DUE TO FIELD CONSTRAINTS.
 3) THE 12" WEEP HOLE SHALL NOT BE USED IF THE BOTTOM OF THE INLET OR MANHOLE IS BELOW THE NORMAL WATER TABLE, UNLESS OTHERWISE SHOWN ON PLANS.

POLLUTION RETARDANT BASIN & BAFFLE DETAIL
FOR NEW STORM SEWERS D621

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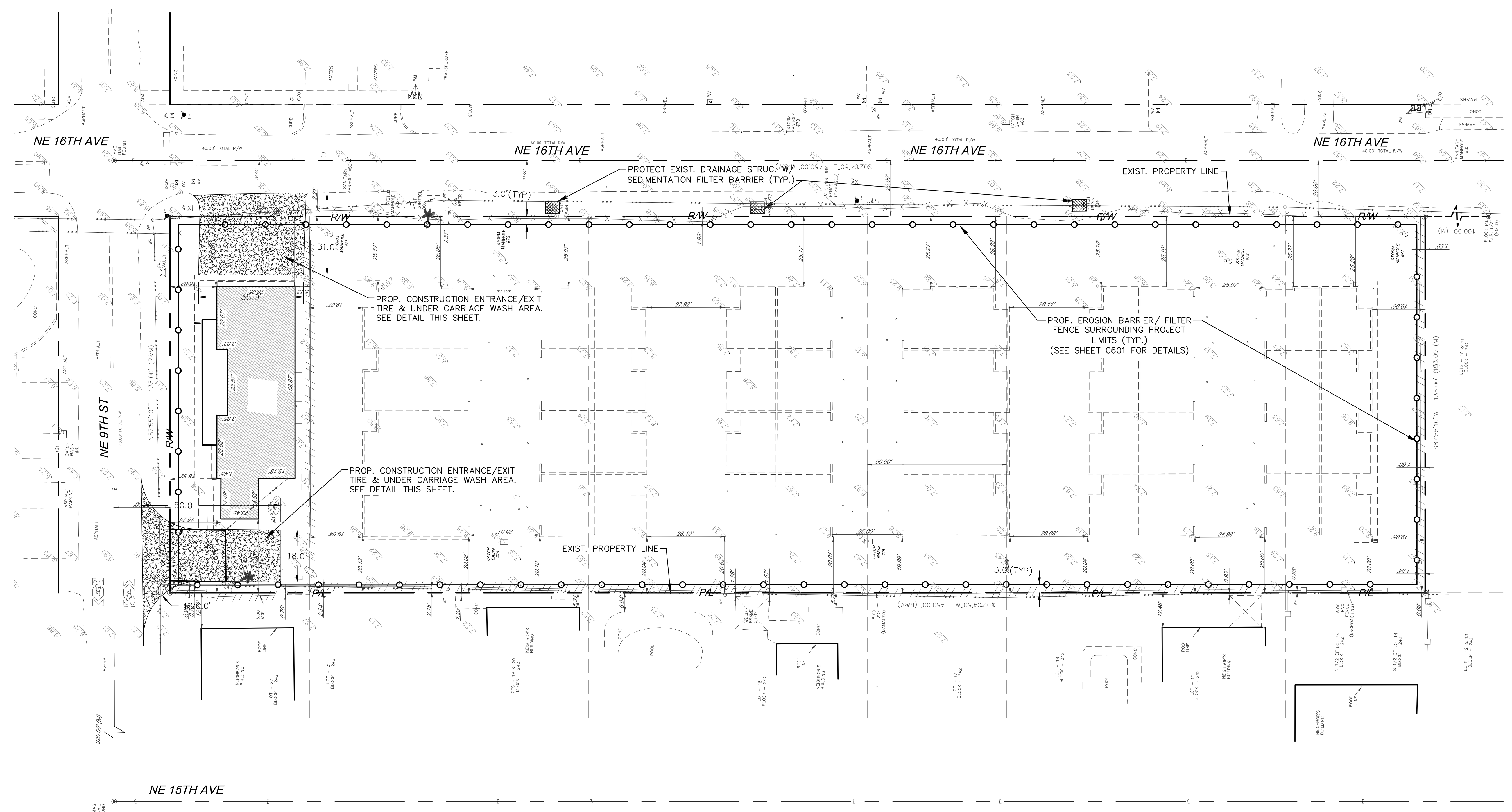
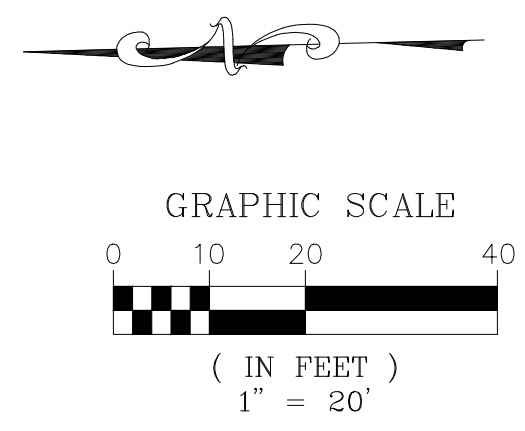
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DRAINAGE DETAILS

Date:	Sheet No.
Scale:	C500
Project: 2355	





- LEGEND:**
- R/W LINE / PROPERTY LINE
 - CENTER LINE
 - EXISTING CURBING
 - EXISTING ELEVATIONS (N.G.V.D)
 - PROP. EROSION BARRIER (SEE CIVIL SHT. C601 FOR DETAILS)

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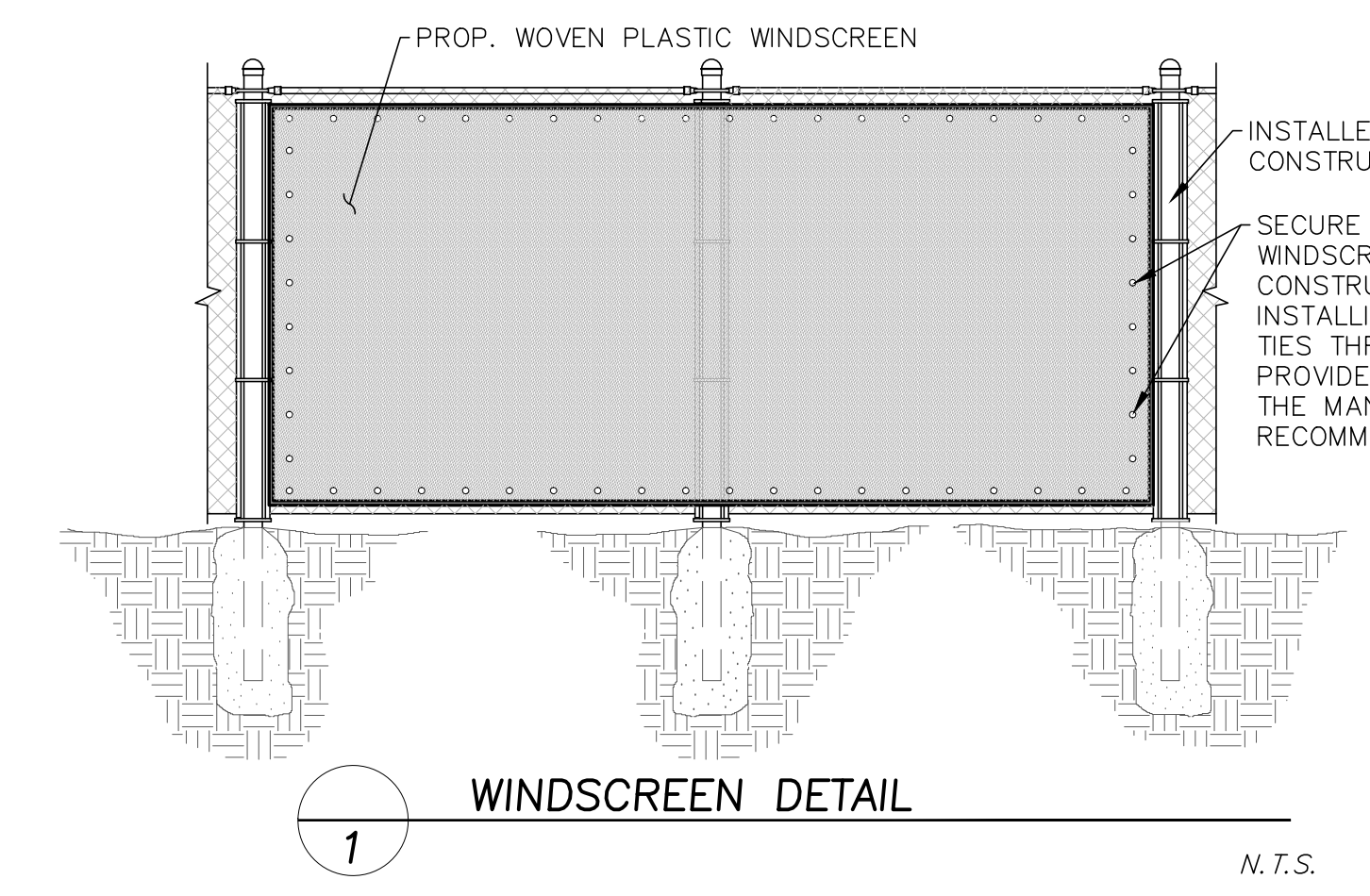
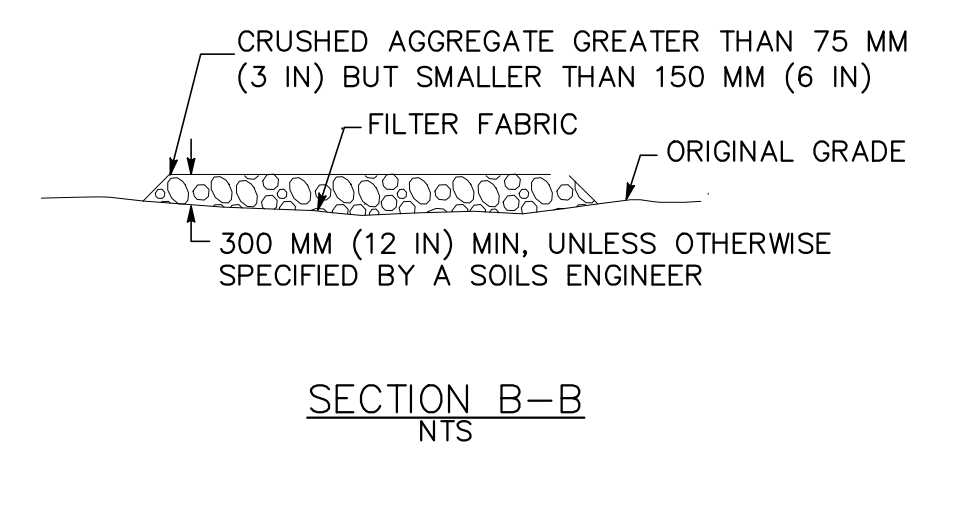
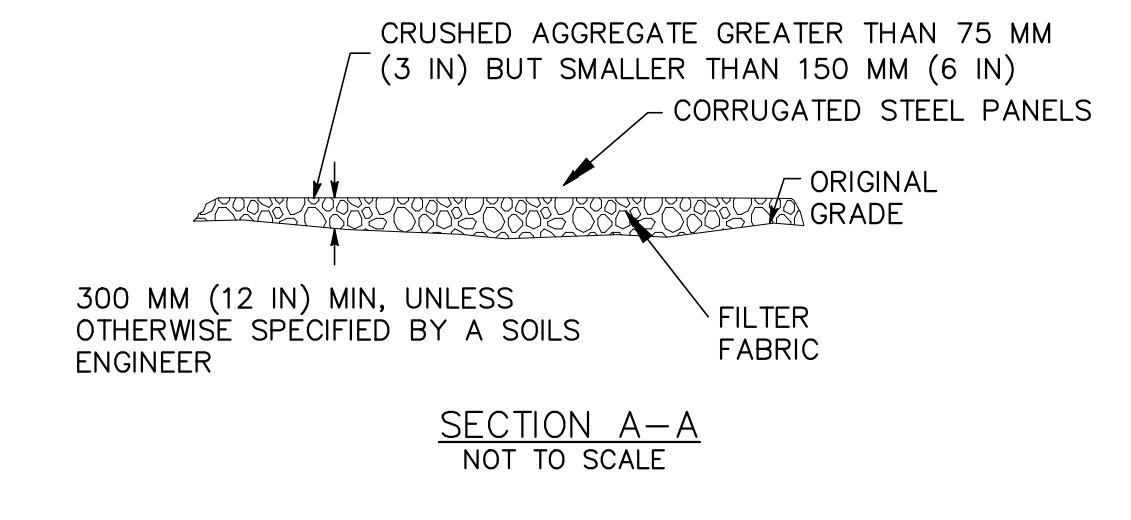
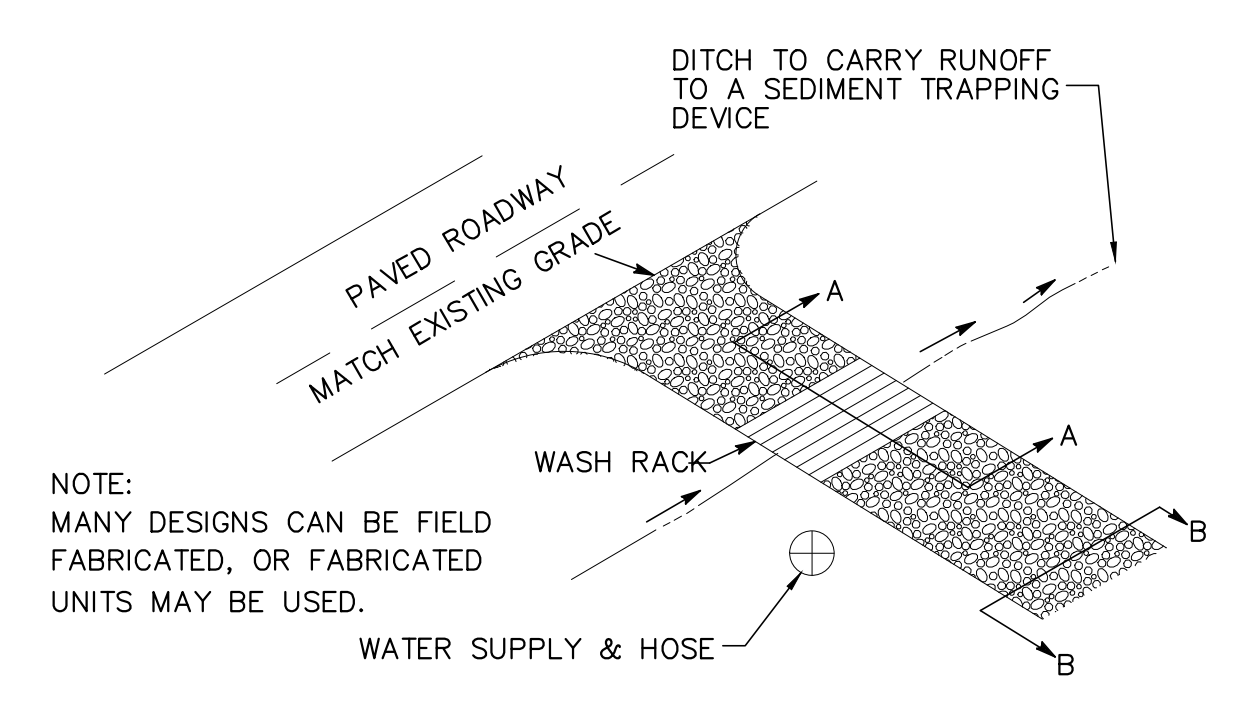
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 Fax: +1(305) 573 3766



- NOTES:**
- REGULAR MAINTENANCE SHALL BE EXECUTED IN ACCORDANCE TO THE MANUFACTURER'S RECOMMENDATIONS TO ENSURE THE WINDSCREEN DOES NOT TEAR OR DETACH FROM THE FENCE.

Sunshine
 Call 811 or visit sunshine11.com two full business days before digging to have buried facilities located and marked. Check weather response codes before you dig!

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 1800 W. 11th Street, Suite 200
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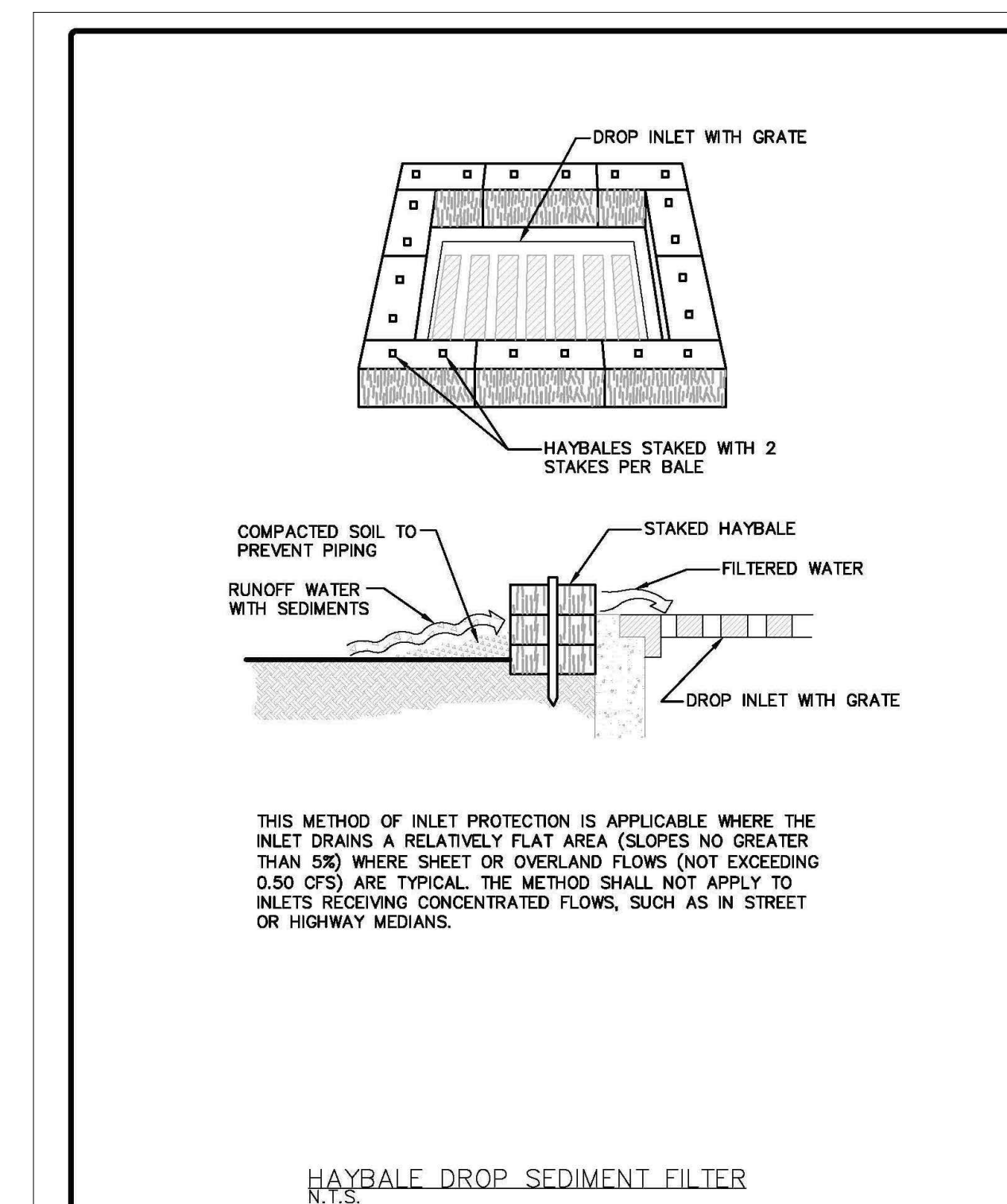
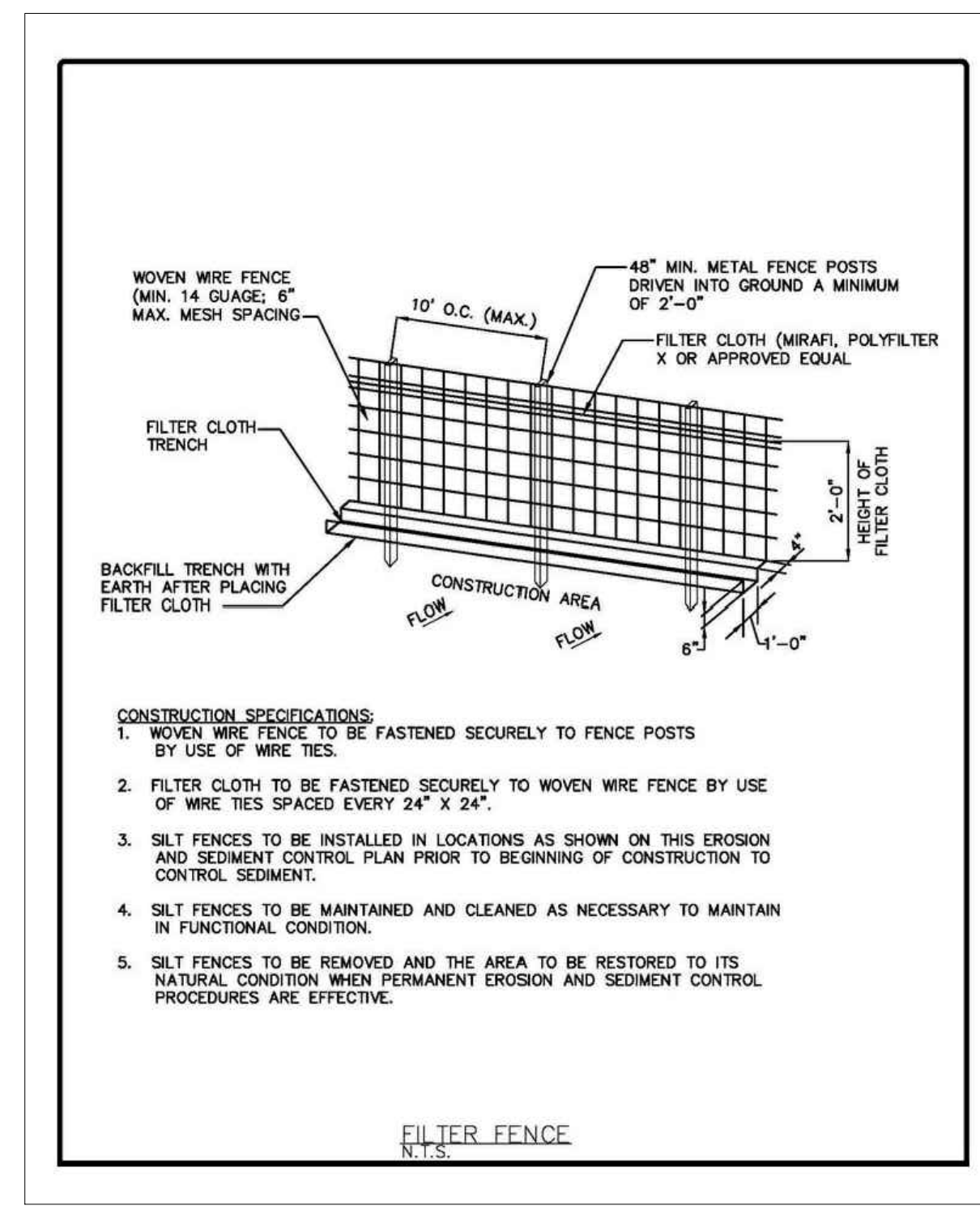
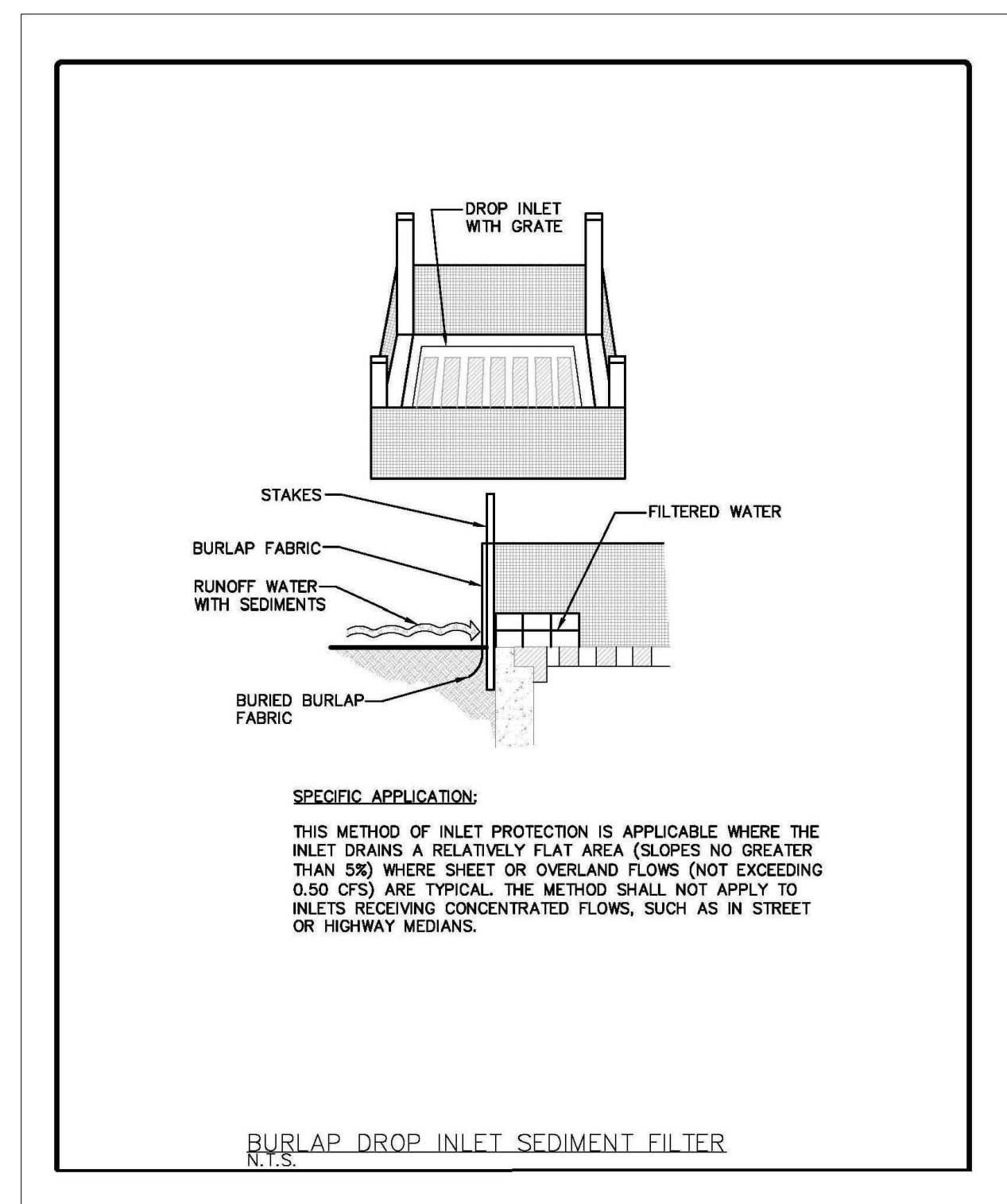
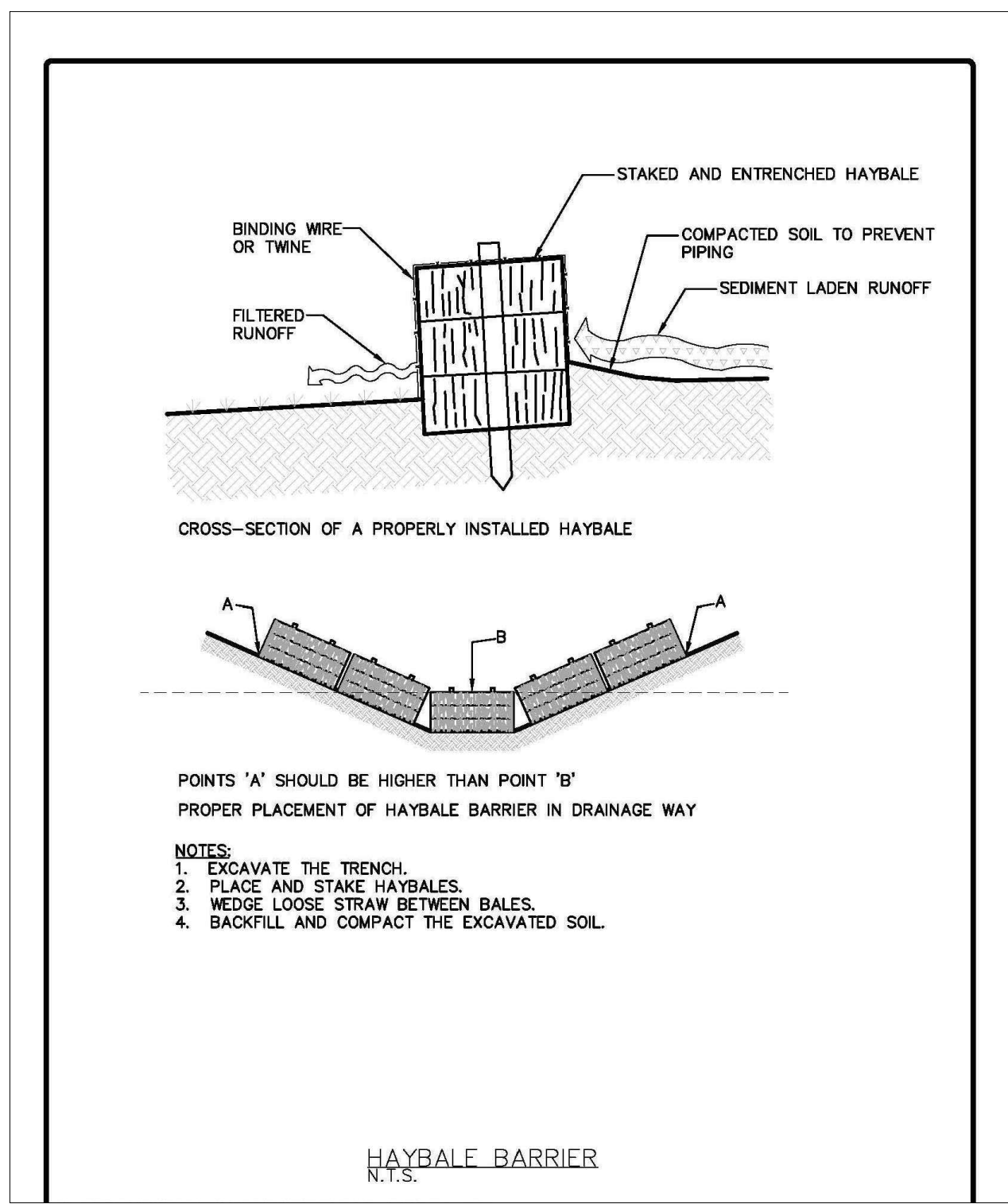
2/1/24

WALTER M. LUGO
 LICENSE
 NO. 61747
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 WALTER M. LUGO P.E.
 FL PER 61747

KOBİ KARP

SEDIMENTATION AND EROSION CONTROL PLAN

Date: _____ Sheet No. _____
 Scale: _____ C600
 Project: 2355



EROSION AND SEDIMENT CONTROL GENERAL NOTE
N.T.S.

THE FOLLOWING ARE BEST MANAGEMENT PRACTICES (BMP'S) DETAILS AND SPECIFICATIONS, IN ADDITION TO THE STANDARDS PER FOOT INDEX 100, 101, 102, 103, AND 104, AS WELL AS FOR FLORIDA'S EROSION AND SEDIMENT CONTROL MANUAL, AND ARE ONLY A SUGGESTED APPROACH DEVELOPED FOR USE BY THE OWNER/CONTRACTOR TO ASSIST THEM IN IMPLEMENTING APPROPRIATE POLLUTION PREVENTION TECHNIQUES TO COMPLY WITH FLORIDA NPDES STORM WATER CONSTRUCTION ACTIVITY, AS ESTABLISHED BY TSDP.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND IMPLEMENT THE BEST MANAGEMENT PRACTICE THAT ARE APPROPRIATE FOR THE PROJECT'S SITE SPECIFIC CONDITIONS DURING THE LIFE OF THE CONSTRUCTION ACTIVITIES.

EROSION AND SEDIMENT CONTROL GENERAL NOTE
N.T.S.

1. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REMOVED ON SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.

2. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.

3. ADDITIONAL PROTECTION - ON-SITE PROTECTION MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNDESIRABLE CONDITIONS OR ACCIDENTS.

4. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.

5. WIRE MESH SHALL BE LAID OVER THE TOP DROP INLET SO THAT THE WIRE EXTENDS A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2 INCH OPENING SHALL BE USED. IF MORE THAN ONE STRIP OF MESH IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED.

6. FOOT NO. 1 COARSE AGGREGATE SHALL BE PLACED OVER THE WIRE MESH AS INDICATED ON DETAIL. THE DEPTH OF STONE SHALL BE AT LEAST 12 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.

7. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.

8. BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED WITH THE BINDINGS ORIENTED AROUND THE SIDES RATHER THAN OVER AND UNDER THE BALES.

9. BALES SHALL BE PLACED LENGTHWISE IN SINGLE ROW SURROUNDING THE INLET, WITH THE ENDS OF ADJACENT BALES PRESSED TOGETHER.

10. THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED AROUND THE INLET AND WIDTH OF A BALE TO A MINIMUM DEPTH OF FOUR INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER.

11. EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE.

12. LOOSE STRAW SHOULD BE WEDGED BETWEEN BALES TO PREVENT WATER FROM ENTERING BETWEEN BALES.

EROSION AND SEDIMENT CONTROL NOTES
N.T.S.

13. HAYBALE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

14. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END MESH AND INTERRUPTING REPAIRS BALES.

15. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.

16. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

17. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE HAYBALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDS.

18. SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

19. SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

20. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.

21. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT BLOKE.

22. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS, SPECIFICATIONS AND APPLICABLE WATER MANAGEMENT DISTRICT PERMITS FOR THIS PROJECT.

23. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO THE FLORIDA DEVELOPMENT MANUAL - A GUIDE TO SOUND LAND AND WATER MANAGEMENT FROM THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL REGULATION (DERM), CHAPTER 6.

24. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.

EROSION AND SEDIMENT CONTROL NOTES
N.T.S.

25. ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.

26. SOIL SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.

27. ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF RESUSPENDED SOLIDS TO THE RECEIVING OUTFALL.

28. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE APPLICABLE WATER MANAGEMENT DISTRICT.

29. ALL DISTURBED AREAS TO BE STABILIZED THROUGH CONTRACTOR, SILT SCREENS, HAYBALES AND GRASSING. ALL FULL SLOPES 3:1 OR STEEPER TO RECEIVE STAKED SOILS.

30. ALL DEWATERING, EROSION, AND SEDIMENT CONTROL TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND BE REMOVED ONLY WHEN AREAS HAVE BEEN STABILIZED.

31. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.

32. ALL EXCAVATIONS AND EARTHWORK SHALL BE DONE IN A MANNER TO MINIMIZE WATER TURBIDITY AND POLLUTION. DISCHARGE SHALL BE CONTROLLED AND FILTERED THROUGH GRAY FILTERS, SILENT DRAINERS AND SCUMPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION, CORRECTION, CONTROL, AND ABATEMENT OF EROSION AND WATER POLLUTION IN ACCORDANCE WITH CHAPTER 62.303, FLORIDA ADMINISTRATIVE CODE.

33. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ANY SEDIMENT THAT LEAVES THE SITE AND CHANGES AND DOWNSTREAM CONDITIONS BY RAISING CHANNEL, BOTTOMS AND/OR CLOGGING OUTFALL CULVERTS.

34. THE CONTRACTOR SHALL PAY FOR ANY WATER QUALITY CONTROL VIOLATIONS FROM ANY AGENCY THAT RESULTS IN FINES BEING ASSESSED TO THE OWNER BECAUSE OF THE CONTRACTOR'S FAILURE TO ELIMINATE TURBID RUNOFF FROM LEAVING THE SITE AND RAISING BACKGROUND LEVELS ABOVE EXISTING BACKGROUND LEVEL.

35. A MINIMUM OF ONE OF THE EROSION CONTROL MEASURE OPTIONS SHOWN FOR ALL DROP INLETS WILL BE USED BY THE CONTRACTOR.

36. FLOATING TURBIDITY BARRIERS WILL BE PLACED AT ALL OUTFALL LOCATIONS. IF SLAGRAMS ARE PRESENT BARRIERS WILL NOT BE PLACED OVER THEM. THE FLOATING TURBIDITY BARRIERS SHALL BE INSTALLED IN A MANNER TO PREVENT MANATEE ENTANGLEMENT.

37. SILT FENCES OR HAYBALES WILL BE USED ALONG BOTH SIDES OF LIMITS OF CONSTRUCTION TO MINIMIZE OPPOSITE DIRECTION MIGRATION.

EROSION AND SEDIMENT CONTROL NOTES
N.T.S.

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SEDIMENTATION AND EROSION CONTROL NOTES

Date: _____ Sheet No. _____
Scale: _____ C601
Project: 2355



Project: 809 NE 16th Avenue
Property: 809 NE 16th Avenue
Author: Andrew J. Schein, Esq.

ULDR NARRATIVES

1. General Project Description

The Project consists of 24 townhouse units. Main entry to the townhouse units will be provided from NE 9th Street, and all parking will be interior to the development. The Project contains street trees along all street frontages, perimeter buffer trees along abutting property lines, and a 5' clear pedestrian path behind the townhouse units to serve as an access easement area for the unit owners.

2. Adequacy Requirements

Sec. 47-25.2. Adequacy requirements.

A. *Applicability.* The adequacy requirements set forth herein shall be used by the city to evaluate the demand created on public services and facilities created by a proposed development permit.

B. *Communications network.* Buildings and structures shall not interfere with the city's communication network. Developments shall be modified to accommodate the needs of the city's communication network, to eliminate any interference a development would create or otherwise accommodate the needs of the city's communication network within the development proposal.

Response: The Project is not expected to interfere with the City's communications network.

C. *Drainage facilities.* Adequacy of stormwater management facilities shall be evaluated based upon the adopted level of service requiring the retention of the first inch of runoff from the entire site or two and one-half (2 1/2) inches of runoff from the impervious surface whichever is greater.

Response: The Project will receive a stormwater management permit from Broward County prior to commencing construction of the Project.

D. *Environmentally sensitive lands.*

1. In addition to a finding of adequacy, a development shall be reviewed pursuant to applicable federal, state, regional and local environmental regulations. Specifically, an application for development shall be reviewed in accordance with the following Broward County Ordinances which address environmentally sensitive lands and well field protection which ordinances are incorporated herein by reference:

- a. Broward County Ordinance No. 89-6.
- b. Section 5-198(I), Chapter 5, Article IX of the Broward County Code of Ordinances.
- c. Broward County Ordinance No. 84-60.

2. The applicant must demonstrate that impacts of the proposed development to environmentally sensitive lands will be mitigated.

Response: N/A, the Project is not expected to impact any environmentally sensitive lands.

E. *Fire protection.* Fire protection service shall be adequate to protect people and property in the proposed development. Adequate water supply, fire hydrants, fire apparatus and facilities shall be provided in accordance with the Florida Building Code, South Florida Fire Code and other accepted applicable fire and safety standards.

Response: Acknowledged, the Project will comply with the Florida Building Code, South Florida Fire Code and other accepted applicable fire and safety standards.

F. *Parks and open space.* *New park impact fee ordinance adopted in June 2006.*

Response: Applicant will pay all required park impact fees prior to the issuance of the building permit.

G. *Police protection.* Police protection service shall be adequate to protect people and property in the proposed development. The development shall provide improvements which are consistent with Crime Prevention through Environmental Design (CPTED) to minimize the risk to public safety and assure adequate police protection.

Response: Applicant's design incorporates CPTED principles to minimize risk to public safety and assure adequate police protection.

H. *Potable water.*

1. Adequate potable water service shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements which may be needed for the installation and maintenance of potable water systems in accordance with city engineering standards, the Florida Building Code, and applicable health and environmental regulations. The existing water treatment facilities and systems shall have sufficient capacity to provide for the needs of the proposed development and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which potable water treatment capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the developer in accordance with Resolution 85-265, as it is amended from time to time. Improvements to the potable water service and system shall be made in accordance with city engineering standards and other accepted applicable engineering standards.

2. *Potable water facilities.*

- a. If the system is tied into the city treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from design capacity. If there is available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department.
- b. If there is adequate capacity available in the city treatment plant to serve the proposed development, the city shall reserve the necessary capacity to serve the development.
- c. Where the county is the projected service provider, a similar written assurance will be required.

Response: Applicant requested a water/wastewater capacity letter from the City's Public Works Department on March 6, 2024 and will provide the letter upon receipt.

I. *Sanitary sewer.*

1. If the system is tied into the city treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from the design capacity. If there is available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department.

2. If there is adequate capacity available in the city treatment plant to serve the proposed development, the city shall reserve the necessary capacity to serve the proposed development.
3. Where the county is the projected service provider, a written assurance will be required.
4. Where septic tanks will be utilized, the applicant shall secure and submit to the city a certificate from the Broward County Health Unit that certifies that the site is or can be made suitable for an on-site sewage disposal system for the proposed use.

Response: Applicant requested a water/wastewater capacity letter from the City's Public Works Department on March 7, 2024 and will provide the letter upon receipt.

J. *Schools.* For all residential plats, the applicant shall contribute to school facilities in accordance with the Broward County Land Development Code and shall provide documentation to the city that such contribution has been satisfied.

Response: Applicant will pay all required school concurrency fees prior to the issuance of a building permit.

K. *Solid waste.*

1. Adequate solid waste collection facilities and service shall be obtained by the applicant in connection with the proposed development and evidence shall be provided to the city demonstrating that all solid waste will be disposed of in a manner that complies with all governmental requirements.
2. *Solid waste facilities.* Where the city provides solid waste collection service and adequate service can be provided, an adequacy finding shall be issued. Where there is another service provider, a written assurance will be required. The impacts of the proposed development will be determined based on Table 4, Solid Waste, on file with the department.

Response: Acknowledged.

L. *Stormwater.* Adequate stormwater facilities and systems shall be provided so that the removal of stormwater will not adversely affect adjacent streets and properties or the public stormwater facilities and systems in accordance with the Florida Building Code, city engineering standards and other accepted applicable engineering standards.

Response: Stormwater will be retained on site in accordance with the Broward County Department of Environmental Regulations criteria.

M. *Transportation facilities.*

1. The capacity for transportation facilities shall be evaluated based on Table 1, Generalized Daily Level of Service Maximum Volumes, on file with the department. If a development is within a compact deferral area, the available traffic capacity shall be determined in accordance with Table 2, Flowchart, on file with the department.
2. *Regional transportation network.* The regional transportation network shall have the adequate capacity, and safe and efficient traffic circulation to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the adopted traffic elements of the city and the county comprehensive plans, and accepted applicable traffic engineering standards. Site-specific traffic studies may be required to be made and paid for by the applicant when the city determines such a study is needed in order to evaluate the impacts of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit such a study to the city which will be considered by the DRC in its review. Roadway improvements needed to upgrade the regional transportation network shall be made in accordance with the city, the county, and Florida Department of Transportation traffic engineering standards and plans as applicable.

3. *Local streets.* Local streets shall have adequate capacity, safe and efficient traffic circulation, and appropriate functional classification to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the city's comprehensive plan and accepted applicable traffic engineering standards. Site-specific traffic studies may be required to be made and paid for by the applicant when the city determines such a study is required in order to evaluate the impact of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit to the city such a study to be considered as part of the DRC review. Street improvements needed to upgrade the capacity or comply with the functional classification of local streets shall be made in accordance with the city engineering standards and acceptable applicable traffic engineering standards. Local streets are those streets that are not classified as federal, state or county roadways on the functional classification map adopted by the State of Florida.

4. *Traffic impact studies.*

a. When the proposed development may generate over one thousand (1,000) daily trips; or

b. When the daily trip generation is less than one thousand (1,000) trips; and (1) when more than twenty percent (20%) of the total daily trips are anticipated to arrive or depart, or both, within one-half (1/2) hour; or (2) when the proposed use creates varying trip generation each day, but has the potential to place more than twenty percent (20%) of its maximum twenty-four (24) hour trip generation onto the adjacent transportation system within a one-half (1/2) hour period; the applicant shall submit to the city a traffic impact analysis prepared by the county or a registered Florida engineer experienced in traffic ways impact analysis which shall:

i. Provide an estimate of the number of average and peak hour trips per day generated and directions or routes of travel for all trips with an external end.

ii. Estimate how traffic from the proposed development will change traffic volumes, levels of service, and circulation on the existing and programmed traffic ways.

iii. If traffic generated by the proposed development requires any modification of existing or programmed components of the regional or local traffic ways, define what city, county or state agencies have programmed the necessary construction and how this programming relates to the proposed development.

iv. A further detailed analysis and any other information that the review committee considers relevant.

v. The traffic impact study may be reviewed by an independent licensed professional engineer contracted by the city to determine whether it adequately addresses the impact and the study supports its conclusions. The cost of review by city's consultant shall be reimbursed to the city by the applicant.

vi. When this subsection M.4.b. applies, the traffic study shall include an analysis of how the peak loading will affect the transportation system including, if necessary, an operational plan showing how the peak trips will be controlled and managed.

Response: The traffic statement is included in this submission.

5. *Dedication of rights-of-way.* Property shall be conveyed to the public by plat, deed or grant of easement as needed in accordance with the Broward County Trafficways Plan, the city's comprehensive plan, subdivision regulations and accepted applicable traffic engineering standards.

Response: To the extent any additional right-of-way is needed, Owner will dedicate the same by easement.

6. *Pedestrian facilities.* Sidewalks, pedestrian crossing and other pedestrian facilities shall be provided to encourage safe and adequate pedestrian movement on-site and along roadways to adjacent properties. Transit service facilities shall be provided for as required by the city and Broward County Transit. Pedestrian facilities shall be designed and installed in accordance with city engineering standards and accepted applicable engineering standards.

Response: The Project includes sidewalks along all street frontages.

7. **Primary arterial street frontage.** Where a proposed development abuts a primary arterial street either existing or proposed in the trafficways plan, the development review committee (DRC) may require marginal access street, reverse frontage with screen planting contained in a nonaccess reservation along the rear property line, deep lots with or without rear service alleys, or such other treatment as may be necessary for adequate protection of residential properties and to assure separation of through and level traffic.

Response: N/A

8. **Other roadway improvements.** Roadways adjustments, traffic control devices, mechanisms, and access restrictions may be required to control traffic flow or divert traffic, as needed to reduce or eliminate development generated traffic.

Response: Acknowledged.

9. **Street trees.** In order to provide for adequate landscaping along streets within the city, street trees shall be required along the length of the property abutting a street. A minimum of fifty percent (50%) of the required street trees shall be shade trees, and the remaining street trees may be provided as flowering or palm trees. These percentages may be varied based on existing or proposed physical conditions which may prevent the ability to comply with the street tree requirements of this subsection. The street trees shall be planted at a minimum height and size in accordance with the requirements of Section 47-21, Landscape and Tree Preservation Requirements, except in the downtown RAC districts the requirements of Sec. 47-13.20.H.8 shall apply. The location and number of street trees shall be determined by the department based on the height, bulk, mass and design of the structures on the site and the proposed development's compatibility to surrounding properties. The requirements for street trees, as provided herein, may be located within the public right-of-way as approved by the entity with jurisdiction over the abutting right-of-way.

Response: Street trees are provided along all street frontages.

N. Wastewater.

1. **Wastewater.** Adequate wastewater services shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements which may be needed for the installation and maintenance of a wastewater and disposal system in accordance with applicable health, environmental and engineering regulations and standards. The existing wastewater treatment facilities and systems shall have adequate capacity to provide for the needs of the proposed development and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which wastewater treatment or disposal capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the developer in accordance with Resolution 85-265, as it is amended for time to time. Improvements to the wastewater facilities and system shall be made in accordance with the city engineering and accepted applicable engineering standards.

Response: Applicant requested a water/wastewater capacity letter from the City's Public Works Department on March 7, 2024 and will provide the letter upon receipt.

O. Trash management requirements. A trash management plan shall be required in connection with non-residential uses that provide prepackaged food or beverages for off-site consumption. Existing non-residential uses of this type shall adopt a trash management plan within six (6) months of the effective date of this provision.

Response: Acknowledged.

P. Historic and archaeological resources.

1. If a structure or site has been identified as having archaeological or historical significance by any entity within the State of Florida authorized by law to do same, the applicant shall be responsible for requesting this information from the state, county, local governmental or other entity with jurisdiction over historic or archaeological matters and submitting this information to the city at the time of, and together with, a development permit application. The reviewing entity shall include this information in its comments.

Response: This site does not have any historical or archaeological significance.

Q. Hurricane evacuation. If a structure or site is located east of the Intracoastal Waterway, the applicant shall submit documentation from Broward County or such agency with jurisdiction over hurricane evacuation analysis either indicating that acceptable level of service of hurricane evacuation routes and hurricane emergency shelter capacity shall be maintained without impairment resulting from a proposed development or describing actions or development modifications necessary to be implemented in order to maintain level of service and capacity.

Response: N/A. Project is not located east of the Intracoastal Waterway.

3. Townhouse Requirements Narrative

Sec. 47-18.33. Single family dwelling, attached: Townhouses.

A. For the purposes of this section, a townhouse development shall include three (3) or more attached single family dwelling units where each individual single family unit and land thereunder is owned in fee simple. A townhouse development shall include one (1) or more townhouse buildings.

Response: Acknowledged.

B. Site design criteria. A single family dwelling: townhouses (Herein referred to as townhouse development) shall meet the following site design criteria:

1. Minimum lot size. The parcel upon which the group is located shall contain a minimum area of seven thousand five hundred (7,500) square feet and shall provide an average of two thousand (2,000) square feet per dwelling unit, including driveways and areas held in common ownership.

Response: The lot size is 60,750 SF. The townhouse units have an average of 2,531.25 square feet including portions held under fee simple ownership and driveways/areas held in common ownership.

2. Density. The density is determined by the regulations governing the zoning district where the townhouse development is located.

Response: Acknowledged, the Project is below the maximum density of 25 units per acre.

3. Group limit. A townhouse group shall be limited to a maximum of eight (8) dwelling units. A minimum of twenty-five (25) percent of the townhouse group's front facade shall be set back an additional five (5) feet from the rest of the front facade. Attached units may have a common wall or individual sidewalls separated by a distance of not more than one (1) inch or as determined reasonable by the building inspector. If individual walls are used, the buildings shall have adequate flashing at the roofline.

Response: Townhouse groupings are limited to three (3) units. The Project meets the 25% set back requirement.

4. Access to townhouse developments shall meet the following requirements:
 - a. Each townhouse dwelling unit shall have vehicular access to a public right-of-way, paved driveway or parking area serving the group. Private driveways shall be provided in accordance with Section 47-20.5.D. Provisions satisfactory to the city attorney shall be made for a recordable easement over the driveway for all public utilities and for use by owners within the group.
 - b. Townhouse developments that abut a platted alley are encouraged to provide access from the platted alley.

Response: The Property does not abut a platted alley. Each townhouse unit has vehicular access to a public right-of-way via a paved driveway.

5. Yard requirements.
 - a. Front yard. The minimum front yard shall be the same as that required for the zoning district where the townhouse development is located. A five (5) foot easement along the front property line of the townhouse development shall be required if the fee simple lot of each unit does not directly abut the public right-of-way. Provisions satisfactory to the city attorney shall be made for a recordable easement along the front property line of the development for use by the owners of the units.
 - b. Corner yards. A townhouse building abutting two (2) or more public rights-of-way shall provide a minimum corner yard of twenty (20) feet. A five (5) foot easement along the corner property line of the group shall be required if the fee simple lot of each unit does not directly abut the public right-of-way. Provisions satisfactory to the city attorney shall be made for a recordable easement along the corner property line of the townhouse development for use by the owners of the units.
 - c. Side yard. The side yard shall be a minimum of ten (10) feet from the side property line of the townhouse development. A five (5) foot easement which extends from front to rear lot lines along a side lot line of the townhouse development not abutting a public street shall be required for use by owners within the development. Provisions satisfactory to the city attorney shall be made for a recordable easement along the side property line of the townhouse development for use by the owners of the units.
 - d. Rear yard. The rear yard shall be a minimum of twenty (20) feet from the rear property line. A five (5) foot easement along the rear property line of the townhouse group shall be required if the fee simple lots of each unit does not directly abut the public right-of-way. Provisions satisfactory to the city attorney shall be made for a recordable easement along the rear property line of the development for use by the owners of the units within the development.

Response: The Project includes 5' easements along all property lines that do not abut a street. The Project includes the reduced front/corner yards pursuant to the provisions below.

- e. Additional requirements. When any portion of a townhouse abutting the side yard for the development site exceeds twenty-two (22) feet in height, that portion of the structure shall be set back a minimum of an additional one (1) foot for each foot of height above twenty-two (22) feet.

Response: The Project meets this requirement; the side yard setback is 44' – 4".

- f. Reduced setback. Townhouse developments that provide for parking or garage access at the rear of units may reduce the front and corner yard requirement to fifteen (15) feet subject to the following:
 - i. No individual garages may face the public right-of-way except those townhouse developments located on a corner lot may have one (1) garage with an opening facing toward the right-of-way abutting each corner side yard. The garage facing the right-of-way shall be subject to the following requirements:
 - ii. Garages shall be set back an additional two (2) feet from the principal facade of the building or eighteen (18) feet from the property line, whichever is greater; and
 - iii. Townhouse units may be accessed from one (1) two-way driveway or two (2) one-way driveways; and
 - iv. Parking shall not be permitted between the townhouse buildings and any public right-of-way; and
 - v. The area between the townhouse building and the public right-of-way shall be landscaped in accordance with the requirements of Section 47-21.

Response: The proposed front yard is 15' and the proposed corner yard is 20'. No individual garages face the public right-of-way, the townhouses can be accessed via the private drive or via NE 9th Street/NE 16th Avenue, parking is not proposed between the townhouse buildings and the public right-of-way, and the areas between the townhouses are landscaped.

- 6. Architectural elements. When abutting a waterway, the facade of the townhouse development facing the waterway shall provide additional architectural elements such as, but not limited to unenclosed balconies, variation of rooflines between each unit, and variation of at least one (1) foot on twenty-five percent (25%) of the area.

Response: N/A, the Project does not abut a waterway.

- 7. Entrance requirements. Each dwelling unit facing a public right-of-way other than an alley must have, its own principal entrance, visible from and facing the right-of-way, and shall include the following:
 - a. A roofed landing; and
 - b. An architectural design and material similar to and integral with the principal structure; and
 - c. A minimum of four (4) linear feet shall be provided between principal entrances; and
 - d. The roofed landing may encroach into the front yard an additional three (3) feet; and
 - e. For individual dwelling units facing more than one (1) right-of-way, only one (1) entrance shall be required.

Response: The units that face a public right-of-way meet this requirement.

- 8. Minimum floor area. Each individual dwelling unit shall have a minimum floor area of seven hundred fifty (750) square feet.

Response: The minimum unit size in the Project is 2,930 SF.

9. Height. The maximum height shall not exceed thirty-five (35) feet. See Section 47-2, Measurements.

Response: The Project's height is 35'.

10. Fence and wall requirements. Fences and walls shall be provided subject to the following:
 - a. Seventy-five percent (75%) of all fencing or walls along the front yard of a townhouse development abutting a public right-of-way must be of non-opaque materials such as vertical bars or picket fence, and shall be subject to all other requirements of Section 47-19.5, Fences, Walls and Hedges.
 - b. When parking is placed in the rear of the development site, a fence or wall shall be installed between the development site and any neighboring residential property abutting the development site subject to the requirements of Section 47-19.5.

Response: Picket fences are proposed in the patio areas of the units that face a public right-of-way. No parking is proposed at the rear of the development site.

11. Garages. Garages facing public rights-of-way, other than an alley, shall be subject to the following requirements:
 - a. Garages shall be limited to a width equivalent to a maximum of fifty percent (50%) of the width of the townhouse unit. The width shall be measured as the linear dimension of the garage that is visible from the street, such as the garage door; and
 - b. Garages shall be set back an additional two (2) feet from the principal facade of the building.
 - c. As a result of the garage being set back an additional two (2) feet, an area equivalent to the square footage of the recessed garage may be reallocated to the front facade of the building as additional square footage to the living area and may extend into the front yard up to three (3) feet into the setback.

Response: N/A, no garages face a public right-of-way.

12. Driveways. Driveways facing the public right-of-way shall be subject to the following criteria:
 - a. These driveways shall have a minimum separation of eight (8) feet from the adjacent driveway within the same development for the entire length of the driveway.
 - b. The separation of driveways can be reduced to a minimum of four (4) feet in width with the installation of structural soil or other mitigating alternative to allow space for root development of required trees, as reviewed and approved by the city's landscaping representative.
 - c. The area between the driveways must be a landscaped pervious area with a minimum of one (1) canopy tree and continuous shrub planting.

Response: N/A, only one curb cut entrance is proposed on each right-of-way.

13. Sidewalk requirements. A townhouse development shall provide the following:
 - a. A minimum five (5) foot wide sidewalk along each public right-of-way abutting the property along the full length of the property line.
 - b. A minimum three (3) foot wide sidewalk shall connect the front entrances with the sidewalk along the right-of-way unless an alternative pedestrian access to the public sidewalk is approved by the department.

Response: The Project includes a minimum 5' sidewalk along each public right-of-way abutting the Property and includes the minimum 3' sidewalk connecting the front entrances with the sidewalk.

14. Street tree requirements. Street trees shall be planted and maintained along the public right-of-way abutting the property to provide a canopy effect. The type of street trees may include shade, flowering and palm trees and shall be planted at a minimum height and size in accordance with the requirements of Section 47-21, Landscape and Tree Preservation Requirements. The location and number of trees shall be determined by the department based on building and site design, separation distance, utility infrastructure and the proposed plan's compatibility to surrounding properties.

Response: Street trees are proposed along all street frontages.

15. Maintenance agreement. A townhouse development shall have a recorded maintenance agreement for the common areas and any guest parking.

Response: Acknowledged.

16. Solid waste, yard waste, and recycling requirements. Each townhouse dwelling unit shall have incorporated into the design a designated area to locate containers that meet the requirements of Chapter 24 of the city's Code of Ordinances. The size of the containers and alternatives to these requirements may be permitted subject to approval of the public works department, sanitation division.

Response: Each unit has adequate interior space for residential trash containers.

7 February 2024

Benjamin Restrepo
City of Fort Lauderdale
100 N. Andrews Avenue
Fort Lauderdale,
Florida 33301

**Re: Traffic Generation Statement
809 NE 16th Avenue
Fort Lauderdale, Florida
Langan Project No.: 330133401**

Dear Mr. Restrepo:

Langan Engineering & Environmental Services, LLC prepared this traffic-generation statement for the proposed residential development located at 809 NE 16th Avenue in Fort Lauderdale, Florida. We determined that the proposed development would generate no more than 28 net-new peak hour trips compared to the existing development. Therefore, the development is considered a low impact traffic generator and no further traffic analysis is required based on the city standards. This letter report includes daily and peak-hour trip-generation calculations for the development. Attachment A includes an aerial photograph (**Figure 1**) of the site location, also shown below.



Figure 1: Site Location Aerial

Project Description

The proposed development comprises twenty-four (24) low-rise multifamily dwelling units expected to be built by 2027 or sooner. The 1.39-acre site (Folios No.: 49-423-406-0650, 49-423-406-0620, 49-423-406-0600, 49-423-406-0590, and 49-423-406-0580) is occupied by a single-story multifamily building with four residential units. The development will demolish the existing building to construct eight(8) three-story buildings with a total of twenty-four (24) residential units. The project site is on the southwest corner of the intersection of NE 16th Avenue and NE 9th Street in Fort Lauderdale, Florida. The development will have access through two driveway connections: one driveway connection to NE 9th street which will operate as an ingress-only driveway with direct access to the ground level parking where each dwelling unit is provided two reserved parking spaces. The second driveway connection will be along NE 16th Avenue and will operate as an egress-only driveway. Both NE 16th Avenue and NE 9th Street are consider local roads, mainly providing access to the residential developments in the area. Attachment B contains the site plan showing the proposed development program and driveway connections.

Trip Generation Analysis

The proposed development is expected to generate 202 daily, 28 morning peak-hour and 29 afternoon net-new peak-hour trips. The results of the trip comparison are summarized in **Table 1**, using equations from the 11th Edition of the *ITE Trip Generation Manual*. Attachment C contains excerpts from the ITE manual.

Table 1 - Trip Generation Analysis

Daily

Land Use	ITE Code	Size	Trip Generation Rate	In	Out	Total Trips		
						In	Out	Total
Existing Uses								
Multifamily Housing (Low-Rise)	220	4 DU	$T = 6.74 (X)$	50%	50%	13	14	27
Proposed Uses								
Multifamily Housing (Low-Rise)	220	24 DU	$T = 6.41 (X) + 75.31$	50%	50%	115	114	229
Difference						102	100	202

Morning Peak Hour

Land Use	ITE Code	Size	Trip Generation Rate	In	Out	Total Trips		
						In	Out	Total
Existing Uses								
Multifamily Housing (Low-Rise)	220	4 DU	$T = 0.40 (X)$	24%	76%	2	0	2
Proposed Uses								
Multifamily Housing (Low-Rise)	220	24 DU	$T = 0.31 (X) + 22.85$	24%	76%	7	23	30
Difference						5	23	28

Afternoon Peak Hour

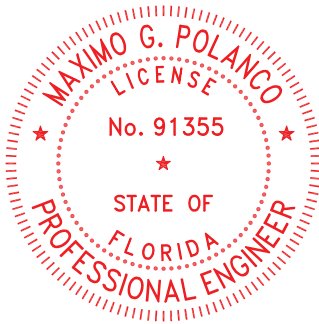
Land Use	ITE Code	Size	Trip Generation Rate	In	Out	Total Trips		
						In	Out	Total
Existing Uses								
Multifamily Housing (Low-Rise)	220	4 DU	$T = 0.51 (X)$	63%	37%	1	1	2
Proposed Uses								
Multifamily Housing (Low-Rise)	220	24 DU	$T = 0.43 (X) + 20.55$	63%	37%	19	12	31
Difference						18	11	29

The development is expected to generate no more than 202 net-new daily trips and 28 net-new peak hour trips over the existing development. According to nearest available FDOT traffic data in the vicinity of the project, the AADT (Annual Average Daily Traffic) of NE 15th Avenue (major collector roadway in the area) is 6,700 vehicles/day. In addition, the AADT along Sunrise Boulevard (major arterial roadway in the area) is 54,500 vehicles per day. As such, the estimate site-generated net-new daily trips constitutes approximately 3% of the total existing daily traffic along NE 15th Avenue and less than 1% of the traffic along Sunrise Boulevard. Therefore, the proposed development traffic impacts are not expected to exceed the thresholds established by City's Unified Land Development Regulations (ULDR) Code Section 47-25.2.M.4 and is not expected to significantly impact the surrounding roadway network.

Conclusion

The proposed development comprises the construction of twenty-four (24) low-rise multifamily residential dwelling units with access along NE 9th Street and NE 16th Avenue. We determined that the proposed development is expected to generate no more than 28 net-new peak hour trips and 202 net-new daily trips compared to the existing development. According to the City of Fort Lauderdale's ULDR Section 47-25.2.M.4, when a proposed development is expected to generate more than 1,000 net-new daily trips, a traffic impact study is required. Additionally, if the expected daily trips are less than 1,000 and more than 20% of the daily trips are anticipated to arrive or depart, or both, within one-half hour, a traffic impact study is required. Based on these stipulations and the expected trip generation of the proposed development, no further detailed traffic analysis is warranted. Please contact me at (954) 320-2155 with any questions or comments.

Sincerely,
Langan Engineering and Environmental Services, LLC



This item has been digitally signed and sealed by Maximo Polanco, PE on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Maximo G. Polanco, P.E.
P.E. License No. 91355
Senior Project Manager

A handwritten signature in blue ink, appearing to read "E. Schwarz".

Eric Schwarz, P.E., LEED AP
Principal/Vice President

MGP:mgp

Attachments:

- Attachment A – Aerial Photograph Location
- Attachment B – Site Plan
- Attachment C – ITE Excerpts

Florida Certificate of Authorization No. 6601

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Maximo G Polanco

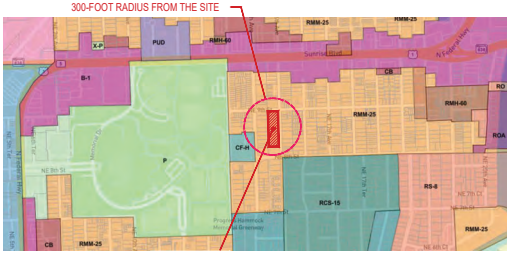
Digitally signed by Maximo G Polanco
DN: CN=Maximo G Polanco,
dnQualifier=A01410D90000186E085EAE8000103B9,
O=LANGAN ENGINEERING AND ENVIRONMENTAL
SERVICES INC, C=US
Reason: I am the author of this document
Date: 2024.02.07 16:01:42-05'00'

ATTACHMENT A
AERIAL PHOTOGRAPH LOCATION

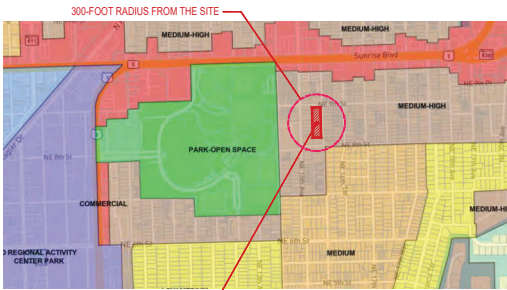


<p>LANGAN <small>PLANNING & ENVIRONMENTAL SERVICES</small></p> <p>110E Broward Blvd., Suite 1500 Fort Lauderdale FL 33301 P: 786.264.7221 F: 786.264.7201 www.langan.com</p> <p>FL CERTIFICATE OF AUTHORIZATION No. 00000601</p>	Project	Figure Title	Project No.	<p>FIGURE 1</p>
	<p>NE 16th Avenue Residential Development</p>		<p>SITE LOCATION MAP</p>	
	<p>FORT LAUDERDALE</p>		<p>Date</p> <p>2/7/2024</p>	
<p>BROWARD COUNTY</p>		<p>FLORIDA</p>	<p>Scale</p> <p>NTS</p>	

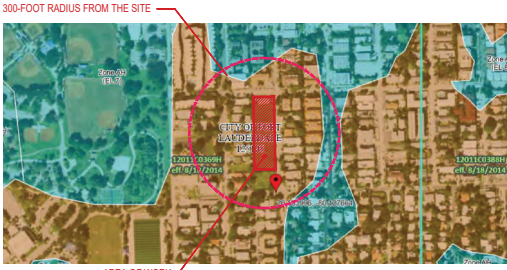
ATTACHMENT B
SITE PLAN



1 ZONING DESIGNATIONS MAP



2 FUTURE LAND USE MAP



3 FLOOD MAP

FEMA FLOOD ZONE X 0.2%

ZONING INFORMATION

SITE REQUIREMENTS					
	ALLOWED / REQUIRED		PROPOSED		
1 A) LOT AREA	MINIMUM 7,500 SF		65,750 SF (1.30 ACRES)		
B) DENSITY	25 DU / ACRE 1.39 ACRES X 25 = 34.75 UNITS MAX + (34 UNITS)		24 UNITS		
C) BUILDING HEIGHT	30'-0"		35'-0"		
D) BUILDING LENGTH	200' MAX ABOVE 45'; 120' MAX		81'-4"		
E) OPEN SPACE & PLANTING REQ.	35% LOT AREA MIN. 60,750 X 0.35= 21,262 SF MIN		35,687 SF = 58 %		
SETBACK REQUIREMENTS					
	ALLOWED / REQUIRED		PROPOSED		
2 A) FRONT YARD SETBACK (EAST SIDE)	15'-0"		15'-0" (REDUCED) EAST SIDE		
B) SIDE YARD SETBACK (SOUTH SIDE)	15' & ABOVE 20' PER EACH 1' HEIGHT+ ADDITIONAL 1'-0" UNITS 30' MAX HEIGHT		44'-4"		
C) SIDE YARD SETBACK (WEST SIDE)	20'-0"		20'-0"		
D) STREET CORNER YARD (NORTH SIDE)	20'-0"		20'-0"		
UNIT BREAKDOWN					
UNIT TYPE	LEVEL 1	LEVEL 2	LEVEL 3	TOTAL AREA	TOTAL AREA WITHOUT GARAGE
A	961 SF	951 SF	1,030 SF	2,974 SF	2,826 SF
B	980 SF	936 SF	1,034 SF	2,950 SF	2,562 SF
C	1,028 SF	985 SF	1,068 SF	3,077 SF	2,729 SF
D	980 SF	936 SF	1,034 SF	2,950 SF	2,562 SF
E	961 SF	951 SF	1,030 SF	2,974 SF	2,826 SF
AREA BREAKDOWN					
UNITS AREA:		TOTAL SALEABLE AREA:			
TYPE A - 4 UNITS	2,974 SF X 4 UNITS = 11,896 SF	TYPE A - 4 UNITS	2,826 SF X 4 UNITS = 10,504 SF		
TYPE B - 1 UNIT	2,950 SF X 1 UNIT = 2,950 SF	TYPE B - 1 UNIT	2,562 SF X 1 UNIT = 2,562 SF		
TYPE C - 11 UNITS	3,077 SF X 11 UNITS = 33,847 SF	TYPE C - 11 UNITS	2,729 SF X 11 UNITS = 30,019 SF		
TYPE D - 1 UNIT	2,950 SF X 1 UNIT = 2,950 SF	TYPE D - 1 UNIT	2,562 SF X 1 UNIT = 2,562 SF		
TYPE E - 7 UNITS	2,974 SF X 7 UNITS = 20,818 SF	TYPE E - 7 UNITS	2,926 SF X 7 UNITS = 20,482 SF		
TOTAL - 24 UNITS	72,421 SF	TOTAL - 24 UNITS	64,069 SF		
NON-RESIDENTIAL AREA:		TOTAL SALEABLE AREA:			
MALL / OFFICE BLDG.	744 SF				
TOTAL CONSTRUCTION AREA	73,588 SF	TOTAL SALEABLE AREA	64,069 SF		
PARKING REQUIREMENTS					
AREA / UNIT	PARKING RATE	REQUIRED	PROPOSED		
RESIDENTIAL 24 UNITS	2 P.S. / UNIT	48 P.S.	48 P.S.		
GUEST PARKING	0.25 P.S. X UNIT PER ZONING CODE SEC 23-24 (4)(3)	6 P.S.	5 P.S. + 1 ADA		

Drawn	Date	Drawn	Date
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ZONING PHASE
 809 NE 16th AVENUE
 809 NE 16th AVENUE
 FORT LAUDERDALE, FL 33304

Owner	-
Address	-
City	-
State	-
County	-
Address	-
City	-
State	-
County	-
Address	-
City	-
State	-
County	-
Address	-
City	-
State	-
County	-
Address	-
City	-
State	-
County	-

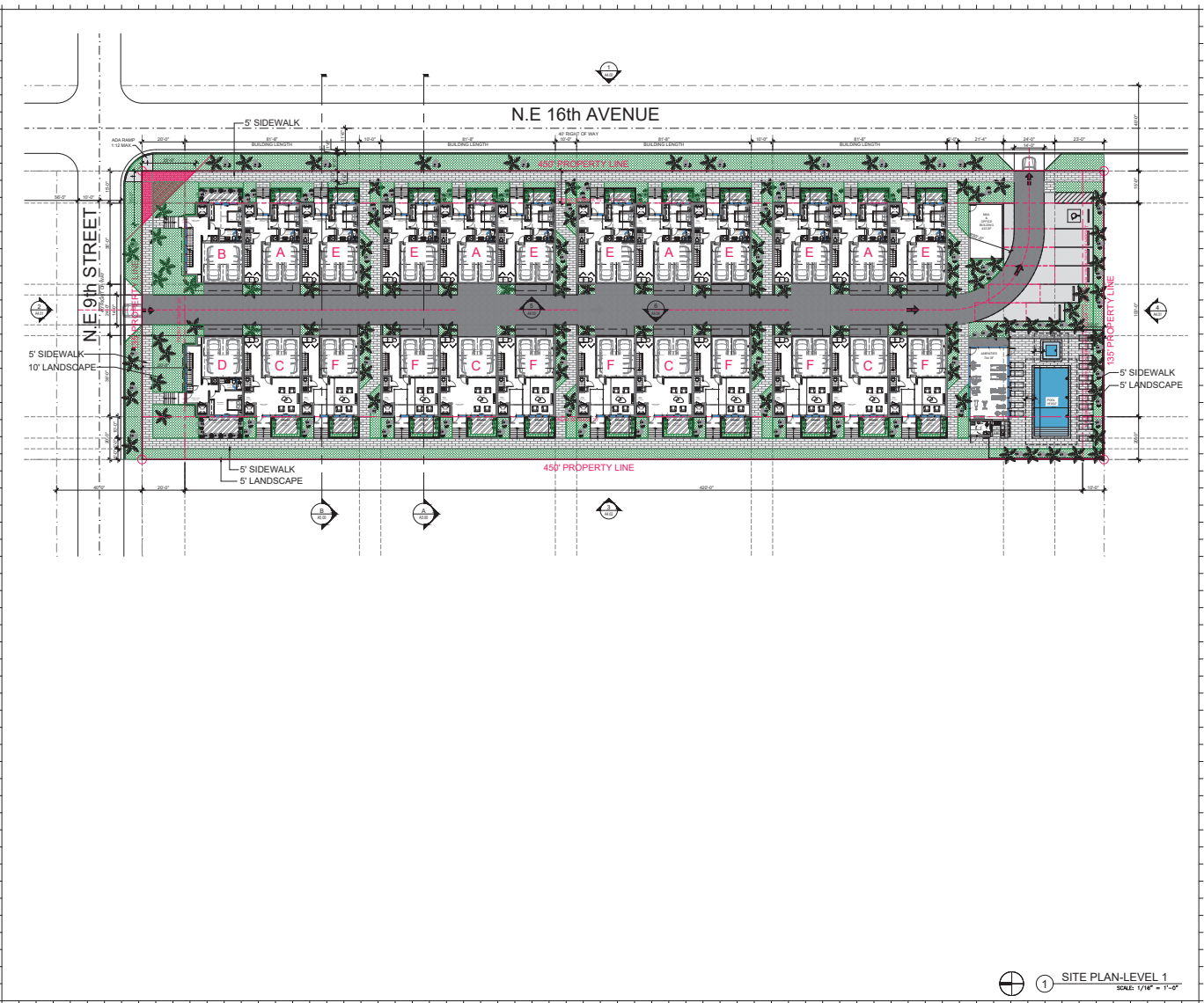
Method of Record
 Public Records
 601 W. 2nd Street, Suite 1000
 Fort Lauderdale, FL 33304
 Tel: +1(561) 533-3300
 Fax: +1(561) 533-3300



KOSI KASIP
 Lic. # AR0012576

PROJECT DATA

Drawn No.	
Scale	A1.00
Date	
Project	2265



Rev.	Date	By	Check

ZONING PHASE
 809 NE 16th AVENUE
 809 NE 16th AVENUE
 FORT LAUDERDALE, FL 33304

- Client: _____
- Address: _____
- City: _____
- State: _____
- Zip: _____
- Phone: _____
- Fax: _____
- E-mail: _____
- Consultant: _____
- Name: _____
- Address: _____
- City: _____
- State: _____
- Zip: _____
- Phone: _____
- Fax: _____
- E-mail: _____
- Consultant: _____
- Name: _____
- Address: _____
- City: _____
- State: _____
- Zip: _____
- Phone: _____
- Fax: _____
- E-mail: _____
- Consultant: _____
- Name: _____
- Address: _____
- City: _____
- State: _____
- Zip: _____
- Phone: _____
- Fax: _____
- E-mail: _____

Method of Record
 KOSI KARP ARCHITECTURE AND INTERIOR DESIGN, INC.
 1400 N.W. 11th Street, Suite 200
 Fort Lauderdale, FL 33304
 Tel: (954) 571-1300
 Fax: (954) 571-1300
 Email: info@kosikarp.com



SITE PLAN - LEVEL 1

Client: _____	Drawn No. _____
Date: _____	Scale: A2.00
Project: 2205	

① **SITE PLAN - LEVEL 1**
 SCALE: 1/16" = 1'-0"

ATTACHMENT C
ITE EXCERPTS

Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

Vehicle Trip Ends vs: Dwelling Units
On a: Weekday

Setting/Location: General Urban/Suburban

Number of Studies: 22

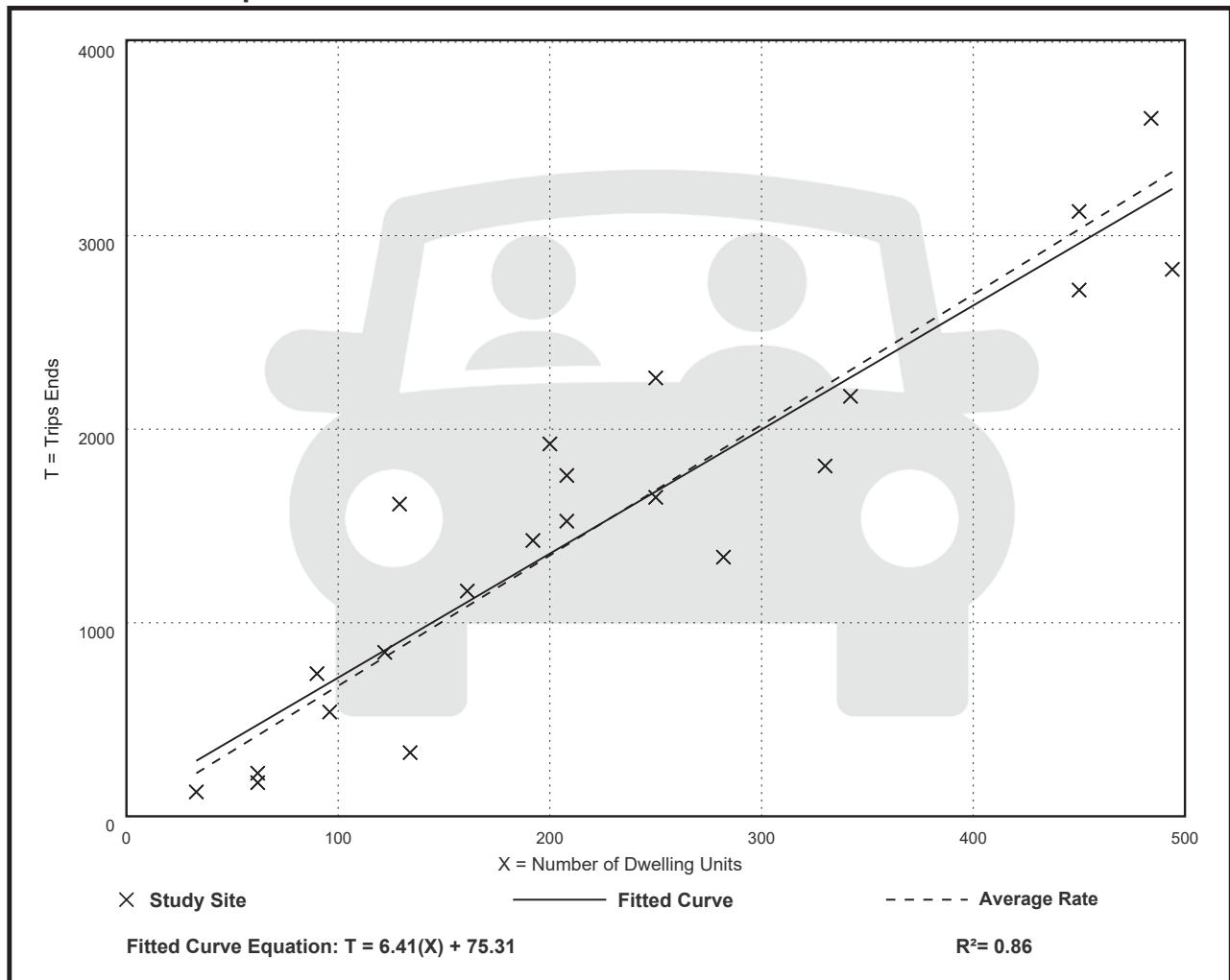
Avg. Num. of Dwelling Units: 229

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
6.74	2.46 - 12.50	1.79

Data Plot and Equation



Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

Vehicle Trip Ends vs: Dwelling Units

On a: **Weekday,**

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 49

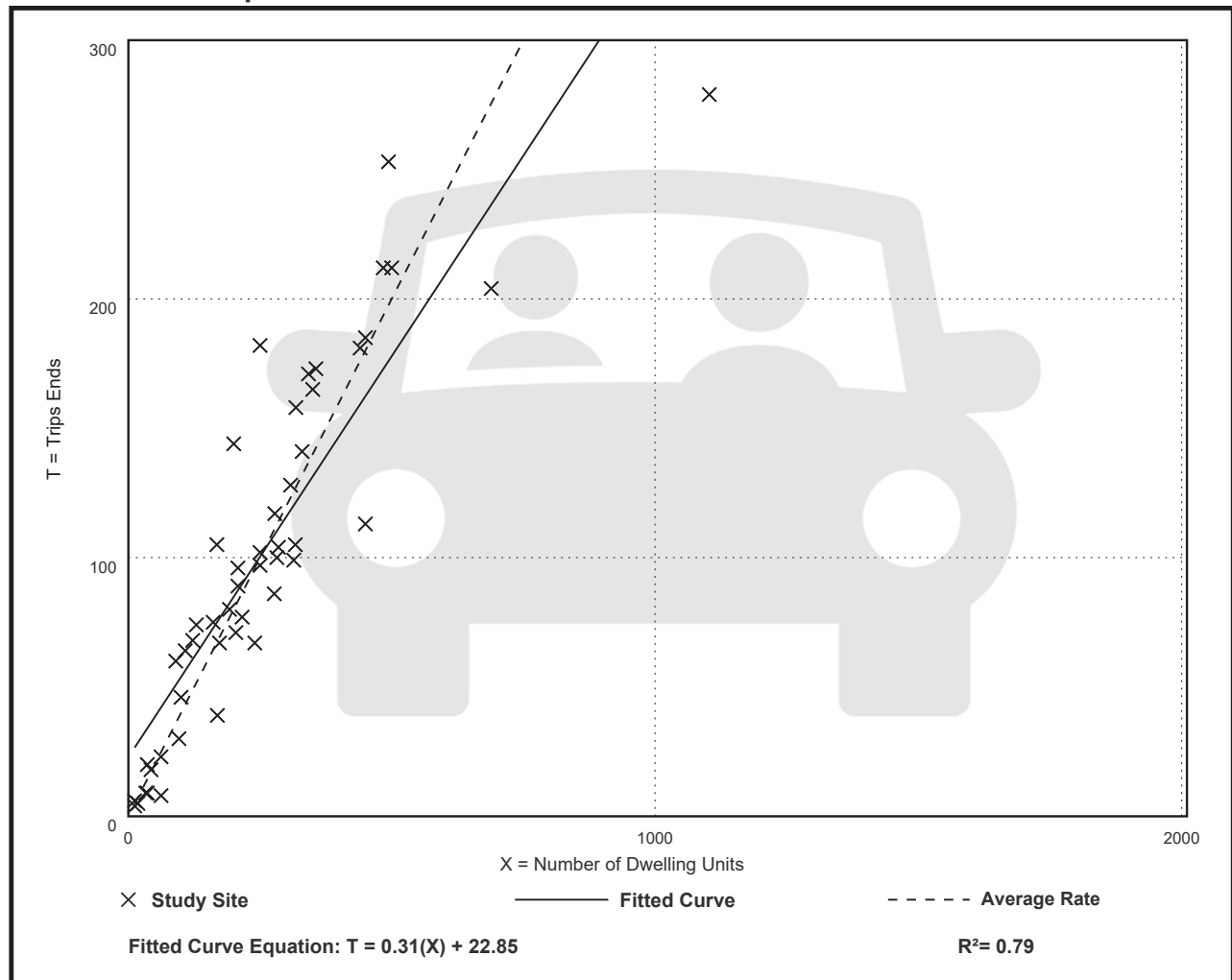
Avg. Num. of Dwelling Units: 249

Directional Distribution: 24% entering, 76% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.40	0.13 - 0.73	0.12

Data Plot and Equation



Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 59

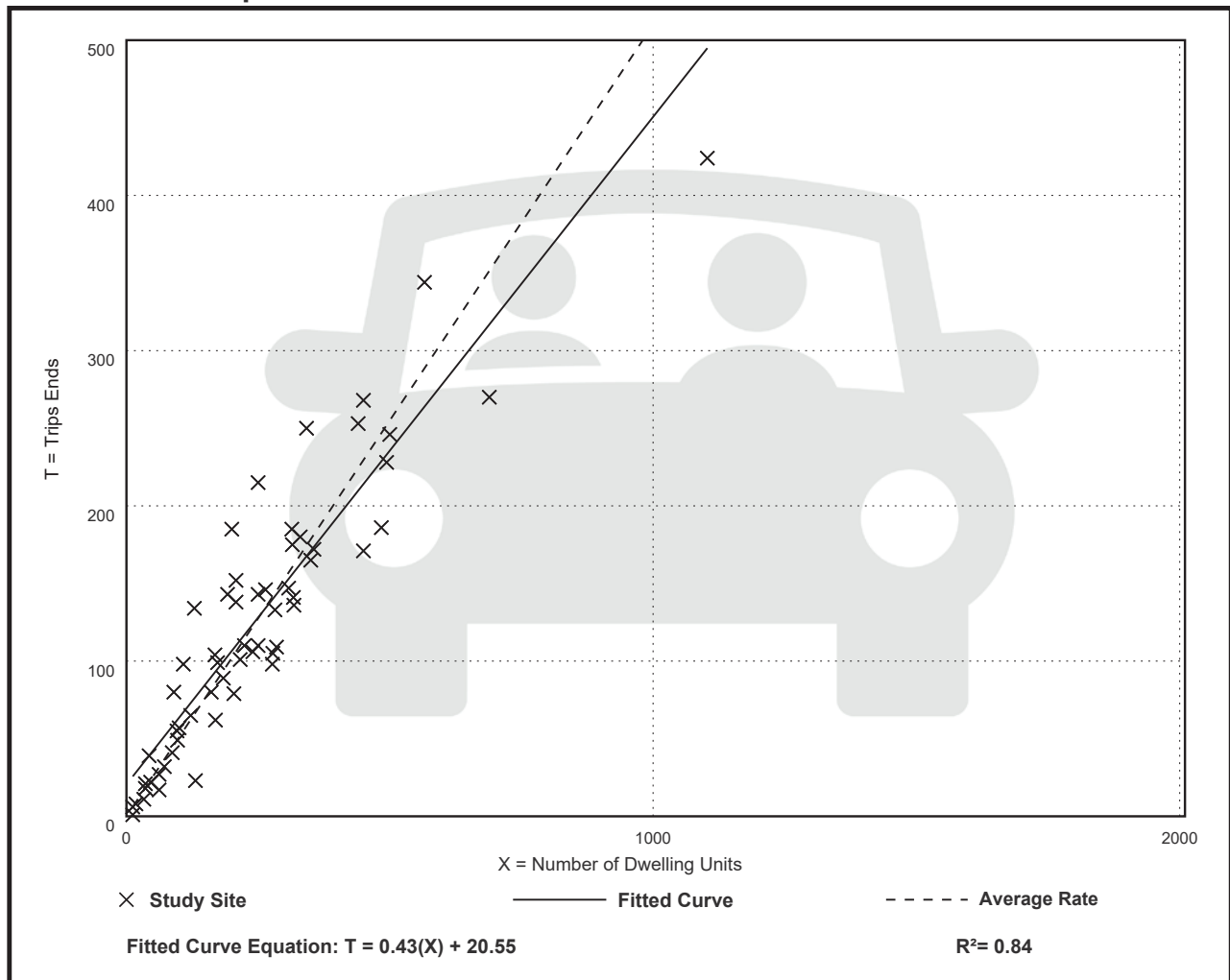
Avg. Num. of Dwelling Units: 241

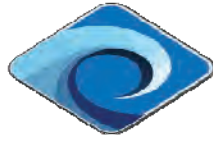
Directional Distribution: 63% entering, 37% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.51	0.08 - 1.04	0.15

Data Plot and Equation





OCEAN ENGINEERING

CIVIL ENGINEERING CONSULTANTS

STORMWATER DRAINAGE CALCULATIONS



809 N.E 16th AVENUE

809 NORTHEAST 16th AVE.
FORT LAUDERDALE, FL 33304

February 2024

Prepared by:
WALTER M. LUGO, P.E.
Florida Registration # 61747
Ocean Engineering, Inc.
8101 Biscayne Blvd. Ste. 508
Miami, FL 33138
CA 29490

Walter
M Lugo

Digitally signed by Walter M Lugo
DN: c=US, o=Ocean Engineering Inc,
dnQualifier=A01410C0000018124CF
C7D40002651E, cn=Walter M Lugo
Date: 2024.02.02 10:57:40 -05'00'

This item has been digitally signed and sealed by
Walter M. Lugo, P.E. on the date adjacent to the seal.

Printed copies of this document are not considered
signed and sealed and the signature must be verified
on any electronic copies.



809 N.E 16th AVENUE
FT. LAUDERDALE, FL 33304

EXFILTRATION TRENCH DESIGN CALCULATIONS

I. PROJECT DESCRIPTION:

809 NE 16th AVE is located at 809 N.E 16th Avenue in Ft. Lauderdale, FL 33304 within Township 50, Range 42, Section 03. According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate map 12011c0369H, this project lies within Flood Zone X with a flood elevation of UNKNOWN. The project site in its totality encompasses ±1.39-acres at which will be analyzed below for surface water drainage improvements. Currently the site is vacant and sodded with a chain-linked fence surrounding the perimeter. The proposed plans will design several multi-story residential townhouses. Offsite improvements will repave and widen the existing adjacent travel lane and construct a 5' wide sidewalk within an easement within the property per City's standards.

II. PROPOSED DRAINAGE MODIFICATIONS:

The proposed drainage system will be designed in accordance to the City of Fort Lauderdale and Broward County EPGMD stormwater design standards and requirements. In accordance to the City's stormwater design guidelines, all proposed developments within the City's jurisdiction is required to retain the stormwater quantity of a 5yr/1hr storm event and the greater of 1" over the entire site or 2.5" times the percent impervious for stormwater quality treatment volume. The proposed drainage system will be separated into two isolated systems. The rooftop areas of the proposed building will be served by several proposed deep injection drainage well while, an exfiltration trench systems will be designed to discharge any surface water collected at the ground level and covered parking areas. Perimeter berms will be designed to meet the 25yr/72-hr peak stage elevation and building's finished floor elevations will be set at the 100yr/72hr peak stage elevation. Proposed drainage swales and perimeter landscape berms will be evaluated for potential storage volume. Detailed below are the calculations for the exfiltration trench design.

III. SITE DATA INFORMATION:

EXISTING CONDITION INFORMATION					PROPOSED CONDITION INFORMATION				
LAND USE	AREA	%	LOW	HIGH	LAND USE	AREA	%	LOW	HIGH
1. TOTAL	1.39	100%	6.66	8.27	TOTAL	1.39	100%	7.08	8.14
2. IMPERVIOUS	0.15	10%	6.86	7.30	IMPERVIOUS	1.04	75%	7.08	8.14
2.a BUILDING:	0.05	3%	7.10	7.10	BUILDING*:	0.59	42%	7.00	7.00
2.b PAVEMENT:	0.10	7%	6.86	7.30	PAVEMENT:	0.44	32%	7.08	8.14
2.c WATER FEAT:	0.00	0%	0.00	0.00	WATER FEAT:	0.01	1%	8.00	8.00
3. PERVIOUS	1.25	90%	6.66	8.27	PERVIOUS	0.35	25%	7.08	8.14

IV. DESIGN CRITERIA:

A. Water Quality Criteria:

1. Wet detention system design, then the greater of the following:
 - a. 1" of runoff over the entire project site:
 - b. 2.5" x the percent impervious for the project site:
2. Dry detention system, 75% of the volume required for wet detentions system:
3. Retention system, then 50% of volume required computed for wet detention.
4. If commercially zoned, 0.5" of retention or dry detention pre-treatment is required:
5. Any detention system shall be designed to discharge no more than 0.5" of the detailed volume/day.

B. Water Quantity Criteria:

The maximum allowable discharge volume will be utilized as a deduction from the rainfall height for the 1-day and 3-day storm duration. The resultant is listed as the design rainfall.

Design Storm Rainfall Amount

	<u>FREQUENCY</u>	<u>DURATION</u>	<u>RAINFALL</u>	<u>SF WMD MAX. CREDIT</u>	<u>DESIGN RAINFALL</u>
1 Lowest drainage inlet elev:	5-year	1-hr	3.2-inches	0.0-inches	3.20-inches
2 Crown of road elevation:	10-year	24-hr	8.50-inches	2.41-inches	6.09-inches
3 Perimeter berm elevation:	25-year	72-hr	15.0-inches	3.28-inches	11.72-inches
4 Finish floor elevation:	100-year	72-hr	18.0-inches	3.28-inches	14.72-inches

C. Additional Design Criteria:

1. *Future Conditions Average Wet Season Groundwater Elev. Map :* [2.00' NAVD](#)

V. PROPOSED CONDITION CALCULATIONS

A. WATER QUALITY COMPUTATIONS (PROPOSED/POST-):

1. Wet Detention.

Compute the first inch of runoff from the entire developed project site:

$$\begin{aligned} &= 1.0 \text{ inch} \times 1.395 \text{ acres} \times (1 \text{ foot} / 12 \text{ inches}) \\ &= \mathbf{0.116 \text{ ac-ft for the first inch of runoff}} \end{aligned}$$

Compute 2.5 inches times the percent impervious for the developed project site:

a. Site area for water quality pervious / impervious calculations only:

$$\begin{aligned} &= \text{Total Project} - (\text{Lake Area} + \text{Buildings}) \\ &= 1.395 \text{ acres} - (0.011 \text{ acres} + 0.586 \text{ acres}) \\ &= \mathbf{0.80 \text{ acres of site area for water quality calculations}} \end{aligned}$$

b. Impervious area for water quality pervious / impervious calculations only:

$$\begin{aligned} &= \text{Site area for water quality} - \text{Pervious area} \\ &= 0.798 - 0.354 \text{ acres} \\ &= \mathbf{0.44 \text{ acres of impervious area for water quality calculations}} \end{aligned}$$

c. Percentage of impervious area for water quality:

$$\begin{aligned} &= \text{Impervious area for water quality} / \text{Site area for water quality} \times 100\% \\ &= 0.444 \text{ acres} / 0.798 \text{ acres} \times 100\% \\ &= \mathbf{55.6 \% \text{ Impervious}} \end{aligned}$$

d. For 2.5 inches times the percentage of impervious area:

$$\begin{aligned} &= 2.5 \text{ inches} \times 55.6 \% \\ &= \mathbf{1.39 \text{ inches to be treated}} \end{aligned}$$

e. Compute volume required for quality detention:

$$\begin{aligned} &= \text{Inches to be treated} \times (\text{Total Site Area} - \text{Lake Area}) \\ &= 1.39 \text{ inches} \times (1.395 \text{ acres} - 0.011 \text{ acres}) \times (1 \text{ foot} / 12 \text{ inches}) \\ &= \mathbf{0.160 \text{ ac-ft required for detention storage}} \end{aligned}$$

The first inch of runoff from the entire developed site = **0.116 ac-ft**

2.5 inches times the percentage of impervious area = **0.160 ac-ft**

2. If site is zoned "Commercial" or if a direct discharge to a sensitive receiving body and is more than 40% impervious, then 0.5" of dry detention pre-treatment is required:

$$\begin{aligned} &= 0.5" \times (\text{Total Project} - \text{Lake Area}) \times (1 \text{ foot} / 12 \text{ inches}) \\ &= 0.5 \text{ inches} \times (1.395 \text{ acres} - 0.01 \text{ acres}) \times (1 \text{ foot} / 12 \text{ inches}) \\ &= \mathbf{0.058 \text{ ac-ft required for pre-treatment}} \end{aligned}$$

3. Calculate credit for using any one of the following systems:

a. Wet detention volume provided:

$$\begin{aligned} &= \text{Wet detention volume} - \text{Pre-treatment} \\ &= 0.160 \text{ ac-ft} - 0.058 \text{ ac-ft} \\ &= \mathbf{0.103 \text{ ac-ft required for wet detention}} \end{aligned}$$

b. Dry detention volume provided (75% of the total detention volume required)

$$\begin{aligned} &= 75\% \times \text{Wet detention volume} \\ &= 0.75 \times 0.160 \text{ ac-ft} \\ &= \mathbf{0.120 \text{ ac-ft required for dry detention}} \end{aligned}$$

c. Dry retention volume provided (50% of the total detention volume required)

$$\begin{aligned} &= 50\% \times \text{Wet detention volume} \\ &= 0.50 \times 0.160 \text{ ac-ft} \\ &= \mathbf{0.080 \text{ ac-ft required for dry retention}} \end{aligned}$$

B. WATER QUANTITY COMPUTATIONS (PROPOSED):

1. Soil Storage Calculations

Compute the sites' available soil storage and CN number.

- a. Average developed elevation: 7.61' NAVD
- b. Depth to the ground water table: 5.61'
- c. From the SFWMD Environmental Resource Permit Information Manual 2014, Table f-1,

For FLATWOODS, the developed available cumulative soil storage is calculated to be 6.75 in.

Depth to WT.	Compacted (S)	Compacted CN
1	0.45	96
2	1.88	84
3	4.05	71
4	6.75	60

- d. Compute the soil moisture storage (S):
= (Pervious Area / Contributing Area) X developed available storage
= 0.35 acres / 1.39 acres X 6.75 inches
= 1.71in.
- e. Compute SCS Curve Number (CN):
= 1000 / (S + 10)
= 1000 / (1.71 + 10)
= 85

2. Runoff Calculations

Estimated stormwater runoff (Q) generated by the specified rainfall event (P) for a given site with a weighted soil moisture storage value for maximum retention parameter (S).

$$= (P - (0.2 S)) ^2 / (P + (0.8 S))$$

$$Q_{5yr/1hr} = (3.20 - (0.2 \times 1.71))^2 / (3.20 + (0.8 \times 1.71)) = \underline{1.8-inches}$$
$$Q_{10yr/24hr} = (6.09 - (0.2 \times 1.71))^2 / (6.09 + (0.8 \times 1.71)) = \underline{4.4-inches}$$
$$Q_{25yr/72hr} = (11.72 - (0.2 \times 1.71))^2 / (11.72 + (0.8 \times 1.71)) = \underline{9.9-inches}$$
$$Q_{100yr/72hr} = (14.72 - (0.2 \times 1.71))^2 / (14.72 + (0.8 \times 1.71)) = \underline{12.8-inches}$$

3. Runoff Volume Calculations

The calculated stormwater volume of runoff (V) generated during the specified rain event.

$$= (Contributing Area \times Q) / 12$$

where: Contributing Area = (Total Area - Bldg Area) *Stormwater runoff for the bldg. areas will be discharged via well.

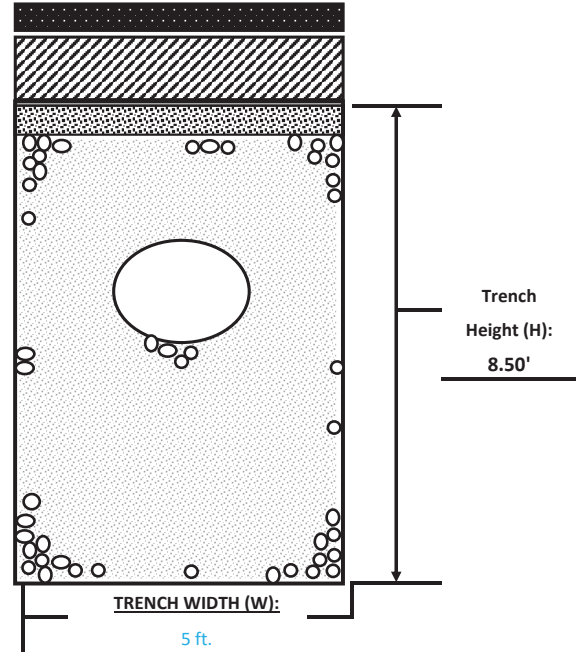
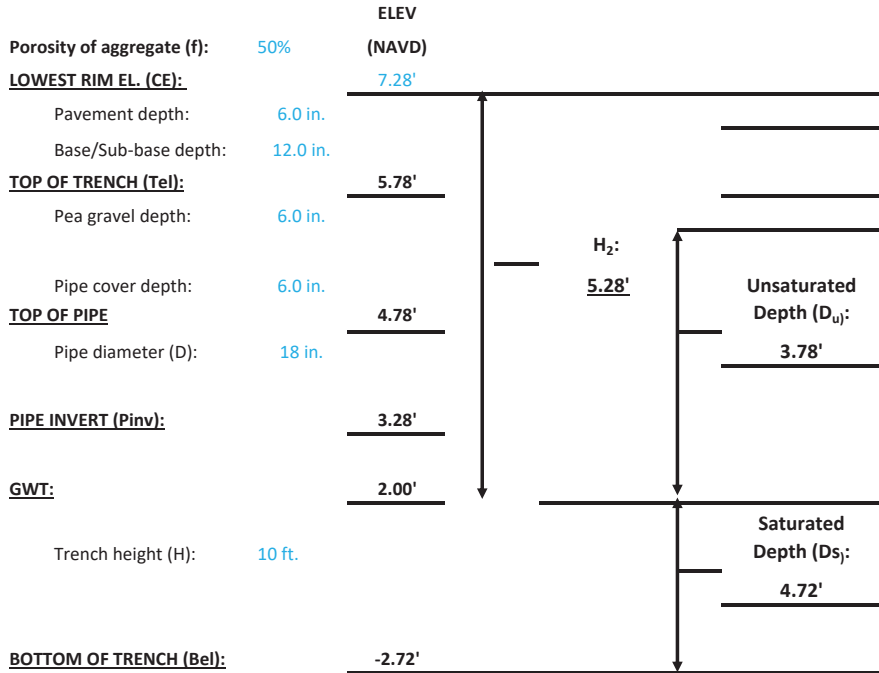
$$V_{5yr/1hr} = (1.39 \times 1.8) / 12 = \underline{0.208 \text{ ac-ft}}$$
$$V_{10yr/24hr} = (1.39 \times 4.4) / 12 = \underline{0.515 \text{ ac-ft}}$$
$$V_{25yr/72hr} = (1.39 \times 9.9) / 12 = \underline{1.149 \text{ ac-ft}}$$
$$V_{100yr/72hr} = (1.39 \times 12.8) / 12 = \underline{1.493 \text{ ac-ft}}$$

VIII. SURFACE STORAGE CALCULATIONS (PROPOSED)

A. Stage vs. Storage Design Parameters:

DESCRIPTION	PERVIOUS	IMPERVIOUS	WATER FEAT:
STORE. TYPE:	L	L	V
HIGH ELV:	8.14	8.14	8.00
LOW ELV:	7.08	7.08	8.00
AREA (ac.):	0.35	0.44	0.01

B. Trench Storage Capacity Table:



Maximum exfiltration storage volume: **0.03 ac-ft**

C. Stage - Storage Table:

STAGE - STORAGE					
Stage (ft.)	PERVIOUS (ac-ft.)	IMPERVIOUS (ac-ft.)	WATER FEAT: (ac-ft.)	EXFIL.TRENCH (ac-ft)	TOTAL (ac-ft.)
2.0					0.00
2.0	0.000	0.000	0.00	0.00	0.00
3.0	0.000	0.000	0.00	0.01	0.01
4.0	0.000	0.000	0.00	0.01	0.01
5.0	0.009	0.009	0.01	0.02	0.04
6.0	0.032	0.032	0.03	0.02	0.12
7.0	0.202	0.238	0.06	0.03	0.53
8.0	0.578	0.704	0.10	0.03	1.42
9.0	0.958	1.174	0.14	0.03	2.31

TRENCH STORAGE VOLUME (LINEAR PROGRESSION)	
Stage (ft.)	Storage (ac-ft.)
GWT 2.00	0.00
3.00	0.01
4.00	0.01
5.00	0.02
6.00	0.02
7.00	0.03
LP 7.28	0.03
8.00	0.03
9.00	0.03
10.00	0.03

- 1. Lowest inlet elev. (5yr/1hr): **0.21 ac-ft @ 6.21' NAVD**
- 2. Crown of road elev (10yr/1dy): **0.51 ac-ft @ 6.96' NAVD**
- 3. Perimeter berm elev (25yr/3dy): **1.15 ac-ft @ 7.70' NAVD**
- 4. Bldg. FFE (100yr/3dy): **1.49 ac-ft @ 8.09' NAVD**

VI. SUMMARY:

F. Treatment Volume Summary:

Minimum future stormwater drainage improvements will be designed to treat and discharge the maximum runoff volume generated by the following criteria:

1. Stormwater Quality (POST):

- a. The first inch of runoff from the entire developed site = **0.116 ac-ft**
 b. 2.5 inches times the percentage of impervious area = **0.160 ac-ft**

2. Stormwater Quantity (POST):

For closed basins, the treatment volume shall be the calculated peak stormwater volume produced by a 5yr/1hr storm event.

- a. Peak volume generated by a 5yr/1hr storm event: **0.208 ac-ft**

The volume of **0.208** ac-ft controls

VII. EXFILTRATION TRENCH CALCULATIONS:

A. Trench Design:

1. **Design Formula:** $L = 2 * (0.5 * V_{wq} + V_{add}) / (K * ((2 * H_2 * D_u) - (D_u^2) + (2 * H_2 * D_s)) + (1.39 * 10^4 * W * D_u))$

2. Design Information:

Weir Elevation	16.56	
V_{wq} = Water Quality Vol. to be Exfiltrated:	0.208 ac-ft	or 2.49 ac-in
W = Trench Width:	5.00 ft.	
K = Hydraulic Conductivity:	2.03E-04 cfs/sq-ft per ft head	
H ₂ = Depth of Water Table:	5.28 ft.	
D _u = Non-Saturated Trench Depth:	3.78 ft.	
D _s = Saturated Trench Depth:	4.72 ft.	
Total Trench Depth:	8.50 ft.	

3. Exfiltration Trench Required:

139 ft.

4. Exfiltration Trench Provided:

277 ft.

5. Exfiltration Trench WQ/Storage Vol Provided:

2.49 ac-in or **0.208 ac-ft**

6. Max. Allowable Storage:

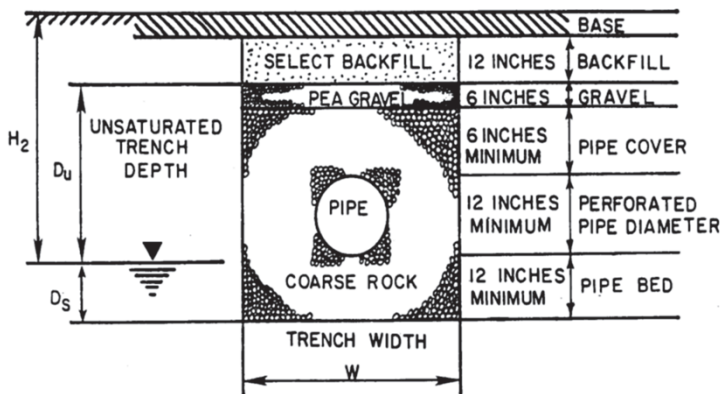
Percolation volume from 277ft. of exfiltration trench: **0.41 ac-ft**

3.28" over the entire site: **0.38 ac-ft**

Additional volume in E.T (50%): **0.03 ac-ft**

Total Storage Volume Provided in Exfiltration Trench (V_{ext}): **0.21 ac-ft**

Thickness (in)	Elev (ft)	
	7.28	Lowest Elevation
6		Concrete Sidewalk Thickness
12		Select Backfill
	5.78	Top of Trench (Top of Pea Gravel)
6		Pea Gravel
6		Pipe Cover
	N/A	Weir Elevation (if applicable)
	4.78	Inside Top of Pipe
18		Pipe Size
	3.28	Invert of Pipe
72		Pipe Bed
	-2.72	Bottom of Trench
	2.00	Water Table / Control Water Elevation



CHECKS

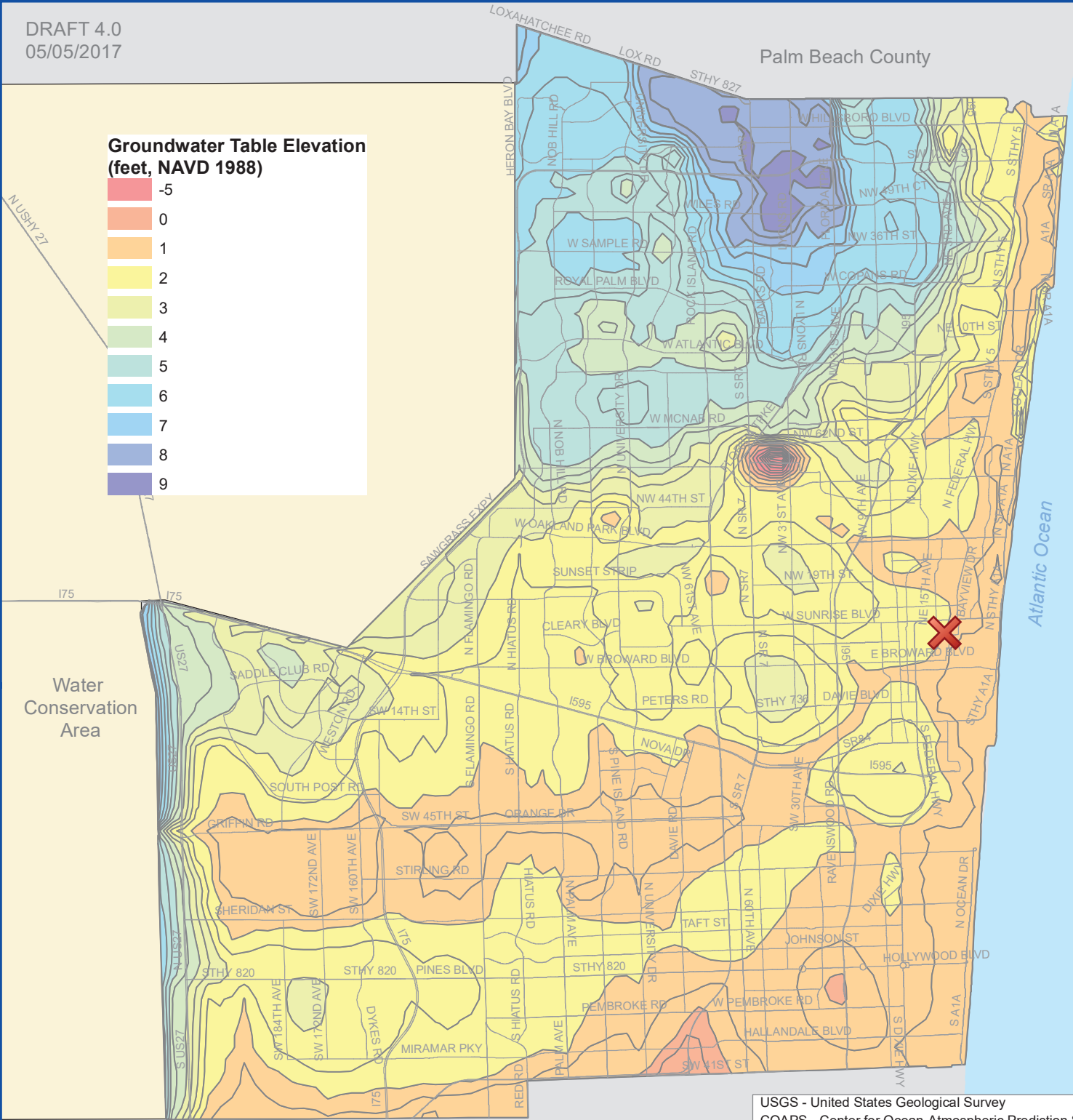
- OK Dry System (Pipe Invert Higher than Water)
- OK More WQ Volume Provided than Required

EXHIBITS

DRAFT 4.0
05/05/2017

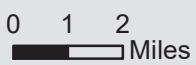


Groundwater Table Elevation (feet, NAVD 1988)



Water Conservation Area

Atlantic Ocean



Miami-Dade County

- USGS - United States Geological Survey
- COAPS - Center for Ocean-Atmospheric Prediction Studies
- CCSM - Community Climate System Model
- USACE - United States Army Corps of Engineers
- NRC3 - National Research Council Curve 3
- NAVD 88 - 1988 North American Vertical Datum

The map represents the expected future average wet season groundwater elevations for Broward County. The average is based on model outputs for the months of May through October over the period of 2060-2069. The models used are The Broward County Inundation Model and the Broward County Northern Variable Density model, both developed by the USGS and MODFLOW based. The future conditions that are modified in the models are both precipitation and sea level rise. The future precipitation pattern is based on the COAPS downscaled CCSM global model and represents an increase of 9.1% rainfall from the base case of 1990-1999 (53.4 in/yr to 58.2 in/yr). Sea level rise was based on the USACE NRC3 curve which equates to an increase of 26.6 to 33.9 inches to the future period from 1992 levels. Final results are presented in NAVD 88.

This map is for planning purposes and should not be used for legal boundary determinations.

Appendix C: Isohyetal Maps
from SFWMD Technical Memorandum, *Frequency Analysis of One and Three Day
Rainfall Maxima for central and southern Florida, Paul Trimble, October 1990.*

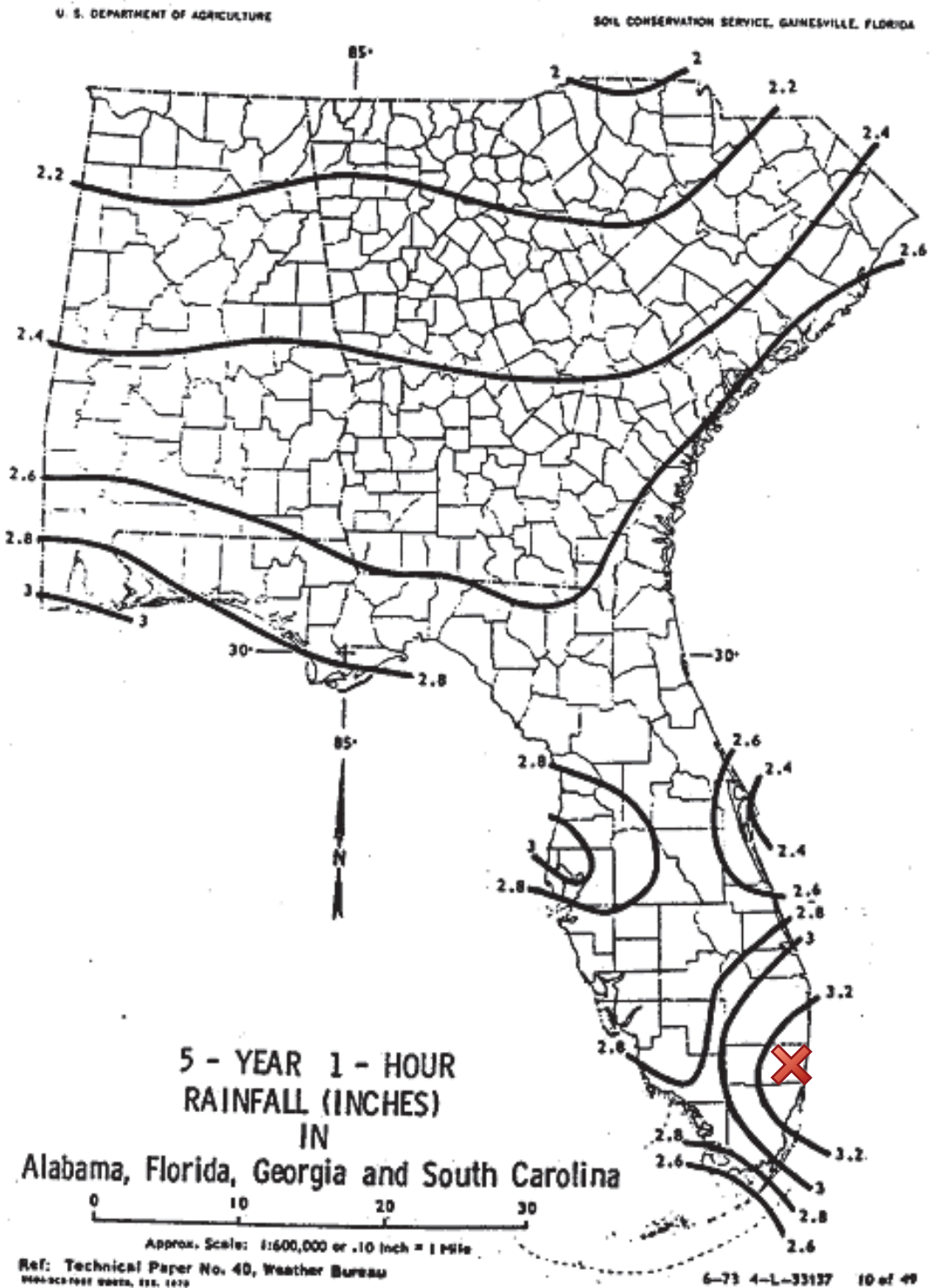


Figure C-1

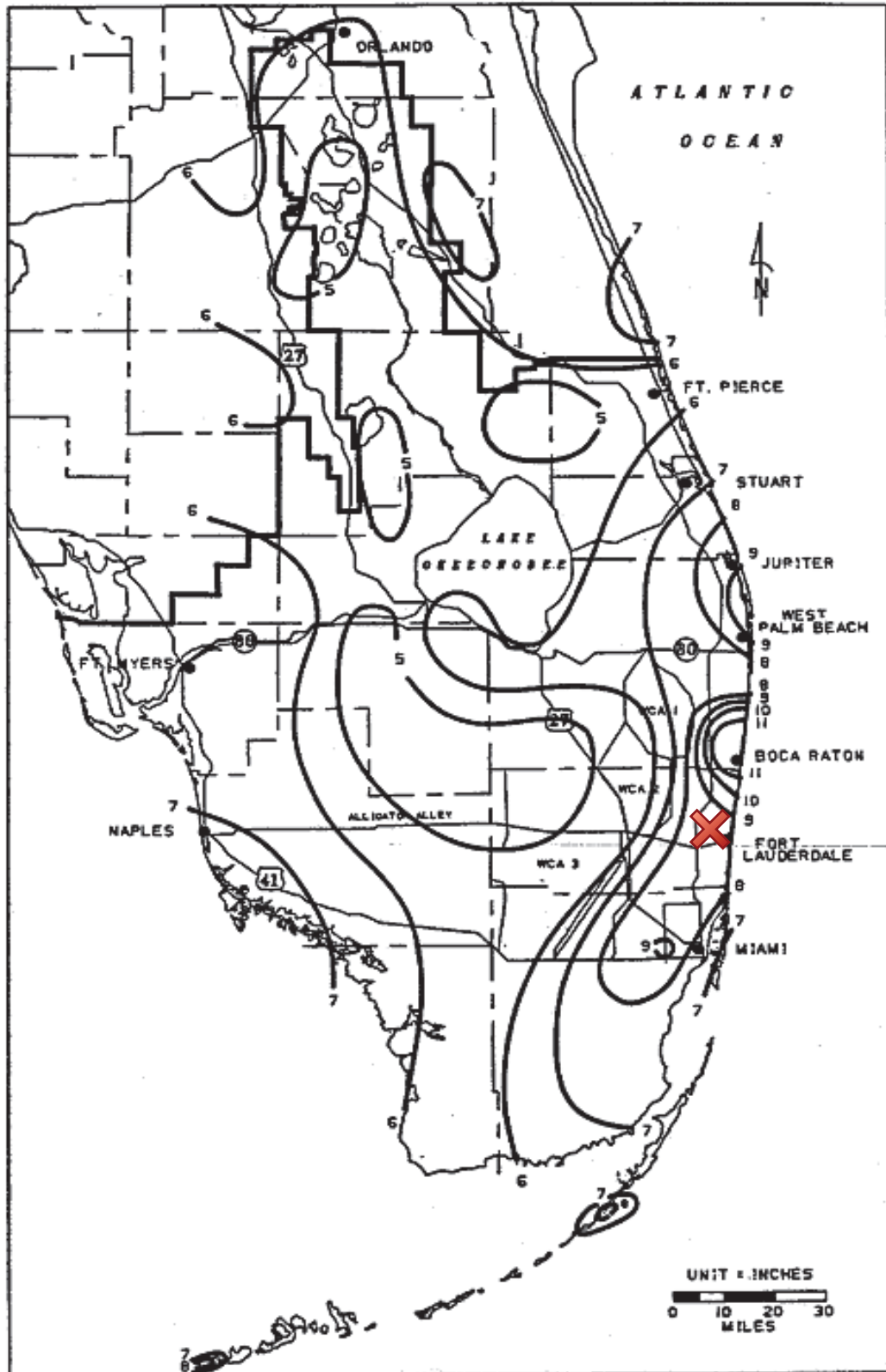


FIGURE C-4. 1-DAY RAINFALL: 10-YEAR RETURN PERIOD

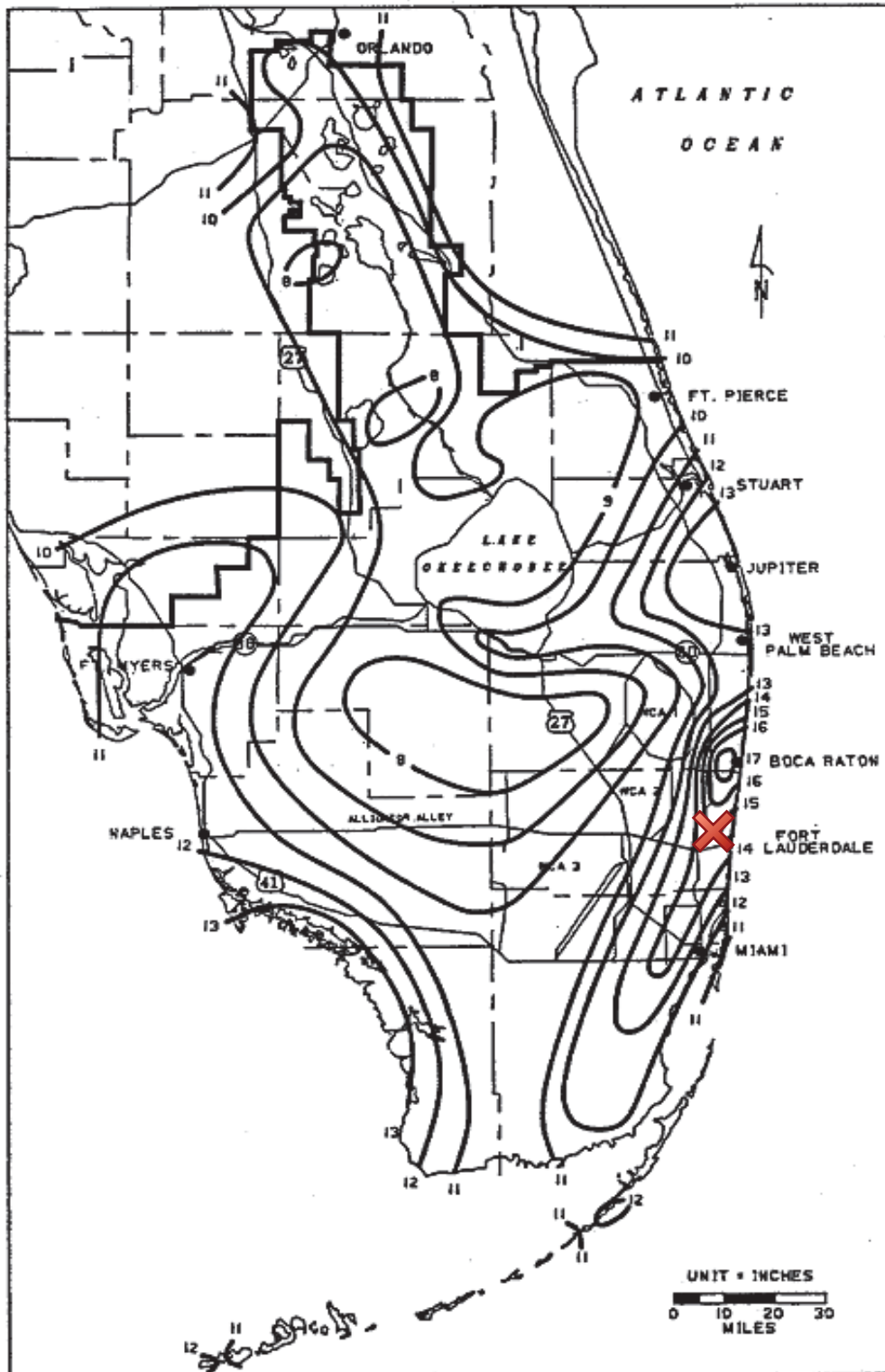


FIGURE C-8. 3-DAY RAINFALL: 25-YEAR RETURN PERIOD

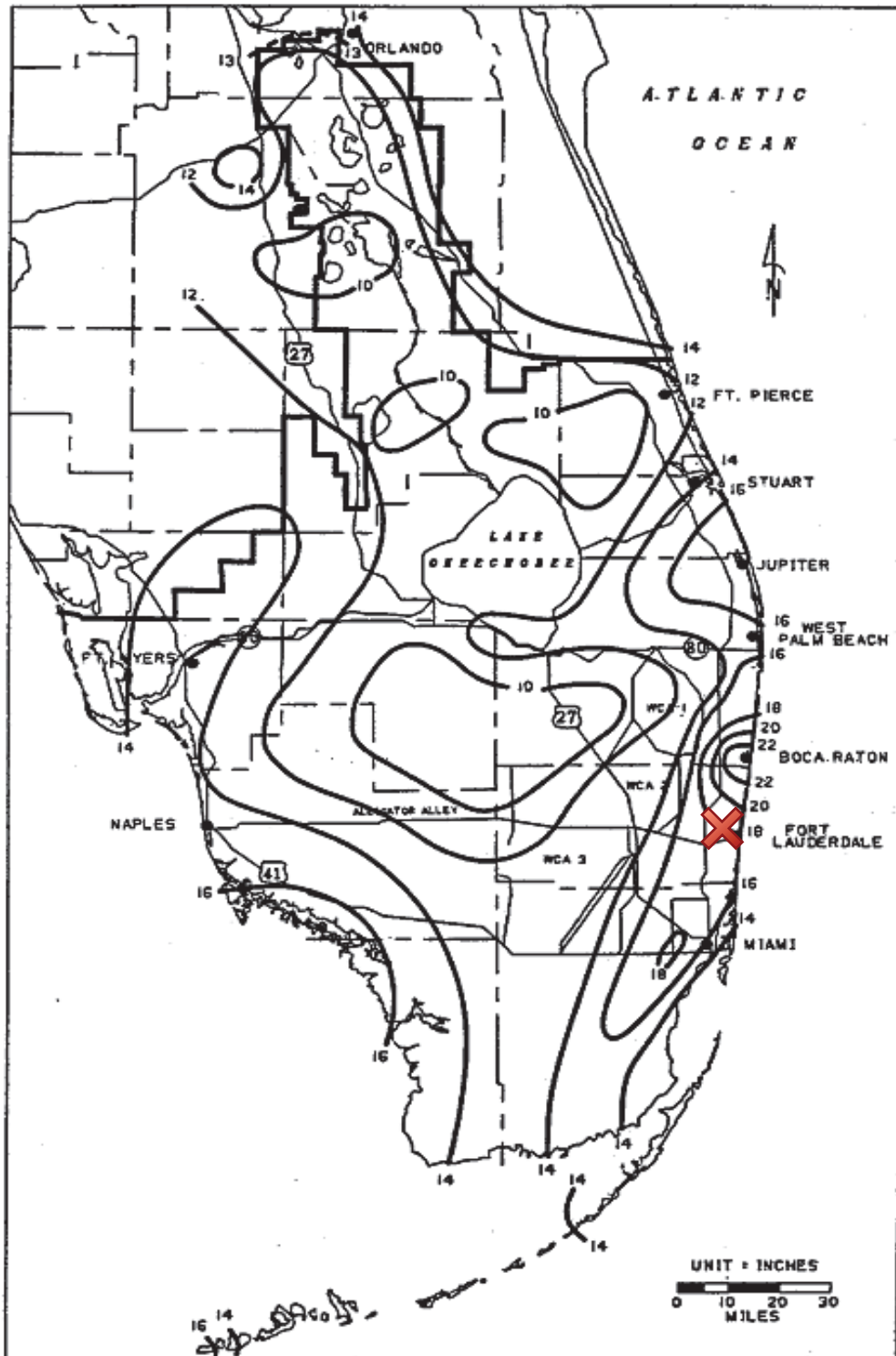


FIGURE C-9. 3-DAY RAINFALL: 100-YEAR RETURN PERIOD



**CITY OF FORT LAUDERDALE
DEVELOPMENT SERVICES DEPARTMENT**

ADDRESS VERIFICATION CONFIRMATION

Verification Request #: BLD-ADDVER-24030004
Completion Date: 3/7/2024
Purpose of Address Request: To verify an existing address for DRC

PROPERTY INFORMATION

The property information is listed below. If the property has more than one address, please note that more than one folio number will be listed

Folio Number: 494234060650
Address: 809 NE 16 AVENUE, FORT LAUDERDAL
Legal Description: PROGRESSO 2-18 D LOT 9 BLK 242

Requestor Name: Andrew Schein
Requestor Email: ASchein@lochrielaw.com
Requestor Phone: 9546178919

Verified / Assigned Address: 809 NE 16 AVENUE, FORT LAUDERDAL
Former / Known As Address: 809 NE 16 AVENUE, FORT LAUDERDAL
Authorized City Representative: JAZMINE EVEILLARD
Notes (If Applicable):

December 6, 2023


David Solomon, City Clerk
City of Fort Lauderdale
100 North Andrews Avenue
Fort Lauderdale, FL 33301

Re: Permitting for property located at 809/821/825/841 and 847 NE 16 Avenue, all located in the City of Fort Lauderdale, FL 33304 ("Property")

Dear City Clerk:

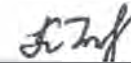
We hereby authorize Lochrie & Chakas, P.A. to act as agents in connection with all land use and zoning matters related to the Property referenced above.

Sincerely,
Victoria Park Development LLC

By: 
Printed Name: Igor Michin
Title: Manager
Date: 12/07/2023

STATE OF IL
COUNTY OF Cook

The foregoing instrument was acknowledged before me, by means of (check one): online notarization, this 11th day of December, 2023 by _____ as _____ of Victoria Park Development LLC, who is personally known to me or who has produced driver license as identification.


Notary Public Iryna Koval
Typed, printed or stamped name of Notary Public

My Commission Expires:





March 14, 2024

Sent Via Email

Victoria Park Development, LLC,
18101 Collins Avenue, Unit 3908
Sunny Isles Beach, FL, 33160

Andrew Schein, Esq. | Lochrie & Chakas, P.A.
ASchein@lochrielaw.com

Dear Applicant:

This letter provides the status of the development application submitted on March 7, 2024 described below, which the City has reviewed to determine whether the application is complete in accordance with Section 166.033(1), State Statute, as amended.

Case Number:	UDP-S24017
Application Type:	Site Plan Level II
Request:	24-unit townhome development
Project Name:	809 NE 16 th Avenue
General Location:	809 NE 16 th Avenue
Application Status:	COMPLETE

Approval/Denial Timeframes

120 Days:	July 12, 2024
180 Days:	September 10, 2024

DRC Meeting Date:	April 9, 2024
Case Planner:	Michael P. Ferrera

In accordance with Section 166.033(1), Florida Statutes, the City will approve, approve with conditions, or deny the application within 120 days of the date of this letter. The applicant may request a waiver to this timeline by completing the attached waiver and submitting it to the Development Services Department on or before *March 18, 2024*.

If there are any questions regarding this notice, you may contact me at mferrera@fortlauderdale.gov or 954-828-5265.

Sincerely,

Michael P. Ferrera

Urban Design and Planning Division
Case Planner



Site Address	809 NE 16 AVENUE, FORT LAUDERDALE FL 33304	ID #	4942 34 06 0650
Property Owner	VICTORIA PARK DEVELOPMENT LLC	Millage	0312
Mailing Address	18101 COLLINS AVE UNIT 3908 SUNNY ISLES BEACH FL 33160	Use	00
Abbr Legal Description	PROGRESSO 2-18 D LOT 9 BLK 242		

The just values displayed below were set in compliance with **Sec. 193.011**, Fla. Stat., and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2024 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2024*	\$506,250		\$506,250	\$506,250	
2023	\$506,250		\$506,250	\$191,310	\$5,780.10
2022	\$405,000		\$405,000	\$173,920	\$4,728.16

2024* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$506,250	\$506,250	\$506,250	\$506,250
Portability	0	0	0	0
Assessed/SOH	\$506,250	\$506,250	\$506,250	\$506,250
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$506,250	\$506,250	\$506,250	\$506,250

Sales History			
Date	Type	Price	Book/Page or CIN
9/19/2023	SW*-E	\$7,500,000	119128474
12/23/2009	SW*-D	\$1,000,000	46763 / 59
7/13/2009	CE*-T	\$100	46395 / 1885
1/26/2009	QC*-T	\$100	45943 / 1631
4/5/2005	WD	\$500,000	39433 / 365

Land Calculations		
Price	Factor	Type
\$75.00	6,750	SF
Adj. Bldg. S.F.		

* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F3		
L								
1						6750		



Site Address	821 NE 16 AVENUE, FORT LAUDERDALE FL 33304	ID #	4942 34 06 0620
Property Owner	VICTORIA PARK DEVELOPMENT LLC	Millage	0312
Mailing Address	18101 COLLINS AVE UNIT 3908 SUNNY ISLES BEACH FL 33160	Use	00
Abbr Legal Description	PROGRESSO 2-18 D LOTS 6,7,8 BLK 242		

The just values displayed below were set in compliance with **Sec. 193.011**, Fla. Stat., and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2024 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2024*	\$1,518,750		\$1,518,750	\$1,518,750	
2023	\$1,518,750		\$1,518,750	\$573,960	\$17,340.61
2022	\$1,215,000		\$1,215,000	\$521,790	\$14,184.84

2024* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$1,518,750	\$1,518,750	\$1,518,750	\$1,518,750
Portability	0	0	0	0
Assessed/SOH	\$1,518,750	\$1,518,750	\$1,518,750	\$1,518,750
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$1,518,750	\$1,518,750	\$1,518,750	\$1,518,750

Sales History			
Date	Type	Price	Book/Page or CIN
9/19/2023	SW*-E	\$7,500,000	119128474
12/23/2009	SW*-D	\$1,000,000	46763 / 59
7/13/2009	CE*-T	\$100	46395 / 1885
1/26/2009	QC*-T	\$100	45943 / 1631
4/5/2005	WD*	\$3,375,000	39433 / 366

Land Calculations		
Price	Factor	Type
\$75.00	20,250	SF
Adj. Bldg. S.F.		

* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F3		
L								
1						20250		



Site Address	825 NE 16 AVENUE, FORT LAUDERDALE FL 33304	ID #	4942 34 06 0600
Property Owner	VICTORIA PARK DEVELOPMENT LLC	Millage	0312
Mailing Address	18101 COLLINS AVE UNIT 3908 SUNNY ISLES BEACH FL 33160	Use	00
Abbr Legal Description	PROGRESSO 2-18 D LOT 3,4,5 BLK 242		

The just values displayed below were set in compliance with [Sec. 193.011](#), Fla. Stat., and include a reduction for costs of sale and other adjustments required by [Sec. 193.011\(8\)](#).

* 2024 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2024*	\$1,518,750		\$1,518,750	\$1,518,750	
2023	\$1,518,750		\$1,518,750	\$573,960	\$17,340.61
2022	\$1,215,000		\$1,215,000	\$521,790	\$14,184.84

2024* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$1,518,750	\$1,518,750	\$1,518,750	\$1,518,750
Portability	0	0	0	0
Assessed/SOH	\$1,518,750	\$1,518,750	\$1,518,750	\$1,518,750
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$1,518,750	\$1,518,750	\$1,518,750	\$1,518,750

Sales History			
Date	Type	Price	Book/Page or CIN
9/19/2023	SW*-E	\$7,500,000	119128474
12/23/2009	SW*-D	\$1,000,000	46763 / 59
7/13/2009	CE*-T	\$100	46395 / 1885
1/26/2009	QC*-T	\$100	45943 / 1631
4/5/2005	WD*	\$3,375,000	39433 / 366

Land Calculations		
Price	Factor	Type
\$75.00	20,250	SF
Adj. Bldg. S.F.		

* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F3		
L								
1						20250		



Site Address	841 NE 16 AVENUE, FORT LAUDERDALE FL 33304	ID #	4942 34 06 0590
Property Owner	VICTORIA PARK DEVELOPMENT LLC	Millage	0312
Mailing Address	18101 COLLINS AVE UNIT 3908 SUNNY ISLES BEACH FL 33160	Use	00
Abbr Legal Description	PROGRESSO 2-18 D LOT 2 BLK 242		

The just values displayed below were set in compliance with **Sec. 193.011**, Fla. Stat., and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2024 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2024*	\$506,250		\$506,250	\$506,250	
2023	\$506,250		\$506,250	\$191,310	\$5,780.10
2022	\$405,000		\$405,000	\$173,920	\$4,728.16

2024* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$506,250	\$506,250	\$506,250	\$506,250
Portability	0	0	0	0
Assessed/SOH	\$506,250	\$506,250	\$506,250	\$506,250
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$506,250	\$506,250	\$506,250	\$506,250

Sales History			
Date	Type	Price	Book/Page or CIN
9/19/2023	SW*-E	\$7,500,000	119128474
12/23/2009	SW*-D	\$1,000,000	46763 / 59
6/30/2009	CE*-T	\$100	46395 / 1885
1/26/2009	QC*-T	\$100	45943 / 1631
4/5/2005	WD	\$525,000	39433 / 363

Land Calculations		
Price	Factor	Type
\$75.00	6,750	SF
Adj. Bldg. S.F.		

* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F3		
L								
1						6750		



Site Address	845-847 NE 16 AVENUE #A-D, FORT LAUDERDALE FL 33304	ID #	4942 34 06 0580
Property Owner	VICTORIA PARK DEVELOPMENT LLC	Millage	0312
Mailing Address	18101 COLLINS AVE UNIT 3908 SUNNY ISLES BEACH FL 33160	Use	08-04
Abbr Legal Description	PROGRESSO 2-18 D LOT 1 BLK 242		

The just values displayed below were set in compliance with **Sec. 193.011**, Fla. Stat., and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2024 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2024*	\$168,750	\$700,350	\$869,100	\$869,100	
2023	\$168,750	\$560,330	\$729,080	\$545,400	\$13,352.47
2022	\$101,250	\$600,340	\$701,590	\$495,820	\$12,206.99

2024* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$869,100	\$869,100	\$869,100	\$869,100
Portability	0	0	0	0
Assessed/SOH	\$869,100	\$869,100	\$869,100	\$869,100
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$869,100	\$869,100	\$869,100	\$869,100

Sales History			
Date	Type	Price	Book/Page or CIN
9/19/2023	SW*-E	\$7,500,000	119128474
10/24/2011	WD-Q	\$185,000	48299 / 1337
6/15/2011	QCD-T	\$100	47999 / 715
5/4/2011	WD-T	\$100	47916 / 1011
9/8/1997	WD	\$100	27023 / 937

Land Calculations		
Price	Factor	Type
\$25.00	6,750	SF
Adj. Bldg. S.F. (Card, Sketch)		2137
Units		4
Eff./Act. Year Built: 1958/1957		

* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F2		
R								
4						6750		