



# DEVELOPMENT APPLICATION FORM

Application Form: All Applications | Rev. 01/24/2023

**INSTRUCTIONS:** The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The development application form must be filled out accurately and all applicable sections must be completed. Only complete the sections indicated for application type with N/A for those section items not applicable. Refer to "Specifications for Plan Submittal" by application type for information requirements for submittal. Select the application type and approval level in **SECTION A** and complete the sections specified.

## A APPLICATION TYPE AND APPROVAL LEVEL Select the application type from the list below and check the applicable type.

<input type="checkbox"/> <b>LEVEL I</b> <b>ADMINISTRATIVE REVIEW COMMITTEE (ADMIN)</b> <ul style="list-style-type: none"> <li>New nonresidential less than 5,000 square feet</li> <li>Change of use (some impact or less than existing use)</li> <li>Plat note/Nonvehicular access line amendment</li> <li>Administrative site plan</li> <li>Amendment to site plan*</li> <li>Property and right-of-way applications (MOTs, construction staging)</li> <li>Parking Agreements (separate from site plans)</li> </ul>	<input checked="" type="checkbox"/> <b>LEVEL II</b> <b>DEVELOPMENT REVIEW COMMITTEE (DRC)</b> <ul style="list-style-type: none"> <li>New Nonresidential 5,000 square feet or greater</li> <li>Residential 5 units or more</li> <li>Nonresidential use within 100 feet of residential property</li> <li>Redevelopment proposals</li> <li>Change in use (if great impact than existing use)</li> <li>Development in Regional Activity Centers (RAC)*</li> <li>Development in Uptown Project Area*</li> <li>Regional Activity Center Signage</li> <li>Design Review Team (DRT)</li> <li>Affordable Housing (≥10%)</li> </ul>	<input type="checkbox"/> <b>LEVEL III</b> <b>PLANNING AND ZONING BOARD (PZB)</b> <ul style="list-style-type: none"> <li>Conditional Use</li> <li>Parking Reduction</li> <li>Flex Allocation</li> <li>Cluster / Zero Lot Line</li> <li>Modification of Yards*</li> <li>Waterway Use</li> <li>Mixed Use Development</li> <li>Community Residences*</li> <li>Social Service Residential Facility (SSRF)</li> <li>Medical Cannabis Dispensing Facility*</li> <li>Community Business District for uses greater than 10,000 square feet</li> </ul>	<input type="checkbox"/> <b>LEVEL IV</b> <b>CITY COMMISSION (CC)</b> <ul style="list-style-type: none"> <li>Land Use Amendment</li> <li>Rezoning</li> <li>Plat</li> <li>Public Purpose Use</li> <li>Central Beach</li> <li>Development of Significant Impact*</li> <li>Vacation of Right-of-Way</li> <li>City Commission Review Only (review not required by PZB)</li> <li>Vacation of Easement*</li> </ul>
<b>COMPLETE SECTIONS</b> B, C, D, G	<b>COMPLETE SECTIONS</b> B, C, D, E, F	<b>COMPLETE SECTIONS</b> B, C, D, E, F	<b>COMPLETE SECTIONS</b> B, C, D, E, F
<input type="checkbox"/> <b>EXTENSION</b> Request to extend approval date for a previously approved application	<input type="checkbox"/> <b>DEFERRAL</b> Request to defer after an application is scheduled for public hearing	<input type="checkbox"/> <b>APPEAL/DE NOVO</b> <ul style="list-style-type: none"> <li>Appeal decision by approving body</li> <li>De Novo hearing items</li> </ul>	<input type="checkbox"/> <b>PROPERTY AND ROW ITEM</b> <ul style="list-style-type: none"> <li>Road closures</li> <li>Construction staging plan</li> <li>Revocable licenses</li> </ul>
<b>COMPLETE SECTIONS</b> B, C, H	<b>COMPLETE SECTIONS</b> B, C, H	<b>COMPLETE SECTIONS</b> B, C, H	<b>COMPLETE SECTIONS</b> B, C, E

\*Application is subject to specific review and approval process. Levels III and IV are reviewed by Development Review Committee unless otherwise noted.

## B APPLICANT INFORMATION If applicant is the business operator, complete the agent column and provide property owner authorization.

<b>Applicant/Property Owner</b>	Vorino Property LLC	<b>Authorized Agent</b>	Andrew J. Schein, Esq.
<b>Address</b>		<b>Address</b>	699 N. Federal Hwy., Suite 400
<b>City, State, Zip</b>		<b>City, State, Zip</b>	Fort Lauderdale, FL 33304
<b>Phone</b>		<b>Phone</b>	954-617-8919
<b>Email</b>		<b>Email</b>	ASchein@lochrirelaw.com
<b>Proof of Ownership</b>		<b>Authorization Letter</b>	Letter Attached
<b>Applicant Signature:</b>		<b>Agent Signature:</b>	Andrew Schein <small>Digitally signed by Andrew Schein          DN: cn=Andrew Schein, o=au,          email=ASchein@lochrirelaw.com,          c=US          Date: 2024.03.06 10:15:45 -0500</small>

## C PARCEL INFORMATION

<b>Address/General Location</b>	3045 N. Federal Highway
<b>Folio Number(s)</b>	494225080040 & 494225080050
<b>Legal Description (Brief)</b>	Coral Shopping Center 29-30 B Lots 3 and 4
<b>City Commission District</b>	1
<b>Civic Association</b>	None

## D LAND USE INFORMATION

<b>Existing Use</b>	Retail/Take out restaurant
<b>Land Use</b>	Commercial
<b>Zoning</b>	B-1
<b>Proposed</b>	<i>Applications requesting land use amendments and rezonings.</i>
<b>Proposed Land Use</b>	
<b>Proposed Zoning</b>	

## E PROJECT INFORMATION Provide project information. Circle yes or no where noted. If item is not applicable, indicate N/A.

<b>Project Name</b>	ARCDialysis									
<b>Project Description (Describe in detail)</b>	Change of Use/Shared Parking Reduction for a dialysis center									
<b>Estimated Project Cost</b>	\$ (Estimated total project cost including land costs for all new development applications only)									
<b>Affordable Housing</b>		30%	50%	60%	80%	100%	120%	140%		
<b>Number of Units</b>										



Waterway Use	No				
Flex Units Request	No				
Commercial Flex Acreage	No				
Residential Uses					
Single Family					
Townhouses					
Multifamily					
Cluster/Zero Lot Line					
Other					
Total (dwelling units)					
Unit Mix (dwelling units)	<table border="1"> <tr> <td>Studio or Efficiency</td> <td>1- Bedroom</td> <td>2- Bedroom</td> <td>3+ Bedroom</td> </tr> </table>	Studio or Efficiency	1- Bedroom	2- Bedroom	3+ Bedroom
Studio or Efficiency	1- Bedroom	2- Bedroom	3+ Bedroom		

Traffic Study Required	No
Parking Reduction	No
Public Participation	No
Non-Residential Uses	
Commercial	5,070 SF
Restaurant	
Office	
Industrial	
Other	
Total (square feet)	5,696 SF

**F PROJECT DIMENSIONAL STANDARDS** *Indicate all required and proposed standards for the project. Circle yes or no where indicated.*

	Required Per ULDR	Proposed	
Lot Size (Square feet/acres)	None	3,400 SF / .078 acres	
Lot Density (Units/acres)	N/A	N/A	
Lot Width	None	68'	
Building Height (Feet)	150'	+/- 18' (existing)	
Structure Length	None	68' (existing)	
Floor Area Ratio (F.A.R)	None	1.00 (existing)	
Lot Coverage	None	100% (existing)	
Open Space	None	None (existing)	
Landscape Area	None (change of use)	None (existing)	
Parking Spaces	38	See shared parking study	
SETBACKS (Indicate direction N,S,E,W)	Required Per ULDR	Proposed	
Front [ E ]	5'	N/A (interior in shopping center)	
Side [ W ]	None	0' (existing)	
Corner / Side [ N ]	None	0' (existing)	
Rear [ S ]	None	0' (existing)	
<i>For projects in Downtown, Northwest, South Andrews, and Uptown Master Plans to be completed in conjunction with the applicable items above.</i>			
Tower Stepback	Required Per ULDR	Proposed	Deviation
Front / Primary Street [ ]			
Sides / Secondary Street [ ]			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate (square feet)			
Residential Unit Size (minimum)			

**G AMENDED PROJECT INFORMATION** *Provide approved and proposed amendments for project. Circle yes or no where indicated.*

Project Name			
Proposed Amendment Description (Describe in detail)			
	Original Approval	Proposed Amendment	Amended
Residential Uses (dwelling units)			
Non-Residential Uses (square feet)			
Lot Size (Square feet/acres)			
Lot Density (Units/acres)			
Lot Width			
Building Height (Feet)			
Structure Length			
Floor Area Ratio (F.A.R)			
Lot Coverage			
Open Space			
Landscape Area			
Parking Spaces			
Tower Stepback			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate (square feet)			
Residential Unit Size (minimum)			
Does this amendment require a revision to the traffic statement or traffic study completed for the project?			
Does this amendment require a revised water sewer capacity letter?			

**H EXTENSION, DEFERRAL, APPEAL INFORMATION** *Provide information for specific request. Circle approving body and yes or no.*

Project Name						
Request Description						
EXTENSION REQUEST		DEFERRAL REQUEST		APPEAL REQUEST / DE NOVO HEARING		
Approving Body		Approving Body		Approving Body		
Original Approval Date		Scheduled Meeting Date		30 Days from Meeting (Provide Date)		
Expiration Date (Permit Submittal Deadline)		Requested Date		60 Days from Meeting (Provide Date)		
Expiration Date (Permit Issuance Deadline)		Previous Deferrals Granted		Appeal Request		



<p><b>Requested Extension</b> <i>(No more than 24 months)</i></p> <p><b>Code Enforcement</b> <i>(Applicant Obtain by Code Compliance Division)</i></p>	<p><b>Justification Letter Provided</b></p>	<p><b>Indicate Approving Body Appealing</b> <b>De Novo Hearing Due to City Commission Call-Up</b></p>
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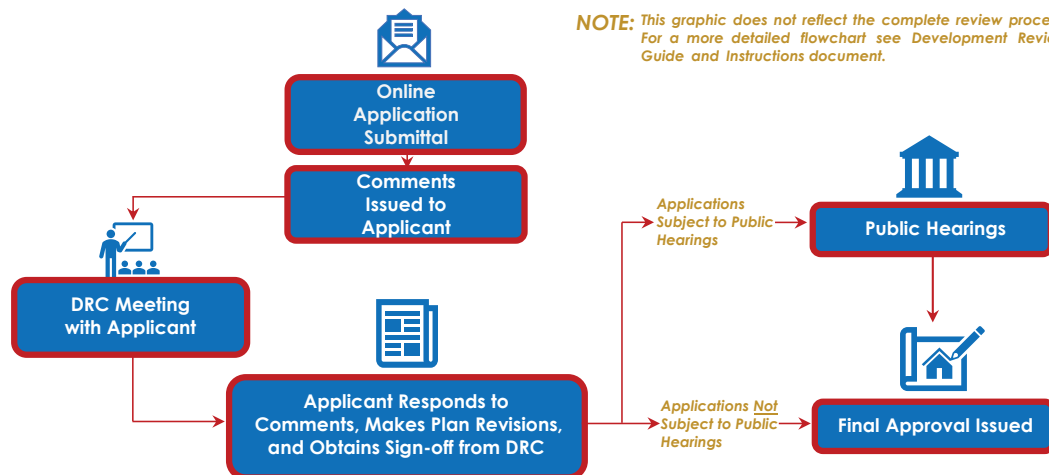
**CHECKLIST FOR SUBMITTAL AND COMPLETENESS:** The following checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide this information will result in your application being deemed **incomplete**.

- Preliminary Development Meeting** completed on the following date:  **PROVIDE DATE**
- Development Application Form** completed with the applicable information including signatures.
- Proof of Ownership** warranty deed or tax record including corporation documents and SunBiz verification name.
- Address Verification Form** applicant contact David Goodrum at 954-828-5976 or [DGoodrum@fortlauderdale.gov](mailto:DGoodrum@fortlauderdale.gov)
- Project and Unified Land Development Code Narratives** project narrative and the applicable ULDR sections and criteria as described in the specifications for submittal by application type.
- Electronic Files, File Naming, and Documents** consistent with the applicable specifications for application type, consistent with the online submittal requirements including file naming convention, plan sets uploaded as single pdf.
- Traffic Study or Statement** submittal of a traffic study or traffic statement.
- Stormwater Calculations** signed and sealed by a Florida registered professional engineer consistent with calculations as described in the specifications for plan submittal for site plan applications.
- Water and Wastewater Capacity Request** copy of email to Public Works requesting the capacity letter.

**OVERVIEW FOR ONLINE SUBMITTAL REQUIREMENTS:** Submittals must be conducted through the City's online citizen access portal [LauderBuild](#). No hardcopy application submittals are accepted. Below only highlights the important submittal requirements that applicants must follow to submit online and be deemed complete. View all the requirements at [LauderBuild Plan Room](#).

- **Uploading Entire Submittal** upload all documents at time the application is submitted to prevent delays in processing.
- **File Naming Convention** file names must adhere to the City's [File Naming Convention](#).
- **Reduce File Size** plan sets and other large files must be merged or flattened to reduce file size.
- **Plan Sets** plan sets like site plans, plats, etc. must be submitted as a single pdf file. Staff will instruct when otherwise.
- **Document Categories** choose the correct document category when uploading.

**DRC PROCESS OVERVIEW:** The entire development review process flowchart can be found in the [Development Application Guide and Instructions](#) document. Below is a quick reference flowchart with key steps in the process to guide applicants.



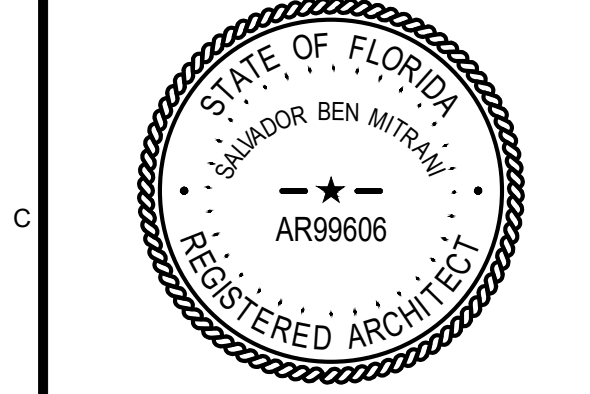
**CONTACT INFORMATION:** Questions regarding the development process or [LauderBuild](#), see contact information below.

GENERAL URBAN DESIGN AND PLANNING QUESTIONS	
Planning Counter 954-828-6520, Option 5 <a href="mailto:planning@fortlauderdale.gov">planning@fortlauderdale.gov</a>	

LAUDERBUILD ASSISTANCE AND QUESTIONS	
DSD Customer Service 954-828-6520, Option 1 <a href="mailto:lauderbuild@fortlauderdale.gov">lauderbuild@fortlauderdale.gov</a>	



NOVUS Archetype, LLC  
12721 S.W. 30TH ST., MIAMI, FL 33175  
PH: (305) 505-6910 E-mail: contact@novusarchetype.com  
AA26001460  
Qualifier: Julio Pulido AIA  
License #: AR93904  
Qualifier: Salvador Ben Mitran, NCARB  
License #: AR99606



PROJECT:

**INTERIOR ALTERATION**  
**ARC DIALYSIS CLINIC**  
3045 N. FEDERAL HWY., SPACE #14  
FORT LAUDERDALE, FLORIDA, 33306  
  
OWNER: Yosmay Paez

MANAGEMENT:

#	REVISIONS	DATE

DATE :	04 /26 / 2023
PROJECT No. :	2023-01-01
DRAWN BY:	S.M. & J.P.
CHECKED BY:	S.M.

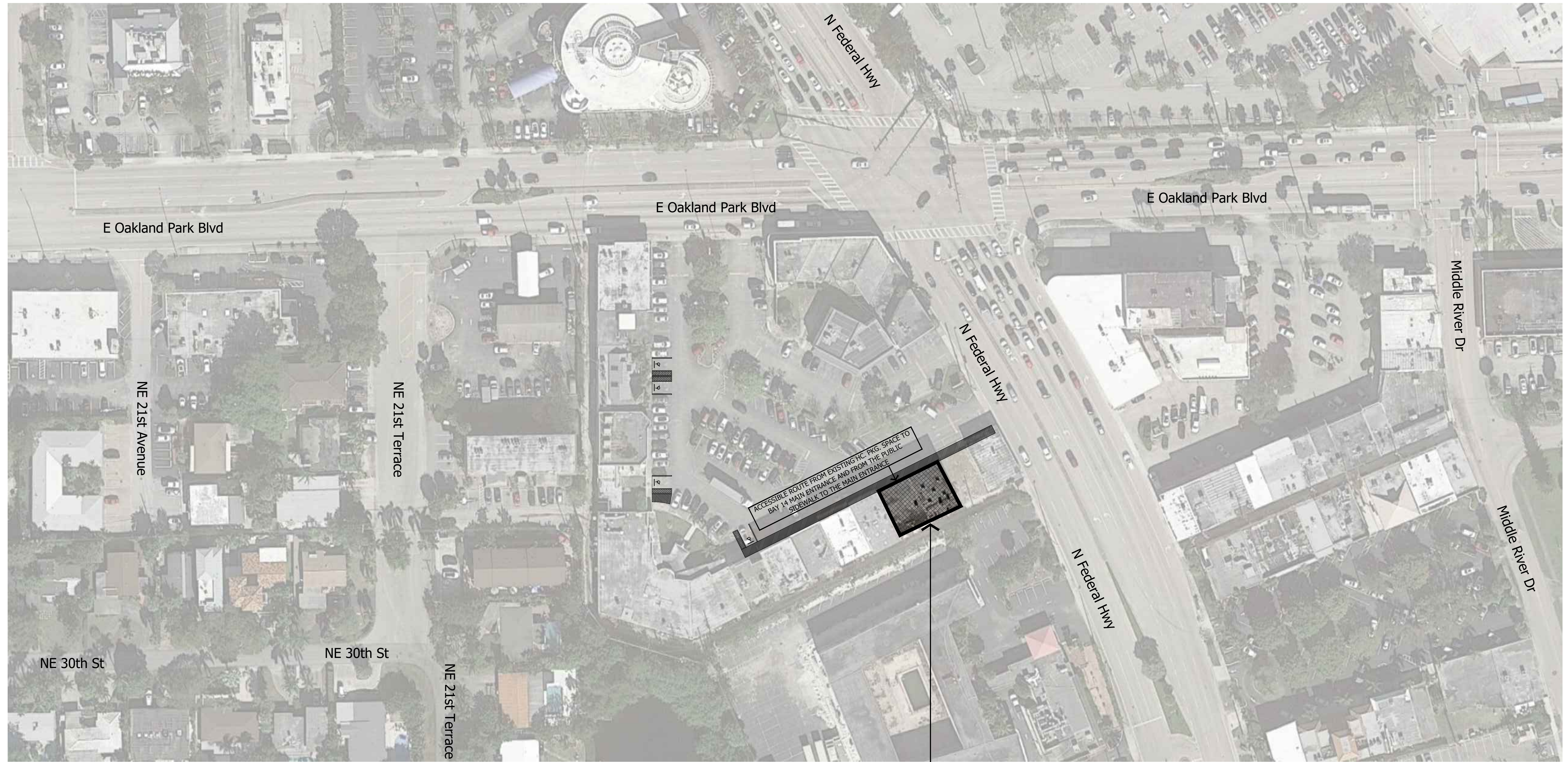
COPYRIGHT NOVUS ARCHETYPE, LLC 2023

SHEET TITLE:

**SITE PLAN**

SHEET No:

**A-1.00**



**SCOPE OF WORK:**

- 1-) THE SCOPE OF WORK HAS BEEN GENERALLY DESCRIBED IN THIS SET OF DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE NECESSARY SCOPE OF WORK, IN ORDER TO COMPLETE THE JOB, AS INTENDED IN THIS SET OF DRAWINGS.
- 2-) THE SCOPE OF WORK UNDER THIS SUBMITTAL ENCOMPASSES THE FOLLOWING:
  - a) THE INTERIOR BUILT-OUT OF CURRENTLY VACANT BAY 14 (OF 3,386.82 S.F.) TO ACCOMMODATE A NEW DIALYSIS CLINIC.
  - b) REFER TO THE SET OF DRAWINGS FOR THE DESIGN OF THE NEW DIALYSIS CLINIC.

NOTE: - ALL OF THE WORK UNDER THIS SUBMITTAL IS CONFINED TO THE INTERIOR OF THE BUILDING, AND SPECIFICALLY TO THE INTERIOR OF TENANT SPACE BAY 14, LOCATED ON THE GROUND LEVEL OF THE EXISTING BUILDING.  
- THERE ARE NO ALTERATION, MODIFICATIONS, OR WORK OF ANY KIND UNDER THIS SUBMITTAL TO ANY EXTERIOR ELEMENTS, EXTERIOR AREA, FACADES, OR PUBLIC ELEMENTS OR AREAS OF THE EXISTING BUILDING.  
- THERE ARE NO ALTERATIONS OR MODIFICATIONS OF ANY KIND UNDER THIS SUBMITTAL TO ANY STRUCTURAL SYSTEM, ELEMENT, OR MEMBER.

**PROPERTY ADDRESS:**

3045 N. FEDERAL HWY., BAY 14,  
FORT LAUDERDALE, FLORIDA, 33360

**ZONING LEGEND:**

ZONING DISTRICT: EXITING & NOT ALTERED, (B-1 Boulevard Business District)  
TENANT SPACE AREA: 3,387 S.F. (GROSS)

EXISTING USE OF SPACE: ASSEMBLY GROUP-A2  
PROPOSED USE: BUSINESS GROUP-B - CLINIC, OUTPATIENT

PARKING:  
VACANT TENANT SPACE PREVIOUSLY PERMITTED AS RESTAURANT,  
11000 sf gfa  
PROPOSED USE: Medical Office/ Clinic, 11150 sf gfa. THEREFORE, THE PROPOSED USE DOES NOT GENERATE ADDITIONAL PARKING.

SINCE THE PROJECT CONSISTS OF AN INTERIOR BUILT-OUT OF AN ALREADY EXITING AND PERMITTED SPACE, NON OF THE OTHER ZONING PARAMETER ARE ALTERED BY THIS SUBMITTAL.

**CODE IN EFFECT:**

PERMIT SUBMITTAL UNDER FBC 2020 7th EDITION CODES IN EFFECT:  
FBC 7th EDITION 2020 EXISTING BUILDING  
FBC 7th EDITION 2020 BUILDING  
FBC 7th EDITION 2020 ACCESSIBILITY  
FBC 7th EDITION 2020 ENERGY CONSERVATION  
FBC 7th EDITION 2020 MECHANICAL  
FBC 7th EDITION 2020 PLUMBING  
FFPC 7th EDITION 2021  
NEC LATEST EDITION  
CITY OF FORT LAUDERDALE ZONING CODE

**UNDER A SEPARATE PERMIT:**

-MECHANICAL, ELECTRICAL AND PLUMBING TRADES  
-FIRE ALARM SYSTEM.  
(NOTE: SIGNED & SEALED SHOP DRAWINGS REPRESENTING THE FINAL DESIGN AND CONSTRUCTION DETAILS, CALCULATION, AND SPECS SHALL BE SUBMITTED BY A LICENSED FIRE PROTECTION CONTRACTOR TO OBTAIN THE REQUIRED PERMITS.)

**PUBLIC WORKS NOTES:**

- ALL WORK, MATERIALS & EQUIPMENTS ARE TO BE RETAINED INSIDE THE PRIVATE PROPERTY.  
- ALL CONSTRUCTION AND/OR USE OF EQUIPMENT IN THE RIGHT OF WAY AND/OR EASEMENTS WILL REQUIRE A SEPARATE PUBLIC WORKS DEPARTMENT PERMIT PRIOR TO THE START OF CONSTRUCTION.

**CONSTRUCTION LEGEND:**

OCCUPANCY CLASSIFICATION (FBC): BUSINESS GROUP B (CLINIC, OUTPATIENT 304.1)  
OCCUPANCY CLASSIFICATION (FFPC): BUSINESS (6.1.11)  
  
CLASSIFICATION OF WORK (FBC EXISTING BUILDING): ALTERATION LEVEL 2 (603.1 & Shall comply w/ ch 7 & 8)  
CLASSIFICATION OF WORK (FFPC): MODIFICATION (43.2.2.1.3)

TYPE OF CONSTRUCTION: TYPE V B, NON-SPRINKLER: 40' ABOVE GRADE (TABLE 504.3), 2 STORIES ABOVE GRADE (TABLE 504.4), & 9,000 SF (TABLE 506.2)

BUILDING IS NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM AND FIRE ALARM SYSTEM. BUILDING WILL BE OCCUPIED DURING CONSTRUCTION; HOWEVER, THE TENANT SPACE 14, WILL NOT BE OCCUPIED DURING CONSTRUCTION, AND ALL WORK SHALL BE CONFINED TO THE INTERIOR OF TENANT SPACE.

FIRE SEPARATION BETWEEN TENANTS SHALL BE 1 HR. MIN.

TABLE 601 FIRE RESISTANCE REQUIREMENTS FOR BUILDING ELEMENTS  
PRIMARY STRUCTURAL ELEMENTS 0HR  
BEARING WALLS INTERIOR / EXTERIOR 0HR  
FLOOR CONSTRUCTION AND SECONDARY MEMBERS 0HR  
ROOF CONSTRUCTION 0HR

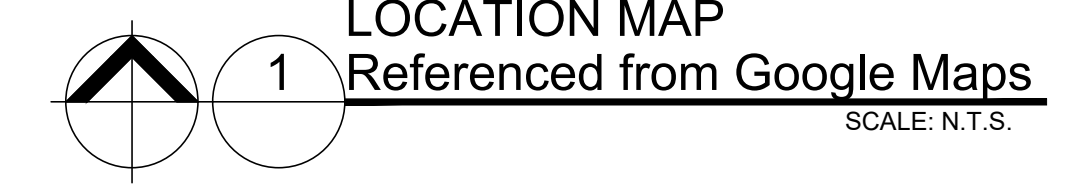
INTERIOR WALL & CEILING FINISH REQUIREMENTS (FBC): NONSPRINKLER SYST. (TABLE 803.11)  
OCCUPANCY CLASSIFICATION: BUSINESS GROUP B  
INTERIOR EXIT STAIRWAY & RAMP AND EXIT PASSAGEWAYS: A  
CORRIDOR & ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMPS: B  
ROOMS ENCLOSED SPACES: C

INTERIOR WALL & CEILING FINISH REQUIREMENTS (NFPA): CHAPTER 38 NEW BUSINESS OCCUPANCY.  
38.3.3.2.1 INTERIOR WALL & CEILING FINISHES MATERIALS COMPLYING WITH SECTION 10.2 SHALL BE CLASS A OR CLASS B IN EXITS & EXITS ACCESS CORRIDORS.  
38.3.3.2.2 INTERIOR WALL & CEILING FINISHES SHALL BE CLASS A, CLASS B, OR CLASS C IN AREAS OTHER THAN THOSE SPECIFIED IN 38.3.3.2.1

INTERIOR FLOOR FINISHES:  
38.3.3.3.1 INTERIOR FLOOR FINISHES SHALL COMPLY WITH SECTION 10.2.  
38.3.3.3.2 INTERIOR FLOOR FINISHES IN EXITS ENCLOSURES SHALL BE CLASS I OR CLASS II.  
38.3.3.3.3 INTERIOR FLOOR FINISHES SHALL COMPLY WITH 10.2.7.1 OR 10.2.7.2, AS APPLICABLE.

CHAPTER 10 CONTENTS AND FURNISHINGS:  
10.3.2.2 MATTRESSES: Newly introduced mattresses, except as otherwise permitted by Chapters 11 through 43, shall have a char length not exceeding 2 in. (51 mm) when tested in accordance with 16 CFR 1632, "Standard for the Flammability of Mattresses and Mattress Pads" (FF 4-72).

BAY 14  
3045 N FEDERAL HWY.,  
FORT LAUDERDALE, FL, 33306



**OCCUPANT LOAD CALCULATIONS & EGRESS FEATURES:**

FOR OCCUPANT LOADS CALCULATION, EGRESS COMPONENTS DOOR SIZE, COMMON PATH OF EGRESS TRAVEL, ACCESS TRAVEL DISTANCES, CORRIDOR FIRE RESISTANT TABLE, ETC. PLEASE REFER TO LIFE SAFETY PLANS SHEET LSP-1.00.

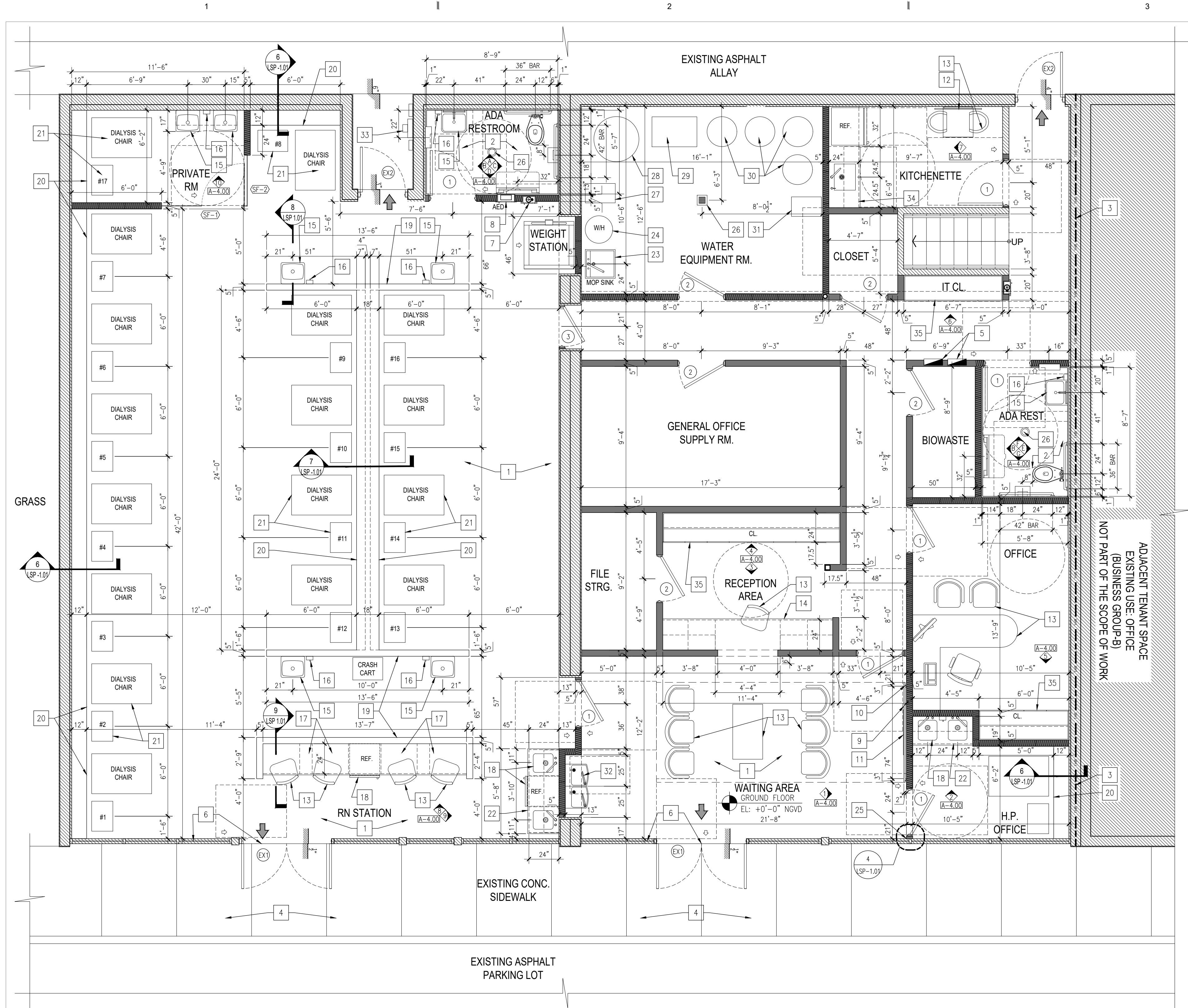
**RESTROOM FIXTURES CALCULATIONS:**

TENANT SPACE AREA = 3,387 S.F.  
OCCUPANCY CLASSIFICATION: BUSINESS GROUP B  
LOAD FACTOR: SF GROSS / 150 = No. Persons  
3,387 SF / 150 = 23 PERSONS

OCCUPANT LOAD / 2 = LOAD OF EACH SEX  
MALE = 12  
FEMALE = 12

AS PER FBC PLUMBING TABLE 403.1

OCCUPANCY CLASSIFICATION	WC	LAV	DRINKING FOUNTAIN	SERVICE SINK
B	1	1	1	1
PROV.	2	2	2	1



**PROPOSED GROUND LEVEL FLOOR PLAN**  
SCALE: 1/4"=1'-0"

NOTE: WATER TREATMENT SYSTEM INSTALLED BY OTHERS. ALL TANKS AND EQUIPMENTS FOR WATER TREATMENT ARE CONSIDERED FURNITURE. THEY CAN BE REMOVED AND REPOSITIONED AS NEEDED DEPENDING ON PROVIDER NEEDS AND OWNER REQUIREMENTS.

- NOTES:**
- FOR ALL FIRE RATED WALL TYPES, COMMON TRAVEL DISTANCES, CALCULATION OF OCCUPANCY LOAD (FOR FIRE DEPARTMENT) AND EMERGENCY EXITS SEE SHEETS SERIES LSP (LIFE SAFETY PLAN)
  - PROVIDE 5/8" DRYWALL ON METAL FURRING CHANNELS FOR ALL EXTERIOR CMU WALLS.
  - PROVIDE R-5 INSULATION IN FURRING CAVITY FOR ALL EXTERIOR CMU WALLS, RIGID BOARD, TYP.
  - PROVIDE R-11 ACOUSTICAL SOUND INSULATION FRICTION FIT BETWEEN STUDS AT INTERIOR WALLS. TYP. REFER TO FLOOR PLANS FOR LOCATION.
  - ALL INTERIOR GLAZING SYSTEMS AND STORE FRONTS INCLUDING GLASS DOORS SHALL BE CATEGORY II SAFETY GLAZING AS PER FBC 2406.4.1 & TABLE 2406.2(1)
  - ALL INTERIOR GLAZING ADJACENT TO DOORS WITHIN 24" OF DOOR EDGES IN CLOSED POSITION, WHERE GLAZING IS LESS THAN 60" ABOVE FLOOR SHALL BE CATEGORY II SAFETY GLAZING AS PER FBC 2406.4.2
  - THE EXACT PLACEMENT OF THE DIALYSIS MACHINE STATION EQUIPMENT AND PATIENT DIALYSIS CHAIRS SHALL BE DETERMINED BY THE MANUFACTURER'S REPRESENTATIVE AND SHALL BE COORDINATED ON THE FIELD. REFER TO FLOOR PLAN.
  - INSTALLATION OF DIALYSIS MACHINES STATION IS NOT DESCRIBED IN THESE DOCUMENTS.
  - THESE PLANS ONLY REQUIRED THE INSTALLATION OF THE ILLUSTRATED UTILITIES FOR EACH EQUIPMENT.
  - ANY PENETRATIONS OR WORK INTO EXISTING 1 HR. FIRE RATED PARTY WALL SHALL BE REPAIRED WITH TYPE "X" GYPSUM BOARD AND ALL JOINTS AND PENETRATIONS SEALED WITH FIRE RATED CAULKING.
  - ALL FINISHES AND COLORS, FURNISHING, CARPENTRY, EQUIPMENT, ETC. SHALL BE SELECTED AND APPROVED BY OWNER.
  - MISTURE AND MOLD RESISTANT DRYWALL SHALL BE USED ALL WET LOCATIONS, SUCH AS, RESTROOMS, SERVICE SINK AREA, ETC.
  - THE EXISTING 1-HR FIRE PROTECTION SPRAY AT THE UNDERSIDE OF THE ROOF STRUCTURE & DECK SHALL BE DISTURBED TO A MINIMUM. ALL DISTURBED AREAS, AS A RESULT OF THE NEW WORK, SHALL BE RE-SPRAY AND PATCH TO MAINTAIN THE FIRE PROTECTION.
  - ALL PENETRATIONS THRU THE FIRE RATED TENANT SEPARATION WALL ASSEMBLY AND FLOOR ASSEMBLY SHALL BE SEALED IN ACCORDANCE WITH UL LISTED DETAILS & SYSTEMS TO MAINTAIN FIRE SEPARATION CONTINUITY. REFER TO LSP SERIES FOR UL LISTED DETAILS AND CUT SHEETS.

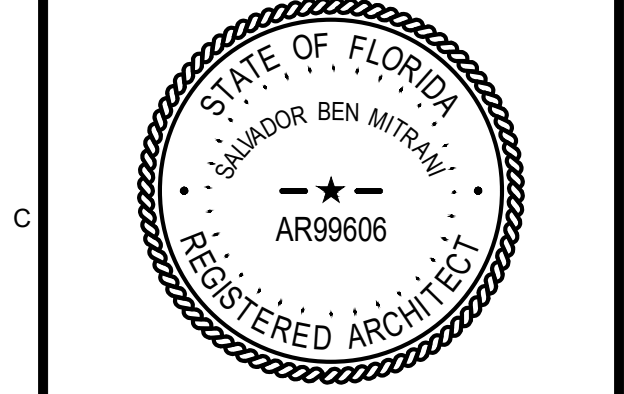
**FLOOR PLAN LEGEND:**

- HATCHED AREA INDICATES AREAS OF THE BUILDING THAT ARE EXISTING AND THAT ARE TO REMAIN AND NOT ALTERED BY THIS SUBMITTAL TYP. INCLUDING EXISTING CMU WALL AND/OR EXISTING PARTITION WALL.
- HATCHED INDICATES AREAS OF THE BUILDING THAT ARE EXISTING AND THAT ARE TO REMAIN & NOT ALTERED BY THIS SUBMITTAL TYP. INCLUDING EXISTING CONC. COLUMNS AND/OR EXISTING CONC. SHEAR WALL.
- NEW INTERIOR GYPSUM BOARD AND STUDS PARTITION WALL. SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND REFER TO SHEET LSP-1.01 TYPICAL INTERIOR PARTITION WALL DETAIL. NEW INTERIOR PARTITIONS SHALL BE CONSTRUCTED OF 25 GA. GAL. STEEL METAL STUDS @ 24" C/C. ON LESS SPECIFIED OTHERWISE. WITH (1) LAYER OF 5/8" GYPSUM BOARD DRYWALL ON EACH SIDE. ALL WALLS SHALL BE PROVIDED WITH LATERAL BRACING / FIRE STOP @ MID SPAN WITH TOP AND BOTTOM 20 GA. CHANNEL RUNNERS. WALLS SUPPORTING CABINETS AND / OR FIXTURES SHALL BE CONSTRUCTED WITH 20 GA. STUDS @ 16" C/C TYP.
- NEW INTERIOR GYPSUM BOARD (SEE NOTE ABOVE) WITH FIBER BAT SOUND INSULATION STRETCHED TIGHT IN STUD CAVITY INSIDE THE NEW INTERIOR PARTITION WALLS. NO FINISHING WHERE INDICATED ON PLAN TYP.
- DESIGNATED MAIN EGRESS DOOR. EXISTING EXTERIOR 27" WIDE DOOR TO REMAIN & NOT ALTERED. THIS DOOR SHALL BE SIDE-HINGED, PROVIDE A MIN. CLEAR OF 32" OPENING WHEN OPEN 90 DEGREES. THE MIN. CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 78" HT. THIS DOOR SHALL BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. THE EXISTING DOOR THRESHOLD IS FLAT AT THE DOOR LANDING. FLOOR LANDING AT THE EGRESS DOOR SHALL NOT BE MORE THAN 1/2" LOWER THAN THE TOP OF THE THRESHOLD.
- EXISTING 1/2 HR FIRE RATED WALL TO REMAIN AND NOT ALTERED. REFER TO NOTES ON THIS PAGE FOR ADDITIONAL INFORMATION.
- EXISTING DOOR TO REMAIN & NOT ALTERED.
- DOOR MARKS, REFER TO FLOOR PLAN AND SCHEDULE TYP.
- INTERIOR WINDOW MARKS, REFER TO FLOOR PLAN & WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
- INTERIOR STORE FRONT FRAMELESS-GLASS SYSTEMS MARKS, CATEGORY II SAFETY GLASS. REFER TO FLOOR PLAN & DOOR SCHEDULES.
- FINISHED MARKS
- WHEELCHAIR "U" TURN TRAJECTORY (60")
- 30x48 ACCESSIBLE CLEARANCE & MANEUVERING CLEARANCE AT MANUAL SWINGING DOORS
- EXISTING CONC. SLAB TO REMAIN & NOT ALTERED.
- PROPOSED ADA RESTROOM. ALL FINISHES SUCH AS SELECTION OF FIXTURES, TILE FINISHES, WALL & CEILING COLOR SELECTION, ETC. WILL BE SELECTED BY OWNER.
- EXISTING 1 HR. FIRE-RESISTANT WALL TO REMAIN AND NOT ALTERED.
- EXISTING EXTERIOR CONCRETE SIDEWALK TO REMAIN AND NOT ALTERED. FLOOR, WALLS, & CEILING FINISHES IN THIS AREA SHALL BE PROTECTED AS NECESSARY DURING CONSTRUCTION TO AVOID ANY DAMAGES. TYP.
- PROPOSED ELECTRICAL PANELS. REFER TO ELECTRICAL PLANS. TYP.
- EXISTING STORE FRONT W/ DOORS TO REMAIN AND NOT ALTERED.
- NYSTROM ALPINE 7000 SERIES FIRE EXTINGUISHER CABINET STAINLESS STEEL FINISH. FULL GLASS DOOR WITH HANDLE. GLASS CONSTRUCTED WITH TEMPERED SAFETY BREAK GLASS. CABINET RECESSED MOUNTING, BUILT WITH A CONTINUOUS HINGED. MOUNT HT. 60 A.F.F.
- PROVIDE A STANDARD SIZE AED WALL CABINET FULLY RECESSED WALL MOUNTED WITH AN AED UNIT (Automated External Defibrillator)
- WALL & CEILING WOOD PANELS ATTACHED TO WALL. WD. VENEER CARAMEL COLOR FINISH OR APPROVED BY OWNER/ARCHITECT. INSTALL THE WD. GRAIN HORIZONTALLY.
- LED CONTINUOUS STRIP. RUNNING VERTICALLY AT BACK OF WD PANEL AND HORIZONTALLY AT BOTTOM OF WD. PANEL AND CEILING. LIGHT COLOR COLD WHITE FINISH. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- OWNER COMPANY LOGO ATTACHED TO THE WALL. LOGO BY OWNER SELECTION. CONTRACTOR TO PROVIDE SHOP DRAWINGS SPECKS ETC.
- TV MOUNTED TO THE WALL. TV MODEL, SIZE, ETC. BY OWNER SELECTION.
- ALL FURNITURE SELECTION WILL BE SELECTED BY OWNER. TYP.
- RECEPTION TOP FINISH INSTALLED AT 30" HT. A.F.F. TYP. CABINETS, MILLWORK & COUNTER TOP FINISHES WILL BE SELECTED & APPROVED BY OWNER. TYP. GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURE SHOP DRAWINGS, SPECS, DETAILS, ETC.
- LAVATORY WALL HUNG. INSTALLED 34" HT. MAX. TOP OF LAVATORY, FAUCET FOR HOT & COLD WATER; DRAIN, DRAIN PIPE INSULATION INCLUDING P-TRAP, VALVE COVERS, STRAIN COVER, & VALVE AND SUPPLY COVES TO BE SELECTED BY OWNER.
- HAND SOAP DISPENSER. INSTALLED 41" HT. A.F.F. AT LOW PARTITION WALL AND INSTALLED AT 48" HT. A.F.F. TO THE TOP OF UNIT. (FILLING CAP) IN THE REST OF THE AREAS.
- RN STATION FURNITURE COUNTER TOP FINISH INSTALLED AT 33" HT. A.F.F. TO ALLOW CLEARANCE SPACE FOR THE 32" HT. UNDER-COUNTER REFRIGERATOR. CABINETS, MILLWORK & COUNTER TOP FINISHES WILL BE SELECTED & APPROVED BY OWNER. TYP. GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURE SHOP DRAWINGS, SPECS, DETAILS, ETC.
- UNDER COUNTER REFRIGERATOR, LAVATORY, AND FAUCET FOR HOT & COLD WATER TO BE SELECTED BY OWNER. TYP.
- LOW PARTITION WALL: TOP FINISHED INSTALLED AT 41" HT. A.F.F. WALL & TOP FINISHES TO BE SELECTED BY OWNER. TYP. SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND REFER TO SHEET LSP-1.01 TYPICAL LOW PARTITION CHASE DETAILS.
- LOW PARTITION CHASE: 12" WIDE CHASE, TOP FINISHED INSTALLED AT 41" HT. A.F.F. SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND REFER TO SHEET LSP-1.01 TYPICAL LOW PARTITION CHASE DETAILS.
- DIALYSIS MACHINES AND CHAIRS TO BE SELECTED BY OWNER. TYP.
- FURNITURE COUNTER TOP FINISH INSTALLED AT 36" HT. A.F.F. TYP. CABINETS, MILLWORK & COUNTER TOP & BACK SPLASH FINISHES WILL BE SELECTED & APPROVED BY OWNER. TYP. GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURE SHOP DRAWINGS, SPECS, DETAILS, ETC.
- MOP SINK, FAUCET, & DRAIN, TO BE SELECTED BY OWNER. REFER TO MEP. DWGS. FOR ADDITIONAL INFORMATION.
- WATER HEATER TANK TO BE SELECTED BY OWNER. REFER TO MEP. DWGS. FOR ADDITIONAL INFORMATION.
- FLOOR DRAIN. REFER TO MEP. DWGS. FOR ADDITIONAL INFORMATION.
- RECIRCULATION PUMP. REFER TO MEP. DWGS. FOR ADDITIONAL INFORMATION. TYP.
- STORAGE TANK. REFER TO MEP. DWGS. FOR ADDITIONAL INFORMATION. TYP.
- REVERSE OSMOSIS. REFER TO MEP. DWGS. FOR ADDITIONAL INFORMATION. TYP.
- TANK. REFER TO MEP. DWGS. FOR ADDITIONAL INFORMATION. TYP.
- BOOSTER PUMP. REFER TO MEP. DWGS. FOR ADDITIONAL INFORMATION. TYP.
- DRINKING WATER FOUNTAIN. HI & LOW. ADA COMPLIANT. CONTRACTOR TO PROVIDE SPECS, MODEL, PRODUCT CONTROL, APPROVALS, ETC. REFER TO MEP. DWGS. FOR ADDITIONAL INFORMATION.
- EXISTING BUILDING METER EQUIPMENT TO REMAIN & NOT ALTERED.
- KITCHENETTE FURNITURE COUNTER TOP FINISH INSTALLED AT 34" HT. A.F.F. TYP. CABINETS, MILLWORK & COUNTER TOP & BACK SPLASH FINISHES WILL BE SELECTED & APPROVED BY OWNER. TYP. GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURE SHOP DRAWINGS, SPECS, DETAILS, ETC.
- CUSTOM BUILD-IN WD. CLOSETS 8'HT. WOOD VENEER CARAMEL COLOR FINISH OR APPROVED BY OWNER/ARCHITECT. INSTALL THE WD. GRAIN HORIZONTALLY. GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURE SHOP DRAWINGS, SPECS, DETAILS, ETC.

DESIGN TEAM:



**NOVUS Archetype, LLC**  
12721 S.W. 30TH ST., MIAMI, FL 33175  
PH: (305) 505-6910 E-mail: contact@novusarchetype.com  
AA26001460  
Qualifier: Julio Pulido AIA  
License #: AR93904  
Qualifier: Salvador Ben Mitrani, NCARB  
License #: AR99606



PROJECT:

**INTERIOR ALTERATION**  
**ARC DIALYSIS CLINIC**  
3045 N. FEDERAL HWY., SPACE #14  
FORT LAUDERDALE, FLORIDA, 33306  
  
OWNER: Yosmay Paez

MANAGEMENT:

#	REVISIONS	DATE

DATE: 04/26/2023  
PROJECT No.: 2023-01-01  
DRAWN BY: S.M. & J.P.  
CHECKED BY: S.M.  
COPYRIGHT NOVUS ARCHETYPE, LLC 2009

SHEET TITLE:

**PROPOSED FLOOR PLAN**

SHEET No:

**A-2.02**

NOTE: (F.B.C. 109.3.6.4.4) "TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 633 OF THE FLORIDA STATUTES."

**OWNER: Vorino Property LLC**  
**PROJECT: ARCDialysis / Coral Shopping Center**  
**ADDRESS: 3045 N. Federal Highway**  
**REQUEST: Shared Parking Approval**  
**AUTHOR: Andrew Schein, Esq.**

**1. General Project Information.**

Vorino Property LLC (“Owner”) is the owner of the property located at 3045 N. Federal Highway (the “Property”). The Property is part of the Coral Shopping Center, which was originally built in 1958, with additional buildings added through the 1980s. The shopping center consists of 21 buildings/owners, all of which use the common parking lot between the buildings. The shopping center has a variety of different uses, each with different peak parking times.

The Property is the former location of Fernanda’s International Market, which was a retail store with dine-in and take-out dining, however their business tax license was for retail and take-out only. With Fernanda’s no longer operating, ARCDialysis, an outpatient dialysis center, is seeking to utilize the Property. The shared parking study submitted with this application classifies ARCDialysis as a typical medical office. Although the shared parking still works by classifying it as a typical medical office, it will not function as a typical medical office. Based on other ARCDialysis locations, most patients will be dropped off by personal caregivers or will utilize coordinated drop-off transportation from various senior living facilities. Regardless, the analysis still works without this additional context.

**2. Shared Parking (ULDR 47-20.3.G)**

The Development Review Committee (DRC) may authorize a parking reduction for a development site with multiple uses upon the review of a shared parking study that demonstrates that the uses are in close proximity to one another and have different peak parking demands and operating hours.

a. *Shared parking study.* The shared parking study shall clearly identify the uses that will use the shared spaces at different times of the day, week, month or year subject to the following:

- i. The shared parking study shall be based on the Urban Land Institute's (ULI) methodology for determining shared parking, or other generally accepted methodology;

**RESPONSE: The shared parking study is based on the ULI methodology for determining shared parking.**

ii. The shared parking study shall address the size and type of activities, the composition of tenants or uses, the rate of turnover for proposed shared spaces, and the anticipated peak parking and traffic demands;

**RESPONSE: The shared parking study addresses the size and type of activities, the composition of tenants or uses, the rate of turnover, and the anticipated peak parking and traffic demands. See the attached parking study for the data and analysis.**

iii. The shared parking study shall provide for no reduction in the number of handicapped spaces;

**RESPONSE: Acknowledged. The Applicant is not requesting a reduction in the number of handicapped spaces.**

iv. The shared parking study shall provide a plan to convert reserved space to required spaces;

**RESPONSE: No reserved spaces were identified on the approved site plan and none are being proposed.**

v. The shared parking study shall be approved by the City Engineer prior to submittal, based on the feasibility and observations of the uses to share the parking due to their particular peak parking and trip generation characteristics;

**RESPONSE: Acknowledged.**

vi. Shared use parking approval shall only be valid for those uses as indicated in the study;

**RESPONSE: Acknowledged.**

vii. If a parking reduction is approved under the provisions of this section, such approval shall be evidenced by the issuance of an order in the manner prescribed in Section 47-20.3.A.8. of the ULDR.

**RESPONSE: Acknowledged.**

b. *Change in use.* Should any of the approved uses as indicated in the approved shared parking study change, or should the Zoning Director or City Engineer find that any of the conditions described in the approved shared parking study or parking reduction order no longer exist, the owner of record shall have the option of submitting a revised shared parking study in accordance with the standards of this

section or of providing the number of spaces required for each use as if computed separately.

**RESPONSE: Acknowledged.**



**Memorandum**

To: Dennis Castillo, RN. BSN.  
 ARC Dialysis, LLC  
 4960 SW 72 Avenue, Suite 208  
 Miami, FL 33155

From: J. Suzanne Daniels, P.E.

Date: February 22, 2024

**Re: Coral Shopping Center - Fort Lauderdale, Florida  
 Parking Statement**

As requested, Daniels Consulting Engineers, Inc. has prepared this parking statement specific to a proposed change of use within the Coral Shopping Center (5,696 square feet of retail use to a dialysis center (medical office)). The project site is located within the Coral Shopping Center located along the south side of Oakland Park Boulevard (SR 816) west of N. Federal Highway (SR 5\US 1) within municipal limits of the City of Fort Lauderdale. Figure 1 shows the location of the project site. A current site plan is included as Attachment A. This parking statement addresses the adequacy of the existing parking supply to accommodate the proposed change of use and provides discussion of approvals currently in place.

**Additional Parking Demand**

In accordance with two (2) prior studies conducted on behalf of future tenants of the Coral Center, the 1967 code is considered for the existing retail use as the shopping center was built prior to 1975 when Section 47-38.3 required one (1) space per 400 square feet of gross floor area for both retail and office use. The application of this parking rate against the total gross floor area of GFA of 66,143 square feet of retail and office use, likely results in a parking requirement between 156 to 160 spaces (once internal stairways, etc. are removed from the calculation), where 161 spaces exist today. Parking rates established within the current code determine the number of spaces required for the proposed use. A comparison between existing retail space and the proposed dialysis center show 24 additional spaces are needed.

**Table 1 – City of Fort Lauderdale Parking Requirement**

Land Use	Intensity	Rate	Parking Spaces
Retail Space <sup>(1)</sup>	5,696 sf	1/400	14.2
Medical Office Space <sup>(2)</sup>	5,696 sf	1/150	38.0
<b>Total</b>			<b>23.8</b>

- (1) 1967 City of Fort Lauderdale Code.
- (2) Current ULDR rate.
- (3) ITE rate.

**Parking Analysis with ITE Rate**

Historical data published by the Institute of Transportation Engineers (ITE) in the document *Parking Generation* (6<sup>th</sup> Edition) has been considered in place of rates provided within the City’s Code of Ordinances for the proposed dialysis center. Table 2 below shows that the ITE regression equation yields a project-specific parking demand of 19 parking spaces for the proposed dialysis center and that five (5) additional parking spaces (rather than 24 spaces) will be needed when compared to the existing retail.

**Table 2 – ITE Rate (Medical Office Only) Comparison**

Land Use	Intensity	Rate	Parking Spaces
Retail Space <sup>(1)</sup>	5,696 sf	1/400	14.2
Medical Office Space <sup>(3)</sup>	5,696 sf	$\ln(P)=0.82\ln(X)+1.51$	18.9
<b>Total</b>			<b>4.7</b>

- (1) 1967 City of Fort Lauderdale Code.
- (2) Current ULDR rate.
- (3) ITE rate.

**Shared Parking Analysis**

The Urban Land Institute (ULI) has developed a shared use parking methodology which is detailed in the document *Shared Parking*. Shared parking is defined as a parking space that can be used to serve two (2) or more individual land uses without conflict or encroachment. The opportunity to implement shared parking is generated by the following:

- Variations in the peak accumulation of parked vehicles as the result of different activity patterns of adjacent or nearby land uses (by hour, by day, by season).
- Relationships among land use activities that result in the attraction to two or more land uses on a single vehicular trip to a given area or development.

The ULI has developed hourly parking demand distributions for a variety of land uses. These distributions are provided in table format and specify a percent of the required parking ratio on an hourly basis throughout the course of an 18-hour period. Each individual land use parking demand is summated to estimate the overall parking demand for the mixed-use project. The table provided in Attachment B shows that the peak parking demand on a typical weekday (using the methodology of past Coral Center reports) is expected to occur at 2:00 PM with 136 spaces occupied and 25 spaces available.

**Recent Approvals**

Although the shared parking analysis shows that 25 parking spaces are available, a change of use and a new building have been approved within the Coral Center in recent years. Both require parking spaces.

- Dr. Howard R. Cunningham requested to change 2,871 square feet of office use to medical office in 2011 requiring four (4) additional parking spaces.
- BK Developers, Inc. in 2019 requested approval of 1,600 square feet of additional retail or office space adjacent to Dr. Howard R. Cunningham’s dental practice requiring six (6) additional parking spaces.

If approved, this change of use request will need five (5) additional parking spaces (reference Table 2). Recent approvals detailed above and this request total 15 additional parking spaces which is well within the 25 spaces available according to the shared parking analysis. A parking reduction is, therefore, requested for the Coral Center in accordance with **Section 47-20-3.5.b** of the City's ULDR's. This section acknowledges 'the use, site, structure or any combination of same, evidences characteristics which support a determination that the need for parking for the development is less than that required by the ULDR for similar uses'.

# DC ENGINEERS, INC.

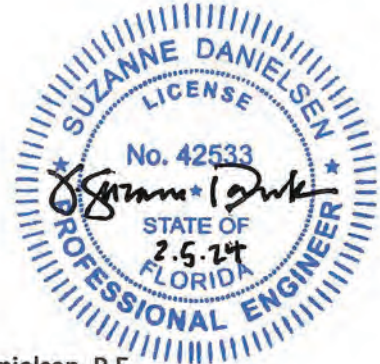
Of course, please do not hesitate to contact me directly with any questions you may have.

Sincerely,

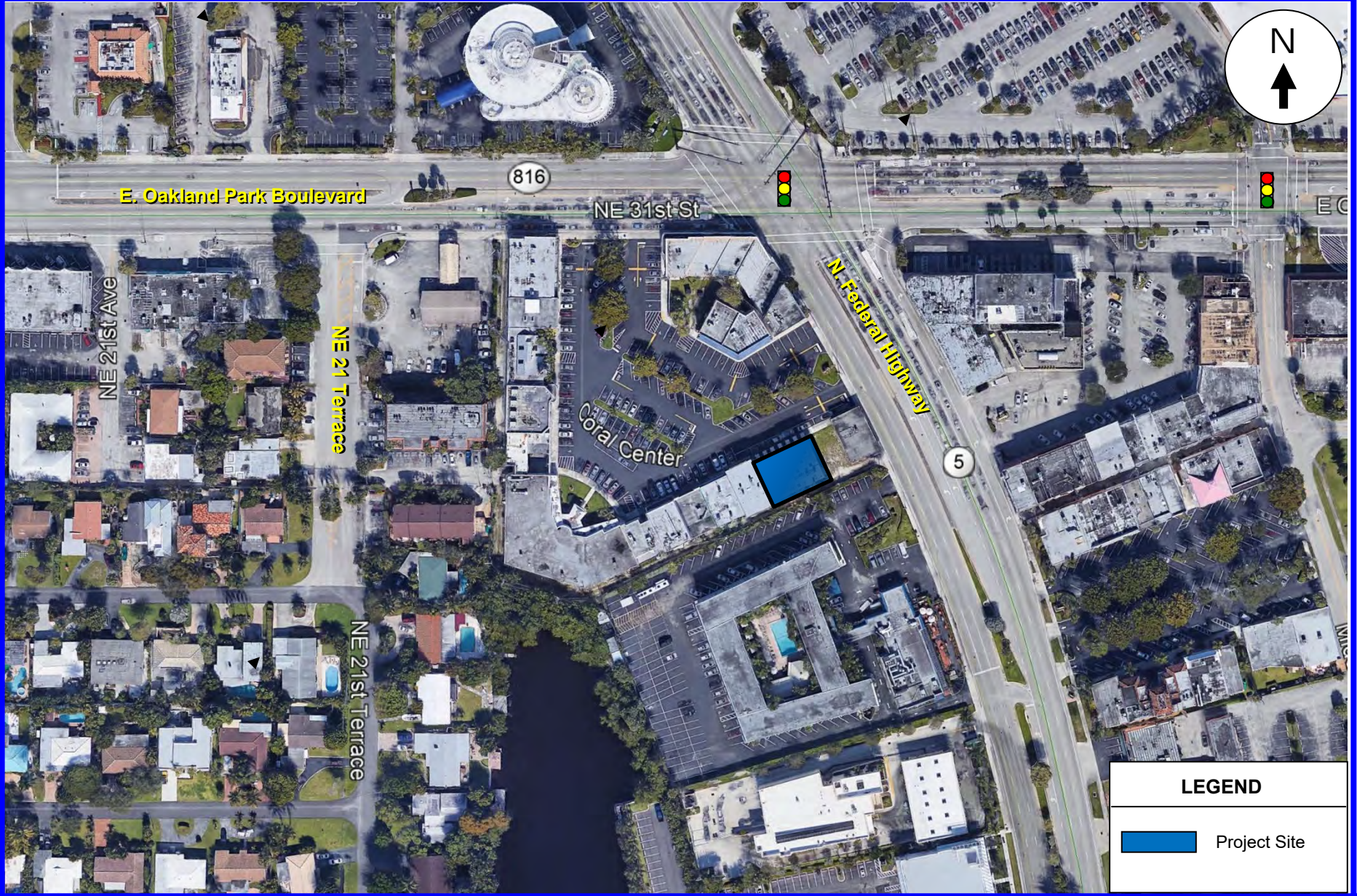
**DC ENGINEERS, INC.**




J. Suzanne Daniels, P.E.  
Senior Transportation Engineer



J. Suzanne Daniels, P.E.  
Florida Registration Number 42533  
Danielsen Consulting Engineers, Inc.  
12743 NW 13th Court  
Coral Springs, FL 33071  
CA # 32022



LEGEND	
	Project Site

DC Engineers, Inc.

**Projection Location Map**

**FIGURE 1**  
Coral Center  
Fort Lauderdale, Florida

# **ATTACHMENT A**



# **ATTACHMENT B**

**Table: Coral Center Tenants**

PARCEL NUMBER	FOLIO NUMBER	RETAIL GSF	OFFICE GSF	NIGHT CLUB GSF	RESTAURANT GSF	USES
1	494225080020	1,700	0	0	0	Retail
2	494225080030	0	0	0	0	Vacant Lot
3	494225080040	2,968	0	0	0	New Medical Office
4	494225080050	2,728	0	0	0	New Medical Office
5A	494225AJ0010	0	1,130	0	0	Office
5B	494225AJ0020	0	366	0	0	Office
5C	494225AJ0030	0	356	0	0	Office
5D	494225AJ0040	0	356	0	0	Office
5E	494225AJ0050	0	411	0	0	Office
5F	494225AJ0060	0	411	0	0	Office
6	494225080070	0	0	3,400	0	Pub
7	494225080080	1,700	0	0	0	Retail
8	494225080090	1,660	1,660	0	0	Retail/Office
9	494225080100	1,777	0	0	0	Retail
10	494225090010	9,477	0	0	2,370	Retail/Restaurant
11	494225080110	0	0	4,555	0	Night Club
12	494225080140	0	3,982	0	0	Office
13	494225080160	3,108	0	0	0	Retail
14	494225080170	3,400	3,400	0	0	Retail/Office
15	494225080230	0	2,629	0	0	Office
16	494225080210	1,235	0	0	0	Vacant
17	494225080201	1,290	0	0	0	Vacant
18	494225080200	1,320	0	0	0	Office
19	494225080190	0	1,440	0	0	Office
20	494225080220	1,356	0	0	0	Vacant
21	494225080260	0	0	0	0	Vacant
22	494225080240	0	5,958	0	0	Office
<b>TOTAL SF</b>	<b>66,143</b>	<b>33,719</b>	<b>22,099</b>	<b>7,955</b>	<b>2,370</b>	
<b>PERCENT</b>	<b>Percent of Total SF</b>	<b>51.0%</b>	<b>33.4%</b>	<b>12.0%</b>	<b>3.6%</b>	
<b>SPACES</b>	<b>161</b>	<b>82</b>	<b>54</b>	<b>19</b>	<b>6</b>	



**TABLE**

**Coral Center - Fort Lauderdale  
Shared Parking Analysis - Weekday**

Hour of Day	Spaces = 50 Office (Employees)		Spaces = 4 Office (Visitors)		Spaces = 18 Bar (Visitors)		Spaces = 1 Bar (Employees)		Spaces = 5 Rest (Visitors)		Spaces = 1 Rest (Employees)		Spaces = 66 Retail (Visitors)		Spaces = 16 Retail (Employees)		161 Total
	Utilization	Spaces	Utilization	Spaces	Utilization	Spaces	Utilization	Spaces	Utilization	Spaces	Utilization	Spaces	Utilization	Spaces	Utilization	Spaces	
6:00 AM	3%	2	0%	0	0%	0	0%	0	5%	0	20%	0	1%	1	10%	2	5
7:00 AM	15%	8	1%	0	0%	0	0%	0	10%	0	20%	0	5%	3	15%	2	13
8:00 AM	50%	25	20%	1	0%	0	0%	0	20%	1	30%	0	15%	10	25%	4	41
9:00 AM	90%	45	60%	2	0%	0	5%	0	30%	1	40%	0	35%	23	45%	7	78
10:00 AM	100%	50	100%	4	0%	0	5%	0	55%	3	75%	1	60%	40	75%	12	110
11:00 AM	100%	50	45%	2	0%	0	5%	0	85%	4	100%	1	75%	50	95%	15	122
12:00 PM	85%	43	15%	1	0%	0	5%	0	100%	5	100%	1	100%	66	100%	16	132
1:00 PM	85%	43	45%	2	0%	0	10%	0	100%	5	100%	1	100%	66	100%	16	133
2:00 PM	95%	48	95%	4	0%	0	10%	0	90%	4	95%	1	95%	63	100%	16	136
3:00 PM	95%	48	45%	2	0%	0	10%	0	60%	3	70%	1	85%	56	100%	16	126
4:00 PM	85%	43	15%	1	0%	0	20%	0	55%	3	60%	1	85%	56	100%	16	120
5:00 PM	60%	30	10%	0	0%	0	45%	0	60%	3	70%	1	85%	56	100%	16	106
6:00 PM	25%	13	5%	0	25%	5	70%	1	85%	4	90%	1	90%	59	100%	16	99
7:00 PM	15%	8	2%	0	50%	9	100%	1	80%	4	90%	1	80%	53	100%	16	92
8:00 PM	5%	3	1%	0	75%	14	100%	1	50%	2	60%	1	65%	43	90%	14	78
9:00 PM	3%	2	0%	0	100%	18	100%	1	30%	1	40%	0	45%	30	60%	10	62
10:00 PM	1%	1	0%	0	100%	18	100%	1	20%	1	30%	0	15%	10	40%	6	37
11:00 PM	0%	0	0%	0	75%	14	90%	1	10%	0	20%	0	5%	3	20%	3	21
12:00 AM	0%	0	0%	0	50%	9	60%	1	5%	0	20%	0	0%	0	0%	0	10

Source: Institute of Transportation Engineers and Urban Land Institute's *Shared Parking*

Land Use	Size	% of Total	Total Parking Spaces	Employee\Resident		Visitor	
				% (1)	Spaces	% (1)	Spaces
Office	22,099 sq. ft.	33.4%	53.8 Spaces	93%	50	7%	3.8
Retail	33,719 sq. ft.	51.0%	82.1 Spaces	19%	16	81%	66
Restaurant	2,370 sq. ft.	3.6%	5.8 Spaces	14%	1	86%	5
Bar/Pub	7,955 seats	12.0%	19.3 Spaces	6%	1	94%	18
<b>Total</b>			161.0 Spaces		68		93

Shared Spaces =	136
Internal (2) =	0
Transit Redctn. (3) =	0
<b>Required Spaces =</b>	<b>136</b>
<b>Parking Provided =</b>	

March 6, 2024

David Soloman, City Clerk  
City of Fort Lauderdale  
100 North Andrews Avenue  
Fort Lauderdale, FL 33301

Re: Permitting for property located at 3045 N. Federal Highway, identified by folio numbers 494225080050 and 494225080040 in the City of Fort Lauderdale

Dear City Clerk:

We hereby authorize Lochrie & Chakas, P.A. to act as agents in connection with all land use and zoning matters related to property referenced above.

Sincerely,

Vorino Property LLC

By: Leonardo

Printed Name: Leonardo Gonzalez

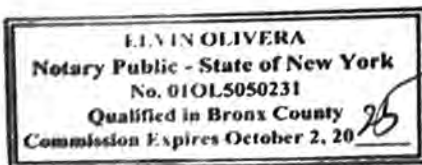
Title: owner

Date: 03-06-2024

STATE OF New York,  
COUNTY OF Bronx ) ss

The foregoing instrument was acknowledged before me, by means of (check one):  physical presence or  online notarization, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by Leonardo Gonzalez as Member of Vorino Property LLC who is personally known to me or who has produced NY ID as identification. Driver license

WITNESS my hand and official seal in the County and State last aforesaid this 6 day of March, 2024.



Notary Public

Elvin Olivera

Typed, printed or stamped name of Notary Public

My Commission Expires:  
PTL 1023005 1



[Sec. 28-255 WASTEWATER PLANT AND COLLECTION SYSTEM CAPITAL EXPANSION FEES \(CEF\)](#)

[Sec. 28-256 POTABLE WATER PLANT AND DISTRIBUTION CAPITAL EXPANSION FEES](#)

JOB ADDRESS (enter in blue box below):		PROJECT NAME (enter in blue box below):							PERMIT No. (enter in blue box below):			
Type of Use	Unit of Measure	ERC/Unit	New # of Units	Existing # of Units	Indicator	New #ERCs	Existing #ERCs	Net New #ERCs	CEF Water	CEF Wastewtr.	CEF Sub Total	
Equivalent Residential Connection	---	1				0	0	0	\$0	\$0	\$0	
Single Family House, Duplex, Triplex	ea.	1				0	0	0	\$0	\$0	\$0	
Condominium, Apartment	ea.	0.805				0	0	0	\$0	\$0	\$0	
Mobile Home	lot	0.559				0	0	0	\$0	\$0	\$0	
Vehicular Repair (includes boat repairs)	1000 sf	0.473				0	0	0	\$0	\$0	\$0	
Gas Station (fueling only)	fuel pump	0.55				0	0	0	\$0	\$0	\$0	
Laundry and/or Dry Cleaning (staff op. machs.)	1000 sf	2.773				0	0	0	\$0	\$0	\$0	
Laundry (coin operated machines)	1000 sf	8.659				0	0	0	\$0	\$0	\$0	
Merchandising	1000 sf	0.55		2.848	♦	0	1.5664	-1.57	-\$3,104	-\$2,964	-\$6,068	
Warehouse (mixed use)	1000 sf	0.368				0	0	0	\$0	\$0	\$0	
Warehouse (homogeneous, bulk storage use)	1000 sf	0.177				0	0	0	\$0	\$0	\$0	
Self Service Storage	1000 sf	0.068				0	0	0	\$0	\$0	\$0	
Restaurant	1000 sf	2.495		2.848	♦	0	7.10576	-7.11	-\$14,056	-\$13,424	-\$27,480	
Fast Food Service	1000 sf	3.455				0	0	0	\$0	\$0	\$0	
Bar, Cocktail Lounge	1000 sf	1.236				0	0	0	\$0	\$0	\$0	
Office	1000 sf	0.636	5.696		♦	3.622656	0	3.62	\$7,157	\$6,835	\$13,991	
Day Child Care	1000 sf	0.632				0	0	0	\$0	\$0	\$0	
Place of Worship	1000 sf	0.523				0	0	0	\$0	\$0	\$0	
School	student	0.042				0	0	0	\$0	\$0	\$0	
Hotel (with restaurant and/or meeting rooms)	rental rm.	0.868				0	0	0	\$0	\$0	\$0	
Hotel (without restaurant and meeting rooms)	rental rm.	0.255				0	0	0	\$0	\$0	\$0	
Movie Theater	seat	0.009				0	0	0	\$0	\$0	\$0	
Car Wash (automatic) <sup>[1]</sup>	ea.	11.67				0	0	0	\$0	\$0	\$0	
Grocery Store (Based on full usage breakdown) <sup>[1]</sup>	1000 sf	0.431				0	0	0	\$0	\$0	\$0	
Barber Shop/Salon (dry chairs) <sup>[1]</sup>	chair	0.333				0	0	0	\$0	\$0	\$0	
Barber Shop/Salon (wet chairs) <sup>[1]</sup>	chair	0.666				0	0	0	\$0	\$0	\$0	
Health Spa <sup>[1]</sup>	sf	0.001				0	0	0	\$0	\$0	\$0	
Marina <sup>[1]</sup>	boat slip	0.133				0	0	0	\$0	\$0	\$0	
Doctor's Office / Clinic <sup>[1]</sup>	physician	0.833				0	0	0	\$0	\$0	\$0	
	1000 sf	0.667				0	0	0	\$0	\$0	\$0	
Hospitals and Nursing Homes <sup>[1]</sup>	bed space	0.700				0	0	0	\$0	\$0	\$0	
Dance Halls <sup>[1]</sup>	person	0.007				0	0	0	\$0	\$0	\$0	
Airports, bus terminals, train stations, port & dock facilities: (a) per passenger, (b) add per employee per 8 hour shift <sup>[1]</sup>	passenger	0.017				0	0	0	\$0	\$0	\$0	
	employee	0.067				0	0	0	\$0	\$0	\$0	
<b>Totals</b>									-5.06	-\$10,003.62	-\$9,553.28	<b>-\$19,556.90</b>

PREPARED BY:

H. Collins Forman, Jr., P.A.  
1323 Southeast Third Avenue  
Fort Lauderdale, FL 33316  
Tel: 954-764-0005  
14182.000002

RETURN TO:

Balocco & Abril, PLLC  
4332 East Tradewinds Avenue  
Lauderdale By-The-Sea, FL 33308

\_\_\_\_\_  
[Space Above This Line For Recording Data] \_\_\_\_\_

## Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 24 day of June, 2021 between **Flamingo Grocery, Inc., a Florida corporation**, whose post office address is 1905 N. Ocean Blvd., #15-C, Ft. Lauderdale, FL 33305, grantor, and **Vorino Property LLC, a Florida limited liability company**, whose post office address is 3045 N. Federal Highway, #14, Fort Lauderdale, FL 33306, grantee:

**Witnesseth** that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Broward County, Florida, to-wit:

Lots 3 and 4, of CORAL SHOPPING CENTER, according to the Plat thereof, as recorded in Plat Book 29, Page 30, of the Public Records of Broward County, Florida.

Parcel Identification Number: 494225-08-0040 and 494225-08-0050

Subject to reservations, restrictions, limitations and easements of record, if any, and taxes for the year 2021 and subsequent years.

and said grantor does hereby fully warrant the title to said land and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

*Christine Ciasca*

Witness Name: CHRISTINE CIASCA

Flamingo Grocery, Inc., a Florida corporation

*Carla Pastura*

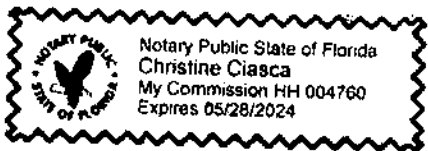
By: Carla Pastura, President

*Atleen Liptak*

Witness Name: Atleen Liptak

STATE OF FLORIDA  
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 24 day of June, 2021 by Carla Pastura, President of Flamingo Grocery, Inc., a Florida corporation, who is personally known to me.



*Christine Ciasca*

Notary Public  
Printed Name:  
My Commission Expires: