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DATE: May 10, 2024

VIA ELECTRONIC MAIL

Members of the Board of Adjustment
City of Fort Lauderdale
100 North Andrews Avenue
Fort Lauderdale, FL 33311

Re: Rehearing Request – PLN-BOA-24020001

Dear Board Members,

On behalf of the owner of 1616 SW 17th Avenue, Fort Lauderdale, Florida, 33312, (the "Applicant") please accept this letter as the official request for a rehearing for the decision in Board of Adjustment Case # PLN-BOA-24020001 (the "Application").

Genesis of the Application. The Applicant commenced the development of the house in 2019. As you know, the Application centered on the location of an overhang adjacent to the new residence's pool. The overhang covers a seating area and summer kitchen. It further incorporates a waterfall element that creates water curtain that drops into the pool. The overhang has been an integral part of the pool design since the inception of the project and has been included on all relevant plans.

Permit Process. The Applicant filed the building permit for the new house in late 2019. The permit was finally issued in September 2020 through permit number BLD-RNC-20080004.

From the inception of the plan review, the pool overhang was included in the design in approximately the same location. Zoning approved the original plans on June 19, 2020 (see attached plan excerpt from the original site plan submission). The original design of the pool overhang would have necessitated the same variance

requested in the Application (see attached original and revised site plan).¹

Throughout construction and revisions, multiple City officials visited the property and approved the plans and the construction. The pool overhang at the center of this variance request was revised, ultimately changing the shape to provide more shade. This revision did not change the nature or need for a variance. The original pool overhang design and the as built overhang are similarly situated within the setback.

The design was done according to the contractors' and architect's interpretation of the relevant codes. Those interpretations were validated by the original and ongoing review and approvals issued by City officials. The contractor relied on the architect's design, who relied on the City's approval of said design. During the nearly 4 years of review of the project by the City, there were no issues identified with the pool overhang. Only upon completion of construction at great expense to the Applicant did the pool overhang become an issue. At staff's recommendation, the Applicant filed the instant variance.

Board's Review. On April 10, 2024 the Board of Adjustment denied the Applicant's variance request. This occurred due to an error on the part of the Board. The following will discuss each of the relevant criteria for the approval of a variance, along with the Application's consistency with each criterion.

Undue Hardship. The board failed to properly consider the unique hardship attributable to the Applicant's good faith reliance on the City's zoning approval of the pool overhang and the continuous approval of the original and revised plans by the City, as well as the approval of construction progress during City inspections.

Special Condition Applicable to the Property. The special condition that prevents the reasonable use of the property is the nature of the pool structure. Column foundations have been built below the pool, which are integral to its support and function. The overhang utilizes the as built foundational columns as support. Removal of the overhang will require removal of the columns, which will require significant foundational demolition and reconstruction. The overhang was approved by zoning in June 2020, with no comments from staff. In reviewing the Application, the Board failed to give proper consideration to the Applicant's reasonable reliance on or the multiple rounds of approval by staff.

The circumstances peculiar to this property are its location and the shape of the property. The home, landscaping, and amenities have all been designed specifically for this property because of its irregular shape. There are very few, if any, properties in the City that are waterfront

¹ We understand that there is no record of Zoning reviewing the final design of the pool overhang. As noted above, however, the original design would have presented the same issue regarding the waterfront setback. The original design was both reviewed and approved by Zoning.

and shaped in the same manner. Additionally, this is one of very few three-story residences in the area. The columns supporting the overhang are significant for the structure of the residence, the shape of the property dictated the design of the home and its structure. The shape of the property, the home built upon it, and its supporting foundation are a marked exception to the other properties in the same district. Here, the Board erred in not considering how the shape of the land dictated the design and construction of the home.

Impact of Application of Standards. The literal application of the provisions of the ULDR will deprive the applicant of the ability to reside in his home. Within the same zoning district, property owners were able to rely on the representations made by City of Fort Lauderdale staff in their approval of their plans, inspections made during the construction process, and ultimate issuance of a Certificate of Occupancy. Here, the applicant relied and acted upon all approvals, until the final inspection, where he was told for the first time his design and construction were encroaching on the Side Yard (Water-facing) Setback.

Ignorance or Disregard of the Standards. The unique hardship is not self-created, nor is it a result of mere disregard for, or ignorance of, the provisions of the ULDR. The design and construction were done with specific knowledge of the ULDR and, more important, were approved by City staff charged with that review and enforcement.

Minimum Necessary. The variance requested is the minimum needed to make it possible for the property to be reasonably used as a home. The home, in its current condition without final zoning approval, cannot be used a personal residence. Granting the setback variance will allow the structure to be used as a home. Additionally, the variance is harmonious with the general purposes and intent of the ULDR, as granting the variance will have no impact on the public welfare. The surrounding neighborhood will remain in harmony should the variance be granted. Overall, granting of the variance will not have any detrimental impact on the safety and welfare of the general public.

The above factors were not fully considered by the Board at the original hearing on the variance request. As such, rehearing should be granted to correct this error.

Please consider the above as the Applicant's official request for a rehearing.

Sincerely,

Graham Penn

EXHIBITS

FILE COPY

BLD - RNC - 20

~~BLD - RNC - 191100~~

CITY OF FT. LAUDERDALE, FLORIDA CONSTRUCTION SERVICES		
PLANS EXAM DIV.	APPROVED BY	DATE
ZONING	AM	6/19/20
STRUCTURAL	OKR	6-17-20
ELECTRICAL	ZH	6/23/20
MECHANICAL	F	6-16-20
PLUMBING	TT	6/16/20
LANDSCAPING	KS	8/10/20
FIRE DEPT.		
ENGINEERING	RM	8/25/20
FLOOD	PR	9-13-20

ANY DEVIATION FROM THE BUILDING CODE ON THESE PLANS BY OVERSIGHT, ERROR OR OMISSION RENDERS THIS PERMIT VOID.
NO INSPECTIONS WILL BE MADE WITHOUT THIS PLAN ON SITE AND IF NO INSPECTION HAS BEEN MADE WITHIN 180 DAYS OF ABOVE DATE THIS PERMIT IS VOID.

ERRORS OR
NOT RELIEVE ANY
COMPLIANCE
DING CODE.

T MUST BE
BELED

DO NOT REMOVE THIS
PAGE - KEEP FOR
STAMPS &
SIGNATURES



Board of Adjustment BOA Agent Authorization Form 05.14.2024.pdf

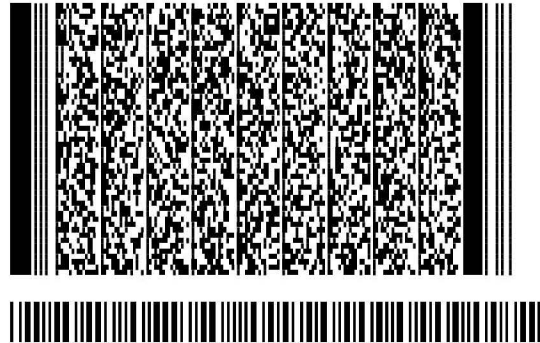
DocVerify ID: DB0E50E6-4E59-488F-BE46-72213469836E
Created: May 14, 2024 08:20:22 -8:00
Pages: 2
Electronic Notary: Yes / State: FL

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E-Signature Summary

E-Signature Notary: Diana Ramos (dra)
May 14, 2024 08:21:25 -8:00 [FC2C3DB29299] [74.220.90.117]
dramos@brzoninglaw.com





Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000

I.D. Number: BOAAAF

AGENT AUTHORIZATION FORM

I, ESTATE MANORS INC; LAWRENCE WALTERS (“Owner”) as the current title owner of the real
[Print First and Last Name of the title Owner OR Name of Corporation]
 property located at 1616 SW 17 AVENUE, FORT LAUDERDALE, FL 33312 (“Property”), do hereby authorize
[Print Property Address]
GRAHAM PENN (“Authorized Agent”) to act as my agent regarding the submittal
[Print First and Last Name of Agent]
 of a variance/special exception application to the City of Fort Lauderdale and appear at any and all
 scheduled hearings before the Board of Adjustment for the City of Fort Lauderdale, on the date, time and
 location specified on the Hearing Notice.

I authorize my agent to communicate with the City of Fort Lauderdale regarding my pending variance/special
 exception application and, by signing this authorization form, I hereby authorize the City of Fort Lauderdale to
 accept and rely on any and all communications from my Authorized Agent, whether written or oral, regarding
 all issues related to my pending variance/special exception application. I understand and agree that, as the
 Property Owner, I remain responsible for all terms and conditions outlined in the variance/special exception
 application, all required hearing appearances related to my variance/special exception application, and any
 request by the City of Fort Lauderdale and/or the Board of Adjustment to submit additional document(s) and
 or record(s) in support of my pending variance/special exception application.

Notwithstanding the City's receipt of my completed and executed Agent Authorization Form. I understand and
 agree, the City will mail or deliver all notices relating to my pending variance/special exception application to
 my property address, as listed on my variance/special exception application. I further understand and agree,
 the City of Fort Lauderdale and the Board of Adjustment assume no liability for my failure or my Authorized
 Agent's failure to comply with any terms or conditions outlined in my variance/special exception application,
 and/or my failure or my Authorized Agent's failure to appear on my behalf at any duly noticed hearings before
 the Board of Adjustment.

I further agree to INDEMNIFY AND HOLD HARMLESS and hereby RELEASE, WAIVE, DISCHARGE, HOLD HARMLESS
 AND FOREVER COVENANT NOT TO SUE the City of Fort Lauderdale, its elected officials, employees, servants,
 representatives, associates, officers, agents, guests, invitees, volunteers, partners, successors and assigns from
 any and all liability, claims, demands, action, judgments, costs, expenses, court costs, attorney fees and causes
 of action whatsoever arising out of or related to any loss or damage to property, and/or injury to any person,
 including death, WHETHER CAUSED BY, ALLEGEDLY CAUSED BY, OR CONTRIBUTED IN WHOLE OR IN PART by the
 action, failure to act, negligence, breach of contract or other misconduct by my me, my Authorized Agent, my
 employees, servants, representatives, associates, officers, agents, volunteers, partners, successors and assigns,

Approval by: Mohammed Malik, Manager
Uncontrolled in hard copy unless otherwise marked



DB0E50E6-4E59-488F-BE46-72213469836E --- 2024/05/14 08:20:22 -8:00



DEVELOPMENT SERVICES DEPARTMENT – ZONING & LANDSCAPING DIVISION

BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM

Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000
I.D. Number: BOAAAF

relating in any way to the City of Fort Lauderdale's reliance of the authority granted to my Authorized Agent pursuant to this Form.

BY SIGNING THIS RELEASE AND HOLD HARMLESS AGREEMENT, I ATTEST, AFFIRM, AND REPRESENT THAT I AM THE TITLE OWNER/AUTHORIZED PERSON FOR THE PROPERTY AND THAT ALL OF THE FOLLOWING STATEMENTS ARE TRUE AND CORRECT: I am at least eighteen (18) years of age and of sound and competent state of mind at the time executed this Agent Authorization Form; I executed this Agent Authorization Form as an expression of my own free act and deed; There are no oral representations or statements, apart from this Agent Authorization Form and intend to be bound by its terms; and I was not induced by the City, its employees and/or agents, or anyone, to execute this

Agent Authorization Form. *Please provide proof of ownership. If the property is owned by an Corporation, please submit Sunbiz Verification with this form.

WITNESS: DocuSigned by: Daniella Carvajal
Witness Signature
Daniella Carvajal
Print Name
05/14/2024
Date

DocuSigned by: Lawrence Walters
Signature - Owner/Authorized Individual
Lawrence Walters
Print Name - Owner/ Authorized Individual
Principal, Estate Manors Inc.
Print Title - Authorized Individual

STATE OF FL
COUNTY OF Miami-Dade

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 14 day of May, 2024, by Lawrence Walters, an individual who is personally known to me or has produced as

Signature of Notary Public- State of Florida

Diana Ramos
Commission # HH 386927
Notary Public - State of Florida
My Commission Expires Apr 16, 2027

(Signature of Notary Public- State of Florida)
My Commission Expires: Diana Ramos
Print, Type, or Stamp Commissioned Name of Notary Public)





BOARD OF ADJUSTMENT MEETING NOTICE

Date: March 29th, 2024

A Public Hearing will be held before the Board of Adjustment on: **WEDNESDAY, APRIL 10, 2024 AT 6:00 PM.**

This meeting will be held in-person at: Development Services Department (Lobby) 700 NW 19th Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA

CASE:	PLN-BOA-24020001
OWNER:	ESTATE MANORS INC; WALTERS, LAWRENCE
AGENT:	N/A
ADDRESS:	1616 SW 17 AVE, FORT LAUDERDALE, FL 33312
LEGAL DESCRIPTION:	LOT 15, OF BOSSERT ISLES, ACCORDING TO THE PLAT THEREOF, AS RECORDED PLAT BOOK 46, PAGE 42, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (SEE SURVEY).
ZONING DISTRICT:	RS-8 - RESIDENTIAL SINGLE FAMILY/LOW MEDIUM DENSITY
COMMISSION DISTRICT:	4
REQUESTING:	<u>Sec. 47-5.31- Table of dimensional requirements for the RS-8 district. (Note A).</u>

- Requesting a variance from the minimum 25 feet corner yard setback abutting a waterway to be reduced to 15.73 feet, a total variance request of 9.27 feet.

Sec. 47-19.2. B. - Architectural features in residential districts.

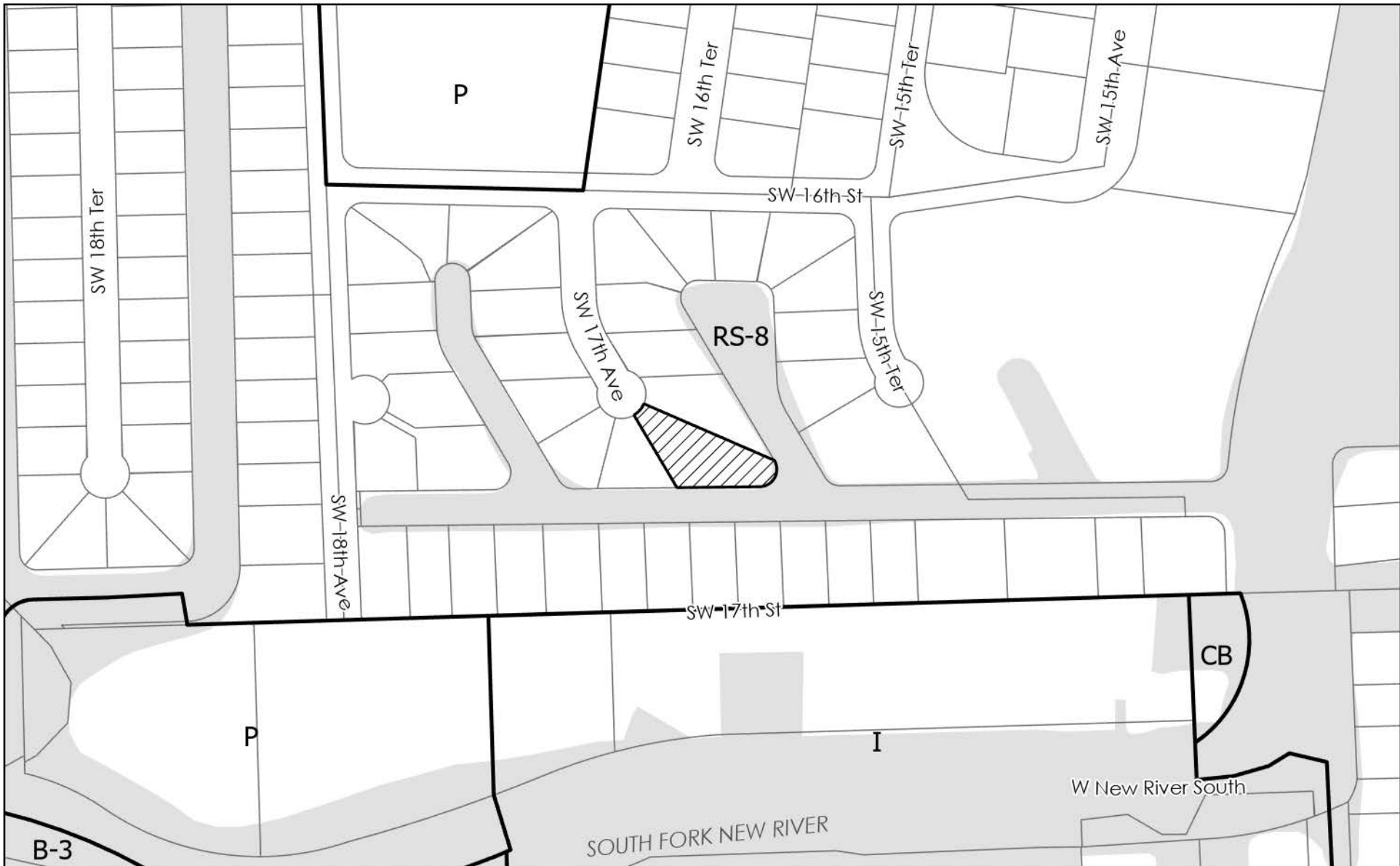
- Requesting a variance to allow an eave/overhang to project into a setback of 4.6 feet, whereas the code allows a maximum of 3 feet from the approved setback, a total variance request of 1.6 feet.

To watch and listen to the meeting, please visit: <https://www.fortlauderdale.gov/government/BOA>
OR www.youtube.com/cityoffortlauderdale

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK
ZONING ADMINISTRATOR
Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.




PLN-BOA-24020001

LEGEND

-  Municipal Boundary
-  Subject Site

N



0 100 200
US Feet

CASE: PLN-BOA-24020001

Sec. 47-5.31- Table of dimensional requirements for the RS-8 district. (Note A).

<i>Requirements</i>	<i>RS-8</i>	<i>RS-8A</i>
Maximum density	8.0 du/net ac.	8.0 du/net ac.
Minimum lot size	6,000 sq. ft.	6,000 sq. ft.
Maximum structure height	35 ft.	28 ft.
Maximum structure length	None	None
Minimum lot width	50 ft. *75 ft. when abutting a waterway on any side	50 ft. *75 ft. when abutting a waterway on any side
Minimum floor area	1,000 sq. ft.	1,000 sq. ft.
Minimum front yard	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft.	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft.
Minimum corner yard	25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway	25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway
Minimum side yard	5 ft. - up to 22 ft. in height Where a building exceeds 22 ft. in height that portion of the building above 22 ft. shall be set back an additional 1 foot per foot of additional height.	For a building with a height no greater than 12 ft.- 5 ft. For a building with a height greater than 12 ft. - 7.5 ft.

	<p>25 ft. when abutting a waterway</p> <p>Special side yard setbacks 7.5 ft.:</p> <p>Coral Ridge Country Club Addition 4, P.B. 53 P. 29; Block G, Lots 1 thru 22; Block H, Lots 1 thru 10 and 16 thru 26; Block I; Block J.</p> <p>Gramercy Park, P.B. 57, P. 45, Block 1; and Block 2, Lots 1 thru 16.</p> <p>Coral Ridge Country Club Addition 3, P.B. 52 P. 14, Block A, Lots 1 thru 4; Block B, Lots 1 thru 4 and 7 thru 10; Block C, Lots 1 thru 4 and 7 thru 10; Block D, Lots 1 thru 8 and 11 thru 18; Block X, Lots 18 thru 20; Block J; Block K; Block L; Block M; Block N; Block O; Block P; Block Q; Block R; Block S; Block T.</p> <p>Golf Estates, P.B. 43, P. 26; Block 6; Block 7; Block 8; Block 9; Block 10; Block 11; Coral Ridge Country Club Subdivision P.B. 36 P. 30 Block F, Lots 1 thru 14; Block R, Lots 1 thru 8, 11 thru 18; Replat of Lots 11, 12, 13, 14 & 15 of Block H Coral Ridge Country Club Addition 4, P.B. 63 P. 31 Parcels A, B, C; Gramercy Park, PB 57 P. 45 Block 2, Lots 17 and 18; Coral Ridge Country Club Addition No. 2 P.B. 44 PG 21 Block F, Lots 2 thru 19; Block E, Lots 1 thru 6 and 10 thru 16; Block C, Lots 2 thru 11; Block D, Lots 2 thru 4; Block B, Lot 2 and Lots 15 thru 25, and Bermuda-Riviera Subdivision of Galt Ocean Mile, P.B. 38 P. 46; Blocks A, C, D, E, F, G & H; Bermuda-Riviera Subdivision of Galt Ocean, First Addition, P.B. 40 P.12: Blocks J, K, L & M.</p>	<p>That portion of a building exceeding 12 ft. in height shall be set back an additional 2 feet per 1 foot of additional height</p> <p>25 ft. when abutting a waterway</p> <p>Special side yard setbacks as provided in RS-8</p>
<p>Minimum rear yard</p>	<p>15 ft.</p> <p>25 ft. when abutting a waterway</p> <p>Special rear yard setbacks: 15 ft. abutting waterway in the following subdivisions:</p> <p>Coral Ridge Isles</p> <p>Flamingo Pk.—Section "C" & "D"</p> <p>Lakes Estates</p> <p>Golf Estates</p> <p>Imperial Pt.—4th Sec.</p> <p>The Landings</p> <p>Rio Nuevo Isle—Block 1</p>	<p>25 ft.</p> <p>25 ft. when abutting a waterway</p> <p>Special rear yard setbacks as provided in RS-8</p>

Minimum distance between buildings	None			None	
	<i>Lot Size</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>
	≤7,500 sf	50%	0.75	40%	0.55
Lot coverage and FAR	7,501—12,000 sf	45%	0.75	35%	0.55
	>12,000 sf	40%	0.60	30%	0.50

CASE: PLN-BOA-24020001

Sec. 47-19.2. B. - Architectural features in residential districts

Architectural features in residential districts. Architectural features such as eaves, cornices, unenclosed balconies with open railings, window sills, awnings, chimneys, bay windows, and dormers accessory to a residential use are permitted to extend into a yard area a maximum distance of three (3) feet from the face of the building, or one-third ($\frac{1}{3}$) of the required yard, whichever is less. Unenclosed balconies with open railings may extend into the front yard a maximum distance of five (5) feet from the face of the building and may extend the entire linear length of the front facade. Accessory uses which encroach into any yard area, excluding unenclosed balconies encroaching into the front yard, are permitted to have a total combined linear facade length not greater than twenty (20) percent of the total linear length of the facade to which they are attached. Items such as windowsills or belt courses which extend six (6) inches or less into the yard area shall not be considered for the length limitation. Eaves shall not be subject to the length limitation. The dimensional limitations of this subsection shall not apply and the provisions of subsection C. shall apply to awnings accessory to a residential use in a nonresidential zoning district.

Record

Showing 1-40 of 45

<input type="checkbox"/>	Record, Permit, or Account #	Record Description	Application Name	Record Type	Balance	Planner Name	Street #	Dir	Street Name	Type	Unit # (start)	Status
<input type="checkbox"/>	BLD-GEN-24030173	INSTALLING FENCE AROUND PROPERTY, FENCE PERMIT RE...	Fence Permit	Structural Permit	0		1616	SW	17	AVE		Awaiting C
<input type="checkbox"/>	BLD-GEN-24030172	INSYALLING FENCE AROUND PROPERTY, FENCE PERMIT RE...	Fence Permit	Structural Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	PLN-BOA-24020001		Walters Residence	Z- Board of Adjustment (BOA)	159		1616	SW	17	AVE		Open
<input type="checkbox"/>	BE22060090	ACTIVE CONSTRUCTION SITE - CONTRACTOR NOT CONTAIN...	CITATION	Building Code Case	0	HECTORS	1616	SW	17	AVE		Closed
<input type="checkbox"/>	BE21040038	I inspected the construction site and found the s...		Building Code Case	0	Jose Saragusti	1616	SW	17	AVE		Complied
<input type="checkbox"/>	PLB-RES-20080170	ONSITE STORM DRAINAGE FOR NEW 3 STORY WATERFRONT ...	ONSITE STORM DRAINAGE FOR NE...	Plumbing Residential Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	BLD-RPAV-20080031	PAVING FOR NEW 3 STORY SFR- BP BLD-RNC-20080004	PAVING FOR NEW 3 STORY SFR- ...	Residential Paving Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	LND-TREE-20080005	TREE REMOVAL FOR NEW 3 STORY WATERFRONT RESIDENCE...	TREE REMOVAL FOR NEW 3 STORY...	Landscape Tree Removal-Relocation Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	BLD-ROOF-20080053	INSTALLING TILE ROOF SYSTEM INC FLASHING, COPING ...		Re-Roof Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	PLB-GAS-20080010	GAS FOR NEW 3 STORY WATERFRONT RESIDENCE -- BLD-R...	GAS FOR NEW 3 STORY WATERFRO...	Plumbing Gas Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	ENG-STRM-20080001	ROW STORM FOR NEW 3 STORY WATERFRONT RESIDENCE --...	ROW STORM FOR NEW 3 STORY WA...	ROW Stormwater Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	LND-INST-20080002	GENERAL LANDSCAPE FOR NEW 3 STORY WATERFRONT RESI...	GENERAL LANDSCAPE FOR NEW 3 ...	Landscape Installation Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	ELE-RES-20080046	HOOKING UP TEMPORARY POWER		Electrical Residential Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	ELE-30TEMP-20080014	30 DAY TEMPORARY POWER		Electrical Temporary Pole	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	PLB-RES-20080042	NEW CUSTOM 3 STORY WATERFRONT RESIDENCE 7400SF ...	NEW CUSTOM 3 STORY WATERFRON...	Plumbing Residential Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	MEC-RES-20080013	NEW CUSTOM 3 STORY WATERFRONT RESIDENCE 7400SF ...	NEW CUSTOM 3 STORY WATERFRON...	Mechanical Residential Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	ELE-RES-20080045	NEW CUSTOM 3 STORY WATERFRONT RESIDENCE 7400SF ...	NEW CUSTOM 3 STORY WATERFRON...	Electrical Residential Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	ELE-RES-20080044	VOIDED	VOIDED	Electrical Residential Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	BLD-RNC-20080004	NEW CUSTOM 3 STORY WATERFRONT RESIDENCE 7400SF ...	NEW CUSTOM 3 STORY WATERFRON...	Residential New Construction Permit	256.25		1616	SW	17	AVE		Issued
<input type="checkbox"/>	ENG-SITE-20070010	SITE PREP AND EROSION CONTROL -- BLD-RNC-19110017		ROW Site Prep and Erosion Control Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	BLD-ROOF-20060176	NEW LOW SLOPE ROOF		Re-Roof Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	PLB-GAS-20060022	GAS FOR NEW 3 STORY WATERFRONT RESIDENCE -- BLD-R...	GAS FOR NEW 3 STORY WATERFRO...	Plumbing Gas Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	ENG-STRM-20060001	ROW STORM FOR NEW 3 STORY WATERFRONT RESIDENCE --...	ROW STORM FOR NEW 3 STORY WA...	ROW Stormwater Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	LND-TREE-20060031	TREE REMOVAL FOR NEW 3 STORY WATERFRONT RESIDENCE...	TREE REMOVAL FOR NEW 3 STORY...	Landscape Tree Removal-Relocation Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	LND-INST-20060016	GENERAL LANDSCAPE FOR NEW 3 STORY WATERFRONT RESI...	GENERAL LANDSCAPE FOR NEW 3 ...	Landscape Installation Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	ELE-RES-20050130	HOOKING UP TEMPORARY POWER		Electrical Residential Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	ELE-30TEMP-20050044	30 DAY TEMPORARY POWER		Electrical Temporary Pole	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	BLD-BDSP-20050021	INSTALLATION OF HELICAL ANCHORS, CAP OVER POUR & ...	INSTALLATION OF HELICAL ANCH...	Boatlift-Dock-Seawall-Pile Permit	0		1616	SW	17	AVE		Issued
<input type="checkbox"/>	PLB-MET-20020024	INSTALL 1 1/2 INCH DOMESTIC WATER METER	INSTALL 1 1/2 INCH DOMESTIC ...	Plumbing Meter Install Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	ELE-RES-20020118	ELECTRICAL HOOKUP FOR NEW POOL BLD-RPSF-19110005	ELECTRICAL HOOKUP FOR NEW PO...	Electrical Residential Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	CE-20011304	SEAGRAPE & PALM TREE BEING REMOVED W/O PERMITS		Code Case	0	LUKECANB	1616	SW	17	AVE		Closed
<input type="checkbox"/>	PLB-RES-19110136	NEW CUSTOM 3 STORY WATERFRONT RESIDENCE 7400SF ...	NEW CUSTOM 3 STORY WATERFRON...	Plumbing Residential Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	MEC-RES-19110037	NEW CUSTOM 3 STORY WATERFRONT RESIDENCE 7400SF ...	NEW CUSTOM 3 STORY WATERFRON...	Mechanical Residential Permit	0		1616	SW	17	AVE		In Process
<input type="checkbox"/>	ELE-RES-19110109	NEW CUSTOM 3 STORY WATERFRONT RESIDENCE 7400SF ...	NEW CUSTOM 3 STORY WATERFRON...	Electrical Residential Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	BLD-RNC-19110017	NEW CUSTOM 3 STORY WATERFRONT RESIDENCE 7400SF ...	NEW CUSTOM 3 STORY WATERFRON...	Residential New Construction Permit	0		1616	SW	17	AVE		Void
<input type="checkbox"/>	PLB-RES-19110049	INSTALL NEW POOL 5,430 GALLONS	VAN KIRK & SONS INC	Plumbing Residential Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	BLD-RPSF-19110005	INSTALL NEW POOL 5,430 GALLONS	VAN KIRK & SONS INC	Residential Pool-Spa-Fountain Permit	0		1616	SW	17	AVE		Complete
<input type="checkbox"/>	VIO-CE18020608_1		LOWEN,CHARLES W & ANN S	Violation-CODE Hearing	0		1616	SW	17	AVE		Closed
<input type="checkbox"/>	CE18020608	L/S LIGHTNING - 0 - CASE FOUND	LOWEN,CHARLES W & ANN S	Code Case	0		1616	SW	17	AVE		Closed
<input type="checkbox"/>	VIO-CE16111874_1		LOWEN,CHARLES W & ANN S	Violation-CODE Hearing	0		1616	SW	17	AVE		Closed

Record

Showing 41-45 of 45

<input type="checkbox"/>	Record, Permit, or Account #	Record Description	Application Name	Record Type	Balance	Planner Name	Street #	Dir	Street Name	Type	Unit # (start)	Status
<input type="checkbox"/>	VIO-CE16111801_1		LOWEN, CHARLES W & ANN S	Violation-CODE Hearing	0		1616	SW	17	AVE		Closed
<input type="checkbox"/>	CE16111801	L/S ASAP - 0 OPEN CASES FOUND	LOWEN, CHARLES W & ANN S	Code Case	0		1616	SW	17	AVE		Closed
<input type="checkbox"/>	CE16111874	L/S RAPID LIENS - 0 OPEN CASES FOUND	LOWEN, CHARLES W & ANN S	Code Case	0		1616	SW	17	AVE		Closed
<input type="checkbox"/>	VIO-CE15011037_1		LOWEN, CHARLES W & ANN S	Violation-CODE Hearing	0		1616	SW	17	AVE		Closed
<input type="checkbox"/>	CE15011037	L/S RELIABLE LIEN SEARCH 0-OPEN CASES	LOWEN, CHARLES W & ANN S	Code Case	0		1616	SW	17	AVE		Closed



CITY OF FORT LAUDERDALE

PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: APRIL 10, 2024

TIME: 6:00 P.M.

CASE: PLN-BOA-24020001

Sec. 47-5.31 - Table of dimensional requirements for the RS-8 district. (Note A).

- Requesting a variance from the minimum 25 feet corner yard setback abutting a waterway to be reduced to 15.73 feet, a total variance request of 9.27 feet.

Sec. 47-19.2. B. - Architectural features in residential districts.

- Requesting a variance to allow an eave/overhang to project into a setback of 4.6 feet, whereas the code allows a maximum of 3 feet from the approved setback, a total variance request of 1.6 feet.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
700 N.W. 19TH AVENUE (LOBBY)
FORT LAUDERDALE, FL., 33311
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:
<https://www.fortlauderdale.gov/government/BOA>
www.youtube.com/cityoffortlauderdale



This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a



SIGN NOTICE

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use. Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. PLN-BOA-24020001

APPLICANT: Lawrence Walters

PROPERTY: 1616 SW 17th Ave, Fort Lauderdale, Fl, 33312

PUBLIC HEARING DATE: April, 10, 2024 at 6pm

BEFORE ME, the undersigned authority, personally appeared Lawrence Walters, who upon being duly sworn and cautioned, under oath deposes and says:

1. Affiant is the Applicant in the above cited City of Fort Lauderdale **Board or Commission Case**.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the **Board or Commission**.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least **fifteen (15)** days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the **Board or Commission**. **Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.**
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division **five (5)** calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2.j) of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. LW (initial here)

Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 26 day of MARCH, 2024.



NOTARY PUBLIC
MY COMMISSION EXPIRES: JULY 23, 2026.



PUBLIC NOTICE
BOARD OF ADJUSTMENT MEETING
DATE: 8/14/2023 TIME: 4:30 P.M. CASE: PUB.BOA.24000011
Sec. 42, A.S.C. Table of dimensional requirements for the R-8 district (Note A).
*This notice is required under the provisions of the ordinance. It has been posted and published in accordance with the provisions of the ordinance.
Sec. 42, B.S.C. A. 1. Structure features in residential districts.
*This notice is required under the provisions of the ordinance. It has been posted and published in accordance with the provisions of the ordinance.
Sec. 42, B.S.C. A. 2. Structure features in residential districts.
*This notice is required under the provisions of the ordinance. It has been posted and published in accordance with the provisions of the ordinance.



CITY OF FORT LAUDERDALE
PUBLIC NOTICE
BOARD OF ADJUSTMENT MEETING
 DATE: APRIL 10, 2024 TIME: 6:00 P.M. CASE: PLN-BOA-24020001

Sec. 47-5.31 - Table of dimensional requirements for the RS-8 district. (Note A).

- * Requesting a variance from the minimum 25 feet corner yard setback abutting a waterway to be reduced to 15.73 feet, a total variance request of 9.27 feet.

Sec. 47-19.2, B. - Architectural features in residential districts.

- * Requesting a variance to allow an eave/overhang to project into a setback of 4.6 feet, whereas the code allows a maximum of 3 feet from the approved setback, a total variance request of 1.6 feet.

PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT
 200 W. 1ST STREET, SUITE 1000
 FORT LAUDERDALE, FL 33301
 CONTACT: 352-688-4000

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:
<https://www.floridacourts.org/gov/government/BDA>
www.floridacourts.org/gov/government/BDA



CITY OF FORT LAUDERDALE

PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: APRIL 10, 2024

TIME: 6:00 P.M.

CASE: PLN-BOA-2402001

Sec. 47-5.31- Table of dimensional requirements for the RS-8 district. (Note A).

- Requesting a variance from the minimum 25 feet corner yard setback abutting a waterway to be reduced to 15.73 feet, a total variance request of 9.27 feet.

Sec. 47-19.2. B. - Architectural features in residential districts.

- Requesting a variance to allow an eave/overhang to project into a setback of 4.6 feet, whereas the code allows a maximum of 3 feet from the approved setback, a total variance request of 1.6 feet.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
700 N.W. 17th AVENUE (LOBBY)
FORT LAUDERDALE, FL 33311
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:
<https://www.fortlauderdale.gov/government/BOA>
www.youtube.com/cityoffortlauderdale

This notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 14-20, it shall be unlawful for any person to copy, sell, lease or otherwise use any material on this notice without the express written permission of the City. Penalties for violating this notice may include fines and/or imprisonment. This notice is provided for informational purposes only. It is not intended to constitute an offer of any financial product or service. For more information, please contact the City of Fort Lauderdale at 954-828-6506. This notice is provided for informational purposes only. It is not intended to constitute an offer of any financial product or service. For more information, please contact the City of Fort Lauderdale at 954-828-6506.



BOARD OF ADJUSTMENT (BOA) APPLICATION FORM

REV: 10/26/2023 APPLICATION FORM: BOA

GENERAL INFORMATION
BOARD OF ADJUSTMENT REVIEW PROCESS AND APPLICATION SUBMITAL

BOARD OF ADJUSTMENT MEETING REQUEST: Prior to the submittal of the Board of Adjustment application, applicants are required to schedule a meeting request with Zoning and Landscaping Division staff to obtain feedback regarding the proposed variance, special exception, or other applications. The meeting includes general guidance on the submittal and process for the application type. To request a meeting with staff, [email request to the Board of Adjustment](#).

APPLICATION DEADLINE: Submittals must be received by 5:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if application, survey, plans and other documentation do not meet the submittal requirements and if changes are required. The applicable [Meeting Dates and Deadlines](#) can be found on the City's website at the Board of Adjustment webpage. Staff will provide guidance once an application has been submitted to the City.

ONLINE SUBMITTAL PROCESS: Submittals must be conducted through the [City's online citizen access portal and payment of fees LauderBuild](#). LauderBuild requires the creation of an online account to submit a complete application. To access submittal requirements and standards please visit the [LauderBuild Plan Room](#). Staff will provide guidance once an application has been submitted to the City.

DETERMINATION OF COMPLETENESS: Submittals are reviewed for completeness to ensure the application submittal contains all the required information including plans, survey, proof of ownership, narratives, and other pertinent documentation. The City will notify the applicant within five (5) business days from submittal with a determination of completeness. The notification will be sent via email and will indicate application completeness or incompleteness with required changes. [BOA Flow Chart](#).

PAYMENT OF FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit. Applicants will receive invoices electronically indicating the applicable fee(s). Note, there are fees at various stages of review depending on application type. Fees are paid online.

PUBLIC SIGN NOTICE: Board of Adjustment (BOA) application, and certain applications are subject to public sign notice. Affidavits must be completed and submitted to the city stated compliance that such has been completed. The affidavit form can be found in this package on page 4 and on the City's website.

EXAMPLE VARIANCE SUBMITTAL: Click to access the Board of Adjustment (BOA) page to view previous [Board of Adjustment \(BOA\) agendas, case backup, minutes and results](#).

QUESTIONS: Questions regarding the Board of Adjustment process or LauderBuild, contact us by phone or email at: boardofadjustment@torlauderdale.gov
Phone: 954-828-6520, Option 5

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The Board of Adjustment application form must be filled out accurately and all applicable sections must be completed. Complete the sections indicated for application, type N/A for those section items not applicable. Select the application type below and complete entire application form.

Application Type	(Select the application type from the list below and complete pages 1-4 of the application)	FEES
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation (Before)	\$2,332
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation (After)	\$2,968
<input type="radio"/>	Requesting Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (Before)	\$689
<input checked="" type="radio"/>	Requesting a Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (After)	\$901
<input type="radio"/>	Request for Continuance	\$954
<input type="radio"/>	Request for Rehearing	\$318
<input type="radio"/>	Rehearing Request before the board	\$1,219

Page 1: BOA - Applicant Information Sheet

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance(s) and/or special exception(s) requested. The application form must be filled out accurately and all applicable sections must be completed. Please print or type and answer all questions. Do Not leave any sections Blank. Indicate N/A if a question does not apply.

Case Number	Permit No. BLD-RNC-20080004
Date of complete submittal	01.17.2024

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	Lawrence Walters
Property Owner's Signature	<i>[Signature]</i> <small>If a signed agent letter is provided, this signature is required on the application by the owner.</small>
Address, City, State, Zip	1616 SW 17th Ave, Fort Lauderdale, FL, 33312
E-mail Address	walters@lvwalters.com
Phone Number	954-818-1230
Proof of Ownership	<input checked="" type="checkbox"/> Warranty Deed or <input type="checkbox"/> Tax Record

NOTE: If AGENT is to represent OWNER, notarized letter of consent is required

Applicant / Agent's Name	
Applicant / Agent's Signature	
Address, City, State, Zip	
E-mail Address	
Phone Number	
Agent Authorization Form Submitted	<input checked="" type="checkbox"/>

Permit code case related to variance(s)	
Existing / New	Existing: <input checked="" type="checkbox"/> New: <input type="checkbox"/>
Project Address	Address: 1616 SW 17th Ave, Fort Lauderdale, FL, 33312
Legal Description	Lot 15, of BOSSERT ISLES, according to the Plat thereof, as recorded in the Plat Book 46, Page 42, of the Public Records of Broward County, Florida
Tax ID Folio Numbers <small>(For all parcels in development)</small>	5042 16 35 0150
Variance/Special Exception Request <small>(Provide a brief description of your request)</small>	Requesting a Board of Adjustment approval for a pool canopy/overhang that was approved with the original set of construction documents and inspected multiple times at the relevant construction intervals (including zoning inspections). However, at the time of final zoning inspection the pool canopy was determined to be encroaching into the Corner / Side yard setback at the Eastern facing waterway / property boundary.
Applicable ULDR Sections <small>(Include all code sections)</small>	ULDR Section No. 47-5.31 Sec. 47-19.2.B

Current Land Use Designation	RS-8: Single Family Residence
Current Zoning Designation	Residential
Current Use of Property	Residential
Site Adjacent to Waterway	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Setbacks (indicate direction N, S, E, W)	Required	Proposed
Front	25'-0"	48'-2"
Side	25'-0" (Corner / Water-Facing)	25'-4" (to bldg./structure), 12'-0" (to pool canopy/overhang)
Side	5'-0"	5'-4"
Rear	25'-0" (Water-Facing)	32'-3"

Page 2: Board of Adjustment (BOA) Criteria for Variance Request

Answer **All** questions on this page and attach narrative. If additional space is needed, attach additional page(s).

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12, A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and The pool canopy in question that we are requesting BOA approval for was designed and constructed as an appendage / extension of the residential structure with the sole purpose of providing shade at the pool deck/pool (water) area. In addition, there are two (2) supporting columns for the pool canopy (located at the Southeast extent of the canopy) where the relevant column foundations are built monolithic with the pool structure. Removal of the applicable canopy columns (2) and pool canopy slab will present some significant complications with the structure of the residence, as well as, the structure of the pool. Please reference Sheet No. A-200 (Architectural Site Plan) & A-603 (Wall Section @ Lonal) for additional clarification.

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and: The circumstance(s) which cause the special condition peculiar to this property specifically, is that the pool canopy / roof overhang in question was approved with the original construction documentation, constructed by the General Contractor in compliance with the approved plans, inspected and approved by the relevant City of Fort Lauderdale staff throughout the duration of construction at the appropriate construction intervals. However, at final zoning inspection / Project closeout the pool canopy was determined to be encroaching into the Side Yard (Water-facing) Setback.

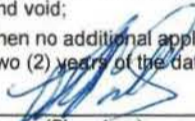
c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and The literal application of the provisions of the ULDR as set forth and/or the BOA approval as sought out will not deprive the applicant of a substantial property right nor provide a more profitable use of the property in either case.

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and The unique hardship relevant to the applicant is the significant cost implications (+/- \$197K) that would be applicable for the mandatory redesign of the residence, as well as the associated construction costs for the modifications, a resultant of having to remove and / or reduce the pool canopy / overhang structure. As stated previously, the construction documentation was designed, approved and inspected as such to be in conformance with the provisions as forth in the ULDR. Had the current discrepancy/encroachment been determined during the plan review process or while constructing the new residence, the projected modifications could have and would have been addressed WITHOUT the significant cost implications now presented. Please refer to the cost estimate as provided by the original General Contractor to address the potential modifications.

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare. The BOA approval as requested will indeed make it possible for reasonable use of the property / pool deck area (specifically) as originally intended. In addition, the requested BOA approval will not in any manner disrupt the harmony of the adjacent properties or present any incompatibilities with the surrounding neighborhood or otherwise be detrimental to the health, safety and welfare of the general public.

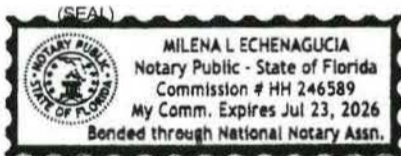
AFFIDAVIT: I, Lawrence Walters the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.



(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 18 day of JANUARY, 2024





NOTARY PUBLIC
MY COMMISSION EXPIRES: 7-23-2026.

Board of Adjustment (BOA) Criteria for Variance Request Answers

- a. **Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and** The pool canopy in question that we are requesting BOA approval for was designed and constructed as an appendage / extension of the residential structure with the sole purpose of providing shade at the pool deck/pool (water) area. In addition, there are two (2) supporting columns for the pool canopy (located at the Southeast extent of the canopy) where the relevant column foundations are built monolithic with the pool structure. Removal of the applicable canopy columns (2) and pool canopy slab will present some significant complications with the structure of the residence, as well as, the structure of the pool. Please reference Sheet No. A-200 (Architectural Site Plan) & A-603 (Wall Section @ Lanai) for additional clarification.
- b. **Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:** The circumstance(s) which cause the special condition peculiar to this property specifically, is that the pool canopy / roof overhang in question was approved with the original construction documentation, constructed by the General Contractor in compliance with the approved plans, inspected and approved by the relevant City of Fort Lauderdale staff throughout the duration of construction at the appropriate construction intervals. However, at final Zoning Inspection / Project closeout the pool canopy was determined to be encroaching into the Side Yard (Water-facing) Setback.
- c. **Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and** The literal application of the provisions of the ULDR as set forth and/or

the E.OA approval as sought out will not deprive the applicant of a substantial property right nor provide a more profitable use of the property in either case.

- d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

The unique hardship relevant to the applicant is the significant cost implications (+/- \$197K) that would be applicable for the mandatory redesign of the residence, as well as the associated construction costs for the modifications, a resultant of having to remove and / or reduce the pool canopy / overhang structure. As stated previously, the construction documentation was designed, approved and inspected as such to be in conformance with the provisions as forth in the ULDR. Had the current discrepancy/encroachment been determined during the plan review process or while constructing the new residence, the projected modifications could have and would have been addressed WITHOUT the significant cost implications now presented. Please refer to the cost estimate as provided by the original General Contractor to address the potential modifications.

- e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

The BOA approval as requested will indeed make it possible for reasonable use of the property / pool deck area (specifically) as originally intended. In addition, the requested BOA approval will not in any manner disrupt the harmony of the adjacent properties or present any incompatibilities with the surrounding neighborhood or otherwise be detrimental to the health, safety and welfare of the general public.

Page 3: Checklist for submittal and completeness:

The following information and checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide the information/items below will result in your application being deemed incomplete.

- Board of Adjustment Application Form** (the Board of Application form must be complete with the applicable information, signatures, and notarizations). *Complete and submit this entire application form with your submittal.
- Proof of Ownership** (warranty deed or tax record including corporation documents and Sunbiz verification name).
- Authorization Form** (Property owner(s) original notarized signature(s) is required (if applicable)).
- Narrative** (include the applicable ULDR code sections, Date, specific request and criteria as described in the specifications for submittal by application. The narrative must be titled "Narrative" and indicate the author).
- Color Photographs** (Color photos of the entire property and all surrounding properties dated and labeled and identified as to orientation).
- Survey** (The survey of the property must be digitally signed and sealed, showing existing conditions; survey must be As Built with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of land(s) not included in the proposed project unless specifically requested by the city). *The date on the Survey should not exceed one (1) year.
- Site Plan** (A full set of plans must be submitted a survey may be substituted if the requested variance is clearly indicated) Cover sheet on plan set to state project name and table of contents.
- Elevations**
- Landscape Plans**
- Additional Plans**
- Mail Notification Documents**

• MAIL NOTICE: Mail notice shall be given to owners of land within three hundred (300) feet of the subject site ten (10) days prior to the date set for the public hearing.

- **TAX MAP:** Applicant shall provide a tax map from the Broward County Property Appraiser of all property within a three hundred (300) foot radius, with each property clearly shown and delineated. Each property within the notice area must be numbered (by Folio ID) on the map to cross-reference with property owners notice list.
- **PROPERTY OWNERS NOTICE LIST:** Applicant shall provide a property owner notice list with the names, property control numbers (Folio ID) and complete addresses for all property owners within the required three hundred (300) foot radius. The list shall also include all homeowners' associations, condominium associations, municipalities and counties noticed, as indicated on the tax roll.
- **ENVELOPES:** The applicant shall provide business size (#10) envelopes with first class postage attached (stamps only, metered mail will not be accepted). Envelopes must be addressed to all property owners within the required three hundred (300) foot radius, and mailing addresses must be typed or labeled; no handwritten addresses will be accepted. The return address shall be listed on all envelopes as follows:

City of Fort Lauderdale- Zoning & Landscaping Division -BOA
700 N.W. 19th Avenue
Fort Lauderdale, Florida 33311

How to Order a Tax Map and Notice List.

To order a tax map and notice list, please Contact Heather Hanson at hhanson@bcopa.net or call 954-357-6855 OR Kenny Gibbs at kgibbs@bcopa.net or call 954-357-5503.

DISTRIBUTION: The City of Fort Lauderdale, Zoning & Landscaping Division will mail all notices prior to the public hearing meeting date, as outlined in Section 47-27.

OVERVIEW FOR ONLINE SUBMITTAL REQUIREMENTS:

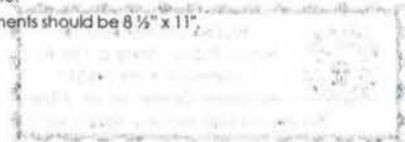
Submittals must be conducted through the [City's online citizen access portal LauderBuild](#). No hardcopy application submittals are accepted. Information and items listed on the above checklist are important submittal requirements that applicants must follow and submit online to be deemed complete. View all plan and document requirements at [LauderBuild Plan Room](#).

- Uploading Entire Submittal upload all documents at time the application is submitted to prevent delays in processing.
- [File Naming Convention file names must adhere to the City's File Naming Convention](#).
- Reduce File Size plan sets, and other large files must be merged or flattened to reduce file size.
- Plan Sets plan sets like site plans, plats, etc. must be submitted as a single pdf file. Staff will instruct when otherwise.
- Document Categories choose the correct document category when uploading.

SUBMIT 14 COPY SETS

14 copy sets of each item listed on the checklist will be due **AFTER** the Application submittal has been Deemed Complete.

All 14 copy sets must be clear and legible. The survey and plans must be at half-size scale 11X17" and all non-plan documents should be 8 1/2" x 11".



SIGN NOTICE

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. _____

APPLICANT: Lawrence Walters

PROPERTY: 1616 SW 17th Avenue, Fort Lauderdale, FL 33312

PUBLIC HEARING DATE: _____

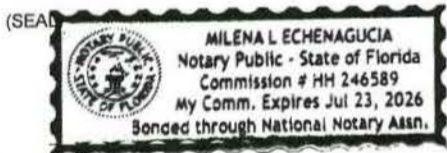
BEFORE ME, the undersigned authority, personally appeared _____, who upon being duly sworn and cautioned, under oath deposes and says:

1. Affiant is the Applicant in the above cited City of Fort Lauderdale **Board or Commission Case**.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the **Board or Commission**.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least **fifteen (15)** days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the **Board or Commission**. **Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.**
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division **five (5)** calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2. of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. LW (Initial here)

Affiant _____

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 18 day of JANUARY, 2024.



Milena Echenagucia
NOTARY PUBLIC
MY COMMISSION EXPIRES: 7-23-2026

Page 5: Technical Specifications

A. SITE PLAN

1. Title Block including project name and design professional's address and phone number
2. Scale (1" = 30' min., must be engineer's scale)
3. North indicator
4. Location map showing relationship to major arterials
5. Drawing and revision dates, as applicable
6. Full legal description
7. Site Plan Data Table
 - Current use of property
 - Land Use designation
 - Zoning designation
 - Site area (sq. ft. and acres)
 - Setback table (required vs. provided)
 - Open space
8. Site Plan Features (graphically indicated)
 - Setbacks and building separations (dimensioned)
 - Project signage (if applicable)
 - Easements (as applicable)

(Please note additional site plan information may be necessary to fully address the requested variance)

B. BUILDING ELEVATIONS (as applicable)

1. All building facades with directional labels (i.e. North, South) and building names if more than one building
2. Dimensions, including height and width of all structures
3. Dimensions of setbacks and required setbacks from property lines
4. Dimension grade at crown of road, at curb, sidewalk, building entrance, and finished floor
5. Include proposed signage



Site Address	1616 SW 17 AVENUE, FORT LAUDERDALE FL 33312	ID #	5042 16 35 0150
Property Owner	ESTATE MANORS INC WALTERS, LAWRENCE	Millage	0312
Mailing Address	1616 SW 17 AVE FORT LAUDERDALE FL 33312	Use	00
Abbr Legal Description	BOSSERT ISLES 46-42 B LOT 15		

The just values displayed below were set in compliance with [Sec. 193.011](#), Fla. Stat., and include a reduction for costs of sale and other adjustments required by [Sec. 193.011\(8\)](#).

* 2024 values are considered "working values" and are subject to change.

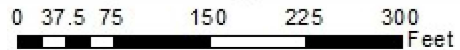
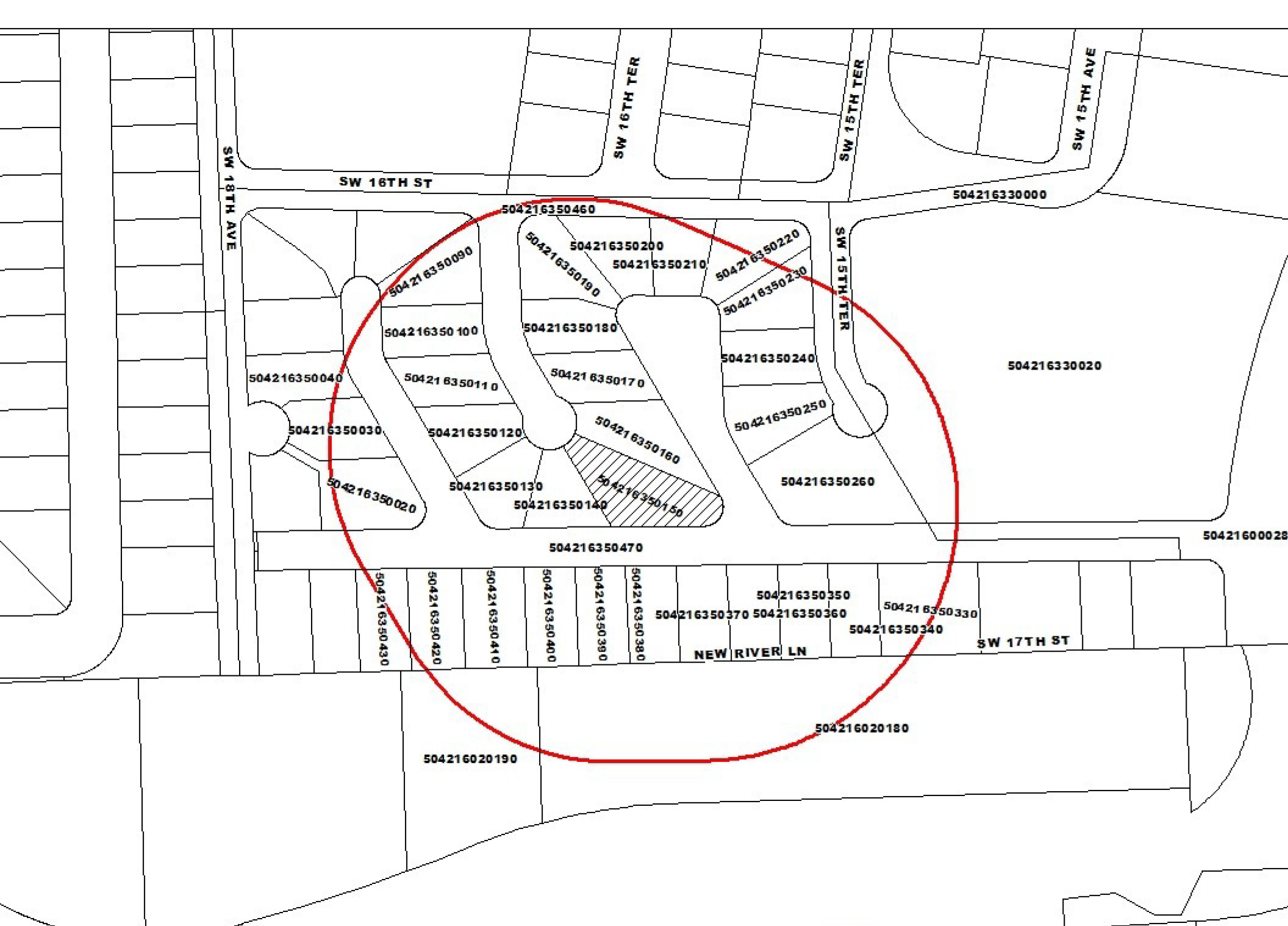
Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2024*	\$722,210		\$722,210	\$722,210	
2023	\$722,210		\$722,210	\$476,650	\$10,781.75
2022	\$433,320		\$433,320	\$433,320	\$8,198.13

2024* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$722,210	\$722,210	\$722,210	\$722,210
Portability	0	0	0	0
Assessed/SOH	\$722,210	\$722,210	\$722,210	\$722,210
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$722,210	\$722,210	\$722,210	\$722,210

Sales History			
Date	Type	Price	Book/Page or CIN
3/13/2023	QCD-D	\$50,000	118746477
3/3/2021	WD-Q	\$475,000	117097029
2/14/2018	WD-Q	\$457,000	114894129
12/6/2016	WD-Q	\$450,000	114097149
2/10/2015	WD-Q	\$355,000	112827024

Land Calculations		
Price	Factor	Type
\$55.00	13,131	SF
Adj. Bldg. S.F.		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F3		
L								
1						13131		



MARTY KIAR
BROWARD COUNTY PROPERTY APPRAISER



1616 SW 17 AVE
DATE OF PRINT: 01/18/2024

FOLIO_NUMB	NAME_LINE_
504216000280	TIITF/STATE OF FLORIDA
504216020180	SHM SOUTH FORK LLC
504216020190	SHM SOUTH FORK LLC
504216330020	SHADY BANKS ESTATES LLC
504216350020	HAGER,JULIE & TIMOTHY
504216350030	GOLABEK,GREGORY & GRACE
504216350040	ALVAREZ,ALEXANDER & RUBY A
504216350090	JAXTHEIMER,ROBERT R
504216350100	GARCIA,KATHRYN P
504216350110	MIRSHAMSI,AMIR S & CAROLINE D
504216350120	ALLEN,EUGENE
504216350130	1617 SHADY BANKS VILLA LLC
504216350140	SIMONETTA,DAVID J
504216350150	ESTATE MANORS INC
504216350160	WESTBERRY,ARNOLD HOKE III
504216350170	ALKHALISI,ALI A H/E
504216350180	JONES,WILLIAM KINZY JR
504216350190	HALL,RACHEL
504216350200	WAHN,PETER C & GAIL D
504216350210	FREDERICK,ROBERT C & KATHLEEN
504216350220	MAY,MICHAEL J
504216350230	RIZNICK,SCOTT THOMAS & LINDA
504216350240	MANSARAM,NANDRA
504216350250	RIVER HOUSE OF FLORIDA LLC
504216350260	ANDERSON,CARMEN
504216350330	MILLER,CHRISTOPHER BENJAMIN JR
504216350340	SHM SOUTH FORK LLC
504216350350	SHM SOUTH FORK LLC
504216350360	ASSOCIATED INDUSTRIAL SUPPLY CO
504216350370	AFFILIATED LEASING INC
504216350380	ASSOCIATED INDUSTRIAL SUPPLY CO
504216350390	AFFILIATED LEASING INC
504216350400	PERKINS,JAY WILLIAM
504216350410	HUTCHINS,SIMON H/E
504216350420	WOODMAN,CONNIE
504216350430	SPERLING,MITZI & STEPHEN
504216350460	PUBLIC LAND
504216350470	PUBLIC LAND

NAME_LINE1

OCEAN CLOUD LIV TR

CHARLES,KELLY
WALTERS,LAWRENCE
WESTBERRY,MARCELA MARIA
MANSARAM,NANDRA
JONES,JENNIFER W
HALL,RALPH

%MATT LOWEN

STIRLING-PERKINS,LIZABETH ANNE
HUTCHINS,MARICELA
CONNIE WOODMAN REV TR

% CITY OF FORT LAUDERDALE
% CITY OF FORT LAUDERDALE

ADDRESS_LI	CITY	ST/ZIP
3900 COMMONWEALTH BLVD MS 100	TALLAHASSEE	FL 32399
14785 PRESTON RD STE 975	DALLAS	TX 75254
14785 PRESTON RD STE 975	DALLAS	TX 75254
2308 SUNRISE KEY BLVD	FORT LAUDERDALE	FL 33304
1616 SW 18 AVE	FORT LAUDERDALE	FL 33312
1523 E OAKTON ST STE B	DES PLAINES	IL 60018
1612 SW 18 AVE	FORT LAUDERDALE	FL 33312
1601 SW 17 AVE	FORT LAUDERDALE	FL 33312
1605 SW 17 AVE	FORT LAUDERDALE	FL 33312
1609 SW 17 AVE	FORT LAUDERDALE	FL 33312
1613 SW 17 AVE	FORT LAUDERDALE	FL 33312
1055 S FEDERAL HWY	HOLLYWOOD	FL 33020
1620 SW 17 AVE	FORT LAUDERDALE	FL 33312
1616 SW 17 AVE	FORT LAUDERDALE	FL 33312
1612 SW 17 AVE	FORT LAUDERDALE	FL 33312
1608 SW 17 AVE	FORT LAUDERDALE	FL 33312
1604 SW 17 AVE	FORT LAUDERDALE	FL 33312
1600 SW 17 AVE	FORT LAUDERDALE	FL 33312
1610 SW 16 ST	FORT LAUDERDALE	FL 33312
1600 SW 16 ST	FORT LAUDERDALE	FL 33312
1540 SW 16 ST	FORT LAUDERDALE	FL 33312
1605 SW 15 TER	FORT LAUDERDALE	FL 33312
1609 SW 15 TER	FORT LAUDERDALE	FL 33312
1615 SW 15TH TER	FORT LAUDERDALE	FL 33312
1617 SW 15 TER	FORT LAUDERDALE	FL 33312
1525 SW 17 ST	FORT LAUDERDALE	FL 33312
14785 PRESTON RD STE 975	DALLAS	TX 75254
14785 PRESTON RD STE 975	DALLAS	TX 75254
PO BOX 2889	HUTCHINSON	KS 67504
PO BOX 2889	HUTCHINSON	KS 67504
PO BOX 2889	HUTCHINSON	KS 67504
PO BOX 2889	HUTCHINSON	KS 67504
1613 SW 17 ST	FORT LAUDERDALE	FL 33312
1701 SW 17 ST	FORT LAUDERDALE	FL 33312
1709 SW 17 ST	FORT LAUDERDALE	FL 33312
1713 SW 17 ST	FORT LAUDERDALE	FL 33312
100 N ANDREWS AVE	FORT LAUDERDALE	FL 33301
100 N ANDREWS AVE	FORT LAUDERDALE	FL 33301

ADDRESS__1		LEGAL_LINE
TALLAHASSEE	FL32399	16-50-42
DALLAS	TX75254	MRS E F MARSHALLS SUB REV PLAT
DALLAS	TX75254	MRS E F MARSHALLS SUB REV PLAT
FORT LAUDERDALE	FL33304	NEW RIVER BANKS 44-22 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
DES PLAINES	IL60018	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
HOLLYWOOD	FL33020	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
DALLAS	TX75254	BOSSERT ISLES 46-42 B
DALLAS	TX75254	BOSSERT ISLES 46-42 B
HUTCHINSON	KS67504	BOSSERT ISLES 46-42 B
HUTCHINSON	KS67504	BOSSERT ISLES 46-42 B
HUTCHINSON	KS67504	BOSSERT ISLES 46-42 B
HUTCHINSON	KS67504	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33312	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33301	BOSSERT ISLES 46-42 B
FORT LAUDERDALE	FL33301	BOSSERT ISLES 46-42 B

LEGAL_LI_1

PORTION OF SOUTH FORK OF NEW

1-2 B 16-50-42

1-2 B 16-50-42

TRACT B

PT TRACT B

LOT 3

LOT 4

LOT 9

LOT 10

LOT 11

LOT 12

LOT 13

LOT 14

LOT 15

LOT 16

LOT 17

LOT 18 & PORTION OF LOT 19 DESC

LOT 19 LESS COMM SW COR OF

LOT 20

LOT 21

LOT 22

LOT 23

LOT 24

LOT 25

LOT 26,27

TRACT A E 78 OF W 876 AKA LOT 33

TRACT A E 64 OF W 798

TRACT A E 64 OF W 734

TR A E 65 OF W 670 AKA LOT 36

TR A E 65 OF W 605 AKA LOT 37

TR A E 65 OF W 540 AKA LOT 38

TR A E 65 OF W 475 AKA LOT 39

TR A E 65 OF W 410 AKA LOT 40

TR A E 80 OF W 345 AKA LOT 41

TR A E 70 OF W 265 AKA LOT 42

TR A E 65 OF W 195 AKA LOT 43

ALL AVENUES,STREETS, TERRACES

ALL CANALS ARE HEREBY DEDICATED

LEGAL_LI_2

RIVER CANAL LYING WITHIN SAID

LOT 17 LYING IN E3/4 OF NE1/4 OF

W 175 OF FOLLOWING DESC-LOT 17

LESS PT DESC AS BEG

AS COMM SW COR OF SAID LOT,E ALG

SAID LOT,E ALG S/L 73.07 TO

& TR A E 50 OF W 926 AKA LOT 32

AKA:LOT 34

AKA:LOT 35

ARE HEREBY DEDICATED TO THE

TO THE PERPETUAL USE OF THE

LEGAL_LI_3

SEC 16, LESS A PORTION OF CANAL
SW1/4 LESS W 175
LYING IN E3/4 OF NE1/4 OF SW1/4

AT SW COR TR B,E 88,N 75.89,NWLY

LEGAL_LI_4

DESC AS ORB 30521/667 B
LYING N OF RIVER

56.83,SWLY ARC DIST 42.24 TO NW

S/L 73.07 TO POB,SELY 45.76,NWLY
POB,SELY 45.76,NWLY 31.86,

31.86,NWLY 14.30 TO POB
NWLY 14.30 TO POB

PERPETUAL OF THE PUBLIC IN FEE
PUBLIC IN FEE SIMPLE

SIMPLE

LEGAL_LI_5

LEGAL_LI_6

COR SAID TR B,S 100.71 TO POB

LEGAL_LI_7

LEGAL_LI_8

LEGAL_LI_9

LEGAL_L_10

LEGAL_L_11

LEGAL_L_12

LEGAL_L_13

ZIP4	MILL/US	US/MF/C	JUST_LAND	JUST_BUILD	JUST_OTHE
	0312 95	3B 1	99430	0	0
	0312 20 13	3B	4357580	924640	0
	0312 20 13	3B	1504680	307690	0
	0312 01 01	3B	4967950	2001590	0
	0312 01 01	3B	354030	491510	0
2184	0312 01 01	3B	219700	438930	0
	0312 01 01	3B	203800	624460	0
	0312 01 01	3B	142460	740780	0
4123	0312 01 01	3B	213750	578470	0
4123	0312 01 01	3B	213500	862080	0
	0312 01 01	3B	209050	555470	0
	0312 01 01	3B	238470	1235720	0
4124	0312 01 01	3B	202190	717420	0
	0312 00	3B	722210	0	0
4124	0312 01 01	3B	268800	754940	0
4124	0312 01 01	3B	210500	677700	0
4124	0312 01 01	3B	207300	664400	0
	0312 01 01	3B	147630	732300	0
4138	0312 01 01	3B	124290	417310	0
4138	0312 01 01	3B	108570	417560	0
3381	0312 01 01	3B	143760	416300	0
3313	0312 01 01	3B	126920	562560	0
3313	0312 01 01	3B	214130	997420	0
3313	0312 01 01	3B	251930	1124680	0
3313	0312 01 01	3B	607230	1300170	0
	0312 01 02	3B	351280	725560	0
	0312 00	3B	383250	0	0
	0312 00	3B	387050	0	0
2889	0312 00	3B	396950	0	0
2889	0312 00	3B	400900	0	0
2889	0312 01 01	3B	184970	334380	0
2889	0312 01 01	3B	186920	338680	0
4169	0312 01 01	3B	186650	266720	0
	0312 01 01	3B	232470	356620	0
4166	0312 01 01	3B	200730	449530	0
	0312 01 01	3B	186560	266130	0
	0312 94	3B	31570	0	0
	0312 95	3B	9500	0	0

LY_JUSTVAL	LY_SOHL	LY_SOHB	PREV_SOH	NEW_SOH	NEW_SB_SC	HE1_AMOU	HE2_AMOU	WVD_AMO
99700	0	0	99700	99430	99430	0	0	0
5282220	0	0	5057970	5282220	5282220	0	0	0
1812370	0	0	1676830	1812370	1812370	0	0	0
6969540	0	0	6969540	6969540	6969540	0	0	0
843900	0	0	500000	516620	516620	25000	25000	0
658630	0	0	542990	597280	658630	0	0	0
828260	0	0	544130	560450	560450	25000	25000	0
881870	0	0	445080	459800	459800	25000	25000	0
792220	0	0	318520	328070	328070	25000	25000	0
1075580	0	0	511690	527040	527040	25000	25000	0
764520	0	0	393670	405480	405480	25000	25000	0
1474210	0	0	1474210	1474190	1474190	0	0	0
921060	0	0	462960	475390	475390	25000	25000	0
722210	0	0	722210	722210	722210	0	0	0
1023740	0	0	593280	1023740	1023740	0	0	0
888200	0	0	516080	531560	531560	25000	25000	0
871700	0	0	471240	485370	485370	25000	25000	0
879200	0	0	681420	750290	879930	0	0	0
541600	0	0	254140	261760	261760	25000	25000	0
526130	0	0	262670	270550	270550	25000	25000	0
560060	0	0	320850	330470	330470	25000	25000	0
689480	0	0	267380	275400	275400	25000	25000	0
1211550	0	0	1169920	1205010	1205010	25000	25000	0
1376610	0	0	942900	1376610	1376610	0	0	0
1907400	0	0	1330600	1370510	1370510	25000	25000	5000
1076840	0	0	227260	234070	234070	25000	25000	0
383250	0	0	255040	280540	383250	0	0	0
387050	0	0	257570	283320	387050	0	0	0
396950	0	0	264160	290570	396950	0	0	0
400900	0	0	266780	293450	400900	0	0	0
519350	0	0	434450	477890	519350	0	0	0
525600	0	0	439860	483840	525600	0	0	0
453370	0	0	337680	347810	347810	25000	25000	0
589090	0	0	432270	445230	445230	25000	25000	0
650260	0	0	284180	292700	292700	25000	25000	5000
452690	0	0	344020	354340	354340	25000	25000	0
31570	0	0	31570	31570	31570	0	0	0
9500	0	0	9500	9500	9500	0	0	0

EXEMPTION	COUNTY_M	SCHOOL_M	CITY_MEX_	INDEP_MEX	COUNTY_TA	SCHOOL_TA	CITY_TAXAE	INDEP_TAXA
0	99430	99430	99430	99430	0	0	0	0
0	0	0	0	0	5282220	5282220	5282220	5282220
0	0	0	0	0	1812370	1812370	1812370	1812370
0	0	0	0	0	6969540	6969540	6969540	6969540
0	0	0	0	0	466620	491620	466620	466620
0	0	0	0	0	597280	658630	597280	597280
0	0	0	0	0	510450	535450	510450	510450
0	0	0	0	0	409800	434800	409800	409800
0	0	0	0	0	278070	303070	278070	278070
0	0	0	0	0	477040	502040	477040	477040
0	0	0	0	0	355480	380480	355480	355480
0	0	0	0	0	1474190	1474190	1474190	1474190
0	0	0	0	0	425390	450390	425390	425390
0	0	0	0	0	722210	722210	722210	722210
0	0	0	0	0	1023740	1023740	1023740	1023740
0	0	0	0	0	481560	506560	481560	481560
0	0	0	0	0	435370	460370	435370	435370
0	0	0	0	0	750290	879930	750290	750290
0	0	0	0	0	211760	236760	211760	211760
0	0	0	0	0	220550	245550	220550	220550
0	0	0	0	0	280470	305470	280470	280470
0	0	0	0	0	225400	250400	225400	225400
0	0	0	0	0	1155010	1180010	1155010	1155010
0	0	0	0	0	1376610	1376610	1376610	1376610
0	0	0	0	0	1315510	1340510	1315510	1315510
0	0	0	0	0	184070	209070	184070	184070
0	0	0	0	0	280540	383250	280540	280540
0	0	0	0	0	283320	387050	283320	283320
0	0	0	0	0	290570	396950	290570	290570
0	0	0	0	0	293450	400900	293450	293450
0	0	0	0	0	477890	519350	477890	477890
0	0	0	0	0	483840	525600	483840	483840
0	0	0	0	0	297810	322810	297810	297810
0	0	0	0	0	395230	420230	395230	395230
0	0	0	0	0	237700	262700	237700	237700
0	0	0	0	0	304340	329340	304340	304340
0	31570	31570	31570	31570	0	0	0	0
0	9500	9500	9500	9500	0	0	0	0

HE_LY	FME_W	EXISO	CO	FID	DEL_VALUE	ADD_VALUE	LIG	GARBAGE_AS	FIR FI	FIRE_ASSES	SAISAFE_NEI_1	DR
100	10	14	Y		0	0		0.00 03 X		1		0
		20	N Y		0	0		0.00 03 C		3267		0
		20	N Y		0	0		0.00 03 C		2486		0
		24	Y		0	0	F	9.44 03 R		1		0
100	100	16	16	Y	0	1620	F	9.44 03 R		1		0
		08	Y		0	0	F	9.44 03 R		1		0
100	100	19	19	Y	0	0	F	9.44 03 R		1		0
100	100	21	21	Y	0	1370	F	9.44 03 R		1		0
1/1	1/1	94	08	Y	0	0	F	9.44 03 R		1		0
100	100	10	10	Y	0	0	F	9.44 03 R		1		0
1/1	1/1	01	08	Y	0	0	F	9.44 03 R		1		0
		23	Y		0	0	F	9.44 03 R		1		0
100	100	19	19	Y	1450	0	F	9.44 03 R		1		0
		24	Y		0	0		0.00 03 L		1		0
100		24	Y		0	0	F	9.44 03 R		1		0
100	100	18	18	Y	0	0	F	9.44 03 R		1		0
100	100	12	12	Y	0	0	F	9.44 03 R		1		0
		22	Y		0	730	F	9.44 03 R		1		0
1/1	1/1	94	08	Y	0	0	F	9.44 03 R		1		0
1/1	1/1	94	08	Y	0	0	F	9.44 03 R		1		0
100	100	12	12	Y	0	0	F	9.44 03 R		1		0
1/1	1/1	95	08	Y	0	0	F	9.44 03 R		1		0
100	100	18	18	Y	0	0	F	9.44 03 R		1		0
100		24	Y		0	0	F	9.44 03 R		1		0
100	100	1	22	22	Y	0	0	F	9.44 03 R	1		0
1/1	1/1	94	08	Y	0	0	F	18.88 03 R		1		0
		20	Y		0	0		0.00 03 L		1		0
		20	Y		0	0		0.00 03 L		1		0
		08	Y		0	0		0.00 03 L		1		0
		08	Y		0	0		0.00 03 L		1		0
		08	Y		0	0	F	9.44 03 R		1		0
		08	Y		0	0	F	9.44 03 R		1		0
100	100	11	11	Y	0	0	F	9.44 03 R		1		0
100	100	16	16	Y	0	0	F	9.44 03 R		1		0
1/1	1/1	1	95	08	Y	0	0	F	9.44 03 R	1		0
100	100	15	15	Y	0	0	F	9.44 03 R		1		0
100	14	15	Y		0	0		0.00 03 X		1		0
100	14	15	Y		0	0		0.00 03 X		1		0

0.00	0.00		0.00	0.0000000000	0.0000000000
0.00	0.00	##### WD'	56000.00	0.0000000000	0.0000000000
0.00	0.00	##### WD'	56000.00	0.0000000000	0.0000000000
0.00	0.00	##### WD	56000.00	0.0000000000	0.0000000000
0.00	0.00	##### SWL	4102.00	0.0000000000	0.0000000000
0.00	0.00	5/5/2004 WD	3500.00	37602.0000000000	189.0000000000
0.00	0.00	8/1/2018 WD	3955.00	0.0000000000	0.0000000000
0.00	0.00	##### WD	4036.20	0.0000000000	0.0000000000
0.00	0.00	2/1/1990 QCD	0.55	17161.0000000000	605.0000000000
0.00	0.00	##### WD	3507.00	46381.0000000000	1650.0000000000
0.00	0.00	3/2/2020 QCD	0.70	0.0000000000	0.0000000000
0.00	0.00	##### WD	11893.00	0.0000000000	0.0000000000
0.00	0.00	##### WD	4060.00	0.0000000000	0.0000000000
0.00	0.00	##### QCD	350.00	0.0000000000	0.0000000000
0.00	0.00	##### WD	8540.00	0.0000000000	0.0000000000
0.00	0.00	##### TD	3703.00	0.0000000000	0.0000000000
0.00	0.00	##### WD	2975.00	47655.0000000000	1803.0000000000
0.00	0.00	##### WD	4655.00	0.0000000000	0.0000000000
0.00	0.00	4/1/1991 WD	1050.50	18348.0000000000	290.0000000000
0.00	0.00	##### WD	0.70	0.0000000000	0.0000000000
0.00	0.00	##### WD	2030.00	48121.0000000000	1586.0000000000
0.00	0.00	##### QCD	0.70	26384.0000000000	433.0000000000
0.00	0.00	##### WD	3819.90	0.0000000000	0.0000000000
0.00	0.00	9/6/2023 QCD	0.70	0.0000000000	0.0000000000
0.00	0.00	##### WD	9100.00	0.0000000000	0.0000000000
0.00	0.00	##### QCD	0.70	36759.0000000000	1608.0000000000
0.00	0.00	##### WD'	56000.00	0.0000000000	0.0000000000
0.00	0.00	##### WD'	56000.00	0.0000000000	0.0000000000
0.00	0.00	3/1/1982 WD'	882.00	10091.0000000000	717.0000000000
0.00	0.00	3/1/1982 WD'	882.00	10091.0000000000	717.0000000000
0.00	0.00	3/1/1982 WD'	882.00	10091.0000000000	717.0000000000
0.00	0.00	##### QCD	1519.00	31545.0000000000	1947.0000000000
0.00	0.00	##### WD	2275.00	46832.0000000000	1461.0000000000
0.00	0.00	##### WD	0.70	0.0000000000	0.0000000000
0.00	0.00	##### QCD	0.70	0.0000000000	0.0000000000
0.00	0.00	##### WD	2485.00	50949.0000000000	247.0000000000
0.00	0.00		0.00	0.0000000000	0.0000000000
0.00	0.00		0.00	0.0000000000	0.0000000000

SALE_DAT	DEE	STAMP_AM	BOOK_2	PAGE_2	SALE_DAT	DEE	STAMP_AM
		0.00	0.0000000000	0.0000000000			0.00
#####	WD'	40250.00	0.0000000000	0.0000000000	#####	WD'	8750.00
#####	WD'	40250.00	0.0000000000	0.0000000000	#####	WD'	8750.00
#####	WD	29750.00	50334.0000000000	526.0000000000	#####	QCD	0.70
#####	CET	3342.50	0.0000000000	0.0000000000	#####	QCD	0.70
		0.00	0.0000000000	0.0000000000			0.00
4/2/2018	TD	2205.00	0.0000000000	0.0000000000	#####	WD	3850.00
#####	WD	3150.00	0.0000000000	0.0000000000	#####	WD	2919.00
#####	WD	775.00	0.0000000000	0.0000000000	9/1/1985	WD	750.00
3/5/2001	WD	0.70	31515.0000000000	1217.0000000000	4/1/1992	WD	1740.00
#####	WD	0.70	45616.0000000000	439.0000000000	#####	WD	2275.00
#####	SWI	3451.00	0.0000000000	0.0000000000	#####	CET	3309.60
#####	WD	3325.00	0.0000000000	0.0000000000	#####	QC*	0.70
3/3/2021	WD	3325.00	0.0000000000	0.0000000000	#####	WD	3199.00
#####	WD	4235.00	50621.0000000000	420.0000000000	#####	WD	1375.00
#####	QCD	0.70	43826.0000000000	1198.0000000000	8/1/1962	WD	32.00
2/3/1999	QCD	0.70	29210.0000000000	1076.0000000000	3/1/1981	QCD	0.40
#####	WD	3290.00	0.0000000000	0.0000000000	#####	WD	700.00
5/1/1989	WD	940.50	0.0000000000	0.0000000000	8/1/1978	WD	180.00
#####	QCD	0.70	47401.0000000000	1864.0000000000	8/1/1971	WD	96.00
1/5/2006	WD	5367.60	41223.0000000000	932.0000000000	#####	WD	1687.00
7/1/1993	WD	1155.00	20872.0000000000	949.0000000000	#####	WD	913.00
#####	WD	3325.00	35277.0000000000	486.0000000000	#####	WD	1568.00
#####	WD	6160.00	51190.0000000000	1950.0000000000	#####	WD	3325.00
#####	WD	5950.00	0.0000000000	0.0000000000	#####	QCD	0.60
#####	QCD	0.70	30885.0000000000	747.0000000000	#####	WD	300.00
#####	WD'	40250.00	0.0000000000	0.0000000000	#####	WD'	8750.00
#####	WD'	40250.00	0.0000000000	0.0000000000			0.00
		0.00	0.0000000000	0.0000000000			0.00
		0.00	0.0000000000	0.0000000000			0.00
		0.00	0.0000000000	0.0000000000			0.00
3/1/1982	WD	450.00	10081.0000000000	907.0000000000	1/1/1970	WD	75.00
#####	WD	1120.00	29340.0000000000	1451.0000000000	#####	WD	0.70
#####	WD	1960.00	47130.0000000000	1153.0000000000	#####	WD	4590.00
6/1/1994	WD	1249.50	22332.0000000000	952.0000000000	1/1/1971	WD	30.00
5/1/1993	WD	0.70	21047.0000000000	600.0000000000	9/1/1986	WD	375.00
		0.00	0.0000000000	0.0000000000			0.00
		0.00	0.0000000000	0.0000000000			0.00

BOOK_3	PAGE_3	SALE_DAT_DEE	STAMP_AM	BOOK_4
0.0000000000	0.0000000000		0.00	0.0000000000
47403.0000000000	1347.0000000000	##### QC*	0.70	46386.0000000000
47403.0000000000	1347.0000000000	##### QC*	0.70	46386.0000000000
48382.0000000000	1481.0000000000	##### QCD	0.70	48382.0000000000
0.0000000000	0.0000000000	##### QCD	0.70	42484.0000000000
0.0000000000	0.0000000000		0.00	0.0000000000
42319.0000000000	1490.0000000000	9/5/1994 PRD	0.70	22934.0000000000
45478.0000000000	1718.0000000000	##### QCD	0.70	43174.0000000000
0.0000000000	0.0000000000	##### WD	225.00	0.0000000000
19399.0000000000	911.0000000000	##### WD	1274.90	0.0000000000
30914.0000000000	1981.0000000000	4/1/1986 QCD	0.50	13368.0000000000
0.0000000000	0.0000000000	##### WD	5180.00	38576.0000000000
31545.0000000000	1941.0000000000	##### WD	2100.00	30013.0000000000
0.0000000000	0.0000000000	##### WD	3150.00	0.0000000000
14944.0000000000	565.0000000000		0.00	0.0000000000
5221.0000000000	673.0000000000		0.00	0.0000000000
9521.0000000000	995.0000000000	##### WD	25.50	0.0000000000
50474.0000000000	1763.0000000000	##### WD	1414.00	30451.0000000000
0.0000000000	0.0000000000	3/1/1964 CET	49.50	0.0000000000
0.0000000000	0.0000000000		0.00	0.0000000000
30013.0000000000	1310.0000000000	##### QCD	0.70	20290.0000000000
0.0000000000	0.0000000000	8/1/1989 QCD	0.55	0.0000000000
26648.0000000000	989.0000000000	7/1/1992 WD	1278.00	19667.0000000000
30896.0000000000	265.0000000000	##### WD	330.00	9567.0000000000
19039.0000000000	280.0000000000	3/1/1979 WD	540.00	0.0000000000
13083.0000000000	161.0000000000	##### WD	3000.00	0.0000000000
47403.0000000000	1347.0000000000	##### QC*	0.70	46386.0000000000
0.0000000000	0.0000000000	##### WD'	8750.00	47403.0000000000
0.0000000000	0.0000000000		0.00	0.0000000000
0.0000000000	0.0000000000		0.00	0.0000000000
0.0000000000	0.0000000000		0.00	0.0000000000
0.0000000000	0.0000000000		0.00	0.0000000000
25104.0000000000	116.0000000000	4/1/1965 WD	12.00	0.0000000000
39890.0000000000	1611.0000000000	##### WD	1715.00	29785.0000000000
0.0000000000	0.0000000000	##### WD	12.90	0.0000000000
0.0000000000	0.0000000000	##### WD	112.50	0.0000000000
0.0000000000	0.0000000000		0.00	0.0000000000
0.0000000000	0.0000000000		0.00	0.0000000000

0.0000000000		0.00	0.0000000000	0.0000000000
369.0000000000	##### CE*	0.70	46192.0000000000	938.0000000000
369.0000000000		0.00	0.0000000000	0.0000000000
1479.0000000000	##### PRD	0.70	48382.0000000000	1477.0000000000
1028.0000000000	##### WD	7350.00	41382.0000000000	134.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
980.0000000000	##### WD	166.05	5168.0000000000	378.0000000000
876.0000000000	5/1/1966 WD	42.00	0.0000000000	0.0000000000
0.0000000000	3/1/1963 WD	28.80	0.0000000000	0.0000000000
0.0000000000	5/1/1979 WD	387.00	0.0000000000	0.0000000000
711.0000000000	7/1/1977 WD	96.00	0.0000000000	0.0000000000
1211.0000000000	##### QCD	0.70	34404.0000000000	1235.0000000000
56.0000000000	##### WD	1168.75	17970.0000000000	935.0000000000
0.0000000000	##### WD	2485.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
1174.0000000000	##### WD	643.50	16418.0000000000	73.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
275.0000000000	##### QCD	0.70	0.0000000000	0.0000000000
0.0000000000	8/1/1987 WD	0.55	0.0000000000	0.0000000000
938.0000000000	##### WD	1006.50	0.0000000000	0.0000000000
247.0000000000	4/1/1976 WD	89.40	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000	5/1/1977 WD	171.00	0.0000000000	0.0000000000
369.0000000000	##### CE*	0.70	46192.0000000000	938.0000000000
1347.0000000000	##### QC*	0.70	46386.0000000000	369.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
21.0000000000	##### GD	98.10	4696.0000000000	368.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000	4/1/1981 WD	420.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000

LAND_CALC_	LAND_CALC1	LAI	LAND_CALC_2	LAND_CALC_3	LAI	LAND_CALC_5	LAND_CALC_6	LAI
0.10	994304.00	SF	0.00	0.00		0.00	0.00	
50.00	60000.00	SF	15.00	90505.00	SF	0.00	0.00	
50.00	26000.00	SF	15.00	13645.00	SF	0.00	0.00	
25.00	198718.00	SF	0.00	0.00		0.00	0.00	
30.00	11801.00	SF	0.00	0.00		0.00	0.00	
25.00	8788.00	SF	0.00	0.00		0.00	0.00	
25.00	8152.00	SF	0.00	0.00		0.00	0.00	
15.00	9497.00	SF	0.00	0.00		0.00	0.00	
25.00	8550.00	SF	0.00	0.00		0.00	0.00	
25.00	8540.00	SF	0.00	0.00		0.00	0.00	
25.00	8362.00	SF	0.00	0.00		0.00	0.00	
30.00	7949.00	SF	0.00	0.00		0.00	0.00	
28.00	7221.00	SF	0.00	0.00		0.00	0.00	
55.00	13131.00	SF	0.00	0.00		0.00	0.00	
25.00	10752.00	SF	0.00	0.00		0.00	0.00	
25.00	8420.00	SF	0.00	0.00		0.00	0.00	
25.00	8292.00	SF	0.00	0.00		0.00	0.00	
15.00	9842.00	SF	0.00	0.00		0.00	0.00	
15.00	8286.00	SF	0.00	0.00		0.00	0.00	
15.00	7238.00	SF	0.00	0.00		0.00	0.00	
15.00	9584.00	SF	0.00	0.00		0.00	0.00	
15.00	8461.00	SF	0.00	0.00		0.00	0.00	
25.00	8565.00	SF	0.00	0.00		0.00	0.00	
25.00	10077.00	SF	0.00	0.00		0.00	0.00	
30.00	20241.00	SF	0.00	0.00		0.00	0.00	
25.00	14047.00	SF	0.10	1054.00	SF	0.00	0.00	
50.00	7665.00	SF	0.00	0.00		0.00	0.00	
50.00	7741.00	SF	0.00	0.00		0.00	0.00	
50.00	7939.00	SF	0.00	0.00		0.00	0.00	
50.00	8018.00	SF	0.00	0.00		0.00	0.00	
25.00	7396.00	SF	0.10	700.00	SF	0.00	0.00	
25.00	7474.00	SF	0.10	700.00	SF	0.00	0.00	
25.00	7463.00	SF	0.10	790.00	SF	0.00	0.00	
25.00	9295.00	SF	0.10	970.00	SF	0.00	0.00	
25.00	8025.00	SF	0.10	1054.00	SF	0.00	0.00	
25.00	7458.00	SF	0.10	1054.00	SF	0.00	0.00	
0.51	61910.00	SF	0.00	0.00		0.00	0.00	
0.10	95035.00	SF	0.00	0.00		0.00	0.00	

LAND_CAL_8	LAND_CAL_9	LAI	SITUS_S	SITUS_S	SIT	SIT	SITUS_ST_4	SITUS	SIT	SITUS_ZIP_
0.00	0.00						DAVIE	BLVD	FL	33315
0.00	0.00	1500			SW		17	ST	FL	33315
0.00	0.00	1500	1700		SW		17	ST	FL	33312
0.00	0.00	1600			SW		15	AVE	FL	33312
0.00	0.00	1616			SW		18	AVE	FL	33312
0.00	0.00	1614			SW		18	AVE	FL	33312
0.00	0.00	1612			SW		18	AVE	FL	33312
0.00	0.00	1601			SW		17	AVE	FL	33312
0.00	0.00	1605			SW		17	AVE	FL	333124123
0.00	0.00	1609			SW		17	AVE	FL	333124123
0.00	0.00	1613			SW		17	AVE	FL	33312
0.00	0.00	1617			SW		17	AVE	FL	333124123
0.00	0.00	1620			SW		17	AVE	FL	333124124
0.00	0.00	1616			SW		17	AVE	FL	33312
0.00	0.00	1612			SW		17	AVE	FL	333124124
0.00	0.00	1608			SW		17	AVE	FL	333124124
0.00	0.00	1604			SW		17	AVE	FL	333124124
0.00	0.00	1600			SW		17	AVE	FL	333124124
0.00	0.00	1610			SW		16	ST	FL	333124138
0.00	0.00	1600			SW		16	ST	FL	333124138
0.00	0.00	1540			SW		16	ST	FL	333123381
0.00	0.00	1605			SW		15	TER	FL	333123313
0.00	0.00	1609			SW		15	TER	FL	333123313
0.00	0.00	1615			SW		15	TER	FL	333123313
0.00	0.00	1617			SW		15	TER	FL	333123313
0.00	0.00	1525			SW		17	ST	FL	33312
0.00	0.00				SW		17	ST	FL	33312
0.00	0.00				SW		17	ST	FL	33312
0.00	0.00				SW		17	ST	FL	33312
0.00	0.00	1603			SW		17	ST	FL	33312
0.00	0.00	1607			SW		17	ST	FL	33312
0.00	0.00	1611			SW		17	ST	FL	33312
0.00	0.00	1613			SW		17	ST	FL	333124169
0.00	0.00	1701			SW		17	ST	FL	33312
0.00	0.00	1709			SW		17	ST	FL	333124166
0.00	0.00	1713			SW		17	ST	FL	33312
0.00	0.00				SW		16	ST	FL	33312
0.00	0.00				SW		16	ST	FL	33312

SITUS_	LAST_YRS_J	LAST_YRS_1	LAST_YRS_2	LAST_YRS_T	LAST_YRS_A	LAST_YRS_STWO	YRS_J	TWO_YRS_
99700	0	0	0	0	99700	99700	0	
4357580	924640	0	5057970	9907227	5057970	3757580	0	
1504680	307690	0	1676830	3579251	1676830	1244680	0	
4967950	2001590	0	6691940	12838216	6691940	4967950	1866200	
354030	489870	0	450000	925525	500000	354030	257970	
219700	438930	0	542990	1160471	542990	219700	302020	
203800	624460	0	494130	1008564	544130	203800	429590	
142460	739410	0	395080	822179	445080	142460	477080	
213750	578470	0	268520	584027	318520	213750	398090	
213500	862080	0	461690	947521	511690	213500	593170	
209050	555470	0	343670	725439	393670	209050	382060	
238470	1235740	0	1474210	2836260	1474210	238470	300890	
202190	718870	0	412960	855824	462960	202190	463700	
722210	0	0	476650	1078175	476650	433320	0	
268800	754940	0	543280	1101050	593280	268800	519640	
210500	677700	0	466080	955781	516080	210500	466210	
207300	664400	0	421240	871404	471240	207300	457270	
147630	731570	0	681420	1475294	681420	147630	471850	
124290	417310	0	204140	462882	254140	124290	269190	
108570	417560	0	212670	478934	262670	108570	269420	
143760	416300	0	270850	588413	320850	143760	268590	
126920	562560	0	217380	487798	267380	126920	363000	
214130	997420	0	1119920	2186125	1169920	214130	10	
251930	1124680	0	892900	1758938	942900	251930	774080	
607230	1300170	0	1275600	2479072	1330600	607230	684620	
351280	725560	0	177260	440715	227260	351280	496550	
383250	0	0	255040	575709	255040	252950	0	
387050	0	0	257570	581419	257570	255450	0	
396950	0	0	264160	596290	264160	261990	0	
400900	0	0	266780	602213	266780	264590	0	
184970	334380	0	434450	935890	434450	184970	230210	
186920	338680	0	439860	946627	439860	186920	233140	
186650	266720	0	287680	620082	337680	186650	183440	
232470	356620	0	382270	798073	432270	232470	245570	
200730	449530	0	229180	510002	284180	200730	308980	
186560	266130	0	294020	632013	344020	186560	183310	
31570	0	0	0	0	31570	31570	0	
9500	0	0	0	0	9500	9500	0	

TWO_YRS_	TWO_YRS_1	TWO_YRS_A	TWO_YRS_2	BLDG_ADJ_S	BLDG_TOT_S	BLDG_UNIT	BLDG	BLD	B	BLDG
0	0	0	99700	0	0	0	0	0		0
0	3757580	7083138	3757580	3267	3267	0	2023	005	4	1
0	1244680	2512630	1244680	2486	2486	0	2023	005	2	1
0	6083590	11788431	6083590	2042	2656	1	2018	005	2	1
0	435440	879920	485440	2505	2950	1	1968	003	2	1
0	493630	989615	493630	1734	2488	1	1963	003	2	1
0	478290	959300	528290	2092	2622	1	1958	003	2	1
0	382120	781146	432120	1676	1830	1	1959	003	2	1
0	259250	553531	309250	1752	2097	1	1960	003	2	1
0	446790	900948	496790	2483	2683	1	1980	003	2	1
0	332210	688686	382210	2258	2592	1	1980	003	2	1
0	416840	845465	466840	2500	3031	1	1975	003	2	1
0	399480	813305	449480	2012	2090	1	1973	003	2	1
0	433320	819813	433320	0	0	0	0			0
0	526000	1047682	576000	2652	3203	1	1969	003	2	1
0	451050	908838	501050	1651	1907	1	1980	003	2	1
0	407520	828197	457520	2752	3153	1	1976	003	2	1
0	619480	1205507	619480	1666	1882	1	1973	003	2	1
0	196740	437730	246740	1485	1793	1	1963	003	2	1
0	205020	453068	255020	1609	1930	1	1963	003	2	1
0	261510	557716	311510	1808	2159	1	1959	003	2	1
0	209600	461553	259600	2065	4705	1	1969	003	2	1
0	117490	244143	167490	3273	3438	1	2023	005	2	1
0	865440	1676490	915440	2771	3204	1	1977	003	2	1
0	1241350	2372859	1291850	3556	4705	1	2017	005	2	1
0	167540	409465	217540	2663	2936	2	1969	003	2	2
0	231860	452442	231860	0	0	0	0			0
0	234160	456926	234160	0	0	0	0			0
0	240150	468615	240150	0	0	0	0			0
0	242530	473262	242530	0	0	0	0			0
0	394960	801996	394960	1430	1607	1	1965	003	2	1
0	399880	811089	399880	1370	1543	1	1961	003	2	1
0	277850	587986	327850	1352	1683	1	1967	003	2	1
0	369680	758100	419680	2011	2244	1	1960	003	2	1
0	225410	490841	275910	1703	2130	1	1974	003	2	1
0	284000	599380	334000	1593	1740	1	1961	003	2	1
0	0	0	31570	0	0	0	0			0
0	0	0	9500	0	0	0	0			0

BLD	H	NCU_LAND	NCU_BLDG	NCULY_M	A_DATE	L_DATE	B_DATE	S/S/S/S/D	DISAS	S	SEN_EX_CO	SEN_EX_CIT
	N	0	0	1/1	1/1	0	0	0		0	0	0
407	N	0	0	1/1	1/1	0	0	0 E		0	0	0
407	N	0	0	1/1	1/1	0	0	0 E		0	0	0
001	N	0	0	1/1	1/1	101207	100423	100326 Q Q T T		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 C D T		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 Q D		0	0	0
001	N	0	0	1/1	1/1	101009	100302	100326 Q Q Q		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 Q		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 T T		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 Q C D		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 Q Q		0	0	0
	N	0	0	1/1	1/1	101009	100517	0 D Q Q Q		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 Q Q		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 Q T		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 Q		0	0	0
001	N	0	0	1/1	1/1	101019	100302	100326 Q Q D		0	0	0
001	N	0	0	1/1	1/1	101009	100302	100326		0	0	0
001	N	0	0	1/1	1/1	101009	100302	100326 T T		0	0	0
001	N	0	0	1/1	1/1	101009	100302	101005 Q		0	0	0
001	N	0	0	1/1	1/1	101009	100302	100326		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 Q		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 T Q		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 D E		0	0	0
102	N	0	0	1/1	1/1	101009	100517	100326		0	0	0
	N	0	0	1/1	1/1	0	0	0 E		0	0	0
	N	0	0	1/1	1/1	0	0	0 E		0	0	0
	N	0	0	1/1	1/1	101009	100517	0		0	0	0
	N	0	0	1/1	1/1	101009	100517	0		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 D		0	0	0
001	N	0	0	1/1	1/1	101009	100517	101005 T Q		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 T		0	0	0
001	N	0	0	1/1	1/1	101009	100517	100326 Q		0	0	0
	N	0	0	1/1	1/1	0	0	0		0	0	0
	N	0	0	1/1	1/1	0	0	0		0	0	0

MISC_DIST	NCU_LAND	NCU_BLDG	BEDS	BATH	LY_NCU_LA	LY_NCU_BL	LY_SB_SOH	CBROW	LYCBROW
0	0	0	0.0	0.0	0	0	99700	0	0
0	0	0	0.0	0.0	0	0	5282220	0	0
0	0	0	0.0	0.0	0	0	1812370	0	0
0	0	0	2.0	3.0	0	0	6969540	0	0
0	0	0	4.0	2.0	0	0	500000	0	0
0	0	0	3.0	2.0	0	0	658630	0	0
0	0	0	3.0	2.0	0	0	544130	0	0
0	0	0	3.0	2.0	0	0	445080	0	0
0	0	0	2.0	1.0	0	0	318520	0	0
0	0	0	3.0	2.0	0	0	511690	0	0
0	0	0	0.0	0.0	0	0	393670	0	0
0	0	0	3.0	2.0	0	0	1474210	0	0
0	0	0	2.0	2.0	0	0	462960	0	0
0	0	0	0.0	0.0	0	0	722210	0	0
0	0	0	3.0	3.0	0	0	593280	0	0
0	0	0	2.0	2.0	0	0	516080	0	0
0	0	0	4.0	3.0	0	0	471240	0	0
0	0	0	3.0	2.0	0	0	879200	0	0
0	0	0	0.0	2.0	0	0	254140	0	0
0	0	0	3.0	2.0	0	0	262670	0	0
0	0	0	4.0	0.0	0	0	320850	0	0
0	0	0	2.0	2.0	0	0	267380	0	0
0	0	0	4.0	4.0	0	0	1169920	0	0
0	0	0	3.0	3.0	0	0	942900	0	0
0	0	0	3.0	3.0	0	0	1330600	0	0
0	0	0	2.0	2.0	0	0	227260	0	0
0	0	0	0.0	0.0	0	0	383250	0	0
0	0	0	0.0	0.0	0	0	387050	0	0
0	0	0	0.0	0.0	0	0	396950	0	0
0	0	0	0.0	0.0	0	0	400900	0	0
0	0	0	0.0	0.0	0	0	519350	0	0
0	0	0	0.0	0.0	0	0	525600	0	0
0	0	0	1.0	2.0	0	0	337680	0	0
0	0	0	4.0	2.0	0	0	432270	0	0
0	0	0	2.0	2.0	0	0	284180	0	0
0	0	0	3.0	2.0	0	0	344020	0	0
0	0	0	0.0	0.0	0	0	31570	0	0
0	0	0	0.0	0.0	0	0	9500	0	0

GRANNY_FL CRA	DAMA	ST	(STORM_ASSE	CL	CLEAN_ASSE	EXI	COMB_SPI	GRANNY_F_V BI
0			0.00		0.00	#####		0 0 0
0	F3		93927.00		0.00			0 0 0
0	F2		39645.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 1 0
0	F1		2.00		0.00			0 0 0
0	F3		7665.00		0.00			0 0 0
0	F3		7741.00		0.00			0 0 0
0	F3		7939.00		0.00			0 0 0
0	F3		8018.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 0 0
0	F1		1.00		0.00			0 1 0
0	F1		1.00		0.00			0 0 0
0			0.00		0.00			0 0 0
0			0.00		0.00			0 0 0

SALE5_CIN	S/A	AFF	COUNTY_A	SCHOOL_A	CITY_AH_A	INDEP_AH_T	POR	BLDG_UNDER
0.0000000000			0	0	0	0		0
0.0000000000			0	0	0	0		0
0.0000000000			0	0	0	0		0
0.0000000000 T			0	0	0	0		1736
0.0000000000			0	0	0	0		2588
0.0000000000			0	0	0	0		1568
0.0000000000			0	0	0	0		1742
0.0000000000			0	0	0	0		1522
0.0000000000			0	0	0	0		1687
0.0000000000			0	0	0	0		2283
0.0000000000			0	0	0	0		2040
0.0000000000			0	0	0	0		2500
0.0000000000			0	0	0	0		1934
##### Q			0	0	0	0		0
0.0000000000			0	0	0	0		2488
0.0000000000			0	0	0	0		1448
0.0000000000			0	0	0	0		2352
0.0000000000			0	0	0	0		1570
0.0000000000			0	0	0	0		1232
0.0000000000			0	0	0	0		1622
0.0000000000			0	0	0	0		1457
0.0000000000			0	0	0	0		2659
0.0000000000			0	0	0	0		2670
0.0000000000			0	0	0	0		2500
0.0000000000			0	0	0	0		2659
0.0000000000			0	0	0	0		2390
0.0000000000			0	0	0	0		0
0.0000000000			0	0	0	0		0
0.0000000000			0	0	0	0		0
0.0000000000			0	0	0	0		0
0.0000000000			0	0	0	0		1253
0.0000000000			0	0	0	0		1283
0.0000000000			0	0	0	0		1075
0.0000000000			0	0	0	0		1799
0.0000000000			0	0	0	0		1395
0.0000000000			0	0	0	0		1510
0.0000000000			0	0	0	0		0
0.0000000000			0	0	0	0		0

HE3_AMOUSCHOOL_EXESRI_OID

0	0	2
0	0	3
0	0	4
0	0	5
0	0	6
0	0	7
0	0	8
0	0	9
0	0	10
0	0	11
0	0	12
0	0	13
0	0	14
0	0	1
0	0	15
0	0	16
0	0	17
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0	0	21
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0	0	23
0	0	24
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0	0	27
0	0	28
0	0	29
0	0	30
0	0	31
0	0	32
0	0	33
0	0	34
0	0	35
0	0	36
0	0	37
0	0	38

image 1.



Front Elevation / Partial West

image 2.



Partial Front Elevation / SW Cantilevered Balcony

image 3.



Side / Rear Yard Area (South) looking East

image 4.



South Rear Yard Area looking East / Pool Canopy

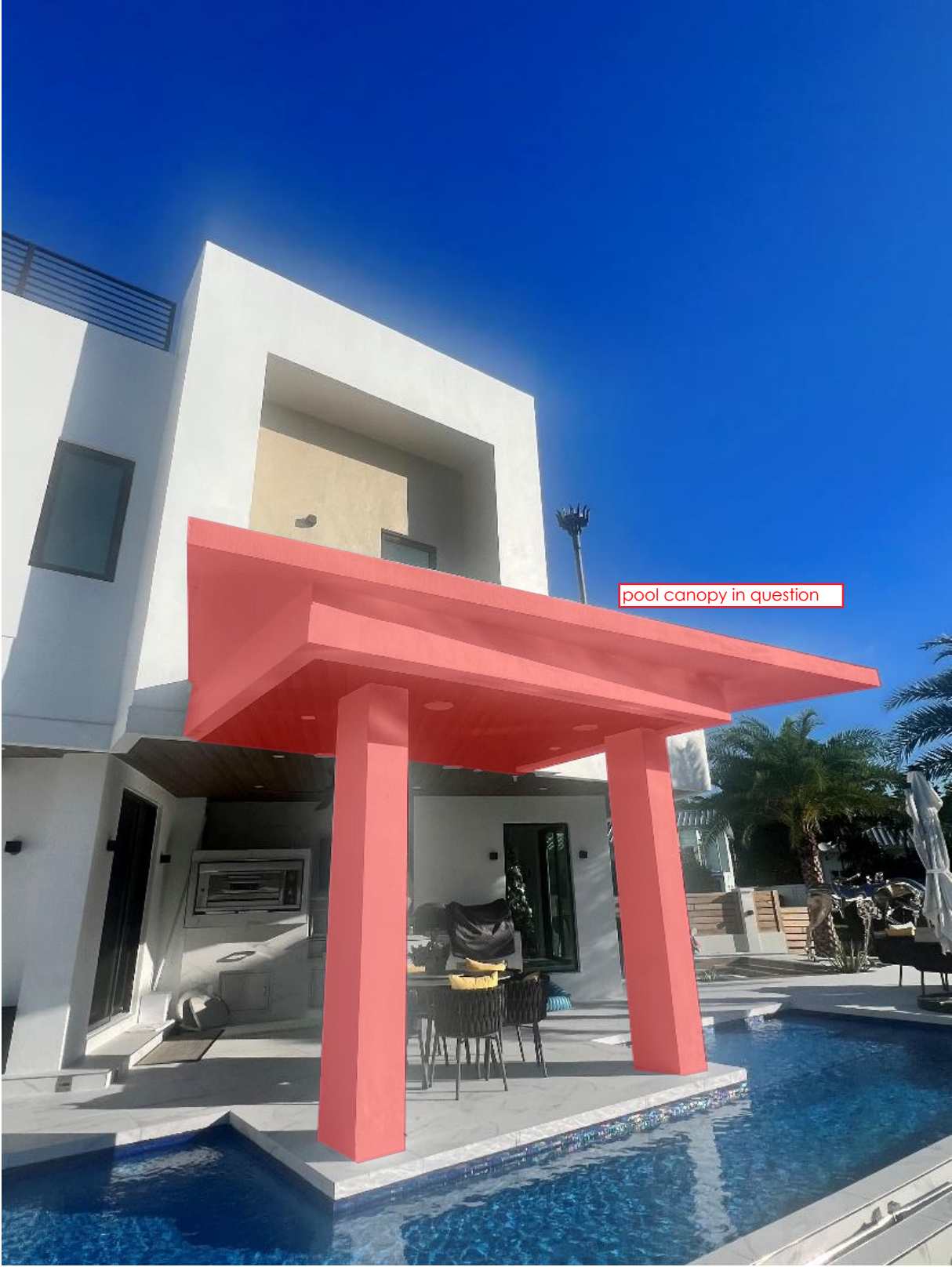
image 5.



pool canopy in question

Rear Yard Pool and Pool Deck Area / Pool Canopy

image 6.



Pool and Pool Deck Area / Pool Canopy

image 7.



East Rear / Side Yard Area Facing West

image 8.



Side Yard Area facing towards the West

Narrative

DATE: January 17, 2024

TO: City of Fort Lauderdale Development Services Department

FROM: Mr. Lawrence Walters

RE: Permit No. BLD-RNC-20080004 (BOA Application)

I, Lawrence Walters the legal owner of the property located at 1616 SW 17th Avenue in Fort Lauderdale, FL is requesting a Board of Adjustment approval for a non-habitable pool canopy/roof overhang that was designed and constructed as an appendage / extension from the residential structure. The sole purpose of the pool canopy is to provide some residual shade and protection from the elements at a centrally located area immediately adjacent to the pool. The pool canopy in question was consequently approved with the original set of construction documents and inspected multiple times at the relevant project intervals (including zoning inspections). However, at the time of final zoning inspection and corresponding project closeout the pool canopy was determined to be encroaching into the 25'-0" Corner / Side Yard (Water-Facing) Setback at the Eastern facing waterway / property boundary. The main residential structure along the East property boundary is located at 25'-4" inward and the pool canopy extends out 12'-0" towards the waterway; *the canopy area is roughly 179 sf.*

The relevant Unified Land Development Code in question is, ULDR Article II. – Zoning District Requirements, Section 47-5.31 (Table of dimensional requirements for the RS-8 district. (Note A) Sec. 47-19.2.B. Many thanks in advance for your time and consideration

Best regards,



Lawrence Walters

Survey Pros, Inc.

4348 SW 74TH AVENUE, MIAMI, FL. 33155
PH: (305) 767-6802 (main)
MIAMI-DADE | BROWARD | PALM BEACH | MONROE | HILLSBOROUGH | PINELLAS
www.survey-pros.com

MAP OF BOUNDARY SURVEY

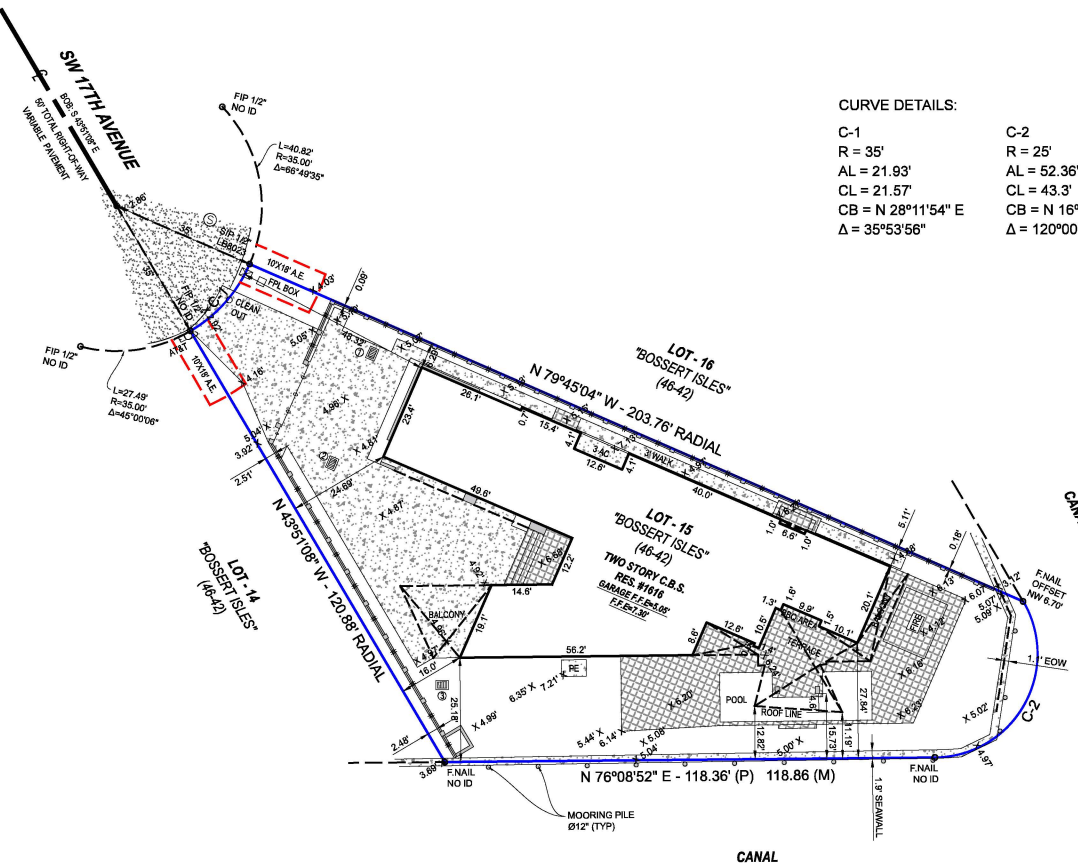
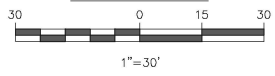
LEGEND

- ABBREVIATIONS:**
- A = ARC DISTANCE
 - AC = AIR CONDITIONER PAD
 - AE = ANCHOR EASEMENT
 - BCR = BROWARD COUNTY RECORDS
 - BLDG = BUILDING
 - BM = BENCH MARK
 - BOB = BASIS OF BEARINGS
 - CBS = CONCRETE BLOCK & STUCCO
 - (C) = CALCULATED
 - C&G = CURB & GUTTER
 - CLF = CHAIN LINK FENCE
 - COL = COLUMN
 - D.E. = DRAINAGE EASEMENT
 - D.M.E. = DRAINAGE & MAINTENANCE EASEMENT
 - D/W = DRIVEWAY
 - EB = ELECTRIC BOX
 - ENC. = ENCROACHMENT
 - EP = EDGE OF PAVEMENT
 - EW = EDGE OF WATER
 - FDH = FOUND DRILL HOLE
 - FTE = FINISHED FLOOR ELEVATION
 - FIP = FOUND IRON PIPE (NO ID)
 - FIR = FOUND IRON ROD (NO ID)
 - FN = FOUND NAIL (NO ID)
 - FN&D = FOUND NAIL & DISK
 - FPL = FLORIDA POWER & LIGHT TRANSFORMER PAD
 - LE = LANDSCAPE EASEMENT
 - L.M.E. = LAKE MAINTENANCE EASEMENT
 - (M) = MEASURED
 - MOOR = MIAMI-DADE COUNTY RECORDS
 - MH = MAN HOLE
 - ML = MONUMENT LINE
 - (P) = PLAT
 - PB = PLAT BOOK
 - PC = POINT OF CURVATURE
 - PCP = PERMANENT CONTROL POINT
 - PE = POOL EQUIPMENT PAD
 - PG = PAGE
 - PI = POINT OF INTERSECTION
 - PL = PLANTER
 - POB = POINT OF BEGINNING
 - POC = POINT OF COMMENCEMENT
 - PRC = POINT OF REVERSE CURVATURE
 - PRM = PERMANENT REFERENCE MONUMENT
 - PT = POINT OF TANGENCY
 - R = RADIUS DISTANCE
 - (R) = RECORD
 - R/W = RIGHT-OF-WAY
 - RES = RESIDENCE
 - SIP = SIP LB#8023
 - STL = SURVEY TIE LINE
 - SWK = SIDEWALK
 - (TYP) = TYPICAL
 - UB = UTILITY BOX
 - U.E. = UTILITY EASEMENT
 - W/F = WOOD FENCE

- SYMBOLS:**
- ☐ = TELEPHONE RISER
 - ☐ = CABLE TV RISER
 - ⊗ = WATER METER
 - X 0.00 = ELEVATION
 - (00') = ORIGINAL LOT DISTANCE
 - Δ = CENTRAL ANGLE
 - ⊖ = CENTER LINE
 - wv = WATER VALVE
 - ⊕ = CURB INLET
 - ⊕ = FIRE HYDRANT
 - ⊕ = LIGHT POLE
 - ⊕ = CATCH BASIN
 - ⊕ = UTILITY POLE
 - ⊕ = DRAINAGE MANHOLE
 - ⊕ = SEWER MANHOLE
 - ⊕ = METAL FENCE
 - ⊕ = WOOD FENCE
 - ⊕ = CHAIN LINK FENCE
 - ⊕ = EASEMENT
 - ⊕ = BOUNDARY LINE
 - ⊕ = OVERHEAD UTILITY LINE
 - ⊕ = ORIGINAL LOT LINE

- ASPHALT
- CONCRETE
- PAVERS/BRICK
- TILES
- COVERED AREA

GRAPHIC SCALE



CURVE DETAILS:

- | | |
|--------------------|-------------------|
| C-1 | C-2 |
| R = 35' | R = 25' |
| AL = 21.93' | AL = 52.36' |
| CL = 51.57' | CL = 43.3' |
| CB = N 28°11'54" E | CB = N 16°9'11" E |
| Δ = 35°53'56" | Δ = 120°00'00" |

DRAINAGE DETAILS

NO.	UTILITY	RIM ELEV.	INVERT ELEV.	DIAMETER (Ø)	DIRECTION	MATERIAL	BOTTOM ELEV.
1	CATCH BASIN	4.58	1.27	15"	SOUTH-WEST	PVC	1.27
2	CATCH BASIN	4.72	NO ACCESS		BAFFLE		-0.82
3	CATCH BASIN	4.81	1.18	15"	NORTH-WEST	PVC	1.18

Digitally signed by Nicolas Del Vento
Date: 2024.02.13
14:37:45 -05'00'

Nicolas Del Vento

NICOLAS DEL VENTO
PROFESSIONAL SURVEYOR & MAPPER
STATE OF FLORIDA LIC. # 6945

LOCATION SKETCH:



PROPERTY ADDRESS:

1616 SW 17TH AVENUE, FORT LAUDERDALE, FL. 33312 (5042 16 35 0150)

LEGAL DESCRIPTION:

LOT 15, OF BOSSERT ISLES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46, PAGE 42, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

FLOOD ZONE INFORMATION:

THE GRAPHICALLY DEPICTED BUILDING(S) SHOWN ON THIS MAP OF SURVEY IS WITHIN ZONE X BASE FLOOD ELEVATION N/A COMMUNITY NAME & NUMBER CITY OF FORT LAUDERDALE 125105 MAP & PANEL NUMBER 1201102556 SUFFIX H

SURVEYOR'S NOTES:

- ELEVATIONS WHEN SHOWN REFER TO 1988 NORTH AMERICAN VERTICAL DATUM (NAVD 1988).
- NO ATTEMPT WAS MADE TO LOCATE FOOTINGS/FOUNDATIONS, OR UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
- THE LANDS SHOWN HEREON HAVE NOT BEEN ABSTRACTED IN REGARDS TO MATTERS OF INTEREST BY OTHER PARTIES, SUCH AS EASEMENTS, RIGHTS OF WAYS, RESERVATIONS, ETC. ONLY PLATTED EASEMENTS ARE SHOWN.
- THIS SURVEY WAS PREPARED FOR AND CERTIFIED TO THE PARTY(IES) INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE WITHOUT WRITTEN CONSENT OF THIS FIRM.
- ALL BOUNDARY LIMIT INDICATORS SET ARE STAMPED LB#8023.
- THE BOUNDARY LIMITS ESTABLISHED ON THIS SURVEY ARE BASED ON THE LEGAL DESCRIPTION PROVIDED BY THE CLIENT OR ITS REPRESENTATIVE.
- FENCE OWNERSHIP IS NOT DETERMINED.
- ADDITIONS OR DELETIONS TO THIS SURVEY MAP AND/OR REPORT BY SOMEONE OTHER THAN THE SIGNING PARTY(ES) IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY(ES).
- BEARINGS WHEN SHOWN ARE TO AN ASSUMED MERIDIAN, THE CENTERLINE OF SW 17th AVENUE HAS BEEN ASSIGNED A BEARING OF N43°51'08"W.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY DIRECTION AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTE.

CERTIFIED TO:

LAWRENCE WALTERS

REVISION(S):

- 01/07/20 - ADDED ELEVATIONS PER CLIENT REQUEST
- 12/16/2022 - UPDATE TO FINAL SURVEY, JOB#22128786
- 02/13/2024 - ADDED PATIO STRUCTURE PER CLIENT COMMENTS, JOB#240210541



DATE OF ORIGINAL FIELD WORK:
11/17/2020
JOB#: 20115945
DRAWN BY: NICK
CAD FILE: WALTERS
SHEET 1 OF 1



3881 SW 161th Terrace • Miramar, FL • 33027
t. 305.753.9653 • p. 954.441.5027
e. kurt@kaparch.net
ss # 2802579

architect of record
Kurt A. Pietgrave, P.A., Lic.#
80049

Project number:
1616 WALTERS

A CUSTOM TWO-STORY SINGLE-FAMILY WATERFRONT RESIDENCE ENTITLED:

THE WALTERS RESIDENCE

1616 S.W. 17th AVENUE , FORT LAUDERDALE, FLORIDA 33312 - 0000

PROJECT No. 2018.05-1616 WALTERS • CONSTRUCTION / PERMIT SET • 10.21.19

client
MR. LAWRENCE WALTERS
1616 SW 17th AVENUE
FORT LAUDERDALE, FLORIDA 33312

project title
CUSTOM TWO-STORY SINGLE-FAMILY
WATERFRONT RESIDENCE ENTITLED:

WALTERS RESIDENCE

1616 S.W. 17th AVENUE
FORT LAUDERDALE, FL 33312-0000

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architect
KURT A. PIETGRAVE, P.A. AR0009049

DATE
05.26.20

NO.	DATE	REVISION

DWG. TITLE: COVER SHEET

SCALE: N/A

PROJECT NO: 2018.05 - 1616 WALTERS

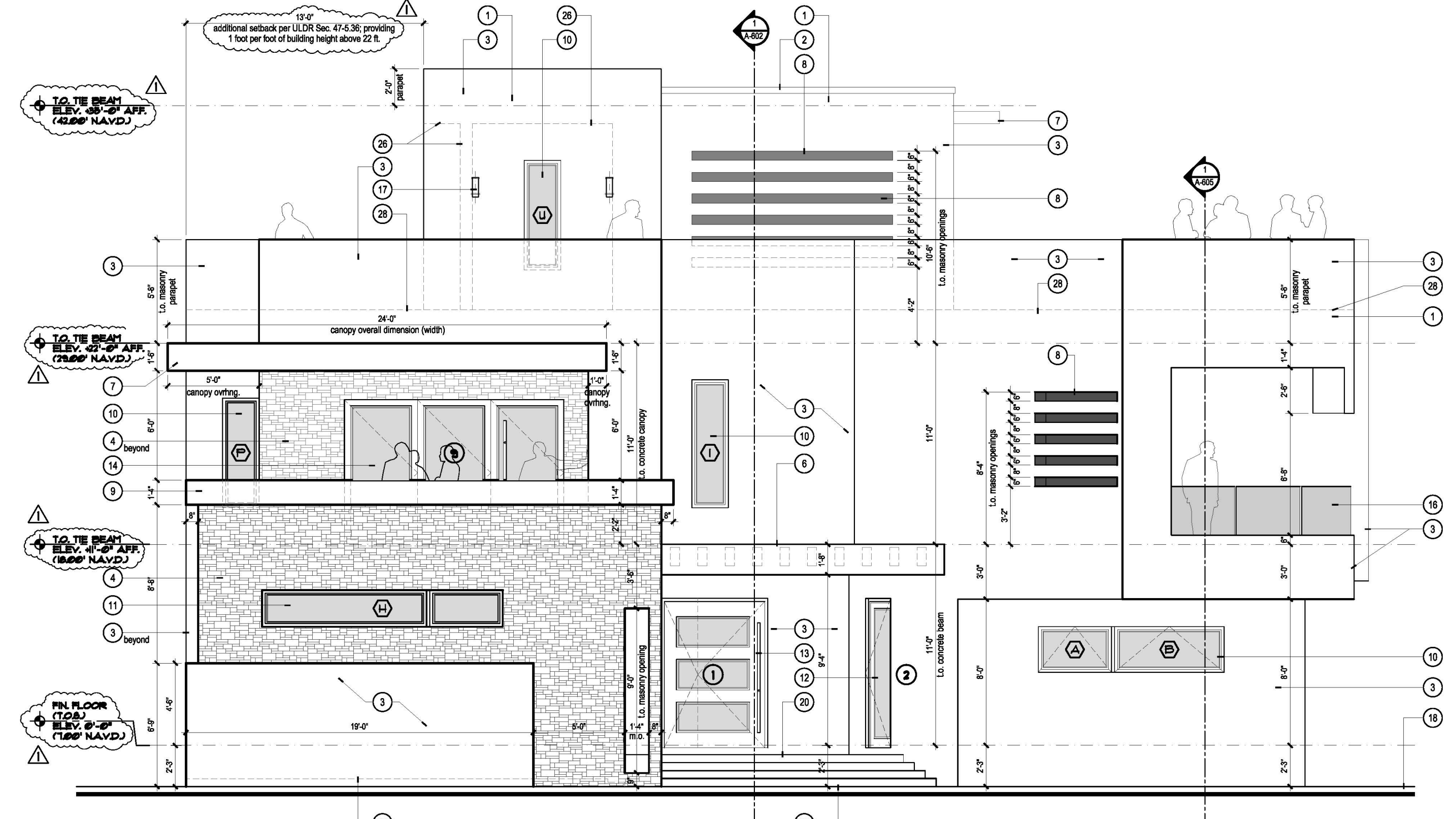
DATE: 10.21.19

SHEET NUMBER: A-000

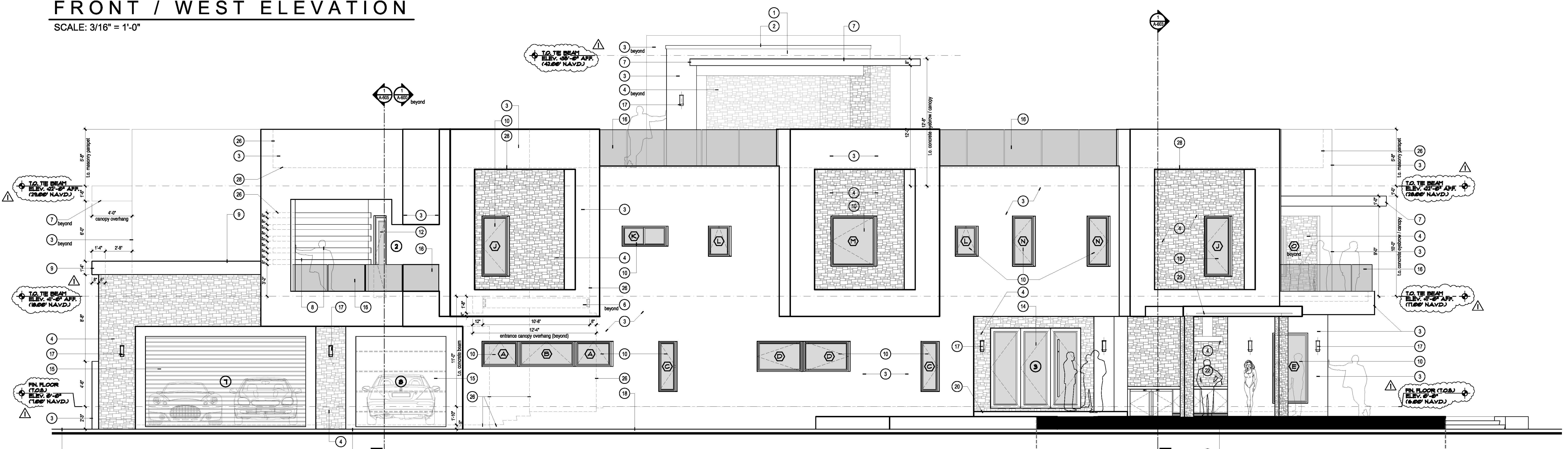
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10/21/19 10:21:19 AM
Kurt A. Pietgrave, P.A.

BUILDING ELEVATIONS KEYNOTES LEGEND:

1. 2-PLY SBS ROOFING MEMBRANE OVER CONCRETE TOPPING SLAB SLOPED @ 1/4" FT. TO DRAINS OVER HOT APPLIED W.P. MEMBRANE ON CONCRETE SLAB OVER "DEEP-DEK" COMPOSITE STEEL PANELS LOCATED BEYOND (TYP. @ Roof Areas as per NOA No. 18-0717.02)
2. KYNAR FINISHED ALUMINUM COPING CAP WITH CONCEALED FASTENERS (TYPICAL @ TERMINATION OF ROOF PARAPET)
3. 5/8" ULTRA SMOOTH SAND STUCCO FINISH (2 Coats) OVER 8"x8"x16" (Nominal) CONCRETE MASONRY UNIT (C.M.U.) BLOCK WALL / CONCRETE WALL / CONCRETE BEAM (Typical throughout proposed wall areas)
4. PROPOSED CUT STONE WALL VENEER "Pro Fit Terrain LedgeStone - ETHOS BLEND" (by Boral Cultured Stone or Approved Equal) ON MORTAR SETTING BED OVER SPECIFIED WALL SUBSTRATE
5. PROPOSED 1" (Wide) x 5/8" (Deep - Minimum) CONTINUOUS STUCCO REGLET / REVEAL SECURELY FASTENED OVER SPECIFIED WALL SUBSTRATE (Typical throughout wall areas as indicated)
6. LINE OF 12"(w) x 20"(d) CONCRETE BEAM / ENTRANCE CANOPY (W/ 6"x12" IPE WOOD FRAMING JOISTS (Slain Grade) @ 18" O.C. SECURELY FASTENED TO CONCRETE BEAM / C.M.U. WALL W/ CONCEALED JOIST TIES/ HANGERS "CJT-6" by SIMPSON Strong-Tie, STATE OF FLORIDA No. 10865 (Ipe Framing Joists - Shown here Dashed for Clarity - Refer to Architectural Roof Plan @ Sheet No. A-403 for additional information)
7. LINE OF STUCCO FINISHED CONCRETE EYEBROW / CANOPY / WINDOW SURROUND - Width as Indicated (Refer to Architectural Roof Plan @ Sht. No. A-403 / Structural DWG's for additional information)
8. PROPOSED STUCCO FINISHED CONCRETE / C.M.U. (Clear) OPENING / SLIT - Size as Indicated (Refer to Structural DWG's for additional information)
9. PROPOSED STUCCO FINISHED CONCRETE / C.M.U. FRAMED ARCHITECTURAL TRIM / MOULDING (Refer to Structural DWG's for additional information)
10. PROPOSED KYNAR FINISHED ALUMINUM / GLASS IMPACT-RESISTANT WINDOW UNIT (REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION)
11. PROPOSED KYNAR FINISHED ALUMINUM / GLASS IMPACT-RESISTANT WINDOW WALL SYSTEM (REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION)
12. PROPOSED KYNAR FINISHED SINGLE-ACTING ALUMINUM / GLASS IMPACT-RESISTANT FRENCH DOOR(S) (REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION)
13. PROPOSED KYNAR FINISHED SINGLE-ACTING ALUMINUM / GLASS IMPACT-RESISTANT OUTWARD SWING PIVOT MAIN ENTRY DOOR (REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION)
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15. PROPOSED ALUMINUM / LAMINATED GLASS OVERHEAD SECTIONAL GARAGE DOOR - PANEL DESIGN, FINISH & COLOR TO BE SELECTED BY OWNER / ARCHITECT (REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION)
16. LINE OF POSTLESS TOP MOUNTED GLASS GUARDRAIL SYSTEM WITH CONCEALED / RECESSED SHOE MOULDING & EMBEDDED T-BOLT ANCHORS (TYPICAL EXTERIOR GLASS GUARDRAIL SYSTEM by Glass Railing of Norway, LLC - NOA No. 18-1011.05 OR APPROVED EQUAL). G.C. SHALL PROVIDE SHOP DRAWINGS THAT BEAR THE SIGNATURE & SEAL OF A STATE OF FLORIDA REGISTERED ENGINEER FOR REVIEW BY A/E PRIOR TO FABRICATION.
17. PROPOSED SURFACE MOUNTED EXTERIOR (WET LOCATION) WALL BRACKETED LIGHT FIXTURE (TYPICAL)
18. APPROXIMATE FINISHED GRADE ELEVATION (TYPICAL)
19. LINE OF NEW SAND SET CONCRETE PAVER FINISHED DRIVEWAY / PARKWAY SYSTEM W/6" CONT. GRASS REVEAL / SURROUND (TYP. @ ALL EDGES OF CONCRETE PAVER - Refer to Architectural Site Plan @ Sheet No. A-200 for additional information)
20. Poured-in-place concrete terrace slab w/ steps at grade - SPECIFIED FINISH TO BE SELECTED BY OWNER / ARCHITECT (REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION)
21. CAST-IN-PLACE CONCRETE STEPS WITH SCHEDULED BRICK / STONE PAVER FINISH - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION (STONE PAVER COLOR & PATTERN TO BE SELECTED BY OWNER/ARCHITECT)
22. PROPOSED OUTDOOR / EXTERIOR KITCHEN CABINETS AND APPLIANCES LOCATED BEYOND - Appliance Manufacturer(s) to be selected by Owner / Architect (Refer to Architectural Floor Plan @ Sheet No. A-400 for additional information)
23. FP&L APPROVED ELECTRICAL METER / C.B. DISCONNECT - SHOWN HERE DASHED FOR CLARITY (Refer to Electrical Drawings for additional information)
24. PROPOSED H.V.A.C. CONDENSER UNIT(S) LOCATION SECURELY MOUNTED & FASTENED TO NEW CONCRETE SLAB AT FIRST FLOOR - SHOWN HERE DASHED FOR CLARITY (Refer to Mechanical & Structural Drawings for additional information)
25. PROPOSED INFINITY-EDGE POOL, CONCRETE DECK & SPA AREA (N.I.C.) - Design & Construction Under separate permit by others (Refer to Architectural Site Plan @ Sheet No. A-200 for additional information - Pool Deck Finishes, Pool Finish, Coping & Trims to be selected by Owner)
26. LINE OF CONCRETE FLOOR (Slab and/or Steps) / BEAM / C.M.U. WALL AND/OR CONCRETE CANOPY LOCATED BEYOND (Shown here dashed for clarity - Refer to Architectural Floor Plans, Typical Wall Sections & Structural DWG's for additional information)
27. LINE OF CAST-IN-PLACE CONCRETE STAIRCASE LOCATED BEYOND W/ 46 Risers @ 6.586"(H) Each (Shown here dashed for clarity - See Structural DWGS. for additional information)
28. LINE OF FINISHED FLOOR @ ROOF TERRACE AREAS INSTALLED ABOVE SPECIFIED ROOFING SYSTEM / ROOF STRUCTURE (Shown here dashed for clarity - See Architectural Floor Plans - Sht. No's A-402 & A-403, Typical Wall Sections & Structural DWG's for additional info.)
29. LINE OF PROPOSED RAIN CURTAIN DISCHARGE / WATERFALL FEATURE @ EXTERIOR POOL DECK AREA (Refer to Plumbing DWG's for additional information / clarification)



FRONT / WEST ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT-SIDE / SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR BUILDING ELEVATIONS
SCALE: 3/16" = 1'-0"

KAP ARCHITECTURE
 3881 SW 16TH TERRACE, MIRAMAR, FL 33027
 TEL: 305.753.9638 | FAX: 305.441.5027
 EMAIL: kurt@kaparch.com
 PROJECT NO: 2018.05-1616 WALTERS
 DATE: 10.21.19

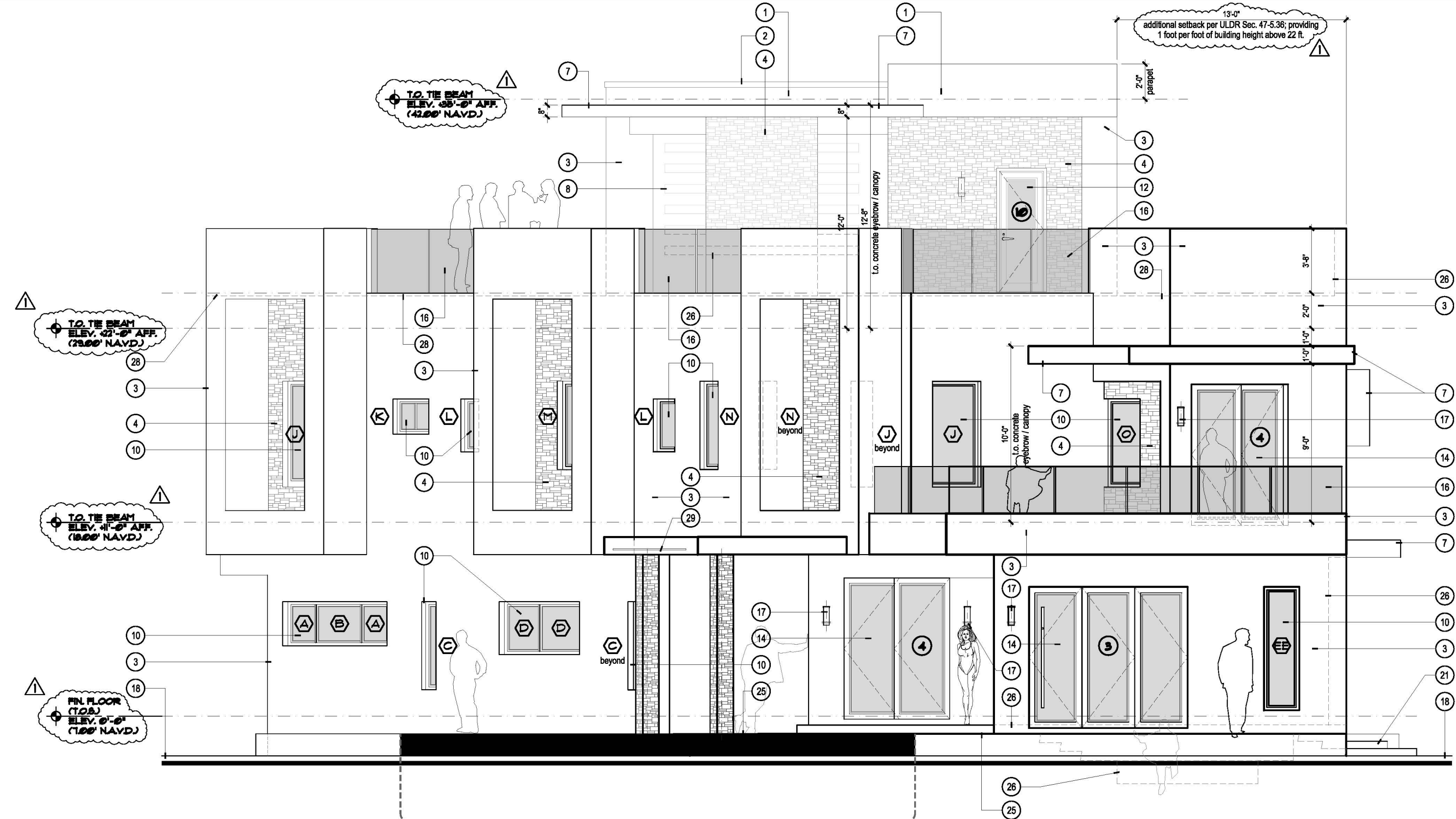
MR. LAWRENCE WALTERS
 1616 SW 17TH AVENUE
 FORT LAUDERDALE, FLORIDA 33312

CUSTOM TWO-STORY SINGLE-FAMILY
 WATERFRONT RESIDENCE ENTITLED:
WALTERS
RESIDENCE
 1616 S.W. 17TH AVENUE
 FORT LAUDERDALE, FL 33312-0000

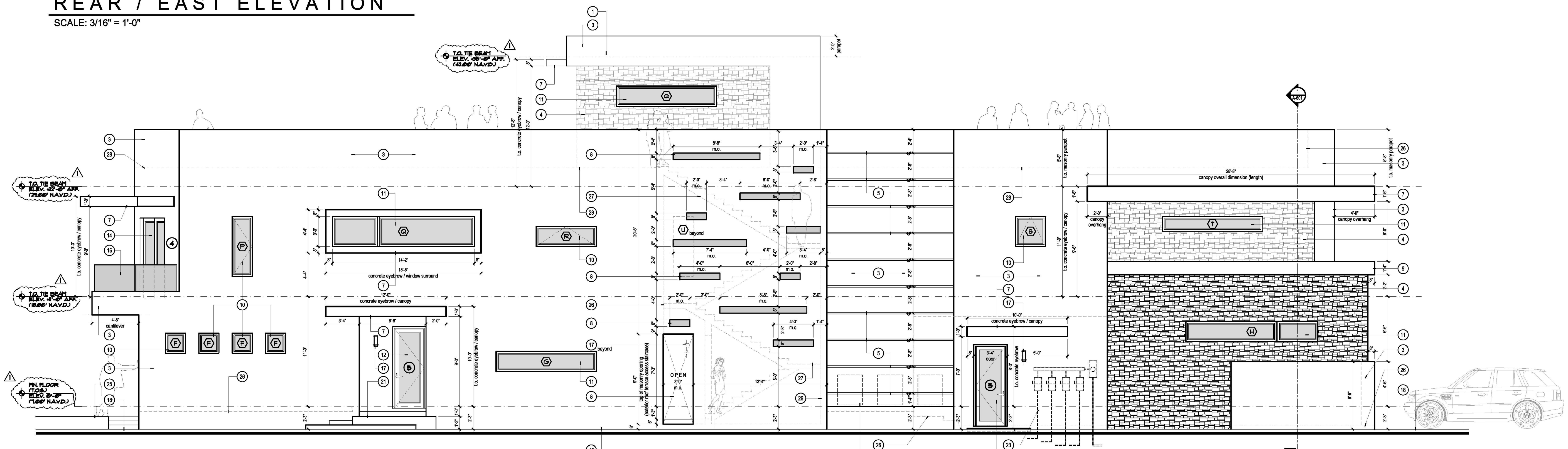
KURT A. PETGRAVE, FL ARCH090049
 05.26.20
 DATE: 10.21.19
 SHEET NUMBER:
A-500

BUILDING ELEVATIONS KEYNOTES LEGEND:

- 2-PLY SBS ROOFING MEMBRANE OVER CONCRETE TOPPING SLAB SLOPED @ 1/4" FT. TO DRAINS OVER HOT APPLIED W.P. MEMBRANE ON CONCRETE SLAB OVER 'DEEP-DEK' COMPOSITE STEEL PANELS LOCATED BEYOND (TYP. @ Roof Areas as per NOA No. 18-0717.02)
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- PROPOSED CUT STONE WALL VENEER "Pro Fit Terrain LedgeStone - ETHOS BLEND" (by Boral Cultured Stone or Approved Equal) ON MORTAR SETTING BED OVER SPECIFIED WALL SUBSTRATE
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- APPROXIMATE FINISHED GRADE ELEVATION (TYPICAL)
- LINE OF NEW SAND SET CONCRETE PAVER FINISHED DRIVECOURT / PARKWAY SYSTEM W/6" CONT. GRASS REVEAL / SURROUND (TYP. @ ALL EDGES OF CONCRETE PAVER - Refer to Architectural Site Plan @ Sheet No. A-200 for additional information)
- POURED-IN-PLACE CONCRETE TERRACE SLAB W/ STEPS AT GRADE - SPECIFIED FINISH TO BE SELECTED BY OWNER / ARCHITECT (REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION)
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- LINE OF PROPOSED RAIN CURTAIN DISCHARGE / WATERFALL FEATURE @ EXTERIOR POOL DECK AREA (Refer to Plumbing DWG's for additional information / clarification)



REAR / EAST ELEVATION
SCALE: 3/16" = 1'-0"



LEFT-SIDE / NORTH ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR BUILDING ELEVATIONS
SCALE: 3/16" = 1'-0"

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e. kurt@kaparch.net
a. 28025219

MR. LAWRENCE WALTERS
1616 SW 17th AVENUE
FORT LAUDERDALE, FLORIDA 33312

CUSTOM TWO-STORY SINGLE-FAMILY WATERFRONT RESIDENCE ENTITLED:

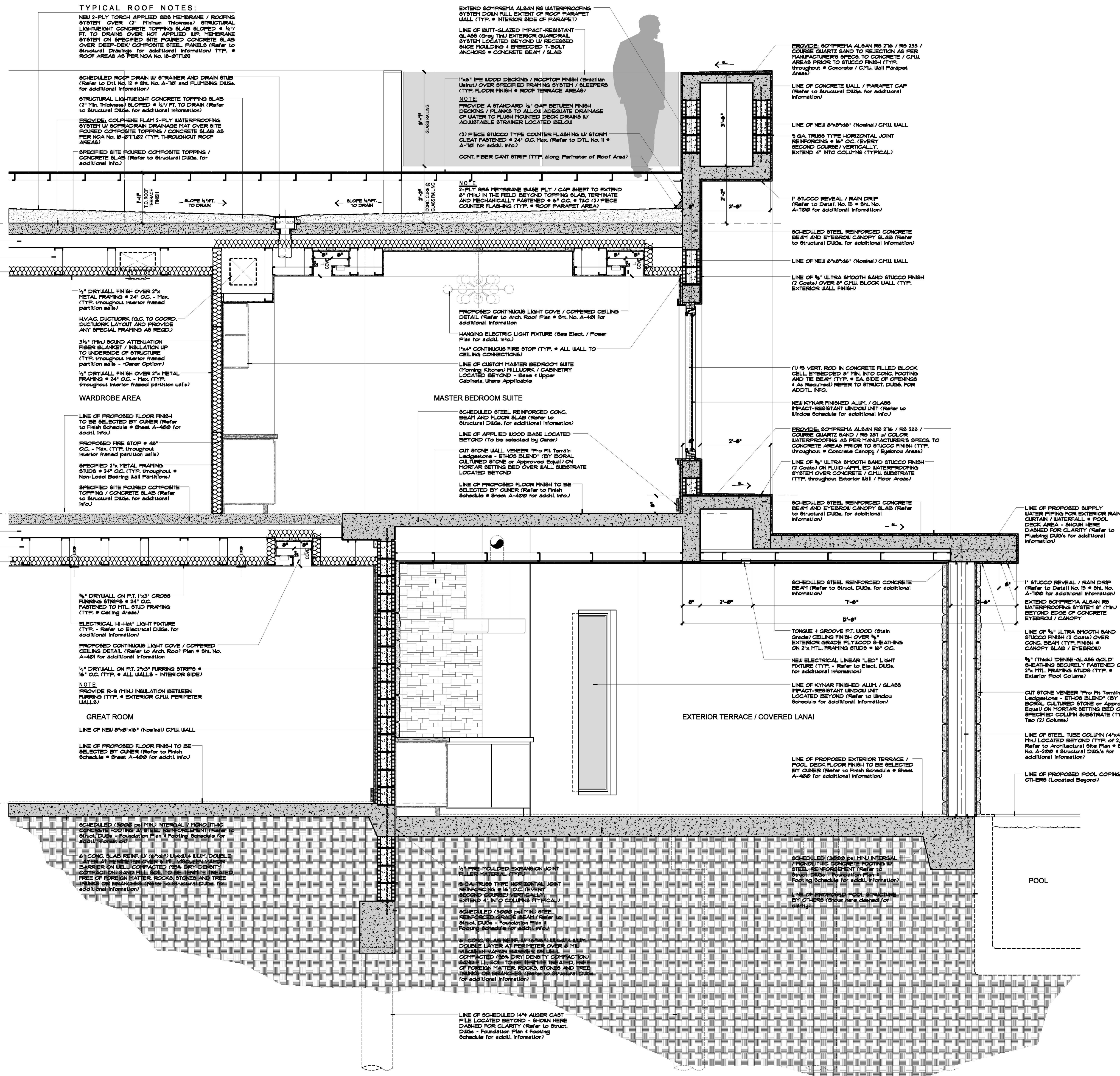
WALTERS RESIDENCE
1616 S.W. 17th AVENUE
FORT LAUDERDALE, FL 33312-0000

KURT A. PETGRAVE, FL AR0098049

05.26.20

03.30.20 Zoning Plan Review
DATE: REVISION:

DWG. TITLE: **ARCHITECTURAL BUILDING ELEVATIONS**
SCALE: **AS SHOWN**
PROJECT NO: **2018.05 - 1616 WALTERS**
DATE: **10.21.19**
SHEET NUMBER: **A-501**



TYPICAL ROOF NOTES:
NEW 2-PLY TORCH APPLIED SBS MEMBRANE / ROOFING SYSTEM OVER (2" MINIMUM THICKNESS) STRUCTURAL LIGHTWEIGHT CONCRETE TOPPING SLAB SLOPED @ 1/4" FT. TO DRAIN OVER HOT APPLIED UP. MEMBRANE SYSTEM ON SPECIFIED SITE POURED CONCRETE SLAB OVER DEEP-DECK COMPOSITE STEEL PANELS (Refer to Structural Drawings for additional information) TYP. • ROOF AREAS AS PER NOA No. 18-071162

SCHEDULED ROOF DRAIN W/ STRAINER AND DRAIN STUB (Refer to DTL No. 2 • Sht. No. A-101 and PUMPING DUGS for additional information)

STRUCTURAL LIGHTWEIGHT CONCRETE TOPPING SLAB (2" MIN. THICKNESS) SLOPED @ 1/4" FT. TO DRAIN (Refer to Structural DUGS for additional information)

PROVIDE COLPHENE FLAM 2-PLY WATERPROOFING SYSTEM W/ SOPH-DRAIN DRAINAGE MAT OVER SITE POURED COMPOSITE TOPPING / CONCRETE SLAB AS PER NOA No. 18-071162 (TYP. THROUGHOUT ROOF AREA)

SCHEDULED STEEL REINFORCED CONCRETE TOPPING / CONCRETE SLAB (Refer to Structural DUGS for additional info)

1-1/2" DIRT WALL FINISH OVER 2"x METAL FRAMING @ 24" O.C. - MAX. (TYP. THROUGHOUT INTERIOR FRAMED PARTITION WALLS)

H.V.A.C. DUCTWORK (S.C. TO COORD. DUCTWORK LAYOUT AND PROVIDE ANY SPECIAL FRAMING AS REQ'D.)

3/4" (MIN) SOUND ATTENUATION FIBER BLANKET / INSULATION UP TO UNDERSIDE OF STRUCTURE (TYP. THROUGHOUT INTERIOR FRAMED PARTITION WALLS - Owner Option)

1/2" DIRT WALL FINISH OVER 2"x METAL FRAMING @ 24" O.C. - MAX. (TYP. THROUGHOUT INTERIOR FRAMED PARTITION WALLS)

WARDROBE AREA

LINE OF PROPOSED FLOOR FINISH TO BE SELECTED BY OWNER (Refer to Finish Schedule • Sheet A-400 for addtl. info)

PROPOSED FIRE STOP @ 4" O.C. - MAX (TYP. THROUGHOUT INTERIOR FRAMED PARTITION WALLS)

SCHEDULED 2"x METAL FRAMING STUDS @ 24" O.C. (TYP. THROUGHOUT NON-LOAD BEARING WALL PARTITIONS)

SCHEDULED SITE POURED COMPOSITE TOPPING / CONCRETE SLAB (Refer to Structural DUGS for additional info)

NOTES:
1. THE ALLOWABLE SOIL BEARING CAPACITY / PROPOSED PILING LOCATION PLAN AND FOUNDATION DESIGN HAS BEEN DETERMINED BASED ON SUBSURFACE INVESTIGATION / BORINGS CONDUCTED BY Dynotech Engineering Corp. TO AN AVERAGE DEPTH OF 40' OF BELOW FINISHED GRADE. THE GENERAL CONTRACTOR SHALL VERIFY THE EXISTING SUBGRADE MATERIALS AND CONDITIONS AND NOTIFY THE ARCHITECT VIA WRITTEN NOTIFICATION IF THE CONDITIONS ENCOUNTERED PRESENT ANY DISCREPANCIES.

2. CLEAR AND RUB NEW CONSTRUCTION / BUILDING AREA OF ALL SURFACE VEGETATION AND TOPSOIL DOWN TO VIRGIN LITHOLOG. FOUNDATIONS MUST BEAR ON UNDISTURBED LITHOLOG.

3. ALL EXTERIOR CMU WALLS HAVE BEEN DESIGNED STRUCTURALLY IN ACCORDANCE WITH (ACI 318) TO WITHSTAND 100 psf WIND FORCES, Exposure C.

4. The design of buildings and structures of reinforced unit masonry shall be by a Professional Engineer or Registered Architect as per Section 205.9 (FBC 2017 Edition) and shall comply with the provisions as set forth in Section 202.1 (FBC 2017 Edition).

5. A Florida Registered Architect or Professional Engineer shall furnish inspections of all reinforced masonry structures, as per Section 202.4 (FBC 2017).

FINISH FLOOR (G.R.)
ELEV. 0'-0" (TYP. NAVD)

SCHEDULED (3000 psi MIN) INTERIOR / MONOLITHIC CONCRETE FOOTING W/ STEEL REINFORCEMENT (Refer to Structural DUGS - Foundation Plan & Footing Schedule for addtl. information)

6" CONC. SLAB REIN. W/ (6"x6") W/4"x4" W/4" DOUBLE LAYER AT PERIMETER OVER 6" MIL VIBRATED VAPOR BARRIER ON WELL COMPACTED (98% DRY DENSITY) CONSTRUCTION AND FILL SOIL TO BE TIGHTLY TREATED FREE OF FOREIGN MATTER, ROCKS, STONES AND TREE TRUNKS OR BRANCHES (Refer to Structural DUGS for additional information)

1" PRE-MOLDED EXPANSION JOINT FILLER MATERIAL (TYP.)

8 GA. TRUSS TYPE HORIZONTAL JOINT REINFORCING @ 16" O.C. (EVEN SECOND COURSE) VERTICALLY EXTEND 4" INTO COLUMNS (TYPICAL)

SCHEDULED (3000 psi MIN) STEEL REINFORCED GRADE BEAM (Refer to Structural DUGS - Foundation Plan & Footing Schedule for addtl. info)

6" CONC. SLAB REIN. W/ (6"x6") W/4"x4" W/4" DOUBLE LAYER AT PERIMETER OVER 6" MIL VIBRATED VAPOR BARRIER ON WELL COMPACTED (98% DRY DENSITY) CONSTRUCTION AND FILL SOIL TO BE TIGHTLY TREATED FREE OF FOREIGN MATTER, ROCKS, STONES AND TREE TRUNKS OR BRANCHES (Refer to Structural DUGS for additional information)

LINE OF SCHEDULED 14" AUGER CAST PILE LOCATED BEYOND - BACON HERE DASHED FOR CLARITY (Refer to Struct. DUGS - Foundation Plan & Footing Schedule for addtl. information)

1-1/2" DIRT WALL FINISH OVER 2"x METAL FRAMING @ 24" O.C. - MAX. (TYP. THROUGHOUT INTERIOR FRAMED PARTITION WALLS)

PROPOSED CONTINUOUS LIGHT COVE / COVERED CEILING DETAIL (Refer to Arch. Roof Plan & Sht. No. A-401 for additional information)

HANGING ELECTRIC LIGHT FIXTURE (See Elect. / Power Plan for addtl. info)

1/4" CONTINUOUS FIRE STOP (TYP. • ALL WALL TO CEILING CONNECTIONS)

LINE OF CUSTOM MASTER BEDROOM SUITE (Showing Kitchen / MILLWORK / CABINETRY LOCATED BEYOND - Base & Upper Cabinets, Where Applicable)

SCHEDULED STEEL REINFORCED CONC. BEAM AND FLOOR SLAB (Refer to Structural DUGS for additional information)

LINE OF APPLIED WOOD BASE LOCATED BEYOND (To be selected by Owner)

CUT STONE WALL VENEER "Pro Fil Terraz LedgeStone - ETHOS BLEND" (BY BORAL CULTURED STONE or Approved Equal) ON PORTAR SETTING BED OVER WALL SUBSTRATE LOCATED BEYOND

LINE OF PROPOSED FLOOR FINISH TO BE SELECTED BY OWNER (Refer to Finish Schedule • Sheet A-400 for addtl. info)

SCHEDULED STEEL REINFORCED CONC. BEAM AND FLOOR SLAB (Refer to Structural DUGS for additional information)

LINE OF PROPOSED SUPPLY WATER PIPING FOR EXTERIOR RAIN CURTAIN / WATERFALL • POOL DECK AREA - SHOWN HERE DASHED FOR CLARITY (Refer to Plumbing DUGS for additional information)

1" STUCCO REVEAL / RAIN DRIP (Refer to Detail No. 10 • Sht. No. A-1100 for additional information)

EXTEND SOPHREMA ALBAN RS WATERPROOFING SYSTEM 8" (MIN) BEYOND EDGE OF CONCRETE EYEBROW / CANOPY

LINE OF 1/2" ULTRA SMOOTH SAND STUCCO FINISH (2 Coats) OVER CONCRETE CANOPY SLAB / EYEBROW

1/2" (THICK) DENISE-GLASS GOLD SHEATHINGS SECURELY FASTENED OVER 2"x METAL FRAMING STUDS (TYP. • Exterior Pool Columns)

CUT STONE VENEER "Pro Fil Terraz LedgeStone - ETHOS BLEND" (BY BORAL CULTURED STONE or Approved Equal) ON PORTAR SETTING BED OVER SPECIFIED COLUMN SUBSTRATE (TYP. of Two (2) Columns)

LINE OF STEEL TUBE COLUMN (4"x4"x1/4" MIN) LOCATED BEYOND (TYP. of 2, Refer to Architectural Site Plan & Sht. No. A-200 & Structural DUGS for additional information)

LINE OF PROPOSED POOL COPING BY OTHERS (Located Beyond)

SCHEDULED (3000 psi MIN) INTERIOR / MONOLITHIC CONCRETE FOOTING W/ STEEL REINFORCEMENT (Refer to Structural DUGS - Foundation Plan & Footing Schedule for additional information)

LINE OF PROPOSED EXTERIOR TERRACE / POOL DECK FLOOR FINISH TO BE SELECTED BY OWNER (Refer to Finish Schedule • Sheet A-400 for additional information)

SCHEDULED (3000 psi MIN) INTERIOR / MONOLITHIC CONCRETE FOOTING W/ STEEL REINFORCEMENT (Refer to Structural DUGS - Foundation Plan & Footing Schedule for additional information)

LINE OF PROPOSED POOL STRUCTURE BY OTHERS (Shown here dashed for clarity)

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1–9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name LAWRENCE WALTERS				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1616 SW 17TH AVENUE				Company NAIC Number:	
City FORT LAUDERDALE		State Florida		ZIP Code 33312	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LOT 15, PLAT BOOK 46, PAGE 42, SUBDIVISION NAME: BOSSERT ISLES *BCR					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL</u>					
A5. Latitude/Longitude: Lat. <u>N26.100582°</u> Long. <u>80.163523°</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>1B</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>N/A</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u>					
c) Total net area of flood openings in A8.b <u>N/A</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>880.00</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A9.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number CITY OF FORT LAUDERDALE 125105			B2. County Name BROWARD		B3. State Florida
B4. Map/Panel Number 12011C0556	B5. Suffix H	B6. FIRM Index Date 08-18-2014	B7. FIRM Panel Effective/ Revised Date 08-18-2014	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 5
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1616 SW 17TH AVENUE			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33312	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: BCBM #1857 ELEV:8.419 *BCR Vertical Datum: NAVD-1988

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- | | | | |
|---|------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) _____ | 7.30 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor _____ | N/A | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) _____ | N/A | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) _____ | 5.05 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) _____ | 7.13 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) _____ | 4.9 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) _____ | 5.0 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support _____ | N/A | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name NICOLAS DEL VENTO	License Number 6945	
Title SURVEYOR		
Company Name SURVEY PROS, INC.		
Address 5966 S. DIXIE HIGHWAY #300		
City MIAMI	State Florida	ZIP Code 33143
Signature Nicolas Del Vento	Date 12-20-2022	Telephone Ext. (305) 767-6802



Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
 GPS COORDINATES OBTAINED USING GPS DEVICE
 *BROWARD COUNTY RECORDS
 LOWEST MACHINERY = A/C PAD. A/C PAD IS LOCATED ON THE LEFT SIDE OF THE HOUSE.
 HIGHEST CROWN OF ROAD ELEVATION = 3.35

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1616 SW 17TH AVENUE			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33312	Company NAIC Number

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address _____ City _____ State _____ ZIP Code _____

Signature _____ Date _____ Telephone _____

Comments

Check here if attachments.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.	FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1616 SW 17TH AVENUE	Policy Number:
City FORT LAUDERDALE	State Florida
ZIP Code 33312	Company NAIC Number

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
-------------------	------------------------	---

G7. This permit has been issued for: New Construction Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters Datum _____

G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters Datum _____

G10. Community's design flood elevation: _____ feet meters Datum _____

Local Official's Name _____ Title _____

Community Name _____ Telephone _____

Signature _____ Date _____

Comments (including type of equipment and location, per C2(e), if applicable)

Check here if attachments.

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2022

ELEVATION CERTIFICATE

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1616 SW 17TH AVENUE			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33312	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption FRONT VIEW

Clear Photo One

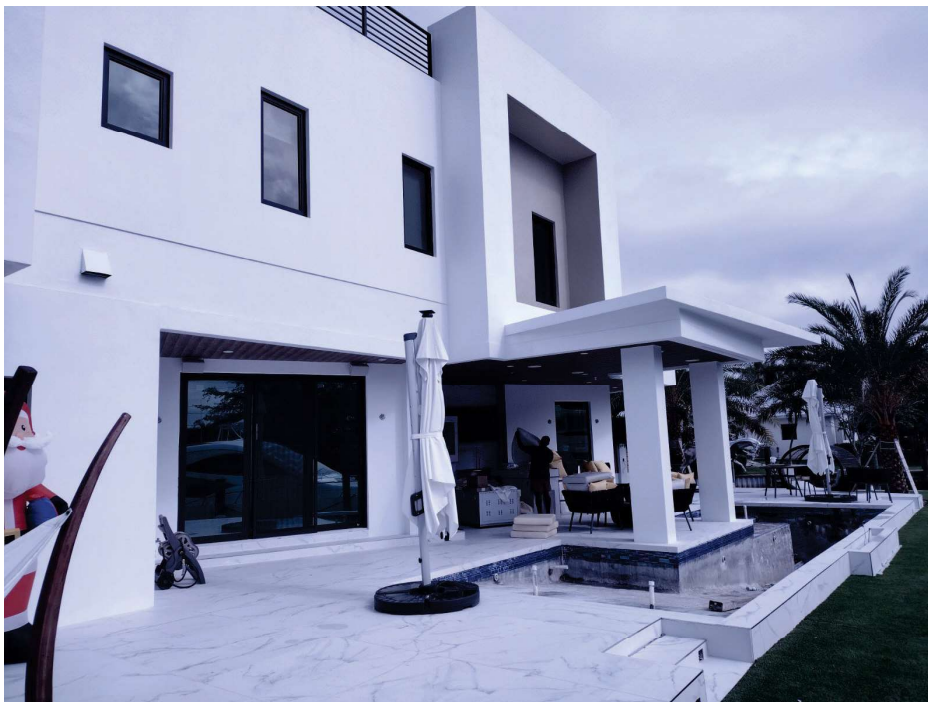


Photo Two

Photo Two Caption REAR VIEW

Clear Photo Two

BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008
Expiration Date: November 30, 2022

ELEVATION CERTIFICATE

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1616 SW 17TH AVENUE			Policy Number:
City FORT LAUDERDALE	State Florida	ZIP Code 33312	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

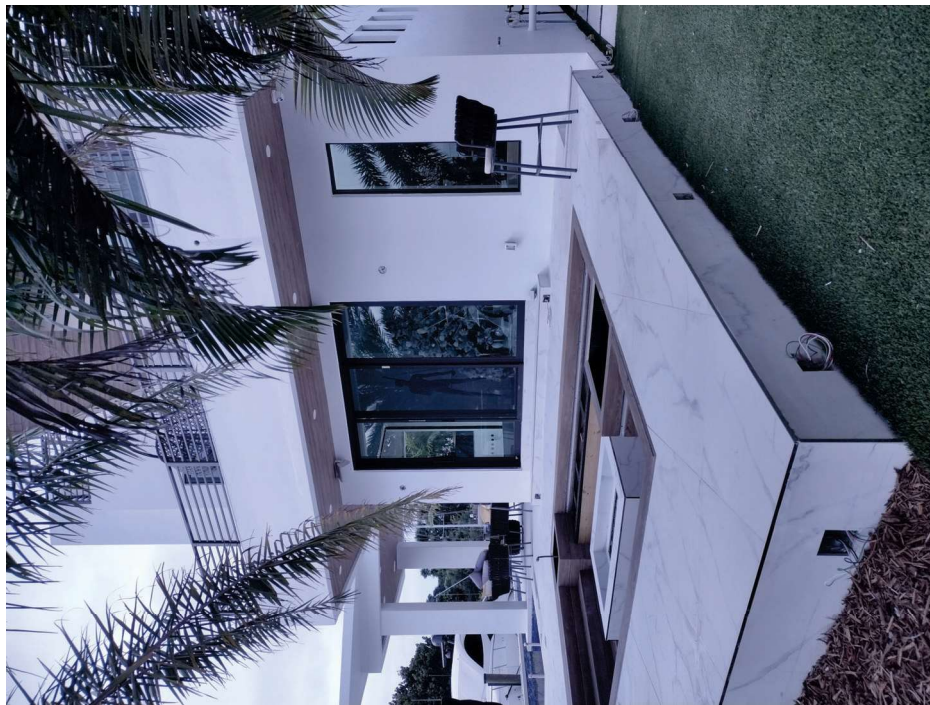


Photo Three

Photo Three Caption RIGHT SIDE VIEW

Clear Photo Three

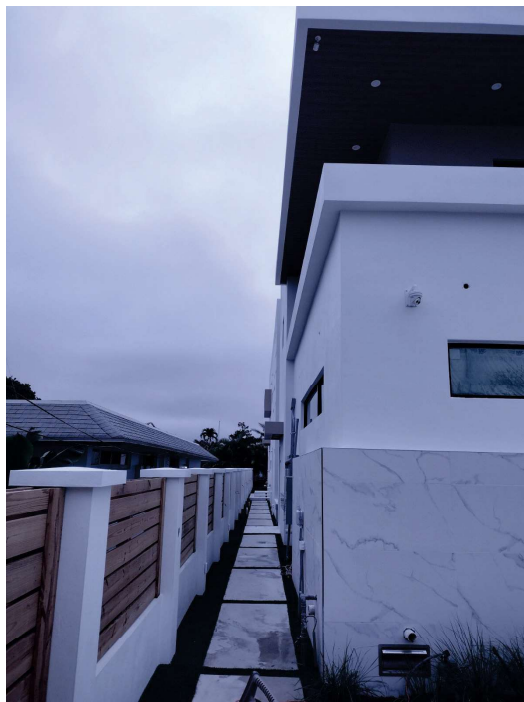


Photo Four

Photo Four Caption LEFT SIDE VIEW

Clear Photo Four

2023 FLORIDA PROFIT CORPORATION ANNUAL REPORT

DOCUMENT# P12000032878

Entity Name: ESTATE MANORS INC

Current Principal Place of Business:

1616 SW 17TH AVE
FORT LAUDERDALE, FL 33312

Current Mailing Address:

1616 SW 17TH AVE
FORT LAUDERDALE, FL 33312 US

FEI Number: 45-5026636

Certificate of Status Desired: No

Name and Address of Current Registered Agent:

WALTERS, LAWRENCE
1616 SW 17TH AVE
FORT LAUDERDALE, FL 33312 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE: _____

Electronic Signature of Registered Agent

_____ Date

Officer/Director Detail :

Title DIRECTOR
Name WALTERS, LAWRENCE E
Address 1616 SW 17TH AVE
City-State-Zip: FORT LAUDERDALE FL 33312

Title P
Name WALTERS, LAWRENCE
Address 1616 SW 17TH AVE
City-State-Zip: FORT LAUDERDALE FL 33312

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am an officer or director of the corporation or the receiver or trustee empowered to execute this report as required by Chapter 607, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: LAWRENCE WALTERS

PRESIDENT

04/04/2023

Electronic Signature of Signing Officer/Director Detail

Date

CONCRETE BEAM REPAIR ON BEAM 824

- Provide engineering letter and inspection for this scope of work
- Cut out and clean expose rebar on B824
- Epoxy and clean expose rebar per engineer specification
- Form and patch B824 with hydraulic cement
- Prep a sleeve through the beam for the gas line

FRAMING & STUCCO

- Frame down new soffit on B824
- Provide and install 22ga metal tracks and studs
- Provide and install dens shields on the soffit
- Provide and install wire lath on the dens shield
- Provide and apply three coats of stucco to the new soffit
- Provide and apply stucco on all exterior surfaces that requires repair work do to this scope of work

PLUMBING, GASS & ELECTRICAL

- Pull all cooper lines for the water feature.
- Pull and redirect gas line to new locate.
- Provide extra materials for the new gas line location.
- Pull all electrical jumpers
- Pull all low-voltage wires and reinstall speakers in new location.

T&G

- Reinstall 500 SQFT of composite tongue and groove ceilings.
- Center all hi hats to the new layout
- Center all speakers to the new layout
- Seal the perimeter of the T&G

TILE

- Provide and install tile for the coping repair
- Provide and install 40 sqft of floor tile on the pool deck
- Regrout the entire pool deck to maintain a consistent grout finish.

PLANS, DRAWINGS & SITE VISIT

- Provide revised plumbing & gas drawing
- Provide all shop drawings for this alteration.

- Provide inspections from the structural engineer
- Provide up to 50 HRs for architectural consulting.
- Provide all administration, site visits and inspection for this scope of work

Submitted by: Jaysen Matias

Acceptance of Proposal

Customer Signature: _____ Date: _____

Total\$197,500.00