



BOARD OF ADJUSTMENT MEETING NOTICE

Date: May 31st, 2024

A Public Hearing will be held before the Board of Adjustment on: **Wednesday, June 12th, 2024**

This meeting will be held in-person at: Development Services Department (Lobby) 700 NW 19th Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA

CASE:	PLN-BOA- 24040002
OWNER:	STEVENS, ANDREA CATHERINE
AGENT:	N/A
ADDRESS:	1329 SW 9 STREET, FORT LAUDERDALE, FL 33312
LEGAL DESCRIPTION:	THE EAST ONE-HALF OF LOTS 6 AND 7, BLOCK 11, OF AMENDED PLAT OF RIVERSIDE ADDTION OF FORT LAUDERDALE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 13 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (SEE SURVEY)
ZONING DISTRICT:	RD-15 - RESIDENTIAL SINGLE FAMILY AND DUPLEX/MEDIUM DENSITY
COMMISSION DISTRICT:	4
REQUESTING:	<u>Sec. 25-62. (b)(3) - Requirements for new development and site alterations.</u>

- Requesting a special exception, granting relief from the requirement to install sidewalk per Sec 25-62.

Please Note: As per Sec. 25-62. (b)(3) Sidewalks shall be constructed on all public streets abutting the property, except as provided herein: Property owners may request relief from the provisions of this section by making an application to the board of adjustment. The property owner shall have the burden of demonstrating that a unique circumstance particular to the property at issue exists that would otherwise preclude the installation of a sidewalk in the specified location.

To watch and listen to the meeting, please visit: <https://www.fortlauderdale.gov/government/BOA>
OR www.youtube.com/cityoffortlauderdale

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK
ZONING ADMINISTRATOR

Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.




PLN-BOA-24040002

LEGEND

-  Municipal Boundary
-  Subject Site

N



0 100 200
US Feet

PLN-BOA- 24040002

Sec. 25-62. (b)(3) - Requirements for new development and site alterations.

(b) Sidewalks shall be constructed on all public streets abutting the property, except as provided herein:

- (1) The proposed location of sidewalk improvements are on a finger island or dead-end street where eighty (80) percent or more of properties do not have sidewalks abutting the property.
- (2) A neighborhood transportation plan approved by the city commission clearly indicates that sidewalks are not preferred for the area in which the property is located.
- (3) Property owners may request relief from the provisions of this section by making application to the board of adjustment. The property owner shall have the burden of demonstrating that a unique circumstance particular to the property at issues exists that would otherwise preclude the installation of a sidewalk in the specified location.

Record

Showing 1-26 of 26

<input type="checkbox"/>	Record, Permit, or Account #	Record Description	Application Name	Record Type	Balance	Planner Name	Street #	Dir	Street Name	Type	Unit # (start)	Status
<input type="checkbox"/>	BLD-RNC-23080001_R002	NOA GARAGE DOOR	1329 SW 9 ST- GARAGE DOOR NO...	Plan Revision	0		1329	SW	9	ST		Awaiting
<input type="checkbox"/>	PLN-BOA-24040002		Board of Adjustment	Z- Board of Adjustment (BOA)	0		1329	SW	9	ST		Open
<input type="checkbox"/>	BLD-FEN-24040011	INSTALL BOARD ON BOARD WOOD FENCE (NO GATES) 71.7...	Fence Permit	Structural Permit	0		1329	SW	9	ST		Comple
<input type="checkbox"/>	BLD-RNC-23080001_D002	shop drawings trusses	Document Type: Approved Su...	Deferred Submittal (Electronic Document Submittal)	0		1329	SW	9	ST		Comple
<input type="checkbox"/>	PLN-PROW-24030001		Board of Adjustment	AR- Property and Right-of-Way	0		1329	SW	9	ST		Void
<input type="checkbox"/>	BLD-RNC-23080001_R001	product approval W&D	1329 SW 9 ST - product appro...	Plan Revision	0		1329	SW	9	ST		Comple
<input type="checkbox"/>	BLD-RNC-23080001_D001	Spot survey	Document Type: Approved Su...	Deferred Submittal (Electronic Document Submittal)	0		1329	SW	9	ST		Comple
<input type="checkbox"/>	ELE-GEN-24010130	Elect demo of sfh	Electrical Subpermit	Electrical Permit	0		1329	SW	9	ST		Void
<input type="checkbox"/>	PLB-SEWCP-WT-23120008	Sewer cap FOR DEMO	Online Walk-Thru- Sewer Cap	Walk-Thru - Sewer Cap	0		1329	SW	9	ST		Comple
<input type="checkbox"/>	BLD-RDEM-23110022	Total demo of SFH	steven residence	Residential Demolition Permit	0		1329	SW	9	ST		Comple
<input type="checkbox"/>	PLB-RES-23100183	PLUMBING FOR BLD-RNC-23080001	steven residence	Plumbing Residential Permit	0		1329	SW	9	ST		Issued
<input type="checkbox"/>	PLB-IRR-23100026	IRRIGATION FOR BLD-RNC-23080001	steven residence	Plumbing Irrigation Permit	0		1329	SW	9	ST		Issued
<input type="checkbox"/>	MEC-RES-23100073	MECHANICAL FOR BLD-RNC-23080001	steven residence	Mechanical Residential Permit	0		1329	SW	9	ST		Issued
<input type="checkbox"/>	ENG-LAND-23100024	ROW LANDSCAPE FOR BLD-RNC-23080001	steven residence	ROW Landscaping Permit	0		1329	SW	9	ST		Issued
<input type="checkbox"/>	ENG-SW-23100008	Sidewalk for BLD-RNC-23080001	stevens residence	ROW Sidewalk and Curb Permit	0		1329	SW	9	ST		Awaiting
<input type="checkbox"/>	BLD-RPAV-23100045	ONSITE PAVING FOR BLD-RNC-23080001	steven residence	Residential Paving Permit	0		1329	SW	9	ST		Issued
<input type="checkbox"/>	BLD-ROOF-23090135	NEW ROOF FOR BLD-RNC-23080001	1329 SW 9 ST - stevens resid...	Re-Roof Permit	0		1329	SW	9	ST		In Revie
<input type="checkbox"/>	LND-INST-23090240	GENERAL LANDSCAPE FOR BLD-RNC-23080001	stevens Residence	Landscape Installation Permit	0		1329	SW	9	ST		Issued
<input type="checkbox"/>	ELE-RES-23080144	ELECTRICAL FOR BLD-RNC-23080001	stevens residence	Electrical Residential Permit	0		1329	SW	9	ST		Issued
<input type="checkbox"/>	ELE-TEMP-23080012	TEMP POLE	Stevens residence	Electrical Temporary Pole	0		1329	SW	9	ST		Comple
<input type="checkbox"/>	BLD-RNC-23080001	SINGLE FAMILY RESIDENCE, 1-STORY, 2-BEDROOMS, 2-B...	1329 SW 9 ST - stevens resid...	Residential New Construction Permit	0		1329	SW	9	ST		Issued
<input type="checkbox"/>	CE16040697	L/S TITLE SERVICES TAX & LIEN - 0 OPEN CASES ...	MONSALVE,ALBERTO G & IZQUIER...	Code Case	0		1329	SW	9	ST		Closed
<input type="checkbox"/>	VIO-CE16040697_1		MONSALVE,ALBERTO G & IZQUIER...	Violation-CODE Hearing	0		1329	SW	9	ST		Closed
<input type="checkbox"/>	PM-14021539	FLAT REROOF 1100 SF	FLAT REROOF 1100 SF	Re-Roof Permit	0		1329	SW	9	ST		Comple
<input type="checkbox"/>	PM-10050920	SEPTIC TO SEWER CONECTION	SEPTIC TO SEWER CONECTION	Plumbing Sewer Cap Permit	0		1329	SW	9	ST		Comple
<input type="checkbox"/>	PM-00022011	REPLACE WTR HTR	REPLACE WTR HTR	Plumbing Water Heater Exact Changeout	0		1329	SW	9	ST		Comple



CITY OF FORT LAUDERDALE

PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: June 12, 2024

TIME: 6:00 P.M.

CASE: PLN-BOA-24040002

Sec. 25-62. (b)(3) - Requirements for new development and site alterations.

- Requesting a special exception, granting relief from the requirement to install sidewalk per Sec 25-62.

Please Note: As per Sec. 25-62. (b)(3) Sidewalks shall be constructed on all public streets abutting the property, except as provided herein: Property owners may request relief from the provisions of this section by making an application to the board of adjustment. The property owner shall have the burden of demonstrating that a unique circumstance particular to the property at issue exists that would otherwise preclude the installation of a sidewalk in the specified location.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
700 N.W. 19TH AVENUE (LOBBY)
FORT LAUDERDALE, FL., 33311
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:
<https://www.fortlauderdale.gov/government/BOA>
www.youtube.com/cityoffortlauderdale
To view more information about this item, please visit:
www.fortlauderdale.gov/government/BOA

This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a



SIGN NOTICE

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO.

PLN-BOA-24040002

APPLICANT:

Andrea Stevens

PROPERTY:

1329 SW 9th Street, Ft Lauderdale, FL 33312

PUBLIC HEARING DATE:

JUNE 12, 2024

BEFORE ME, the undersigned authority, personally appeared Andrea Stevens, who upon being duly sworn and cautioned, under oath deposes and says:

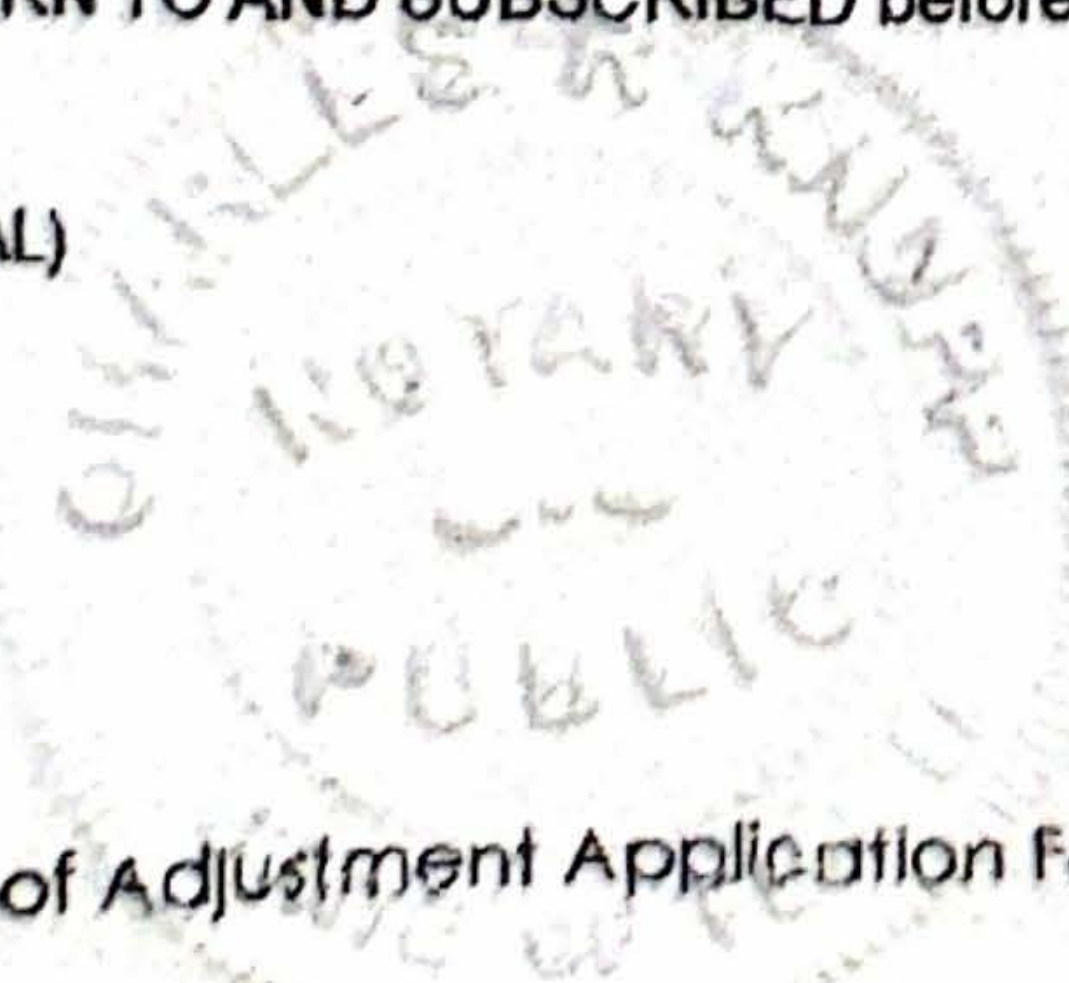
1. Affiant is the Applicant in the above cited City of Fort Lauderdale **Board or Commission** Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the **Board or Commission**.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least **fifteen (15)** days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the **Board or Commission**. **Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.**
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division **five (5)** calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2. of the City of Fort Lauderdale Ord. I will forfeit my sign deposit. _____ (initial here)

Andrea Stevens
Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 2nd day of June, 2024

(SEAL)



NOTARY PUBLIC
MY COMMISSION EXPIRES





CITY OF FORT LAUDERDALE
PUBLIC NOTICE
BOARD OF ADJUSTMENT MEETING
 DATE: June 22, 2023 TIME: 10:00 AM CASE: EA23-004-1855888
 100 W. AL. BLVD., FORT LAUDERDALE, FL 33301
 Reporting a service exception, quoting rates from the most recent to latest invoice and
 per 28-44

The Board of Adjustment is a public body created by the City of Fort Lauderdale. It is authorized to hear and determine appeals from the decisions of the City Commission and the City Manager. It is also authorized to grant variances from the provisions of the City Code. The Board of Adjustment is a public body created by the City of Fort Lauderdale. It is authorized to hear and determine appeals from the decisions of the City Commission and the City Manager. It is also authorized to grant variances from the provisions of the City Code.

BOARD OF ADJUSTMENT (BOA) APPLICATION FORM

REV: 03/18/2024 APPLICATION FORM: BOA



GENERAL INFORMATION
BOARD OF ADJUSTMENT REVIEW PROCESS AND APPLICATION SUBMITTAL

BOARD OF ADJUSTMENT MEETING REQUEST: Prior to the submittal of the Board of Adjustment application, applicants are required to schedule a meeting request with Zoning and Landscaping Division staff to obtain feedback regarding the proposed variance, special exception, or other applications. The meeting includes general guidance on the submittal and process for the application type. To request a meeting with staff, [email request to the Board of Adjustment](#).

APPLICATION DEADLINE: Submittals must be received by 5:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail if application, survey, plans and other documentation do not meet the submittal requirements and if changes are required. The applicable [Meeting Dates and Deadlines](#) can be found on the City's website at the Board of Adjustment webpage. Staff will provide guidance once an application has been submitted to the City.

ONLINE SUBMITTAL PROCESS: Submittals must be conducted through the [City's online citizen access portal and payment of fees LauderBuild](#). LauderBuild requires the creation of an online account to submit a complete application. To access submittal requirements and standards please visit the [LauderBuild Plan Room](#). Staff will provide guidance once an application has been submitted to the City.

DETERMINATION OF COMPLETENESS: Submittals are reviewed for completeness to ensure the application submittal contains all the required information including plans, survey, proof of ownership, narratives, and other pertinent documentation. The City will notify the applicant within five (5) business days from submittal with a determination of completeness. The notification will be sent via email and will indicate application completeness or incompleteness with required changes. [BOA Flow Chart](#).

PAYMENT OF FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, special advertising, re-advertising and any other costs associated with the application submittal shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit. Applicants will receive invoices electronically indicating the applicable fee(s). Note, there are fees at various stages of review depending on application type. All Fees are paid online.

PUBLIC SIGN NOTICE: Board of Adjustment (BOA) application, and certain applications are subject to public sign notice. Affidavits must be completed and submitted to the city stated compliance that such has been completed. The affidavit form can be found in this package on page 4 and on the City's website.

EXAMPLE VARIANCE SUBMITTAL
Click to access the Board of Adjustment (BOA) page to view previous [Board of Adjustment \(BOA\) agendas, case backup, minutes and results](#).

QUESTIONS: Questions regarding the Board of Adjustment process or LauderBuild, contact us by phone or email at: boardofadjustment@cityoflauderdale.gov
Phone: 954-828-6520, Option 5.

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The Board of Adjustment application form must be filled out accurately and all applicable sections must be completed. Complete the sections indicated for application, type N/A for those section items not applicable. Select the application type below and complete entire application form.

Application Type	(Select the application type from the list below and complete pages 1-4 of the application)	FEES
<input checked="" type="radio"/>	Requesting a Variance/Special Exception/Interpretation (Before)	\$2,332
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation (After)	\$2,968
<input type="radio"/>	Requesting Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (Before)	\$689
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (After)	\$901
<input type="radio"/>	Request for Continuance	\$954
<input type="radio"/>	Request for Rehearing	\$318
<input type="radio"/>	Rehearing Request before the board	\$1,219

Page 1: BOA - Applicant Information Sheet

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance(s) and/or special exception(s) requested. The application form must be filled out accurately and all applicable sections must be completed. Please print or type and answer all questions. Do Not leave any sections Blank. Indicate N/A if a question does not apply.

Case Number	
Date of complete submittal	03/27/2024
NOTE: For purpose of identification, the PROPERTY OWNER is the APPLICANT	
Property Owner's Name	ANDREA STEVENS
Property Owner's Signature	<i>Andrea Stevens</i> <small>Signature is required on the application by the owner.</small>
Address, City, State, Zip	1329 SW 9TH STREET, FORT LAUDERDALE, FL 33312
E-mail Address	acstevens199@gmail.com
Phone Number	954-257-7323
Proof of Ownership	<input type="checkbox"/> Warranty Deed <i>or</i> <input checked="" type="checkbox"/> Tax Record

NOTE: If AGENT is to represent PROPERTY OWNER, an agent authorization form is required (must be notarized)

Applicant / Agent's Name	
Applicant / Agent's Signature	
Address, City, State, Zip	
E-mail Address	
Phone Number	
Agent Authorization Form Submitted	<input type="checkbox"/>

Include ANY Related code case/permit #	BLD-RNC-23060001
Existing / New	Existing: <input type="checkbox"/> New: <input checked="" type="checkbox"/>
Project Address	Address: 1329 SW 9TH STREET, FORT LAUDERDALE FL 33312
Legal Description	RIVERSIDE ADD AMEN PLAT 1-13 B LOT 6 E1/2, 7 E1/2 & W1/2 OF THAT PT OF VACATED ALLEY LYING E OF & ABUTTING SAID LOTS BLK 11
Tax ID Folio Numbers <i>(For all parcels in development)</i>	504209021110
Variance/Special Exception Request <i>(Provide a brief description of your request)</i>	NEW CONSTRUCTION - REQUESTING TO BE EXEMPT FROM INSTALLING SIDEWALK DUE TO REMOVING OAK TREES AND COMPROMISING LOOK OF RIVERSIDE PARK NEIGHBORHOOD. MORE THAN 80% DO NOT HAVE SIDEWALKS AND NEIGHBORHOOD IS KNOWN FOR OAK TREES THAT SURROUND ALL HOUSES
Applicable ULDR Sections <i>(include all code sections)</i>	SEC-25-62(B)(3)

Current Land Use Designation	SINGLE FAMILY
Current Zoning Designation	
Current Use of Property	SINGLE FAMILY
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Setbacks (indicate direction N, S, E, W)	Required	Proposed
Front	25	25
Side	5	5
Side	5	5
Rear	15	19.65

Page 2b: Board of Adjustment (BOA) Criteria for Special Exception Request

Answer **All** questions on this page only *if* you are applying for a **SPECIAL EXCEPTION**. If additional space is needed, attach an additional page(s) to this page. *If* you are applying for a Variance, print or type N/A for the questions below and complete page 2a of this application form. Note: A narrative must be submitted in addition to this page.

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

For special relief to not install sidewalk (Sec. 25-62(b)(3)) at 1329 SW 9th Street, Fort Lauderdale, FL 33312

CRITERIA: A special exception shall be granted upon demonstration by a preponderance of the evidence of all of the following criteria: Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12, A.5,

a. Whether the proposed development or use meets the requirements for a special exception as provided by the ULDR; and

WELL OVER 80% OF THE PROPERTIES IN THE RIVERSIDE PARK NEIGHBORHOOD DO NOT HAVE SIDEWALKS

b. Granting of the special exception shall not be incompatible with adjoining properties or the surrounding neighborhood or otherwise contrary to the public interest.

THERE ARE NO SIDEWALKS INSTALLED AT ANY PROPERTIES SURROUNDING OUR PROPERTIES, THERE ARE LARGE OAK TREES AROUND THE PROPERTIES AS WELL

AFFIDAVIT: I, ANDREA STEVENS the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order or the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

Andrea Stevens
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 27 day of Apr, 2024



NOTARY PUBLIC
MY COMMISSION EXPIRES

Notary Public State of Florida
Charles R Knupp
My Commission HH 078488
Expires 01/24/2025

Page 3: Checklist for submittal and completeness:

The following information and checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide the information/items below will result in your application being deemed incomplete. **Note: Fourteen (14) Copy Sets of each item below will be DUE AFTER your application has been DEEMED COMPLETE. The applicant will need to meet with staff PRIOR to submitting the BOA application submittal via Lauderbuild. *Meeting Request information and the link to schedule a meeting with staff can be found on the cover page of this BOA application.**

- **Preliminary BOA Meeting** - The applicant and/or agent met with staff on the following date: 03/25/2024
- **Board of Adjustment Application Form**- The Board of Application form must be complete with the applicable information, signatures, and notarizations. *Submit the complete application form along with your submittal. Page 4 of the BOA application is due AFTER sign(s) are posted.
- **Proof of Ownership**- Warranty deed or tax record including corporation documents and Sunbiz verification name.
- **Agent Authorization Form**- Authorization from ALL Property owner(s) is required. If the Property is owned by an Entity, Sunbiz verification must be included with the authorized agent form.
- **Narrative**- Include the applicable ULDR code sections, Date, specific request, and criteria as described in the specifications for submittal by application. The narrative must be titled "Narrative" and indicate the author).
- **Color Photographs**- Color photos of the entire property and all surrounding properties dated and labeled and identified as to orientation.
- **Survey**- The survey of the property must be digitally signed and sealed, showing existing conditions; survey must be As Built with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of land(s) not included in the proposed project unless specifically requested by the City. *Must be the most recent survey and the date on the survey should not exceed one (1) year. **Copy sets of Survey must be at half-size scale 11x17"**.
- **Site Plan**- A full set of plans must be submitted a survey may be substituted if the requested variance is clearly indicated. Cover sheet on plan set to state project name and table of contents. **Copy sets of Plans must be at half-size scale 11x17"**.
- **Elevations**- If applicable (Elevations may be required by staff upon application submittal).
- **Landscape Plans**- If applicable (Landscape Plans may be required by staff upon application submittal).
- **Additional Plans**- If applicable (Additional Plans may be required by staff upon application submittal).
- **Mail Notification Documents**- Mail Notice shall be given to owners of land within three hundred (300) feet of the subject site ten (10) days prior to the date set for the public hearing. Please submit the following:
 - **TAX MAP:** Applicant shall provide a tax map from the Broward County Property Appraiser of all property within a three hundred (300) foot radius, with each property clearly shown and delineated. Each property within the notice area must be numbered (by Folio ID) on the map to cross-reference with property owners notice list.
 - **PROPERTY OWNERS NOTICE LIST:** Applicant shall provide a property owner notice list with the names, property control numbers (Folio ID) and complete addresses for all property owners within the required three hundred (300) foot radius. The list shall also include all homeowners' associations, condominium associations, municipalities and counties noticed, as indicated on the tax roll.
 - **ENVELOPES:** The applicant shall provide business size (#10) envelopes with first class postage attached (stamps only, metered mail will not be accepted). Envelopes must be addressed to all property owners within the required three hundred (300) foot radius, and mailing addresses must be typed or labeled; no handwritten addresses will be accepted. The return address shall be listed on all envelopes as follows: **City of Fort Lauderdale- Zoning Division (BOA, 700 N.W. 19th Avenue, Fort Lauderdale, Florida 33311**

**City of Fort Lauderdale- Zoning Division (BOA)
700 N.W. 19th Avenue
Fort Lauderdale, Florida 33311**

How To order a Tax Map and Notice List- To order a tax map and notice list, please contact Heather Hanson at hhanson@bcpa.net or call 954-357-6855 OR Kenny Gibbs at kgibbs@bcpa.net or call 954-357-5503. **Distribution:** The City of Fort Lauderdale, Zoning & Landscaping Division will mail all notices prior to the public hearing meeting date, as outlined in Section 47-27.

How to Submit Your Application submittal- Submittals must be conducted through the City's Online Citizen Access portal- LauderBuild. No hard copy application submittals are accepted. View plan and document requirements at [LauderBuild Plan Room](#). View file naming and Convention standards at [File Naming Convention Standards](#)

Please Note: All copy sets must be clear, accurate and legible. All non-plan documents should be 8 1/2" x 11". Plans must be folded to 8 1/2" x 11".

Record and Record to:

Affinity Title Services, Inc.
8198 S. Jog Road, Suite 204
Boynton Beach, Florida 33472

This instrument prepared by:

STEVEN R. ROSENTHAL, ESQUIRE
Attorney at Law
Coral Springs Professional Campus
5421 University Drive - Suite 101
Coral Springs, Florida 33067

_____ [Space Above This Line For Recording Data] _____

WARRANTY DEED
(STATUTORY FORM-SECTION 689.02 F.S.)

THIS INDENTURE, made this 29 day of April, 2016

Between **CHARLES ROBERT KNUPP and CYNTHIA A. KNUPP, husband and wife**, of the County of **Broward**, State of **Florida**, Grantor*, and **ANDREA CATHERINE STEVENS, a single person**, whose address is: 1329 S.W. 9th Street, Fort Lauderdale, Florida 33312, Grantee*,

Witnesseth: That said grantor, for and in consideration of the sum of **ONE HUNDRED AND SEVENTY FIVE THOUSAND AND NO/100s (\$175,000.00)** -----
-----Dollars and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Broward County, Florida, to-wit:

The East one-half of Lots 6 and 7, Block 11, of Amended Plat of Riverside Addition to Fort Lauderdale, according to the plat thereof as recorded in Plat Book 1, Page 13, of the Public Records of Broward County, Florida, together with West one-half of that vacated alley lying East of the adjacent to said Lots 6 and 7.

PARCEL IDENTIFICATION # 5042 09 02 1110

THIS CONVEYANCE is subject to the following and by accepting this Deed, grantee does hereby agree to assume and abide by the following:

1. Taxes and assessments for the year 2016 and subsequent years;
2. Zoning, restrictions and prohibitions imposed by governmental authority, the Homeowners' Association or Homeowners' Association Documents, if applicable;
3. Restrictions, easements or other matters appearing on the plat and common to the Homeowners' Association, if applicable.

WARRANTY DEED - CONTINUED
PAGE TWO

Said Grantor does hereby fully warrant the title to said land, and will defend that same against the lawful claims of all persons whomsoever.

*"Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantors have hereunto set Grantors' hands and seals the day and year first above written.

Signed, sealed and delivered in our presence.

WITNESS AS TO BOTH GRANTORS

Print Name STEVEN R. ROSENTHAL

CHARLES ROBERT KNUPP

750 S.W. 12th Avenue
Fort Lauderdale, Florida 33312

WITNESS AS TO BOTH GRANTORS

Print Name NORA M. CANDELA

CYNTHIA A. KNUPP

750 S.W. 12th Avenue
Fort Lauderdale, Florida 33312

STATE OF FLORIDA)
)SS:
COUNTY OF BROWARD)

The foregoing instrument was acknowledged before me this 29 day of Apr, 2016,
by **CHARLES ROBERT KNUPP and CYNTHIA A. KNUPP, husband and wife**, who are personally
known to me or who have produced [Signature] as identification and who did
take an oath.

My Commission Expires 148130



[Signature]
NOTARY PUBLIC, State of Florida

Print Name _____

FOLIO_NUMB	NAME_LINE_	NAME_LINE1
504209021030	EPPS,JOSEPH L	WILCZEK,DAVID R
504209021470	UNIQUE CRITIQUE II LLC	
504209020410	DOKUCHITZ,PETER S III	MORSE,JOAN M
504209021010	1313 SW 8TH CT LLC	
504209021020	RODRIGUEZ,JOSE A	
504209020350	KNUPP,CHARLES R	STEVENS,CYNTHIA A
504209021080	FAUBEL,GISELLE	
504209021310	801 APARTMENTS LLC	%RASCAL MANAGEMENT LLC
504209021390	DOMINICIS,DAMIEN	
504209021090	EDGERLY,PAUL	EDGERLY REV TR
504209021140	ABDALLA,KHALED	DEL VALLE,LEONOR RAMIREZ
504209021380	CONSIGLIO,ABBY C	
504209021150	MURRAY,JOHN III	FORTIER,BRIAN A
504209021320	BALOUANE,DRISS & OLIVIA	
504209021371	808 SW 14 TERRACE LLC	
504209021100	CARIMBOCAS,JUDY L	
504209021120	WINIFRED A POWERS RIVERSIDE	PROPERTIES REV TR ETAL
504209021330	PELLOT,FELIX LUIS	TORRES CATAQUET,KAYSSA M
504209021370	D'APUZZO,THEODORE & ANNA	
504209021160	RICHMOND,GARY J	GARY J RICHMOND REV LIV TR
504209021110	STEVENS,ANDREA CATHERINE	
504209021111	HOLEY,SCOTT E & DAWN R	
504209021350	JUDAH,SABRINA	
504209021340	HILL,LARRY O & LAURA A	
504209021170	MID BAY MIAMI LLC	
504209021360	TRON PROPERTIES 2 LLC	
504209021180	RIVERSIDE VACATIONS LLC	
504209021190	POPE,ROBERT J JR & JOELIE M	
504209021191	CASA RIO REV TR	
504209021200	SHAW,RANDALL DREW	
504209021201	MOOS,JEFFREY J	MOOS,JENNIFER L
504209021202	JEAN-MARY,FRITZ	
504209021210	SWEENEY,TAMMERA M	SWEENEY,THOMAS J
504209021220	ROSEN,ROBERT P	ROBERT ROSEN REV LIV TR
504209021230	RIVERSIDE CASA LLC	
504209010152	GOODMAN,MARILYN	MARILYN GOODMAN REV LIV TR
504209010153	PUJALT,CHARMIE H/E	PARK,MATTHEW
504209010154	LEININGER,CAROL	
504209010171	QUINN,JASON D	
504209BA0040	INTERNATIONAL YACHT SERVICES FT	LAUDERDALE LLC
504209010172	KING,LAUREN	KING,SUZANNE
504209010175	BELL,MICHAEL & TANYA	
504209010173	HEALY,THOMAS & KAREN	

504209010174	O'NEILL,KEVIN P & ANNE E	
504209010151	1341 SW 10TH ST LLC	
504209021130	802 SW 14TH AVE LAND TRUST	
504209021121	WINIFRED A POWERS RIVERSIDE	PROPERTIES REV TR ETAL
504209000080	SOUTH FLORIDA WATER MANAGEMENT	DISTRICT
504209022340	PUBLIC LAND	% CITY OF FORT LAUDERDALE

ADDRESS_LI	CITY	STATE	ZIP	ADDRESS__1	
732 SW 14 AVE	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
2417 E LAS OLAS BLVD	FORT LAUDERDALE	FL	33301	FORT LAUDERDALE	FL33301
741 SW 12 AVE # 1-2	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
3091 NE 46 ST	FORT LAUDERDALE	FL	33308	FORT LAUDERDALE	FL33308
736 SW 14 AVE	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
750 SW 12 AVE	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
1301 SW 8 CT	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
14681 BISCAYNE BLVD #130	NORTH MIAMI BEACH	FL	33181	NORTH MIAMI BEACH	FL33181
800 SW 14 TER	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
809 SW 12 AVE	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
800 SW 12 AVE	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
804 SW 14 TER	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
808 SW 12 AVE	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
809 SW 14 AVE	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
12573 BISCAYNE BLVD	NORTH MIAMI	FL	33181	NORTH MIAMI	FL33181
811 SW 12 AVE	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
1204 SW 5 CT	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
2392 COUNTRY GOLF DR	WELLINGTON	FL	33414	WELLINGTON	FL33414
812 SW 14 TER	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
812 SW 12 AVE	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
1329 SW 9 ST	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
1504 SW 4 CT	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
522 SW 11 CT	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
1980 NW 9 AVE	FORT LAUDERDALE	FL	33311	FORT LAUDERDALE	FL33311
11930 BAYSHORE DR #PH2	NORTH MIAMI	FL	33181	NORTH MIAMI	FL33181
3751 NE 13 AVE	OAKLAND PARK	FL	33334	OAKLAND PARK	FL33334
8225 PIONEER RD	WEST PALM BEACH	FL	33411	WEST PALM BEACH	FL33411
824 SW 12 AVE	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
1304 SW 9 ST	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
1308 SW 9 ST #1-2	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
605 SW 12 AVE	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
2732 SW 46 PL	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
1400 SW 9 ST	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
1408 SW 9 ST	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
10001 PINES BLVD	PEMBROKE PINES	FL	33024	PEMBROKE PINES	FL33024
1401 SW 10 ST	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
1407 SW 10 ST	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
1413 SW 10 ST	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
1116 ORANGE ISLE	FORT LAUDERDALE	FL	33315	FORT LAUDERDALE	FL33315
757 SE 17 ST #1057	FORT LAUDERDALE	FL	33316	FORT LAUDERDALE	FL33316
1340 SW 10 ST	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
1324 SW 10 ST	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
1336 SW 10 ST	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312

1330 SW 10 ST	FORT LAUDERDALE	FL	33312 FORT LAUDERDALE	FL33312
1341 E LAS OLAS BLVD #1210	FORT LAUDERDALE	FL	33301 FORT LAUDERDALE	FL33301
802 SW 14 AVE	FORT LAUDERDALE	FL	33312 FORT LAUDERDALE	FL33312
1204 SW 5 CT	FORT LAUDERDALE	FL	33312 FORT LAUDERDALE	FL33312
PO BOX 24680	WEST PALM BEACH	FL	33416 WEST PALM BEACH	FL33416
100 N ANDREWS AVE	FORT LAUDERDALE	FL	33301 FORT LAUDERDALE	FL33301

LEGAL_LINE	LEGAL_LI_1
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 12 & W1/2 OF VAC ALLEY LYING
RIVERSIDE ADD AMEN PLAT 1-13 B	LOTS 9,10 & E1/2 VAC ALLEY
RIVERSIDE ADD AMEN PLAT 1-13 B	LOTS 9,10 & W1/2 VAC ALLEY
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 10 & E1/2 OF VAC ALLEY LYING
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 11 & W1/2 OF VAC ALLEY LYING
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 12 TOGETHER WITH
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 1 BLK 11
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 1,2 & E1/2 OF VAC ALLEY
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 12 & W1/2 OF VAC ALLEY
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 2,3 BLK 11
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 1 TOGETHER WITH S 20 OF
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 11 & W1/2 OF VAC ALLEY
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 2,3 LESS S 5 BLK 12
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 3 & E1/2 OF VAC ALLEY
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 10 & W1/2 OF VAC ALLEY
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 4,5 & E1/2 OF VAC ALLEY
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 8 & W1/2 OF PT OF ALLEY
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 4 & E1/2 OF VAC ALLEY
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 8,9 & W1/2 OF VAC ALLEY
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 4,3 S 5 BLK 12
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 6 E1/2,7 E1/2 & W1/2 OF THAT
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 6 W1/2,7 W1/2 BLK 11
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 5 E 70,6 E 70 BLK 14
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 5 W 60,6 W 60 & E1/2 OF VAC
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 5 BLK 12
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 7 & W1/2 OF VAC ALLEY
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 6 BLK 12
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 7 & PT OF VAC'D ALLEY ABUT
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 1 BLK 13 TOGETHER WITH POR
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 2 BLK 13
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 3 BLK 13
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 4 BLK 13
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 5 BLK 13
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 6,7 BLK 13
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 8 BLK 13
VALENTINES SUB B-29 D	LOT 39 E 65 OF W 680 OF S 5,
VALENTINES SUB B-29 D	LOT 39 E 65 OF W 615 OF S 5,
VALENTINES SUB B-29 D	LOT 39 E 65 OF W 550 OF S 5,
VALENTINES SUB B-29 D	LOT 40 E 65 OF W 680 OF S 110
RIVERSIDE PARK CONDOS LLC	UNIT 4
VALENTINES SUB B-29 D	LOT 40 E 65 OF W 745 OF S 110
VALENTINES SUB B-29D	POR LOT 40 DESC AS: COMM NW COR
VALENTINES SUB B-29 D	COMM NW COR LOT 40,ALG C/L SW

VALENTINES SUB B-29D	BEG NW COR LOT 40,S ALG C/L
VALENTINES SUB B-29 D	LOT 39 E 100 OF W 780 OF S 5,
RIVERSIDE ADD AMEN PLAT 1-13 B	LOTS 10 & 11,BLK 11
RIVERSIDE ADD AMEN PLAT 1-13 B	LOT 9 BLK 11
9-50-42	POR OF SOUTH FORK OF NEW RIVER
RIVERSIDE ADD AMEN PLAT 1-13 B	ROAD RIGHTS OF WAY AS DEDICATED

LEGAL_LI_2	LEGAL_LI_3
E OF LOT 12 & ADJ TO SAME	BLK 10
ABUTTING SAID LOT BLK 15	
ABUTTING SAID LOTS BLK 4	
W OF LOT 10 & ABUT SAME	BLK 10
E OF LOT 11 & ADJ TO SAME	BLK 10
N 20 OF VAC RD BLK 3	
ABUTTING SAID LOTS BLK 14	
ABUTTING SAID LOT BLK 14	
VACATED RD BLK 12	
ABUTTING SAID LOT BLK 14	
ABUTTING SAID LOTS BLK 14	
ABUTTING SAID LOT BLK 14	
ABUTTING SAID LOTS	BLK 11
LYING E OF & ABUTTING LOT 8	BLK 11
ABUTTING SAID LOT BLK 14	
ABUTTING SAID LOTS BLK 14	
PT OF VACATED ALLEY LYING E OF	& ABUTTING SAID LOTS BLK 11
ALLEY ABUTTING SAID LOTS BLK 14	
ABUTTING SAID LOT BLK 14	
SAME & PT OF FILLED AREA,ALL	DESC'D AS,BEG AT MOST NLY COR
OF LOT 7 BLK 12 & VAC'D ALLEY	LESS POR DESC AS:BEG AT MOST NLY
LOT 40 E 65 OF W 680 OF N 105	AKA LOT 2
LOT 40 E 65 OF W 615 OF N 105	AKA LOT 3
LOT 40 E 65 OF W 550 OF N 105	A/K/A LOT 4
AKA LOT 21	
PER CDO BK/PG: 40783/843	
M/L AKA LOT 22	
OF SAID LOR 40,E 780 TO POB,E	108.90,SE 43.30,SW 76.51,NW
15 AVE S 105,E 730,ELY 15.23	TO POB,S 108.26,E 56.9 M/L,NE

SW 15 AVE 105,E 730,ELY ALG
PT OF E 100 OF W 780 OF N 105,

CURVE TO LEFT 38.44 FOR POB,
OF LOT 40 AS DESC IN OR

LYING WITHIN SEC 9 & 10-50-42 &
PER PLAT LESS THOSE PORTIONS

N OF DAVIE BLVD R/W
VAC'D IN BLKS 1-8,10-19,21 & 22

LEGAL_LI_4

LEGAL_LI_5

OF LOT 7,SE ALG NLY/L 161.14 TO
COR SAID LOT 7;SE 161.14,SW

NAIL IN SEAWALL,SW ALG SEAWALL
59.19,NW 34.46,NW 29.29,SW 6.25,

135.30,N 45 TO POB
70.4 M/L ALG RIVER,NW 120.6 M/L

AKA LOT 25
SLY ALG CURVE 23.21 TO POB AKA

SELY 120.6 M/L TO S FORK
2441/814

NEW RIVER,NLY ALG RIVER 99.2
AKA LOT 1

LEGAL_LI_6

LEGAL_LI_7

59.19 TO 5/8" IRON ROD IN SEA-
NW 103.02 TO SLY RIGHT-OF-WAY

WALL, WLY 34.46, NW 29.29, SW 6.25
LINE OF SW 9TH ST, E 4.25 TO MOST

LOT 23 TOG WITH GRIMM-MILLER

ADDITION 51-8 B POR PAR C COMM

M/L,NWLY 135.3 M/L,50.06

ALG CURVE TO RIGHT TO POB

LEGAL_LI_8

LEGAL_LI_9

TO C/L OF VAC'D ALLEY,NW ALG
WLY COR LOT 7,NE 44.89 TO POB &

C/L 103.02 TO SLY R/W/L OF SW 9
TOG W/ POR LOT 40 OF VALENTINES

SW COR OF SAID PAR N 209,ELY

450.25 TO POB ELY 56.5 TO W

AKA LOT 24

LEGAL_L_10

LEGAL_L_11

ST, E 4.25 TO MOST WLY COR OF LOT
SUB B-29 D DESC AS: COMM NW COR

7 (BEING 1/2" IRON PIPE IN CON-
OF SAID LOT 40, E 888.90 TO POB,

BNDRY OF S FORK OF NEW RIVER,

ALG OUTSIDE FACE OF BULKHEAD

2462	0312	01
	0312	01
	0312	01
	0312	08
4680	0312	95
	0312	94

USE_TYPE	MARKET_ARE	COMB_SPLIT	JUST_LAND_	JUST_BUILD	JUST_OTHER	LY_JUSTVAL	LY_SOHL
01	3B		29060	409830	0	438890	0
02	3B		58120	702310	0	760430	0
02	3B		29460	449890	0	399580	0
05	3B		20510	849540	0	870050	0
01	3B		29060	301620	0	330680	0
01	3B		338830	1467200	0	1806030	0
01	3B		27630	559140	0	586770	0
05	3B		41030	875760	0	880610	0
01	3B		29060	791850	0	820910	0
02	3B		55080	1021290	0	1076370	0
01	3B		311360	1973120	0	2284480	0
02	3B		29060	492190	0	521250	0
01	3B		398030	785630	0	1183660	0
01	3B		29060	284540	0	313600	0
04	3B		20510	739850	0	702000	0
01	3B		43150	614080	0	657230	0
02	3B		20510	530080	0	550590	0
04	3B		20510	660370	0	660390	0
01	3B		58120	467930	0	526050	0
01	3B		172490	1264610	0	1437100	0
01	3B		30490	320830	0	351320	0
02	3B		19500	450190	0	409810	0
02	3B		21000	360200	0	371260	0
02	3B		20030	359850	0	370160	0
01	3B		155520	2322350	0	2477870	0
04	3B		20510	580510	0	583080	0
02	3B		142410	875680	0	1018090	0
02	3B		188600	459760	0	648360	0
01	3B		288980	1740560	0	2029540	0
02	3B		19500	379730	0	389230	19500
02	3B		19500	380180	0	385650	0
04	3B		19500	660080	0	659620	0
01	3B		27630	448880	0	476510	0
02	3B		55250	554260	0	609510	0
01	3B		27630	349390	0	377020	0
01	3B		30390	367100	0	397490	0
01	3B		30390	450870	0	481260	0
01	3B		30390	374090	0	404480	0
01	3B		30390	306440	0	336830	0
	3B		11190	100750	0	111940	0
01	3B		30440	298470	0	328910	0
01	3B		170140	1021340	0	1191480	0
01	3B		159890	319930	0	479820	0

01	3B	164200	499720	0	663920	0
01	3B	44430	486650	0	412490	0
02	3B	55250	1272250	0	1322700	0
02	3B	19500	530270	0	549770	0
	3B	69250	0	0	69250	0
	3B	264000	0	0	264000	0

LY_SOHB	PREV_SOH_V	NEW_SOH_VA	NEW_SB_SOH	HE1_AMOUNT	HE2_AMOUNT	WVD_AMOUNT
0	99090	102060	102060	25000	25000	0
0	760430	760430	760430	0	0	0
0	89880	92570	92570	25000	25000	0
0	870050	870050	870050	0	0	0
0	86760	89360	89360	25000	25000	0
0	440820	454040	454040	25000	25000	0
0	309410	586770	586770	25000	25000	0
0	842070	916790	916790	0	0	0
0	530010	545910	545910	25000	25000	0
0	239780	246970	246970	25000	25000	0
0	1474680	1518920	1518920	25000	25000	0
0	99740	102730	102730	25000	25000	5000
0	573950	591160	591160	25000	25000	0
0	63800	65710	65710	25000	15710	0
0	513930	565320	760360	0	0	0
0	411160	423490	423490	25000	25000	0
0	188650	207510	550590	0	0	0
0	603390	663720	680880	0	0	0
0	490940	505660	505660	25000	25000	0
0	401800	413850	413850	25000	25000	0
0	224520	231250	231250	25000	25000	0
0	174290	191710	469690	0	0	0
0	158990	174880	381200	0	0	0
0	154130	169540	379880	0	0	0
0	2477870	2477870	2477870	0	0	0
0	556630	601020	601020	0	0	0
0	1018090	1018090	1018090	0	0	0
0	395380	407240	407240	25000	25000	0
0	1400290	1442290	1442290	25000	25000	0
180200	384570	394970	394970	25000	25000	0
0	315570	347120	399680	0	0	0
0	264790	291260	679580	0	0	0
0	116710	120210	120210	25000	25000	0
0	317440	326960	326960	25000	25000	0
0	377020	377020	377020	0	0	0
0	155130	159780	159780	25000	25000	5000
0	334610	344640	344640	25000	25000	0
0	115680	119150	119150	25000	25000	5000
0	292230	321450	336830	0	0	0
0	107060	111940	111940	0	0	0
0	302700	328910	328910	0	0	0
0	885600	912160	912160	25000	25000	0
0	246970	254370	254370	25000	25000	0

0	281020	289450	289450	25000	25000	0
0	165320	531080	531080	0	0	0
0	1322700	1269440	1269440	25000	25000	0
0	304200	334620	549770	0	0	0
0	69250	69250	69250	0	0	0
0	264000	264000	264000	0	0	0

EXEMPTION_	COUNTY_MEX	SCHOOL_MEX	CITY_MEX_A	INDEP_MEX_	COUNTY_TAX	SCHOOL_TAX
0	0	0	0	0	2060	77060
0	0	0	0	0	760430	760430
0	0	0	0	0	42570	67570
0	0	0	0	0	870050	870050
0	0	0	0	0	39360	64360
0	0	0	0	0	404040	429040
0	0	0	0	0	536770	561770
0	0	0	0	0	916790	916790
0	0	0	0	0	495910	520910
0	0	0	0	0	146970	221970
0	0	0	0	0	1468920	1493920
0	0	0	0	0	47730	72730
0	0	0	0	0	541160	566160
0	0	0	0	0	25000	40710
0	0	0	0	0	565320	760360
0	0	0	0	0	373490	398490
0	0	0	0	0	207510	550590
0	0	0	0	0	663720	680880
0	0	0	0	0	455660	480660
0	0	0	0	0	363850	388850
0	0	0	0	0	181250	206250
0	0	0	0	0	191710	469690
0	0	0	0	0	174880	381200
0	0	0	0	0	169540	379880
0	0	0	0	0	2477870	2477870
0	0	0	0	0	601020	601020
0	0	0	0	0	1018090	1018090
0	0	0	0	0	357240	382240
0	0	0	0	0	1392290	1417290
0	0	0	0	0	344970	369970
0	0	0	0	0	347120	399680
0	0	0	0	0	291260	679580
0	0	0	0	0	70210	95210
0	0	0	0	0	276960	301960
0	0	0	0	0	377020	377020
0	0	0	0	0	54780	129780
0	0	0	0	0	294640	319640
0	0	0	0	0	64150	89150
0	0	0	0	0	321450	336830
0	0	0	0	0	111940	111940
0	0	0	0	0	328910	328910
0	0	0	0	0	862160	887160
0	0	0	0	0	204370	229370

0	0	0	0	0	239450	264450
0	0	0	0	0	531080	531080
0	0	0	0	0	1219440	1244440
0	0	0	0	0	334620	549770
0	69250	69250	69250	69250	0	0
0	264000	264000	264000	264000	0	0

CITY_TAXAB	INDEP_TAXA	HE_PERCENT	LY_HE_PERC	ME_PERCENT	WVD_TYPE	EXEMPTION1
2060	52060	1/1	1/1			
760430	760430					
42570	42570	1/1	1/1			
870050	870050					
39360	39360	100	100			
404040	404040	2/2	2/2			
536770	536770	100	100			
916790	916790					
495910	495910	100	100			
146970	196970	100	100			
1468920	1468920	100	100			
47730	47730	1/1	1/1		1	
541160	541160	100	100			
25000	25000	100	100			
565320	565320					
373490	373490	100	100			
207510	207510					
663720	663720					
455660	455660	100	100			
363850	363850	1/1	1/1			
181250	181250	100	100			
191710	191710					
174880	174880					
169540	169540					
2477870	2477870					
601020	601020					
1018090	1018090					
357240	357240	100	100			
1392290	1392290	100	100			
344970	344970	100	100			
347120	347120					
291260	291260					
70210	70210	1/1	1/1			
276960	276960	100	100			
377020	377020					
54780	104780	1/1	1/1		1	
294640	294640	100	100			
64150	64150	1/1	1/1		1	
321450	321450					
111940	111940					
328910	328910					
862160	862160	100	100			
204370	204370	100	100			

239450	239450 1/1	1/1		
531080	531080	1/1		
1219440	1219440 100			
334620	334620			
0	0		100	12
0	0		100	14

SOH_YEAR	COM_SOH_YE	FLAT_RATE_	DEL_FLAG	DEL_VALUE	ADD_VALUE	LIGHT_DIST
94	08		Y	0	0	
	23		Y	0	0	
94	08		Y	0	0	
	22		Y	0	0	
96	08		Y	0	0	
94	08		Y	0	0	
24	24		Y	0	0	
	21		Y	0	0	
18	18		Y	0	0	
98	08		Y	0	0	
17	17		Y	0	0	
94	08		Y	0	0	
15	15		Y	0	0	
13	13		Y	0	0	
	17		Y	0	0	
17	17		Y	0	0	
	08		Y	0	0	
	20		Y	0	0	
22	22		Y	0	0	
94	08		Y	0	0	
17	17		Y	0	0	
	08		Y	0	0	
	12		Y	0	0	
	08		Y	0	0	
	23		Y	0	0	
	22		Y	0	0	
	22		Y	0	0	
18	18		Y	0	0	
20	20		Y	0	0	
21	21		Y	0	0	
	15		Y	0	0	
	13		Y	0	0	
96	08		Y	0	0	
15	15		Y	0	0	
	23		Y	0	0	
04	08		Y	0	0	
18	18		Y	0	0	
94	08		Y	0	0	
	11		Y	0	0	
	16		Y	0	0	
	19		Y	0	0	
19	19		Y	0	0	
14	14		Y	0	0	

02	08	Y	0	0
	24	Y	0	2000
24	24	Y	0	4800
	08	Y	0	0
	14	Y	0	0
	14	Y	0	0

GARBAGE_DI	GARBAGE_AS	FIRE_DISTR	FIRE_CLASS	FIRE_ASSES	SAFE_NEIGH	SAFE_NEI_1
F	9.44 03		R	1		0
F	18.88 03		R	2		0
F	14.64 03		R	2		0
F	36.60 03		R	5		0
F	9.44 03		R	1		0
F	9.44 03		R	1		0
F	9.44 03		R	1		0
F	51.24 03		R	7		0
F	9.44 03		R	1		0
F	18.88 03		R	2		0
F	9.44 03		R	1		0
F	18.88 03		R	2		0
F	9.44 03		R	1		0
F	9.44 03		R	1		0
F	29.28 03		R	4		0
F	9.44 03		R	1		0
F	14.64 03		R	2		0
F	29.28 03		R	4		0
F	9.44 03		R	1		0
F	9.44 03		R	1		0
F	9.44 03		R	1		0
F	14.64 03		R	2		0
F	14.64 03		R	2		0
F	14.64 03		R	2		0
F	9.44 03		R	1		0
F	29.28 03		R	4		0
F	18.88 03		R	2		0
F	18.88 03		R	1		0
F	9.44 03		R	1		0
F	14.64 03		R	2		0
F	14.64 03		R	2		0
F	29.28 03		R	4		0
F	9.44 03		R	1		0
F	28.32 03		R	3		0
F	9.44 03		R	1		0
F	9.44 03		R	1		0
F	9.44 03		R	1		0
F	9.44 03		R	1		0
F	9.44 03		R	1		0
F	4.45 03		R	1		0
F	9.44 03		R	1		0
F	9.44 03		R	1		0
F	9.44 03		R	1		0

F	9.44 03	R	1	0
F	9.44 03	R	1	0
F	18.88 03	R	2	0
F	14.64 03	R	2	0
	0.00 03	X	1	0
	0.00 03	X	1	0

DRAINAGE_D	DRAINAGE_1	IMPROVEMEN	IMPROVEM_1	SALE_DATE_	DEED_TYPE_	STAMP_AMOU
	0.00		0.00	10/1/1991	QCD	0.60
	0.00		0.00	4/4/2022	WD	5873.00
	0.00		0.00	12/15/2005	QCD	236.60
	0.00		0.00	11/11/2021	WD	6650.00
	0.00		0.00	5/19/2023	D	0.70
	0.00		0.00	4/1/1993	WD	1995.00
	0.00		0.00	11/22/2023	WD	5460.00
	0.00		0.00	11/16/2020	WD	5950.00
	0.00		0.00	1/31/2017	WD	4193.00
	0.00		0.00	4/2/2013	DRR	0.70
	0.00		0.00	12/12/2016	WD	9800.00
	0.00		0.00	9/1/1985	WD	175.50
	0.00		0.00	3/14/2014	WD	5670.00
	0.00		0.00	1/20/2012	PRD	399.00
	0.00		0.00	4/14/2016	QCD	0.70
	0.00		0.00	11/22/2016	WD	2555.00
	0.00		0.00	3/4/2021	DR*	0.70
	0.00		0.00	1/29/2019	WD	3570.00
	0.00		0.00	4/19/2021	WD	3675.00
	0.00		0.00	3/19/2015	SWD	0.70
	0.00		0.00	4/29/2016	WD	1225.00
	0.00		0.00	11/21/2001	WD	1414.00
	0.00		0.00	11/26/2003	WD	1501.50
	0.00		0.00	1/1/1980	WD	120.00
	0.00		0.00	3/3/2022	TD	18900.00
	0.00		0.00	9/29/2021	QCD	0.70
	0.00		0.00	6/11/2021	WD	7350.00
	0.00		0.00	9/2/2016	WD	4060.00
	0.00		0.00	4/10/2023	QCD	0.70
	0.00		0.00	9/21/2020	WD	3045.00
	0.00		0.00	4/14/2014	SWD	1243.90
	0.00		0.00	8/17/2016	QCD	0.70
	0.00		0.00	5/29/2013	QCD	513.80
	0.00		0.00	3/9/2016	QCD	0.70
	0.00		0.00	5/23/2022	QCD	0.70
	0.00		0.00	2/20/2024	SWD	0.70
	0.00		0.00	2/9/2022	QCD	0.70
	0.00		0.00	5/11/2022	D	0.70
	0.00		0.00	12/31/2003	QCD	0.70
	0.00		0.00	2/20/2015	SWD	563.50
	0.00		0.00	4/11/2018	WD	2338.00
	0.00		0.00	6/16/2017	WD	6020.00
	0.00		0.00	1/18/2012	WD	0.70

0.00	0.00	6/5/2001 WD	2905.00
0.00	0.00	10/17/2023 WD	4375.00
0.00	0.00	2/28/2023 SWD	0.70
0.00	0.00	3/4/2021 DR*	0.70
0.00	0.00		0.00
0.00	0.00		0.00

BOOK_1	PAGE_1	SALE_DATE1	DEED_TYPE1	STAMP_AM_1	BOOK_2
18991.0000000000	703.0000000000	3/1/1987	WD	290.00	0.0000000000
0.0000000000	0.0000000000	4/1/1992	WD	420.00	19396.0000000000
41108.0000000000	1594.0000000000	10/19/1998	QCD	373.10	28973.0000000000
0.0000000000	0.0000000000	11/26/2012	SWD	840.00	49363.0000000000
0.0000000000	0.0000000000	9/25/2000	QCD	0.70	30897.0000000000
20594.0000000000	841.0000000000	11/1/1991	QCD	0.70	0.0000000000
0.0000000000	0.0000000000	4/8/2015	WD	2184.00	0.0000000000
0.0000000000	0.0000000000	7/28/2016	QCD	0.70	0.0000000000
0.0000000000	0.0000000000	3/15/2001	WD	1596.00	31380.0000000000
49795.0000000000	340.0000000000	2/27/2013	QCD	0.70	49610.0000000000
0.0000000000	0.0000000000	8/15/2013	WD	7700.00	50089.0000000000
12799.0000000000	196.0000000000	9/1/1979	WD	120.00	0.0000000000
50638.0000000000	485.0000000000	11/1/2010	QCD	998.20	47537.0000000000
48477.0000000000	79.0000000000	6/26/2003	QCD	0.70	35487.0000000000
0.0000000000	0.0000000000	1/30/2015	WD	2275.00	0.0000000000
0.0000000000	0.0000000000	7/27/2001	SWD	0.70	32011.0000000000
0.0000000000	0.0000000000	2/12/2021	QC*	0.70	0.0000000000
0.0000000000	0.0000000000	11/15/2010	DRR	0.00	47521.0000000000
0.0000000000	0.0000000000	10/1/1987	WD	522.50	14884.0000000000
0.0000000000	0.0000000000	5/1/1993	WD	1820.00	20737.0000000000
0.0000000000	0.0000000000	4/17/2014	WD	1200.50	50708.0000000000
32410.0000000000	1594.0000000000	10/30/2001	WD	0.70	32410.0000000000
36526.0000000000	447.0000000000	11/10/1999	SWD	616.00	30035.0000000000
1327.0000000000	775.0000000000	4/1/1970	PRO	52.50	0.0000000000
0.0000000000	0.0000000000	6/25/2012	DRR	0.00	48854.0000000000
0.0000000000	0.0000000000	1/11/2021	WD	1750.00	0.0000000000
0.0000000000	0.0000000000	6/15/2001	WD	3360.00	31759.0000000000
0.0000000000	0.0000000000	8/4/2010	SWD	2310.00	47378.0000000000
0.0000000000	0.0000000000	2/11/2022	QCD	0.70	0.0000000000
0.0000000000	0.0000000000	12/21/2017	DRR	0.00	0.0000000000
50708.0000000000	278.0000000000	3/24/2014	DRR	0.70	0.0000000000
0.0000000000	0.0000000000	7/22/2012	QCD	0.70	49064.0000000000
49918.0000000000	872.0000000000	4/7/1995	WD	472.50	23364.0000000000
0.0000000000	0.0000000000	4/29/2014	WD	2030.00	50775.0000000000
0.0000000000	0.0000000000	11/16/2016	WD	0.70	0.0000000000
0.0000000000	0.0000000000	4/30/2009	DRR	0.00	46183.0000000000
0.0000000000	0.0000000000	8/17/2017	WD	2401.00	0.0000000000
0.0000000000	0.0000000000	12/1/1972	WD	103.50	5102.0000000000
36793.0000000000	534.0000000000	3/13/1997	WD	441.00	26214.0000000000
0.0000000000	0.0000000000	12/4/2014	CET	7.70	51326.0000000000
0.0000000000	0.0000000000	12/8/2000	WD	700.00	31168.0000000000
0.0000000000	0.0000000000	9/4/2015	DRR	0.70	0.0000000000
48485.0000000000	792.0000000000	1/12/2012	WD	1960.00	48476.0000000000

31836.0000000000	726.0000000000	2/20/2001 PRD	0.70	31331.0000000000
0.0000000000	0.0000000000	8/15/2003 WD	1925.00	35854.0000000000
0.0000000000	0.0000000000	12/11/2020 WD	2954.00	0.0000000000
0.0000000000	0.0000000000	3/4/2021 DRR	0.70	0.0000000000
0.0000000000	0.0000000000		0.00	0.0000000000
0.0000000000	0.0000000000		0.00	0.0000000000

PAGE_2	SALE_DAT_1	DEED_TYP_1	STAMP_AM_2	BOOK_3	PAGE_3
0.0000000000	9/1/1978	WD	89.70	0.0000000000	0.0000000000
110.0000000000	12/1/1988	QCD	0.55	0.0000000000	0.0000000000
82.0000000000	6/1/1991	WD	684.00	18522.0000000000	31.0000000000
1386.0000000000	10/2/2012	OSA	0.00	49228.0000000000	1051.0000000000
524.0000000000	1/20/1995	WD	373.10	23091.0000000000	363.0000000000
0.0000000000	8/1/1991	QCD	0.60	0.0000000000	0.0000000000
0.0000000000	9/4/2008	PRD	1662.50	45659.0000000000	1074.0000000000
0.0000000000	8/1/1993	WD	756.00	21039.0000000000	389.0000000000
1159.0000000000	1/1/1980	WD	172.00	8677.0000000000	15.0000000000
898.0000000000	5/25/2005	QCD	0.70	39724.0000000000	1617.0000000000
1034.0000000000	9/15/2003	WD	4865.00	36112.0000000000	212.0000000000
0.0000000000	10/1/1972	WD	64.50	0.0000000000	0.0000000000
619.0000000000	4/25/2008	QCD	0.70	45317.0000000000	32.0000000000
1205.0000000000	1/30/1995	WD	280.00	23110.0000000000	243.0000000000
0.0000000000	6/6/2003	WD	1750.00	35436.0000000000	315.0000000000
239.0000000000	6/26/1998	QCD	147.00	28460.0000000000	460.0000000000
0.0000000000	6/16/1995	WD	126.00	23589.0000000000	206.0000000000
952.0000000000	9/1/2008	QCD	0.70	45652.0000000000	136.0000000000
458.0000000000	3/1/1982	WD	108.00	0.0000000000	0.0000000000
69.0000000000	10/1/1991	WD	1500.00	0.0000000000	0.0000000000
1356.0000000000	10/6/2003	WD	770.00	36285.0000000000	1175.0000000000
1593.0000000000	8/10/1999	QCD	0.70	29743.0000000000	1168.0000000000
225.0000000000	5/4/1998	CET	0.00	28174.0000000000	435.0000000000
0.0000000000			0.00	0.0000000000	0.0000000000
1448.0000000000	6/6/2012	WD	0.70	48833.0000000000	1863.0000000000
0.0000000000	5/14/1998	WD	1099.00	28338.0000000000	905.0000000000
723.0000000000	10/30/1995	QCD	1071.00	24115.0000000000	583.0000000000
433.0000000000	10/21/2009	CET	0.70	46820.0000000000	198.0000000000
0.0000000000	10/2/2019	QCD	0.70	0.0000000000	0.0000000000
0.0000000000	8/7/2017	QCD	470.40	0.0000000000	0.0000000000
0.0000000000	3/24/2014	WD	1259.30	0.0000000000	0.0000000000
1949.0000000000	4/29/2011	WD	693.00	47899.0000000000	1020.0000000000
11.0000000000	5/1/1992	PRD	0.60	19614.0000000000	431.0000000000
1479.0000000000	3/16/2011	QCD	0.70	47796.0000000000	915.0000000000
0.0000000000	5/27/2016	SWD	770.70	0.0000000000	0.0000000000
409.0000000000	4/9/2009	DRR	0.70	46120.0000000000	1878.0000000000
0.0000000000	8/30/2015	WD	1295.00	0.0000000000	0.0000000000
223.0000000000	7/1/1968	DRR	61.20	0.0000000000	0.0000000000
721.0000000000	5/1/1991	WD	382.25	18373.0000000000	761.0000000000
94.0000000000	8/31/2011	WD	0.00	48175.0000000000	1037.0000000000
211.0000000000	11/18/1998	QCD	0.70	29073.0000000000	849.0000000000
0.0000000000	6/11/2015	QCD	0.70	0.0000000000	0.0000000000
1411.0000000000	7/16/2001	WD*	2240.00	31880.0000000000	1644.0000000000

952.0000000000	8/1/1987 WD	1094.50	14770.0000000000	458.0000000000
1477.0000000000	2/1/1981 WD	260.00	4875.0000000000	72.0000000000
0.0000000000	5/11/2012 SWD	1200.50	48783.0000000000	246.0000000000
0.0000000000	2/12/2021 QCD	0.70	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000
0.0000000000		0.00	0.0000000000	0.0000000000

SALE_DAT_2	DEED_TYP_2	STAMP_AM_3	BOOK_4	PAGE_4	SALE_DAT_3
1/1/1974	WD	85.50	0.0000000000	0.0000000000	
4/1/1982	WD	171.00	0.0000000000	0.0000000000	
4/1/1988	WD	522.50	0.0000000000	0.0000000000	
11/1/1985	WD	0.50	13073.0000000000	300.0000000000	6/1/1978
9/1/1993	WD	0.70	21373.0000000000	820.0000000000	8/1/1990
5/1/1987	WD	700.00	0.0000000000	0.0000000000	11/1/1976
4/30/1997	WD	735.00	26364.0000000000	392.0000000000	6/1/1994
6/1/1988	QCD	0.55	0.0000000000	0.0000000000	12/1/1984
5/1/1974	WD	84.00	0.0000000000	0.0000000000	
10/22/1997	WD	903.00	27199.0000000000	425.0000000000	3/1/1989
2/20/2001	QCD	0.70	31661.0000000000	968.0000000000	1/20/1997
3/1/1968	WD	30.00	0.0000000000	0.0000000000	
12/22/2003	QCD	368.20	36699.0000000000	1826.0000000000	3/30/1999
8/19/1994	WD	0.70	22905.0000000000	672.0000000000	5/1/1993
9/1/1994	WD	890.40	22747.0000000000	633.0000000000	4/1/1988
5/15/1997	WD	784.00	26447.0000000000	803.0000000000	6/1/1989
6/1/1989	QCD	0.55	16496.0000000000	779.0000000000	8/1/1987
10/11/2006	DRR	0.00	42919.0000000000	1464.0000000000	9/11/2006
		0.00	0.0000000000	0.0000000000	
1/1/1988	WD	56.60	0.0000000000	0.0000000000	1/1/1978
11/1/1992	WD	458.50	20136.0000000000	776.0000000000	5/1/1989
6/20/1995	WD	574.00	23604.0000000000	187.0000000000	
12/19/1995	WD	455.00	24393.0000000000	222.0000000000	4/1/1985
		0.00	0.0000000000	0.0000000000	
2/25/2008	WD	11679.50	45132.0000000000	1941.0000000000	7/7/2000
4/1/1975	WD	195.00	6164.0000000000	437.0000000000	5/1/1969
5/1/1991	WD	1100.00	18421.0000000000	176.0000000000	11/1/1989
12/6/2007	DRR	0.70	44935.0000000000	1730.0000000000	3/23/2007
3/25/2019	QCD	0.70	0.0000000000	0.0000000000	1/4/2018
6/4/2004	WD	1645.00	37613.0000000000	182.0000000000	3/1/1989
1/11/2007	WD	2723.00	43454.0000000000	1546.0000000000	1/12/2005
5/14/2003	WD	2415.00	35548.0000000000	665.0000000000	5/14/2003
8/1/1980	WD	192.00	0.0000000000	0.0000000000	7/1/1979
11/21/2003	QCD	655.20	36621.0000000000	1143.0000000000	6/1/1988
4/3/2014	CET	0.70	50759.0000000000	160.0000000000	9/26/1997
4/9/2009	DRR	1.00	46120.0000000000	1881.0000000000	2/7/2003
6/29/2015	VCT	0.00	0.0000000000	0.0000000000	1/15/2015
		0.00	0.0000000000	0.0000000000	
8/1/1983	WD	261.00	0.0000000000	0.0000000000	7/1/1982
6/25/2008	WD	0.00	45509.0000000000	986.0000000000	1/25/2006
1/1/1961	WD	4.20	0.0000000000	0.0000000000	
3/20/2015	QCD	0.00	0.0000000000	0.0000000000	4/11/2015
8/10/1998	WD*	1750.00	28733.0000000000	860.0000000000	11/8/1995

8/1/1969 WD	156.00	0.0000000000	0.0000000000	9/1/1968
10/1/1977 WD	105.00	0.0000000000	0.0000000000	2/1/1977
2/9/2012 CET	710.50	48543.0000000000	1884.0000000000	12/15/2006
2/12/2021 QC*	0.70	0.0000000000	0.0000000000	
	0.00	0.0000000000	0.0000000000	
	0.00	0.0000000000	0.0000000000	

DEED_TYP_3	STAMP_AM_4	BOOK_5	PAGE_5	LAND_CALC_	LAND_CALC1
	0.00	0.0000000000	0.0000000000	4.25	6838.00
	0.00	0.0000000000	0.0000000000	4.25	13675.00
	0.00	0.0000000000	0.0000000000	3.00	9820.00
WD	225.00	0.0000000000	0.0000000000	3.00	6838.00
WD	247.50	0.0000000000	0.0000000000	4.25	6837.00
WD	187.50	0.0000000000	0.0000000000	18.35	18465.00
WD	437.50	22329.0000000000	7.0000000000	4.25	6500.00
QCD	0.45	0.0000000000	0.0000000000	3.00	13675.00
	0.00	0.0000000000	0.0000000000	4.25	6838.00
SWD	0.00	16288.0000000000	127.0000000000	4.25	12959.00
WD	1820.00	25979.0000000000	503.0000000000	18.35	16968.00
	0.00	0.0000000000	0.0000000000	4.25	6837.00
QCD	0.70	29355.0000000000	452.0000000000	18.35	21691.00
QCD	37.10	21178.0000000000	257.0000000000	4.25	6837.00
WD	673.20	0.0000000000	0.0000000000	3.00	6838.00
QCD	0.55	16517.0000000000	741.0000000000	4.25	10153.00
QCD	0.00	0.0000000000	0.0000000000	3.00	6837.00
WD	3024.00	42819.0000000000	1555.0000000000	3.00	6837.00
	0.00	0.0000000000	0.0000000000	4.25	13675.00
WD	184.20	0.0000000000	0.0000000000	18.35	9400.00
WD	192.50	0.0000000000	0.0000000000	4.25	7175.00
	0.00	0.0000000000	0.0000000000	3.00	6500.00
WD	247.50	12508.0000000000	128.0000000000	3.00	7000.00
	0.00	0.0000000000	0.0000000000	3.00	6675.00
WD	2625.00	30663.0000000000	259.0000000000	18.35	8475.00
WD	17.10	0.0000000000	0.0000000000	3.00	6837.00
QCD	0.00	0.0000000000	0.0000000000	18.35	7761.00
WD	6251.00	43849.0000000000	431.0000000000	18.35	10278.00
QCD	0.70	0.0000000000	0.0000000000	18.35	15748.00
WD	357.50	16307.0000000000	834.0000000000	3.00	6500.00
WD	2170.00	38944.0000000000	419.0000000000	3.00	6500.00
DR*	0.00	35161.0000000000	1010.0000000000	3.00	6500.00
WD	102.00	0.0000000000	0.0000000000	4.25	6500.00
QCD	0.00	15695.0000000000	343.0000000000	4.25	13000.00
QCD	0.70	27093.0000000000	713.0000000000	4.25	6500.00
QCD	1120.00	34566.0000000000	87.0000000000	4.25	7150.00
CET	1296.40	0.0000000000	0.0000000000	4.25	7150.00
	0.00	0.0000000000	0.0000000000	4.25	7150.00
QCD	0.45	0.0000000000	0.0000000000	4.25	7150.00
WD	1544.90	41346.0000000000	663.0000000000	0.00	0.00
	0.00	0.0000000000	0.0000000000	4.25	7163.00
QCD	0.00	0.0000000000	0.0000000000	18.35	9272.00
WD*	385.00	24136.0000000000	203.0000000000	18.35	8684.00

WD	147.00	0.0000000000	0.0000000000	18.35	8948.00
WD	108.00	0.0000000000	0.0000000000	4.25	10455.00
WD	3465.00	43366.0000000000	201.0000000000	4.25	13000.00
	0.00	0.0000000000	0.0000000000	3.00	6500.00
	0.00	0.0000000000	0.0000000000	0.10	692514.00
	0.00	0.0000000000	0.0000000000	0.51	517639.00

LAND_CAL_8	LAND_CAL_9	LAND_CA_10	SITUS_STRE	SITUS_ST_1	SITUS_ST_2	SITUS_ST_3
0.00	0.00		732		SW	
0.00	0.00		737		SW	
0.00	0.00		741		SW	
0.00	0.00		1313		SW	
0.00	0.00		736		SW	
0.00	0.00		750		SW	
0.00	0.00		1301		SW	
0.00	0.00		801		SW	
0.00	0.00		800		SW	
0.00	0.00		809		SW	
0.00	0.00		800		SW	
0.00	0.00		804		SW	
0.00	0.00		808		SW	
0.00	0.00		809		SW	
0.00	0.00		808		SW	
0.00	0.00		811		SW	
0.00	0.00		808	810	SW	
0.00	0.00		813		SW	
0.00	0.00		812		SW	
0.00	0.00		812		SW	
0.00	0.00		1329		SW	
0.00	0.00		816		SW	
0.00	0.00		1401	1403	SW	
0.00	0.00		1405	1407	SW	
0.00	0.00		816		SW	
0.00	0.00		1415		SW	
0.00	0.00		820		SW	
0.00	0.00		824		SW	
0.00	0.00		1304		SW	
0.00	0.00		1308		SW	
0.00	0.00		1312		SW	
0.00	0.00		1316		SW	
0.00	0.00		1400		SW	
0.00	0.00		1408		SW	
0.00	0.00		1412		SW	
0.00	0.00		1401		SW	
0.00	0.00		1407		SW	
0.00	0.00		1413		SW	
0.00	0.00		1400		SW	
0.00	0.00		733		SW	
0.00	0.00		1340		SW	
0.00	0.00		1324		SW	
0.00	0.00		1336		SW	

0.00	0.00	1330		SW
0.00	0.00	1341		SW
0.00	0.00	802		SW
0.00	0.00	812	814	SW
0.00	0.00			
0.00	0.00			SW

SITUS_ST_4	SITUS_ST_5	SITUS_CITY	SITUS_ZIP_	SITUS_UNIT	LAST_YRS_J	LAST_YRS_1	LAST_YRS_2
14	AVE	FL	333122435		29060	409830	0
14	AVE	FL	33312		58120	702310	0
12	AVE	FL	333122422	1-2	29460	370120	0
8	CT	FL	33312	1-5	20510	849540	0
14	AVE	FL	33312		29060	301620	0
12	AVE	FL	333122423		338830	1467200	0
8	CT	FL	33312		27630	559140	0
14	AVE	FL	33312	1-7	41030	839580	0
14	TER	FL	33312		29060	791850	0
12	AVE	FL	333122467		55080	1021290	0
12	AVE	FL	333122466		311360	1973120	0
14	TER	FL	333127254		29060	492190	0
12	AVE	FL	333122466		398030	785630	0
14	AVE	FL	333122465		29060	284540	0
14	TER	FL	33312	1-4	20510	681490	0
12	AVE	FL	333122467		43150	614080	0
14	AVE	FL	33312	1-2	20510	530080	0
14	AVE	FL	33312	1-4	20510	639880	0
14	TER	FL	333127254		58120	467930	0
12	AVE	FL	333122466		172490	1264610	0
9	ST	FL	33312		30490	320830	0
14	AVE	FL	33312	1-2	19500	390310	0
9	ST	FL	33312		21000	350260	0
9	ST	FL	33312	1-2	20030	350130	0
12	AVE	FL	33312		155520	2322350	0
9	ST	FL	333127281	1-4	20510	562570	0
12	AVE	FL	33312		142410	875680	0
12	AVE	FL	33312		188600	459760	0
9	ST	FL	33312		288980	1740560	0
9	ST	FL	33312	1-2	19500	369730	0
9	ST	FL	33312	1-2	19500	366150	0
9	ST	FL	33312	1-4	19500	640120	0
9	ST	FL	333127266		27630	448880	0
9	ST	FL	333127266		55250	554260	0
9	ST	FL	333127266		27630	349390	0
10	ST	FL	333127276		30390	367100	0
10	ST	FL	33312		30390	450870	0
10	ST	FL	333127276		30390	374090	0
10	ST	FL	33312		30390	306440	0
13	AVE	FL	33312	4	11190	100750	0
10	ST	FL	33312		30440	298470	0
10	ST	FL	33312		170140	1021340	0
10	ST	FL	33312		159890	319930	0

10	ST	FL	333122462	164200	499720	0
10	ST	FL	333122463	44430	368060	0
14	AVE	FL	33312	55250	1267450	0
14	AVE	FL	33312 1-2	19500	530270	0
COCONUT	DR	FL	33312	69250	0	0
14	AVE	FL	33312	264000	0	0

LAST_YRS_T	LAST_YRS_A	LAST_YRS_S	TWO_YRS_JU	TWO_YRS__1	TWO_YRS__2	TWO_YRS_TA
0	121728	99090	29060	379280	0	0
760430	1555338	760430	58120	411680	0	341220
39880	214048	89880	29460	359950	0	37270
870050	1862313	870050	20510	849540	0	870050
36760	147920	86760	29060	279340	0	34240
390820	814164	440820	338830	1438530	0	377990
259410	566885	309410	27630	517850	0	250400
842070	1948751	842070	41030	724490	0	765520
480010	981993	530010	29060	625220	0	464580
139780	447764	239780	55080	945500	0	182800
1424680	2759597	1474680	311360	1934390	0	1381730
44740	225147	99740	29060	455750	0	46840
523950	1064677	573950	398030	770150	0	507240
25000	118384	63800	29060	263350	0	25000
513930	1279441	513930	20510	560590	0	467210
361160	758353	411160	43150	568560	0	349190
188650	716897	188650	20510	390220	0	171500
603390	1361063	603390	20510	600020	0	548540
440940	908473	490940	58120	418530	0	426650
351800	740738	401800	172490	1240090	0	340100
174520	407148	224520	30490	297060	0	167990
174290	606240	174290	19500	360020	0	158450
158990	562070	158990	21000	350260	0	144540
154130	555411	154130	20030	319930	0	140120
2477870	4724867	2477870	155520	2484160	0	1013930
556630	1252861	556630	20510	482790	0	503300
1018090	2040181	1018090	142410	837630	0	980040
345380	757067	395380	188600	530200	0	322740
1350290	2619615	1400290	288980	1704770	0	1309510
334570	768571	384570	19500	359730	0	324330
315570	762644	315570	19500	349770	0	286890
264790	945472	264790	19500	600200	0	240720
66710	204277	116710	27630	415450	0	63320
267440	706418	317440	55250	513150	0	258200
377020	771656	377020	27630	323530	0	293010
50130	216854	155130	30390	310510	0	50120
284610	614305	334610	30390	381610	0	274870
60680	192932	115680	30390	316500	0	61820
292230	641609	292230	30390	259570	0	265670
107060	250564	107060	9730	87610	0	97330
302700	649147	302700	30440	252870	0	275190
835600	1651113	885600	170140	798050	0	809810
196970	449392	246970	159890	250210	0	189780

231020	513463	281020	164200	390280	0	222840
115320	295748	165320	44430	311750	0	110510
1210630	2476628	1210630	55250	442070	0	442060
304200	857344	304200	19500	389590	0	276550
0	0	69250	69250	0	0	0
0	0	264000	264000	0	0	0

TWO_YRS_AS	TWO_YRS_SO	BLDG_ADJ_S	BLDG_TOT_S	BLDG_UNITS	BLDG_YEAR_	BLDG_IMPRO
112335	96210	1304	1656	1	1957	003
826886	341220	1756	2191	2	1958	003
198464	87270	1881	1881	2	1937	002
1823275	870050	3556	3556	5	1973	003
136702	84240	894	949	1	1956	003
773494	427990	3346	3977	1	1946	002
537136	300400	1570	1580	1	1936	002
1735645	765520	3806	3806	7	1968	003
933903	514580	2478	2988	1	1936	002
469834	232800	2835	3456	2	1954	003
2632914	1431730	3842	4841	1	1974	003
217970	96840	2270	2732	2	1935	002
1012928	557240	1248	1248	1	1961	003
111574	61950	822	1001	1	1956	003
1111759	467210	2819	2819	4	1970	003
720144	399190	2031	2274	1	1968	003
578628	171500	2121	2121	2	1997	004
1236699	548540	2636	2636	4	1968	003
863635	476650	1295	1454	1	1959	003
703303	390100	2115	2421	1	1964	003
384474	217990	675	726	1	1936	002
543301	158450	1978	1978	2	1962	003
521002	144540	1662	1662	2	1958	003
496314	140120	1625	1625	2	1958	003
1951568	1063930	3186	3750	1	2003	004
1108703	503300	2336	2336	4	1982	003
1931369	980040	1542	1887	2	1940	002
696971	372740	1883	1985	2	1962	003
2499125	1359510	5532	7620	1	2020	005
730241	374330	1761	1761	2	1961	003
696104	286890	1656	1656	2	1961	003
853148	240720	2688	2688	4	1969	003
190571	113320	1460	1826	1	1961	003
667436	308200	2026	2224	3	1949	002
636419	293010	850	898	1	1960	003
208383	150620	1923	2399	1	1968	003
582466	324870	1724	1919	1	1971	003
187792	112320	1758	1924	1	1969	003
564986	265670	1471	1752	1	1968	003
223389	97330	875	0	1	2006	005
572698	275190	1466	1918	1	1962	003
1573437	859810	2056	2800	1	1980	003
424838	239780	2115	2465	1	1977	003

486080	272840	2804	3416	1	1967 003
277991	160510	1717	2017	1	1984 003
910762	442060	3531	4416	2	1956 003
707739	276550	2120	2120	2	1997 004
0	69250	0	0	0	0
0	264000	0	0	0	0

BLDG_CCLAS	BLDG_NUM_O	BLDG_USE_C	HOMESTEAD_	NCU_LAND	NCU_BLDG	NCU_PCT
2		1 001	N	0	0	1/1
2		2 102	N	0	0	1/1
		1 100	N	0	0	100
2		1 100	N	0	0	1/1
4		1 001	N	0	0	1/1
2		1 001	N	0	0	1/1
4		1 001	N	0	0	1/1
2		1 100	N	0	0	1/1
4		1 001	N	0	0	1/1
2		3 102	N	0	0	1/1
2		1 001	N	0	0	1/1
2		3 102	N	0	0	1/1
2		1 001	N	0	0	1/1
2		1 001	N	0	0	1/1
2		1 100	N	0	0	1/1
2		1 001	N	0	0	1/1
2		1 100	N	0	0	1/1
2		1 100	N	0	0	1/1
2		1 001	N	0	0	1/1
2		1 001	N	0	0	1/1
4		1 001	N	0	0	1/1
3		1 100	N	0	0	1/1
2		1 100	N	0	0	1/1
2		1 100	N	0	0	1/1
2		1 001	N	0	0	1/1
2		1 100	N	0	0	1/1
4		2 102	N	0	0	1/1
2		2 102	N	0	0	1/1
2		1 001	N	0	0	1/1
2		1 100	N	19500	185600	50%
2		1 100	N	0	0	1/1
2		1 100	N	0	0	1/1
2		1 001	N	0	0	1/1
2		3 102	N	0	0	1/1
4		1 001	N	0	0	1/1
2		1 001	N	0	0	1/1
2		1 001	N	0	0	1/1
2		1 001	N	0	0	1/1
2		1 001	N	0	0	1/1
2		1	N	0	0	1/1
2		1 001	N	0	0	1/1
2		1 001	N	0	0	1/1
2		1 001	N	0	0	1/1

2	1 001	N	0	0 1/1
2	1 001	N	0	0 1/1
2	2 102	N	0	0 1/1
2	1 100	N	0	0 1/1
	0	N	0	0 1/1
	0	N	0	0 1/1

LY_NCU_PCT	A_DATE	L_DATE	B_DATE	SALE_VER1	SALE_VER2	SALE_VER3	SALE_VER4	DISASTER_C
1/1	101009	100506	100326					
1/1	101009	100520	100426	Q				
100	101009	100520	100426					
1/1	101009	100520	100426	Q	Q	T		
1/1	101009	100506	100326	T				
1/1	101009	100507	100326					
1/1	101009	100506	100326	Q	Q	Q		
1/1	101009	100520	100426	Q	T			
1/1	101009	100506	100614	Q				
1/1	101009	100520	100426	T	T			
1/1	101009	100507	100909	Q	Q			
1/1	101009	100520	100426					
1/1	101203	100507	100326	Q	D	T		
1/1	101215	100506	100326	Q				
1/1	101009	100520	100426	T	Q			
1/1	101009	100506	100326	Q				
1/1	101009	100520	100426	T	T			
1/1	101125	100520	100426	Q	T	T		
1/1	101009	100506	100326	Q				
1/1	101009	100507	100326	T				
1/1	101009	100506	100326	D	Q			
1/1	101009	100520	100426					
1/1	101009	100520	100426					
1/1	101009	100520	100426					
1/1	101009	100507	100610	Q	T	T	Q	
1/1	101215	100520	100426	T	D			
1/1	101009	100319	100426	Q				
1/1	101009	100318	100426	Q	C	T	T	
1/1	101009	100511	70511	T	T	T	T	
50%	101009	100520	100426	Q	T	T		
1/1	101009	100520	100426	D	T	S	Q	
1/1	101009	100520	100426	T	T	D		
1/1	101009	100506	100326	T				
1/1	101009	100520	100426	T	Q	T		
1/1	101009	100506	100326	T	T	D	T	
1/1	101009	100506	100326	T	T	T	T	
1/1	101009	100506	100326	T	Q	S	T	
1/1	101009	100506	100326	T				
1/1	101009	100506	100326					
1/1	101009	100429	100429	C	D	T	T	
1/1	101009	100506	100326	Q				
1/1	101009	100507	100428	Q	T	T	T	
1/1	101009	100507	100326	T	Q			

1/1	101009	100507	100430				
1/1	101009	100506	100326	Q			
1/1	101009	100506	100326	T	E	C	D
1/1	101009	100520	100426	T	T	T	T
1/1		0	0	0			
1/1		0	0	0			

0	0	0	0	0
0	0	0	0	0
0	0	0 1	1	58060 U
0	0	0	0	0
0	0	0	0	0
0	0	0	0	0

0	0		0
0	0		0
356890	298830 16	494234049740 2023	21190
0	0		0
0	0		0
0	0		0

SALE1_CHAN SALE2_VORI SALE2_CHAN SALE3_VORI SALE3_CHAN SALE4_VORI SALE4_CHAN

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SALE5_VORI	SALE5_CHAN	PRELIM_JUS	PRELIM_JV_	GIS_SQUARE	ACTUAL_YEA	LAST_PHYSI
		0		6838	1956	1121
		0		13675	1957	1121
		0		9820	1936	0120
		0		6838	1972	0522
		0		6837	1949	1121
		0		18465	1941	1121
		0		6500	1930	1121
		0		13675	1965	0120
		0		6838	1926	1121
		0		12959	1947	1121
		0		16968	1954	1121
		0		6837	1934	1121
		0		21691	1931	1223
		0		6837	1947	1121
		0		6838	1969	0120
		0		10153	1947	1121
		0		6837	1996	0120
		0		6837	1966	0120
		0		13675	1931	0120
		0		9400	1953	0120
		0		7175	1930	1121
		0		6500	1961	0120
		0		7000	1957	0120
		0		6675	1950	0120
		0		8475	2002	0120
		0		6837	1970	0223
		0		7761	1925	0323
		0		10278	1960	0423
		0		15748	2019	0124
		0		6500	1960	0120
		0		6500	1960	0120
		0		6500	1968	0120
		0		6500	1956	1121
		0		13000	1948	1121
		0		6500	1924	0120
		0		7150	1963	0222
		0		7150	1970	1121
		0		7150	1968	1121
		0		7150	1963	1121
		0		690	1965	0421
		0		7163	1961	1121
		0		9272	1965	0121
		0		9214	1972	1121

0	8948 1966	1121
0	10455 1960	0124
0	13000 1948	0124
0	6500 1996	0120
0	692514	1221
0	517639	1221

OWNERS_DOM	CENSUS_BLO	SALE1_QUAL	SALE2_QUAL	SALE3_QUAL	SALE4_QUAL	SALE5_QUAL
FL	120110427001					
	120110427001	01				
FL	120110427001					
	120110427001	01	01	11		
FL	120110427001	11				
FL	120110427001					
	120110427001	01	01			
	120110427001	01	11			
FL	120110427001	01				
FL	120110427001	11	11			
FL	120110427001	01	01			
FL	120110427001					
FL	120110427001	01	30	11		
FL	120110427001	01				
FL	120110427001	11	01			
FL	120110427001	01				
	120110427001	11	11			
	120110427001	01	11	11		
FL	120110427001	01				
FL	120110427001	11				
	120110427001	30	01			
	120110427001					
FL	120110427001					
	120110427001					
FL	120110427001	01	11	11		
FL	120110427001	11	37			
FL	120110427001	01				
	120110427001	01	02	11	11	
	120110427001	11	11	11	11	11
	120110427001	01	11	30		
	120110427001	01	11	02		
	120110427001	11	11	37		
FL	120110427001	30				
FL	120110427001	11	01	11		
	120110427001	11	11	12	11	
FL	120110427001	11	11	11	11	
	120110427001	11	01	02	11	12
FL	120110427001	11				
FL	120110427001					
	120110427001	02	12	11	11	
	120110427001	01				
	120110427001	01	11	11	11	11
	120110427001	11	01			

FL	120110427001				
FL	120110427001	01			
FL	120110427001	11	05	02	12
	120110427001	11	11	11	11
	120110426011				
	120110427001				

PAIRING_CO	LAND_TAG	MISC_DISTR	MISC_DIST_	NCU_LAND2	NCU_BLDG2	BEDS	BATHS
D58	21		0	0	0	0.0	0.0
D58	21		0	0	0	0.0	0.0
F10	59		0	0	0	0.0	0.0
F10	59		0	0	0	7.0	7.0
D58	21		0	0	0	0.0	0.0
D58	08		0	0	0	0.0	0.0
D58	21		0	0	0	3.0	2.0
F10	58		0	0	0	7.0	7.0
D58	21		0	0	0	4.0	2.0
D58	21		0	0	0	4.0	4.0
D58	08		0	0	0	4.0	4.0
D58	21		0	0	0	0.0	0.0
D58	08		0	0	0	3.0	2.0
D58	21		0	0	0	2.0	1.0
F10	59		0	0	0	0.0	0.0
D58	21		0	0	0	2.0	2.0
F10	59		0	0	0	0.0	0.0
F10	59		0	0	0	8.0	4.0
D58	21		0	0	0	0.0	0.0
D58	08		0	0	0	3.0	2.0
D58	21		0	0	0	2.0	1.0
F10	58		0	0	0	0.0	0.0
F10	58		0	0	0	0.0	0.0
F10	59		0	0	0	0.0	0.0
D58	08		0	0	0	2.0	2.5
F10	58		0	0	0	4.0	4.0
D58	08		0	0	0	0.0	0.0
D58	08		0	0	0	0.0	0.0
D58	08		0	0	0	0.0	0.0
F10	59		0	0	189870	0.0	0.0
F10	59		0	0	0	0.0	0.0
F10	59		0	0	0	0.0	4.0
D58	21		0	0	0	0.0	0.0
D58	21		0	0	0	0.0	0.0
D58	21		0	0	0	0.0	0.0
D58	21		0	0	0	3.0	2.0
D58	21		0	0	0	3.0	2.0
D58	21		0	0	0	3.0	2.0
D58	21		0	0	0	3.0	2.0
4UB			0	0	0	2.0	1.0
D58	21		0	0	0	3.0	2.0
D58	08		0	0	0	2.0	2.0
D58	08		0	0	0	3.0	2.0

D58	08	0	0	0	3.0	3.0
D58	21	0	0	0	3.0	2.0
D58	21	0	0	0	6.0	6.0
F10	59	0	0	0	0.0	0.0
	75	0	0	0	0.0	0.0
	75	0	0	0	0.0	0.0

LY_NCU_LAN	LY_NCU_BLD	LY_SB_SOH_	CBROW	LYCBROW	GRANNY_FLA	CRA	DAMAGE_TYP
0	0	99090	0	0	0	0	
0	0	760430	0	0	0	0	
0	0	89880	0	0	0	0	
0	0	870050	0	0	0	0	
0	0	86760	0	0	0	0	
0	0	440820	0	0	0	0	
0	0	309410	0	0	0	0	
0	0	880610	0	0	0	0	
0	0	530010	0	0	0	0	
0	0	239780	0	0	0	0	
0	0	1474680	0	0	0	0	
0	0	99740	0	0	0	0	
0	0	573950	0	0	0	0	
0	0	63800	0	0	0	0	
0	0	702000	0	0	0	0	
0	0	411160	0	0	0	0	
0	0	550590	0	0	0	0	
0	0	660390	0	0	0	0	
0	0	490940	0	0	0	0	
0	0	401800	0	0	0	0	
0	0	224520	0	0	0	0	
0	0	409810	0	0	0	0	
0	0	371260	0	0	0	0	
0	0	370160	0	0	0	0	
0	0	2477870	0	0	0	0	
0	0	583080	0	0	0	0	
0	0	1018090	0	0	0	0	
0	0	395380	0	0	0	0	
0	0	1400290	0	0	0	0	
0	184870	384570	0	0	0	0	
0	0	385650	0	0	0	0	
0	0	659620	0	0	0	0	
0	0	116710	0	0	0	0	
0	0	317440	0	0	0	0	
0	0	377020	0	0	0	0	
0	0	155130	0	0	0	0	
0	0	334610	0	0	0	0	
0	0	115680	0	0	0	0	
0	0	336830	0	0	0	0	
0	0	111940	0	0	0	0	
0	0	328910	0	0	0	0	
0	0	885600	0	0	0	0	
0	0	246970	0	0	0	0	

0	0	281020	0	0	0
0	0	165320	0	0	0
0	0	1322700	0	0	0
0	0	549770	0	0	0
0	0	69250	0	0	0
0	0	264000	0	0	0

STORM_DIST	STORM_ASSE	CLEAN_DIST	CLEAN_ASSE	EXEMPTIO_1	COMB_SPL_1	GRANNY_F_1
F1	1.00		0.00			0
F1	2.00		0.00			0
F1	2.00		0.00			0
F2	6838.00		0.00			0
F1	1.00		0.00			0
F1	1.00		0.00			0
F1	1.00		0.00			0
F2	13675.00		0.00			0
F1	1.00		0.00			0
F1	2.00		0.00			0
F1	1.00		0.00			0
F1	2.00		0.00			0
F1	1.00		0.00			0
F1	1.00		0.00			0
F2	6838.00		0.00			0
F1	1.00		0.00			0
F1	2.00		0.00			0
F2	6837.00		0.00			0
F1	1.00		0.00			0
F1	1.00		0.00			0
F1	1.00		0.00			0
F1	2.00		0.00			0
F1	2.00		0.00			0
F1	2.00		0.00			0
F1	1.00		0.00			0
F2	6837.00		0.00			0
F1	2.00		0.00			0
F1	2.00		0.00			0
F1	1.00		0.00			0
F1	2.00		0.00			0
F1	2.00		0.00			0
F2	6500.00		0.00			0
F1	1.00		0.00			0
F1	3.00		0.00			0
F1	1.00		0.00			0
F1	1.00		0.00			0
F1	1.00		0.00			0
F1	1.00		0.00			0
F1	1.00		0.00			0
F1	1.00		0.00			0
F2	1747.00		0.00			0
F1	1.00		0.00			0
F1	1.00		0.00			0
F1	1.00		0.00			0

F1	1.00	0.00	0
F1	1.00	0.00	0
F1	2.00	0.00	0
F1	2.00	0.00	0
	0.00	0.00	0
	0.00	0.00	0

WIDOWERS	BLIND	SALE1_CIN	SALE2_CIN	SALE3_CIN
0	0	0.0000000000	0.0000000000	0.0000000000
0	0	118087742.0000000000	0.0000000000	0.0000000000
0	0	0.0000000000	0.0000000000	0.0000000000
0	0	117734241.0000000000	0.0000000000	0.0000000000
0	0	118894789.0000000000	0.0000000000	0.0000000000
0	0	0.0000000000	0.0000000000	0.0000000000
0	0	119250975.0000000000	112917847.0000000000	0.0000000000
0	0	116865742.0000000000	113857700.0000000000	0.0000000000
0	0	114182051.0000000000	0.0000000000	0.0000000000
0	0	111535644.0000000000	111399933.0000000000	0.0000000000
0	0	114099798.0000000000	111745050.0000000000	0.0000000000
1	0	0.0000000000	0.0000000000	0.0000000000
0	0	112175066.0000000000	0.0000000000	0.0000000000
0	0	0.0000000000	0.0000000000	0.0000000000
0	0	113639472.0000000000	112798361.0000000000	0.0000000000
0	0	114065501.0000000000	0.0000000000	0.0000000000
0	0	117108142.0000000000	117061735.0000000000	0.0000000000
0	0	115591707.0000000000	0.0000000000	0.0000000000
0	0	117223593.0000000000	0.0000000000	0.0000000000
0	0	112929665.0000000000	0.0000000000	0.0000000000
0	0	113663922.0000000000	112231764.0000000000	0.0000000000
0	0	0.0000000000	0.0000000000	0.0000000000
0	0	0.0000000000	0.0000000000	0.0000000000
0	0	0.0000000000	0.0000000000	0.0000000000
0	0	118004760.0000000000	0.0000000000	0.0000000000
0	0	117620109.0000000000	116987327.0000000000	0.0000000000
0	0	117356488.0000000000	0.0000000000	0.0000000000
0	0	113920151.0000000000	0.0000000000	0.0000000000
0	0	118785597.0000000000	117958456.0000000000	116092813.0000000000
0	0	116759584.0000000000	114792710.0000000000	114562483.0000000000
0	0	112231344.0000000000	112311085.0000000000	112207716.0000000000
0	0	113891461.0000000000	0.0000000000	0.0000000000
0	0	111623402.0000000000	0.0000000000	0.0000000000
0	0	113561254.0000000000	112285105.0000000000	0.0000000000
0	0	118178235.0000000000	114060479.0000000000	113731374.0000000000
1	0	119409220.0000000000	0.0000000000	0.0000000000
0	0	117935271.0000000000	114572891.0000000000	113215006.0000000000
1	0	118184757.0000000000	0.0000000000	0.0000000000
0	0	0.0000000000	0.0000000000	0.0000000000
0	0	112826116.0000000000	112703352.0000000000	0.0000000000
0	0	115011365.0000000000	0.0000000000	0.0000000000
0	0	114464863.0000000000	113218938.0000000000	113043201.0000000000
0	0	0.0000000000	0.0000000000	0.0000000000

0	0	0.0000000000	0.0000000000	0.0000000000
0	0	119174815.0000000000	0.0000000000	0.0000000000
0	0	118724934.0000000000	116928525.0000000000	0.0000000000
0	0	117108142.0000000000	117108096.0000000000	117061736.0000000000
0	0	0.0000000000	0.0000000000	0.0000000000
0	0	0.0000000000	0.0000000000	0.0000000000

0.0000000000	0.0000000000	0
0.0000000000	0.0000000000	0
0.0000000000	0.0000000000	0
117061735.0000000000	0.0000000000	0
0.0000000000	0.0000000000	0
0.0000000000	0.0000000000	0

SCHOOL_AH_	CITY_AH_AM	INDEP_AH_A	TEN_PERCEN	PORT_OWNER	BLDG_UNDER	HE3_AMOUNT
0	0	0	0		1130	0
0	0	0	0		1589	0
0	0	0	0		0	0
0	0	0	0		0	0
0	0	0	0		925	0
0	0	0	0		3193	0
0	0	0	0		1560	0
0	0	0	0		0	0
0	0	0	0		2588	0
0	0	0	0		2744	0
0	0	0	0		3494	0
0	0	0	0		2216	0
0	0	0	0		1248	0
0	0	0	0		732	0
0	0	0	0		0	0
0	0	0	0		1868	0
0	0	0	0		0	0
0	0	0	0		0	0
0	0	0	0		1254	0
0	0	0	0		1809	0
0	0	0	0		649	0
0	0	0	0		0	0
0	0	0	0		0	0
0	0	0	0		0	0
0	0	0	0		2977	0
0	0	0	0		0	0
0	0	0	0		1399	0
0	0	0	0		1832	0
0	0	0	0		5458	0
0	0	0	0		0	0
0	0	0	0		0	0
0	0	0	0		0	0
0	0	0	0		1207	0
0	0	0	0		1944	0
0	0	0	0		814	0
0	0	0	0		1592	0
0	0	0	0		1529	0
0	0	0	0		1606	0
0	0	0	0		1420	0
0	0	0	0		0	0
0	0	0	0		1213	0
0	0	0	0		1537	0
0	0	0	0		1790	0

0	0	0	2733	0
0	0	0	1747	0
0	0	0	3274	0
0	0	0	0	0
0	0	0	0	0
0	0	0	0	0

0
0
0
0
0
0



504209030000
SW 15TH AVE

504209040030
504209040550

504209010000
50420902900000

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504209021980
504209022070
504209021990
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504209022020

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504209021010
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504209BA0000

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504209AD0860
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504209AD0820
504209AD0850
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504209AD0870
504209AD0830
504209AD0790
504209AD0780
504209AD0770
504209AD0760
504209AG0090
504209AG0100
504209AG0110
504209AG0000
504209AG0080

504209290010
504209290031
504209290033
504209290030
504209AC0180
504209AC0110
504209AC0000
504209AC0190
504209AC0200

150 75 0 150 Feet

MARTY KIAR
BROWARD COUNTY PROPERTY APPRAISER



1329 SW 9th Street















STREET VIEW OF SW 9TH STREET – GOING WEST OF OUR HOUSE



STREET VIEW OF SW 9TH STREET – GOING EAST OF OUR HOUSE



812 SW 12TH AVENUE (NEIGHBOR NE)



816 SW 12TH AVENUE (NEIGHBOR NE)



811 SW 12TH AVENUE (NEIGHBOR NW; RIGHT NEXT DOOR)



OAK AT STREET

811 SW 12TH AVENUE (NEIGHBOR NW; RIGHT NEXT DOOR) MASSIVE



STREET)

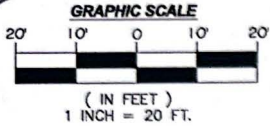
1308 SW 9TH STREET (NEIGHBOR EAST; ACROSS



820 & 824 SW 12TH AVENUE (NEIGHBORS NE)



816 SW 14th AVENUE (NEIGHBORS W; NEXT DOOR)



MAP OF BOUNDARY SURVEY

LOCATION MAP
SECTION 9, TOWNSHIP 50 SOUTH, RANGE 42 EAST
LYING AND BEING IN BROWARD COUNTY FLORIDA
(NOT TO SCALE)



LB No. 7633
PROFESSIONAL SURVEYORS AND MAPPERS
8532 SW 8 STREET, SUITE 282
MIAMI, FL 33144
PHONE: (305) 556-4022 FAX: (305) 556-4003
WWW.LMPLR.COM
EMAIL: PEGUE@LMPLR.COM

ABBREVIATIONS AND LEGEND:

A/C	-DENOTES AIR CONDITIONING UNIT
B.S.	-DENOTES BASIS OF BEARINGS
ASPH.	-DENOTES ASPHALT
P	-DENOTES PROPERTY LINE
S.L.B.	-DENOTES BENCH MARK
C.B.S.	-DENOTES CONCRETE BLOCK STUCCO
CONC.	-DENOTES CONCRETE
L.P.	-DENOTES LIGHT POLE
CB	-DENOTES CATCH BASIN
CL	-DENOTES CENTERLINE
W.M.L.	-DENOTES WATERSHED LINE
L.M.E.	-DENOTES LAKE & MAINTENANCE EASEMENT
D.E.	-DENOTES DRAINAGE EASEMENT
D.H.	-DENOTES DRILL HOLE
M.	-DENOTES MEASURE
RP	-DENOTES RECORD
W.P.P.	-DENOTES WOOD POWER POLE
U.E.	-DENOTES UTILITY EASEMENT
P.B.	-DENOTES PLAT BOOK
P.C.	-DENOTES PAGE
P.C.P.	-DENOTES PERMANENT CONTROL POINT
P.O.B.	-DENOTES POINT OF BEGINNING
TYP.	-DENOTES TYPICAL
M.H.W.	-DENOTES MEAN HIGH WATER LINE
F.F.E.	-DENOTES FINISH FLOOR ELEVATION
W.P.	-DENOTES WATER PIPES
CAT.V.	-DENOTES CATHETER VISION
D.M.	-DENOTES DRAINAGE MANHOLE
S.M.	-DENOTES SANITARY MANHOLE
W.V.	-DENOTES WATER VALVE
H.Y.	-DENOTES HYDRANT
W.F.	-DENOTES WOOD FENCE
—	-DENOTES CHAIN LINK FENCE
—	-DENOTES IRON FENCE
—	-DENOTES FOUND IRON PIPE (NO ID.)
—	-DENOTES FOUND NAIL AND DISC
—	-DENOTES ASPHALT PAVEMENT
X.XX	-DENOTES ELEVATIONS
—	-DENOTES BRICK
—	-DENOTES CONCRETE PAD

ALL BEARINGS AND DISTANCES SHOWN HEREON ARE RECORDED AND MEASURED UNLESS OTHERWISE NOTED.

FLOOD ZONE:	X	
ELEVATION:	N/A	
COMMUNITY:	125105	
PANEL:	12011C0556	
DATE OF FIRM:	08/18/2014	
SUFFIX:	H	
ORIGINAL FIELD WORK SURVEY DATE:	01/27/2024	
BENCH MARK (P/D)	AD7994	
ELEVATION:	11.26	
DATE	DRAWN BY	SCALE
01/27/2024	D.DIAZ	1"=20'
REVISION / UPDATE OF SURVEY		
DATE	DRAWN BY	DESCRIPTION
02/12/2024	D.DIAZ	FOUNDATION
JOB No.		
2401.0181-02		

LEGAL DESCRIPTION:

THE EAST ONE-HALF OF LOTS 6 AND 7, BLOCK 11, OF AMENDED PLAT OF RIVERSIDE ADDITION OF FORT LAUDERDALE ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 13 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TOGETHER WITH WEST ONE-HALF OF THAT VACATED ALLEY LYING EAST OF THE ADJACENT TO SAID LOTS 6 AND 7.

PROPERTY ADDRESS:

FOUJO NO. 5042 09 02 1110
1329 SW 9 STREET,
FORT LAUDERDALE, FL 33312

AREA OF PROPERTY: 7,175 SQUARE FEET AND/OR
0.165 ACRES MORE OR LESS.

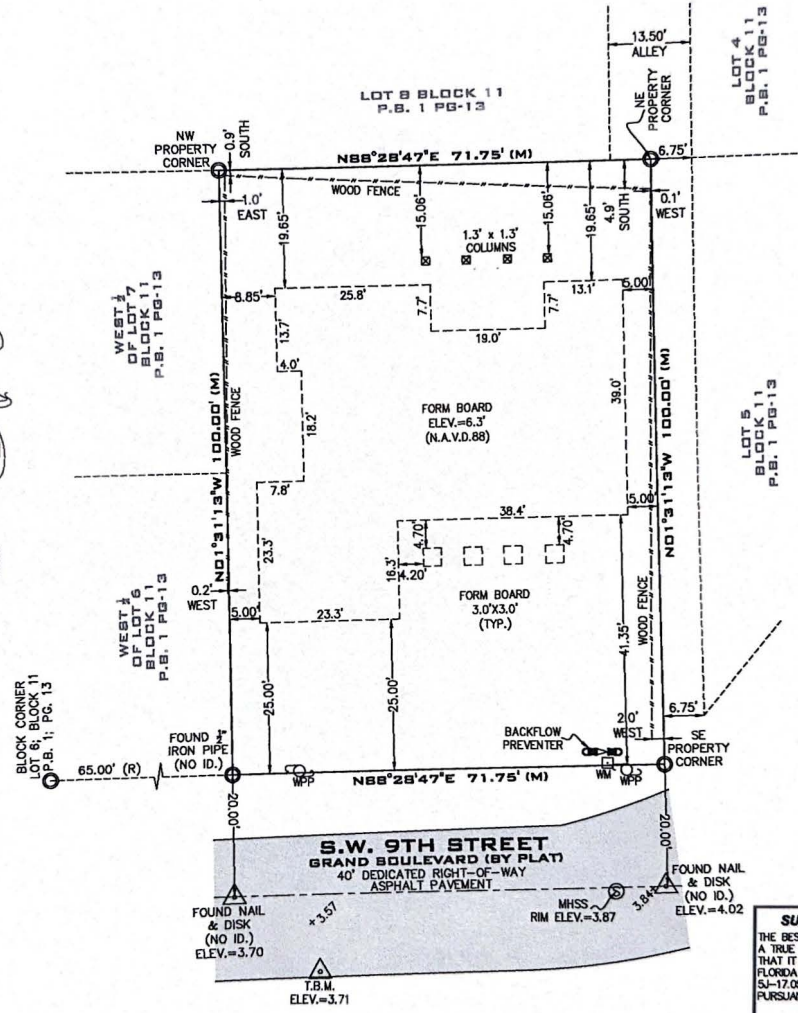
CERTIFIED TO:

THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAME HEREON. THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.

— STEVENS, ANDREA CATHERINE.

SURVEYOR'S NOTES:

- 1.) THE ABOVE CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE ABOVE LEGAL DESCRIPTION; PROVIDED BY CLIENT.
- 2.) THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED. IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED.
- 3.) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS BOUNDARY SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AN EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY AFFECTING THIS PROPERTY.
- 4.) ACCURACY: THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS BOUNDARY SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY FIELD MEASUREMENT AND OFFICE CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS.
- 5.) FOUNDATIONS AND/OR FOOTINGS THAT MAY CROSS BEYOND THE BOUNDARY LINES OF THE PARCEL HEREIN DESCRIBED ARE NOT SHOWN.
- 6.) TYPE OF SURVEY: BOUNDARY SURVEY.
- 7.) ELEVATIONS SHOWN HEREON ARE BASED ON TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.88)
- 8.) ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD U.S. SURVEY FEET.
- 9.) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK ON THE HEREIN DESCRIBED PARCEL FOR BUILDING AND ZONING INFORMATION.
- 10.) UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON. CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
- 11.) ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 12.) THE WRITTEN CONSENT OF LANDMARK SURVEYING & ASSOCIATES, INC. UNDERGROUND PORTIONS OF FOOTING, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 13.) ONLY VISIBLE AND ABOVE GROUND ENCUMBRANCES LOCATED.
- 14.) WALL TIES ARE TO THE FACE OF THE WALL.
- 15.) FENCE OWNERSHIP NOT DETERMINED.
- 16.) BASIS OF BEARINGS REFERENCED TO LINE NOTED AS B.B.
- 17.) BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD.
- 18.) NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- 19.) THE SOURCES OF DATA USED FOR THE PREPARATION OF THIS BOUNDARY SURVEY IS "AMENDED PLAT OF RIVERSIDE ADDITION OF FORT LAUDERDALE" RECORDED IN PLAT BOOK 1, AT PAGE 13.
- 20.) THIS MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT A SCALE OF ONE INCH EQUALS 20 FEET.



SURVEYOR'S CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS "MAP OF BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION THAT IT MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 30-17.050 THROUGH 30-17.052 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAWS, PURSUANT TO CHAPTER 30-17.050, F.S.

SIGNED: *[Signature]* FOR THE FIRM
ARTURO MENDOZA, P.S.M. OF P.S.M. No. 5844—STATE OF FLORIDA
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPERS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES AND/OR NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL.

MAP OF BOUNDARY SURVEY

BROWARD COUNTY – DEVELOPMENT SERVICES DEPARTMENT
Board of Adjustment (BOA) Application

NARRATIVE

For Special Relief to not install a sidewalk **Sec. 25-62(b)(3)** At
1329 SW 9th Street, Fort Lauderdale, FL 33312
By Andrea Stevens & Gabriel Salazar

CRITERIA

- a. Does the proposed development or use meet requirement for a special exception as provided by the ULDR

The proposed use is a Single Family residence which is permitted in zone RS-8. Sec 25-62(b)(3) is a requirement for the use and the owner can seek special relief from the requirement to install a sidewalk.

- b. Granting the special exception shall not be incompatible with adjoining properties or surrounding neighborhood or otherwise contrary to the public interest.

The Requested Special Exception would:

1. Preserve the appearance of the Riverside Park Community since well over 80% of the homes do not have sidewalks
2. Preserve the appearance of our yard because installing a sidewalk will require removal of 3 mature oak trees
3. Since there would be no other sidewalks anywhere in the vicinity of our home, a sidewalk would have no connection at either end. This would detract from the overall look of the community and, possibly, create a trip and fall hazard at either end of the unconnected sidewalk
4. I have lived in Riverside Park for most of my life and am now building my forever home to remain in this wonderful area of Fort Lauderdale. The cost to remove 3 very large & mature Oak trees from my property along with the cost to install a sidewalk is a huge burden and one we cannot afford. We would compromise the look of this neighborhood that is known for the large oak trees that line the streets giving everyone shade and a unique look to a very charming neighborhood.
5. Our street has, for decades, comfortably and safely facilitated its unrestricted use by pedestrians, especially dog walkers, cyclists, joggers, and vehicles.

SUPPLEMENTAL INFORMATION

We as the property owners are requesting a special exception/relief under **Section 25-62(b)(3)**. The unique circumstances particular to our property issues that would otherwise preclude the installation of a sidewalk in the specified location because of the following reasons:

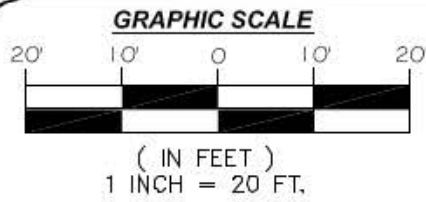
1. Preserve the appearance of the Riverside Park Community since well over 80% of the homes do not have sidewalks
 - Our street is not a main road and 100% of the properties on our street and the other side streets do not have sidewalks

2. Preserve the appearance of our yard because installing a sidewalk will require removal of 3 mature oak trees
 - The Riverside Park Residents' Association are proponents of tree preservation in Fort Lauderdale and especially our neighborhood. Per the Association, Riverside Park takes pride in our tree canopy and it is critical to our identity as a neighborhood.

3. With no other sidewalks anywhere in the vicinity of our home, a sidewalk would have no connection at either end.
 - This could create a trip and fall hazard at either end of the unconnected sidewalk as proposed

4. The cost to remove 3 very large & mature Oak trees from my property along with the cost to install a sidewalk is a huge burden.
 - This was not factored into our construction budget and we cannot afford to add any additional unforeseen costs.

5. This would detract from the overall look of the neighborhood with a sidewalk to nowhere and, possibly, impact property values.
 - Our street has, for decades, comfortably and safely facilitated its unrestricted use by pedestrians, especially dog walkers, cyclists, joggers, and vehicles.



MAP OF BOUNDARY SURVEY

LOCATION MAP
SECTION 9, TOWNSHIP 50 SOUTH, RANGE 42 EAST
LYING AND BEING IN BROWARD COUNTY FLORIDA
(NOT TO SCALE)



LB No. 7633
PROFESSIONAL SURVEYORS AND MAPPERS
8532 S.W. 8 STREET, SUITE "282"
MIAMI, FL 33144
PHONE: (305) 556-4002 FAX: (305) 556-4003
WWW.LMSURVEYING.COM
EMAIL-REQUEST@LMSURVEYING.COM

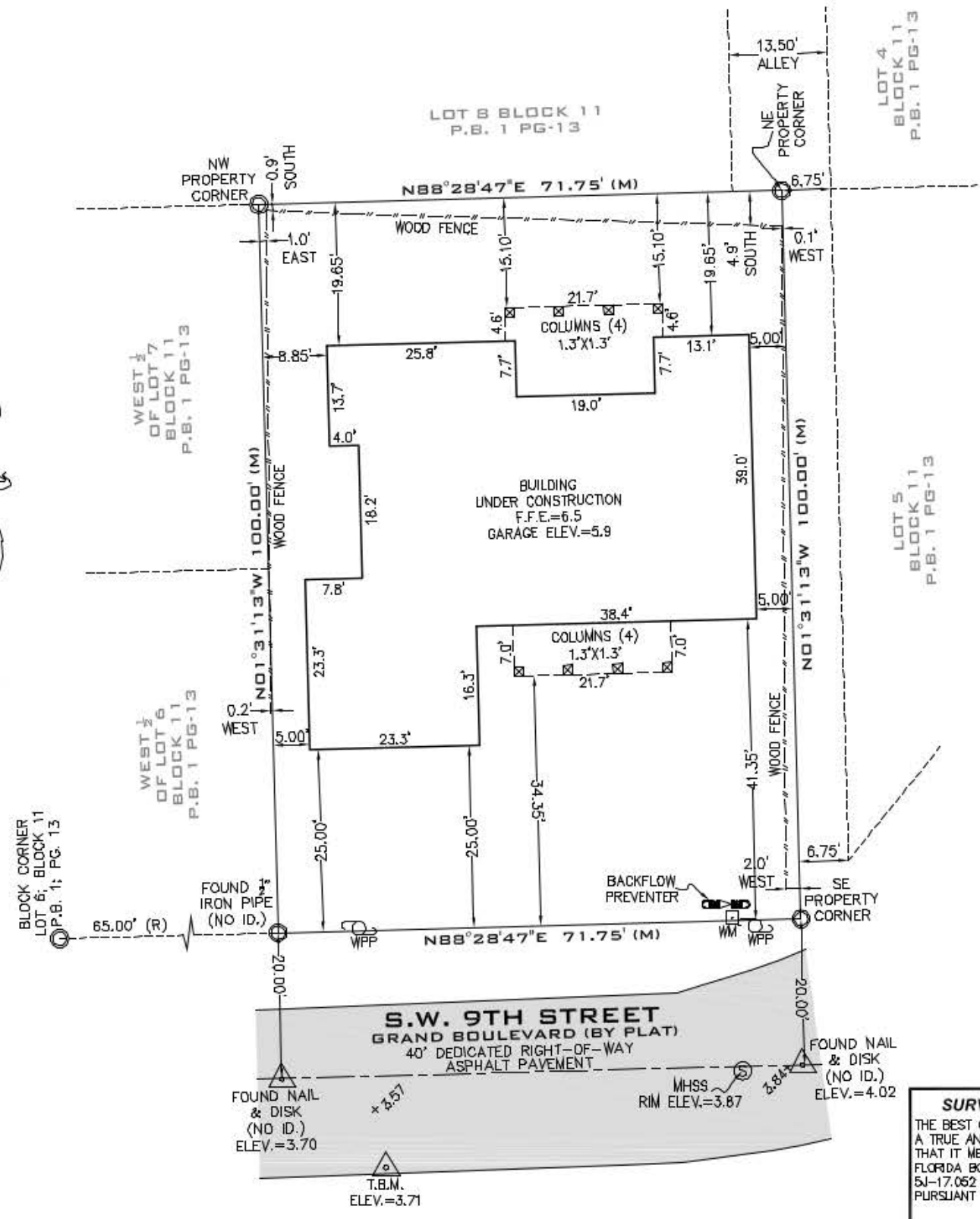
LEGAL DESCRIPTION:
THE EAST ONE-HALF OF LOTS 6 AND 7, BLOCK 11, OF AMENDED PLAT OF RIVERSIDE ADDITION OF FORT LAUDERDALE ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 13 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TOGETHER WITH WEST ONE-HALF OF THAT VACATED ALLEY LYING EAST OF THE ADJACENT TO SAID LOTS 6 AND 7.

PROPERTY ADDRESS:
FOLIO NO. 5042 09 02 1110
1329 SW 9 STREET,
FORT LAUDERDALE, FL 33312

AREA OF PROPERTY: 7,175 SQUARE FEET AND/OR
0.165 ACRES MORE OR LESS.

CERTIFIED TO:
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- STEVENS, ANDREA CATHERINE.

- SURVEYOR'S NOTES:**
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SURVEYOR'S CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS "MAP OF BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION, THAT IT MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.050 THROUGH 5J-17.062 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, PURSUANT TO CHAPTER 42.02, FLORIDA STATUTE.

Digitally signed by Arturo Mendigutia
Date: 2024.03.05 13:08:09 -05'00'

SIGNED: ARTURO MENDIGUTIA, P.S.M. FOR THE FIRM
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES AND/OR NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL.

ABBREVIATIONS AND LEGEND:

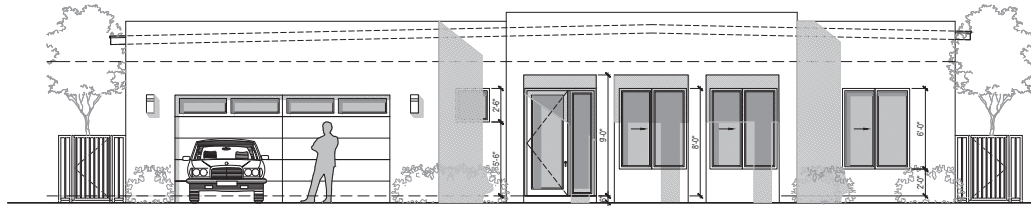
- A/C = DENOTES AIR CONDITIONING UNIT
- B.B. = DENOTES BASIS OF BEARINGS
- ASPH. = DENOTES ASPHALT
- P = DENOTES PROPERTY LINE
- B.M. = DENOTES BENCH MARK
- C.B.S. = DENOTES CONCRETE BLOCK STUCCO
- CONC. = DENOTES CONCRETE
- L.P. = DENOTES LIGHT POLE
- CB = DENOTES CATCH BASIN
- CL = DENOTES CENTERLINE
- ML = DENOTES MONUMENT LINE
- L.M.E. = DENOTES LAKE & MAINTENANCE EASEMENT
- D.E. = DENOTES DRAINAGE EASEMENT
- D.H. = DENOTES DRILL HOLE
- (M) = DENOTES MEASURE
- (R) = DENOTES RECORD
- WPP = DENOTES WOOD POWER POLE
- U.E. = DENOTES UTILITY EASEMENT
- P.B. = DENOTES PLAT BOOK
- PG. = DENOTES PAGE
- P.G.P. = DENOTES PERMANENT CONTROL POINT
- P.O.B. = DENOTES POINT OF BEGINNING
- TYP. = DENOTES TYPICAL
- M.H.W. = DENOTES MEAN HIGH WATER LINE
- F.F.E. = DENOTES FINISH FLOOR ELEVATION
- W.M. = DENOTES WATER METER
- CAT.TV = DENOTES CABLE TELEVISION
- D.M. = DENOTES DRAINAGE MANHOLE
- S.M. = DENOTES SANITARY MANHOLE
- W.V. = DENOTES WATER VALVE
- HYD. = DENOTES HYDRANT
- WF = DENOTES WOOD FENCE
- CLIF = DENOTES CHAIN LINK FENCE
- IF = DENOTES IRON FENCE
- IFP = DENOTES FOUND IRON PIPE (NO ID.)
- IFND = DENOTES FOUND NAIL AND DISC
- ASP. = DENOTES ASPHALT PAVEMENT
- X.XX = DENOTES ELEVATIONS
- BRICK = DENOTES BRICK
- CONC. PAD = DENOTES CONCRETE PAD

ALL BEARINGS AND DISTANCES SHOWN HEREON ARE RECORDED AND MEASURED UNLESS OTHERWISE NOTED.

FLOOD ZONE:	X
ELEVATION:	N/A
COMMUNITY:	125105
PANEL:	12011C0556
DATE OF FIRM:	08/18/2014
SUFFIX:	H
ORIGINAL FIELD WORK SURVEY DATE	01/27/2024
BENCH MARK (PID)	AD7994
ELEVATION:	11.26

DATE	DRAWN BY	SCALE
01/27/2024	D.DIAZ	1"=20'
REVISION / UPDATE OF SURVEY		
DATE	DRAWN BY	DESCRIPTION
02/12/2024	D.DIAZ	FOUNDATION
02/27/2024	D.DIAZ	FOUNDATION
JOB No.		
2401.0181-02		

MAP OF BOUNDARY SURVEY



INDEX OF DRAWINGS	
ARCHITECTURAL	
T-1	TITLE SHEET
SP-1	SITE PLAN
A-1	FIRST FLOOR PLAN
A-2	ROOF PLAN & FRONT ELEVATION
A-3	ELEVATIONS & SECTIONS
A-4	TYPICAL WALL SECTION
A-5	TYPICAL DETAILS
A-6	TYPICAL DETAILS
STRUCTURAL	
S1	FOUNDATION PLAN
S2	ROOF FRAMING
S3	DETAILS
S4	DETAILS
S5	DETAILS
S6	NOTES
M.E.P.	
M-1	MECHANICAL PLAN
E-1	ELECTRICAL PLAN
E-2	PANEL SCHEDULES & RISER DIAGRAM
F-1	PLUMBING PLAN
F-2	WATER SUPPLY PLAN
CIVIL	
C-1	GRADING DRAINAGE PLAN
C-2	FT. LAUDERDALE TYPICAL SITE ENGINEERING DETAILS

STEVENS RESIDENCE

1329 SW 9TH STREET FT. LAUDERDALE, FL.

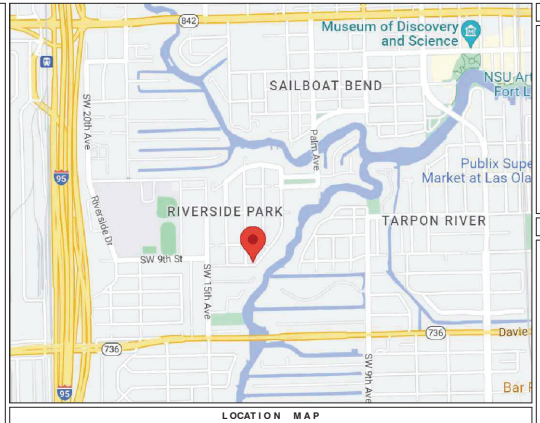
PROJECT DATA	
OCCUPANCY: R3	CONSTRUCTION: TYPE V8
CODES AND REFERENCES:	
* THE FLORIDA BUILDING CODE, 2020 EDITION*	
* NATIONAL ELECTRIC CODE 2017 EDITION*	
AREA CALCULATIONS	
Lot Size	7,173 Sq. Ft.
Total A/C	1,910 Sq. Ft.
Covered Entry	152 Sq. Ft.
Garages	540 Sq. Ft.
Covered Loggia	249 Sq. Ft.
Total Undercover	2,847 Sq. Ft.

GENERAL CONSTRUCTION NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL CODES, RULES, REGULATIONS AND RESTRICTIONS HAVING JURISDICTION ON THIS PROJECT.
- WORK SHALL INCLUDE ALL ITEMS (BUILDING AND SITE) INDICATED ON THESE DRAWINGS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. THE BENEDICT BULLOCK GROUP (TBG) SHALL BE NOTIFIED OF ANY DEVIATION FROM THE PLANS PRIOR TO CONSTRUCTION. DRAWINGS SHALL NOT BE SCALED AND WITH DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE BENEDICT BULLOCK GROUP FOR GENERAL REVIEW AND DESIGN COMPLIANCE (THREE (3) COPIES OF EACH ITEM CHECKED OFF BELOW):
 - TRUSSES LAYOUT END
 - ROOF LAYOUT
 - DOORS PRODUCT APPROVAL
 - WINDOWS PRODUCT APPROVAL
- DEPOSITS AND FEES: DEPOSITS FOR UTILITIES INCLUDING WATER, TELEPHONE AND ELECTRICAL SERVICE SHALL BE MADE BY THE G.C. FOR THE PORTION OF THE WORK. ALL FEES SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR AND REPORTS SHALL BE SUBMITTED TO THE G.C. TO RESUME PROPER STRUCTURAL SESSION.
- CONTRACTOR SHALL MAINTAIN TEMPORARY ELECTRICAL, WATER, AND SANITARY FACILITIES FOR THE DURATION OF THE CONSTRUCTION.
- CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS FROM THE JOBSITE AND LEAVE THE BUILDING BROOM CLEAN. ALL GLASS SHALL BE THOROUGHLY CLEANED AT THE COMPLETION OF CONSTRUCTION. ALL PAINT SPLICES AND ANY OTHER CONSTRUCTION MARKS SHALL BE REMOVED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL ACCOUNT THEMSELVES WITH THE SITE AND SHALL VERIFY ALL PLAT CONDITIONS PRIOR TO PROJECT COMMENCEMENT. FOR ANY DEVIATION FROM THE CONSTRUCTION DOCUMENTS DISCOVERED AT THE TIME SHALL BE REPORTED BY THE CONTRACTOR IMMEDIATELY TO THE BENEDICT GROUP.
- ALL WORKMANSHIP SHALL BE NEAT, CLEAN, TRUE AND CORRECT.
- ALL OPERATING WINDOWS AND SLIDING GLASS DOORS SHALL BE PROVIDED WITH VINYL INSECT SCREENS. GLAZING TO BE GREY TINTED GLASS. TRANSMISSION, ALL SLIDING GLASS DOORS, OPERABLE AND FIXED GLASS UP AND USE ABOVE FINISH FLOOR SHALL BE TEMPERED SAFETY GLASS.
- FIXED GLASS GLASS DOORS AND ALL GLASS AT THE TUB OR SHOWER SHALL BE TEMPERED SAFETY GLASS.

HARDWARE NOTES

- ALL LOCKS ON EXTERIOR DOORS SHALL RESIST A FORCE OF 900 LBS APPLIED IN ANY WADABLE DIRECTION.
- ALL EXTERIOR LOCKS SHALL BE SINGLE CYLINDER WITH 1" THROW INTO MORTISE FOR 1 3/4" SOLID CORE DOOR.
- ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A KEY OPERATED LOCK OPERABLE FROM EXTERIOR WITH A MINIMUM 8000 POSSIBLE KEY CHANGES. KEY IN SINGLE LOCKS SHALL HAVE AN AUXILIARY DEAD BOLT WITH HARDENED BOLT OR WITH INSERT.
- EXTERIOR SWING DOORS SHALL BE SOLID CORE NOT LESS THAN 1 3/4" THICK.
- FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH VISION SCOPE OR VISION PANEL.
- HINGES ON OUT SWINGING EXTERIOR DOORS SHALL HAVE NON-EXPOSED SCREWS AND NON-REMOVABLE PINN.
- SINGLE SWING EXTERIOR DOORS CONNECTING LIVING AREAS WITH GARAGE AREAS SHALL BE SOLID CORE 1 3/4" THICK AND SHALL BE SECURED WITH A LATCH AND SINGLE BOLT WITH ONE INCH MIN. THROW OR A COMBINATION OF DEAD BOLT AND DEAD LATCH SETS AND AN AUTOMATIC DOOR CLOSER.
- ALL GLASS IN EXTERIOR DOORS SHALL COMPLY WITH ANSI Z97.1
- ALL OPERABLE WINDOWS SHALL WITHSTAND A FORCE OF 150 LBS. IN ANY OPERABLE DIRECTION.
- SLIDING GLASS DOORS AND WINDOWS SHALL BE INSTALLED AND CONSTRUCTED SO THAT NO TRAILS CAN BE SEEN FROM TRACKS WHEN IN THE CLOSED POSITION AND SHALL COMPLY WITH THE A.M.A. STANDARDS FOR FORCED ENTRY RESISTANCE. A.M.A. 10053.
- SLIDING GLASS DOORS SHALL HAVE DEAD BOLT OR PIN SYSTEM NOT REMOVABLE FROM THE OUTSIDE AT THE JAMB AND SILL.



SYMBOLS	
NOTE REFERENCE	REFERENCE NUMBER
DOOR REFERENCE	DOOR NUMBER
WINDOW REFERENCE	WINDOW LETTER
REVISION REFERENCE	REVISION NUMBER
EXTERIOR ELEVATION REFERENCE	EXTERIOR WALL LETTER AND ELEVATION (OR WINDOW LETTER AND SHEET NUMBER)
DETAIL REFERENCE	DETAIL NUMBER SHEET NUMBER
BUILDING SECTION REFERENCE	SECTION NUMBER SHEET NUMBER
FOUNDATION REFERENCE	FOUNDATION LETTER NUMBER

THE BENEDICT BULLOCK GROUP, P.A.
ARCHITECTURE • PLANNING

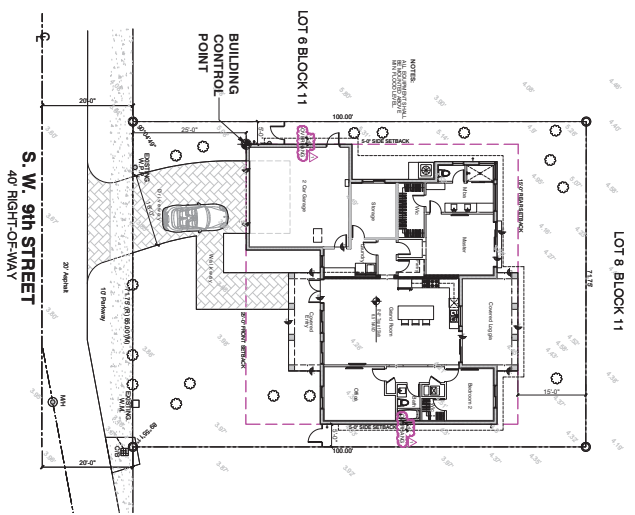
STEVENS RESIDENCE
1329 SW 9TH STREET FT. LAUDERDALE, FL.

ARCHITECT'S SEAL

DATE: 11-17-2023
DRAWN BY: [Signature]
PROJECT NO.: [Number]

T-1

PERMIT: 20-00-0023



1 SITE PLAN
SCALE 1/8" = 1'-0"

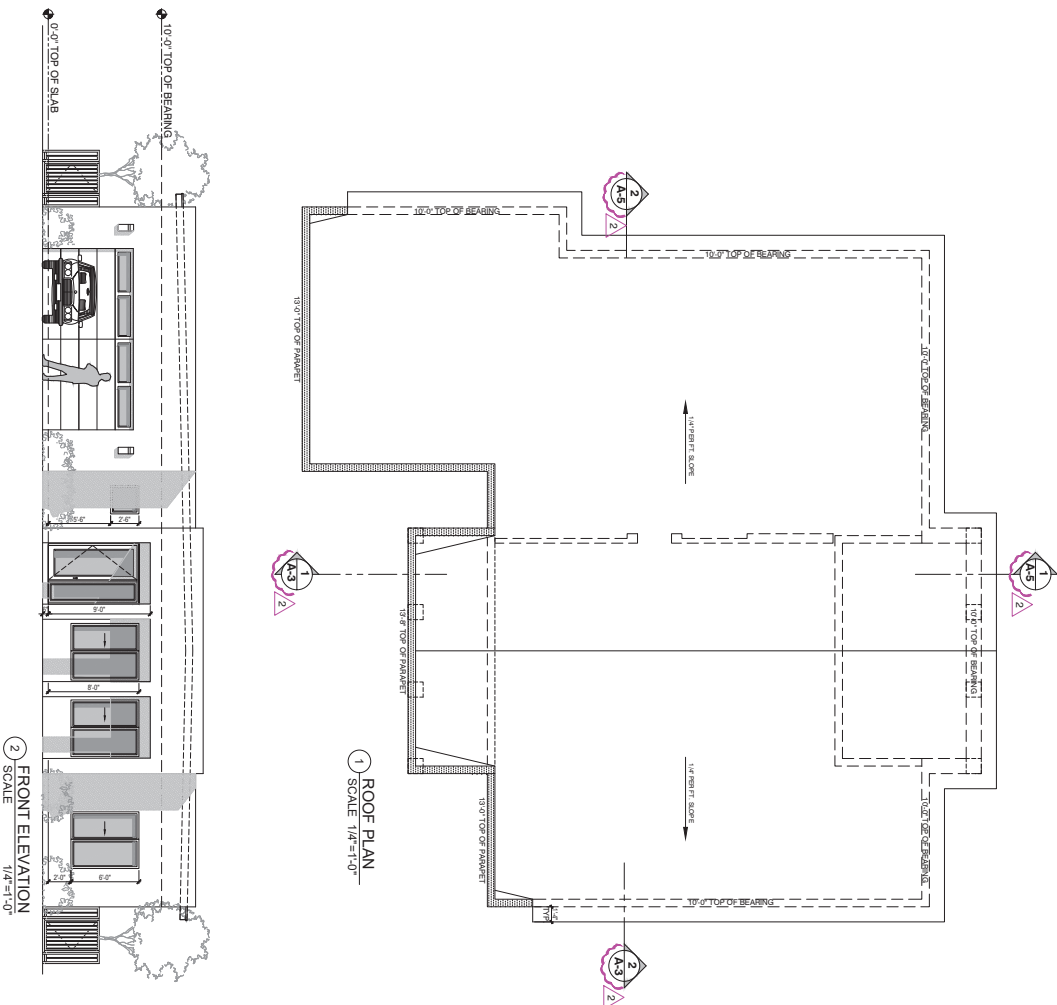
NO.	REVISIONS	BY	DATE
1	PERMANENT CONTACT	BT	06/23/2023

The Benedict Group, PA
 Architectural & Planning
 10000 W. BOULEVARD, SUITE 100
 FT. LAUDERDALE, FL 33309
 TEL: 954.480.0000
 WWW.BENEDICTGROUP.COM

STEVENS RESIDENCE
 1329 SW 9TH STREET FT. LAUDERDALE, FL.



DATE: 06/23/2023
 TIME: 11:43 AM
 PROJECT: STEVENS RESIDENCE
 SHEET: 1 OF 1
 SITE PLAN
SP-1



NO.	REVISIONS	BY	DATE
1	FOR CHECK COMMENTS	BT	06-30-2023

ARCHITECT'S SEAL

 BENEDETTI, DANIEL J. ARCHITECT
 12000
 FT. LAUDERDALE, FL 33304

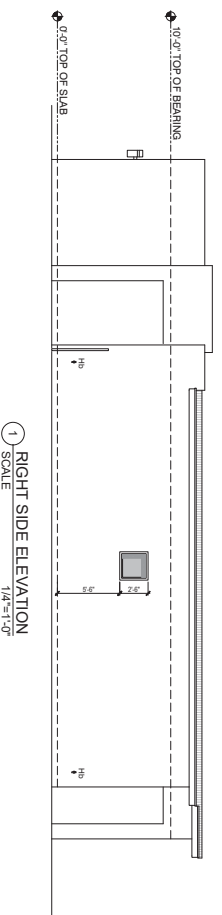
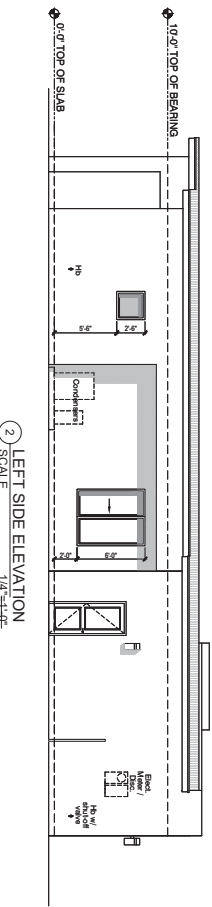
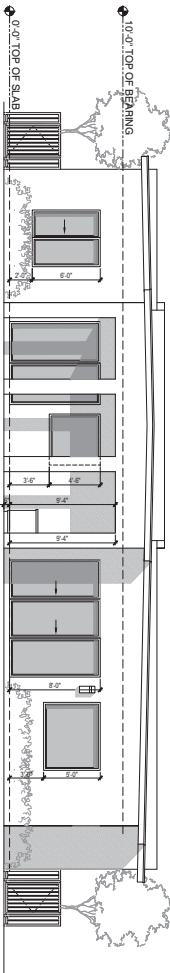
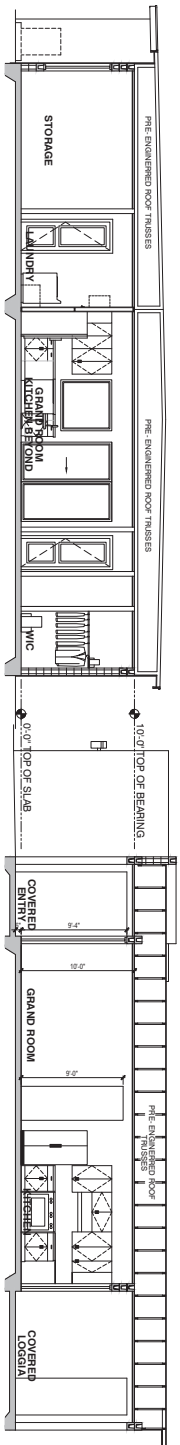
STEVENS RESIDENCE
 1329 SW 9TH STREET FT. LAUDERDALE, FL.

The Benedict Bullock Group, PA
 ARCHITECTURE • PLANNING
 1329 SW 9TH STREET
 FT. LAUDERDALE, FL 33304
 TEL: 954.343.1329
 WWW.BENEDICTBULLOCKGROUP.COM

PROJECT INFORMATION

DATE: 11.1.2022	SCALE: 1/4"=1'-0"
PROJECT NO.: 23-0001	PROJECT NAME: STEVENS RESIDENCE
CLIENT: BENEDETTI, DANIEL J. ARCHITECT	PROJECT ADDRESS: 1329 SW 9TH STREET, FT. LAUDERDALE, FL 33304

ARCHITECT'S SEAL
 BENEDETTI, DANIEL J. ARCHITECT
 12000
 FT. LAUDERDALE, FL 33304



REV.	REVISIONS	BY	DATE

ARCHITECT'S SEAL

STEVEN J. BULLOCK
PROFESSIONAL ENGINEER
NO. 12487
STATE OF FLORIDA

STEVENS RESIDENCE

1329 SW 9TH STREET FT. LAUDERDALE, FL.

The Benedict Bullock Group, PA

ARCHITECTS

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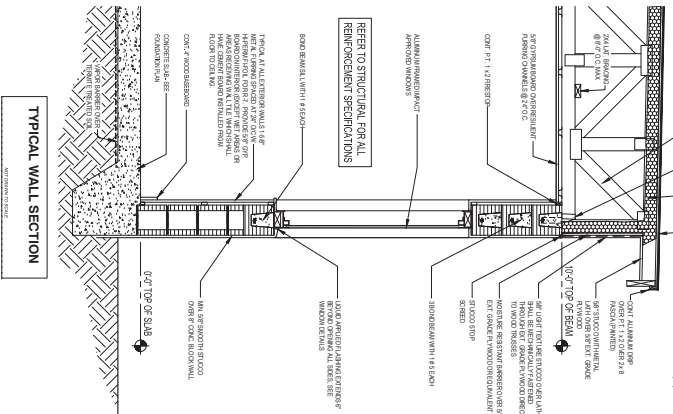
A-3

ELEVATIONS & SECTIONS

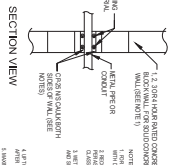
DATE: 06-30-2023
SCALE: 1/4"=1'-0"

ALL REVISIONS APPROVED, DRAWN AND CHECKED BY THE ARCHITECT OR ENGINEER. THE ARCHITECT AND ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION CONTAINED HEREIN. THE ARCHITECT AND ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION CONTAINED HEREIN. THE ARCHITECT AND ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION CONTAINED HEREIN.

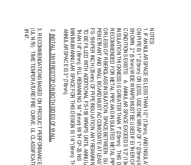
- NOTES:
1. ALL OF THE DETAILS ON THIS DRAWING ARE BASED ON THE 2019 FLORIDA BUILDING CODE.
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE 2019 FLORIDA BUILDING CODE.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION.
 4. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE 2019 FLORIDA BUILDING CODE.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION.
 8. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.



REFER TO STRUCTURAL FOR ALL REINFORCEMENT SPECIFICATIONS

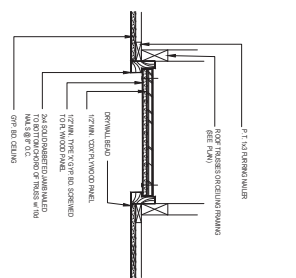


NOTES:
 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE 2019 FLORIDA BUILDING CODE.
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NOTES:
 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE 2019 FLORIDA BUILDING CODE.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION.

FIRESTOP DETAIL



TYPICAL ATTIC ACCESS DETAIL

REFER TO STRUCTURAL FOR ALL REINFORCEMENT SPECIFICATIONS

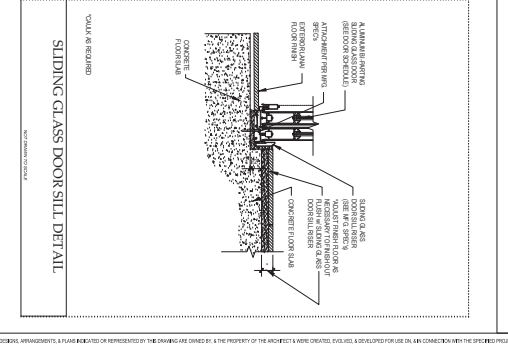
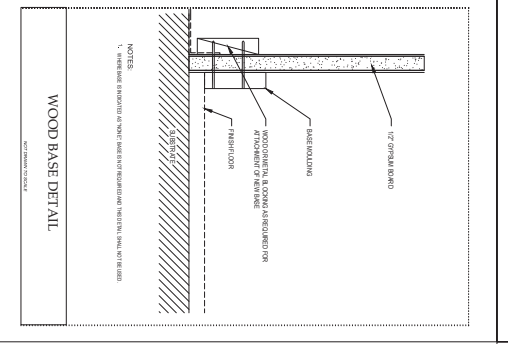
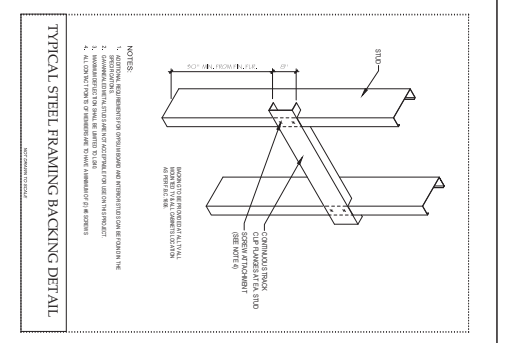
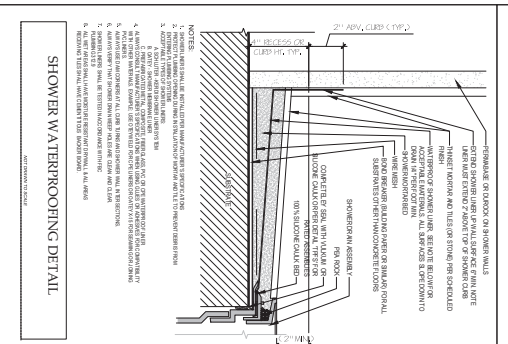
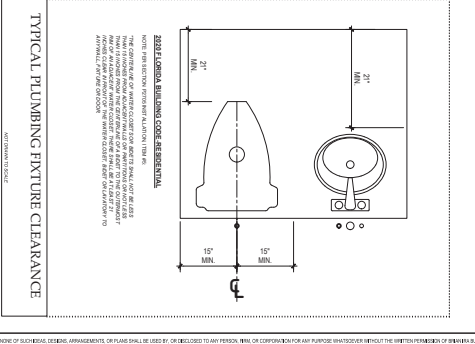
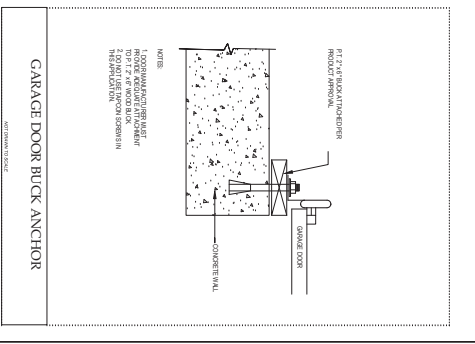
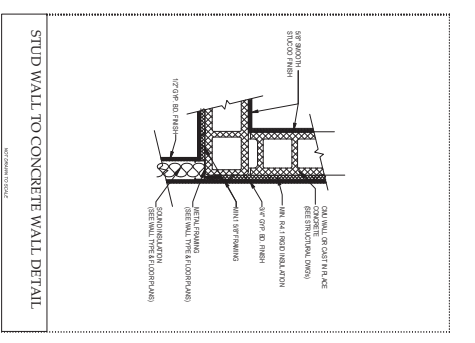
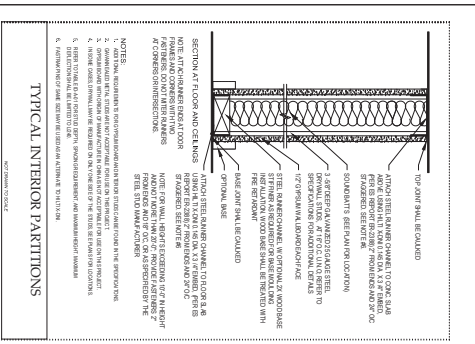
TYPICAL WALL SECTION

NO.	DESCRIPTION	DATE

The Benedict Bullock Group, Inc.
 ARCHITECTS & ENGINEERS
 1000 WEST 15TH AVENUE, SUITE 200
 FT. LAUDERDALE, FL 33311
 (954) 344-8888

STEVENS RESIDENCE
 1329 SW 9TH STREET FT. LAUDERDALE, FL

PROJECT'S SEAL
 PROFESSIONAL SEAL
A-4
 PERMIT 06-30-2023



NO.	DATE	REVISIONS	BY	DATE

ARCHITECT'S SEAL

STEVEN A. BULLOCK, ARCHITECT

STEVENS RESIDENCE

1329 SW 9TH STREET FT. LAUDERDALE, FL

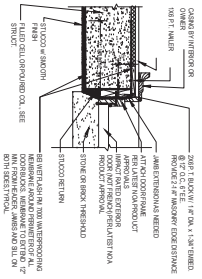
The Benedict Bullock Group, PA

ARCHITECTS

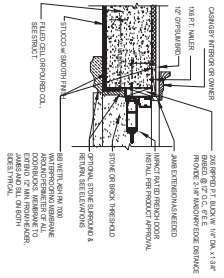
1329 SW 9TH STREET FT. LAUDERDALE, FL

DATE: 11.11.2023
 DRAWING: TYPICAL DETAILS
A-5

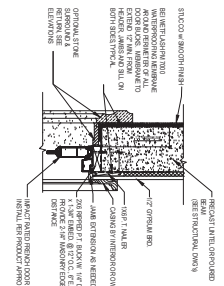
PERMIT 06-30-2023



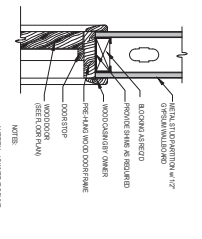
VALUASBOARD
DOOR OUTSWING JAMB DETAIL



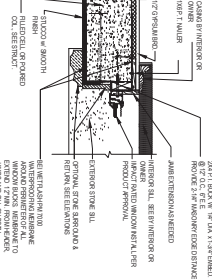
VALUASBOARD
TYP. EXTERIOR DOOR JAMB DETAIL



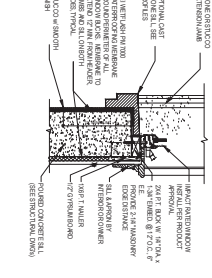
VALUASBOARD
TYP. EXTERIOR DOOR HEAD DETAIL



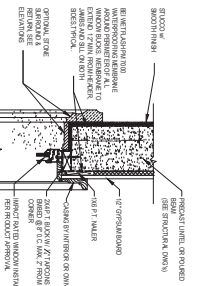
VALUASBOARD
TYP. INTERIOR DOOR HEAD DETAIL



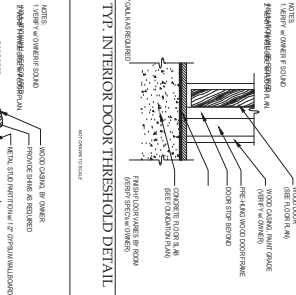
VALUASBOARD
TYPICAL WINDOW JAMB DETAIL



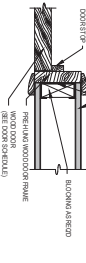
VALUASBOARD
TYPICAL WINDOW SILL DETAIL



VALUASBOARD
TYPICAL WINDOW HEAD DETAIL



VALUASBOARD
TYP. INTERIOR DOOR THRESHOLD DETAIL



VALUASBOARD
TYP. INTERIOR DOOR JAMB DETAIL

REV.	REVISIONS	BY	DATE

The Benedict Bullock Group, PA
ARCHITECTS
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STEVENS RESIDENCE
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ARCHITECT'S SEAL

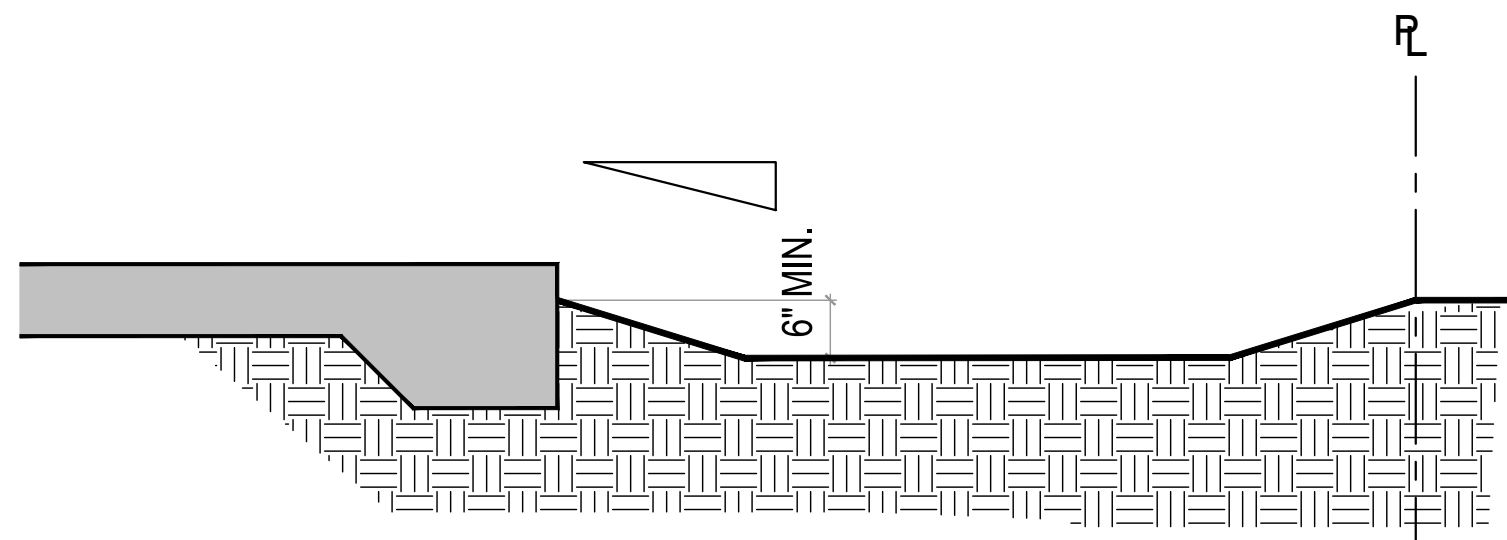
DRIVE BUILDING ARCHITECT
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SUITE 100
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A-6
TYPICAL WALL SECTION
SCALE: 1/4" = 1'-0"
DATE: 06-30-2023

CONSTRUCTION NOTES:

- CONTRACTOR TO FIELD LOCATE SIZE, DEPTH, MATERIAL AND LOCATION OF EXISTING WATER SERVICE TO BUILDING PRIOR TO CONSTRUCTION. NOTIFY ENGINEER WITH INFORMATION.
- CONTRACTOR TO FIELD LOCATE SIZE, DEPTH, MATERIAL AND LOCATION OF EXISTING SANITARY SEWER LATERAL SERVICE TO BUILDING PRIOR TO CONSTRUCTION. NOTIFY ENGINEER WITH INFORMATION.
- EXISTING TOPOGRAPHIC INFORMATION PROVIDED BY THE OWNER
- ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF FT. LAUDERDALE ENGINEERING.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
- THE LOCATION OF EXISTING FACILITIES WERE PLOTTED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SURVEY MARKERS.
- ALL SIDEWALKS AND PATIOS SHALL BE SLOPED AWAY FROM HOUSE.
- MAXIMUM GRASS SLOPES SHALL NOT EXCEED 4:1.
- CONTRACTOR SHALL COORDINATE GRADING PLAN WITH LANDSCAPE ARCHITECT.
- REMOVE ALL ORGANIC AND DELERIOUS MATERIAL BETWEEN THE EDGE OF PAVEMENT AND RIGHT OF WAY LINE (15' SODDED SWALE). NO MATERIAL OF F.D.O.T. CLASS A-5, A-7 OR A-8 SHALL BE ALLOWED IN THE RIGHT OF WAY.
- ALL ELEVATIONS SHOWN ARE IN THE NORTH AMERICA VERTICAL DATUM 1988



RUNOFF SWALE DETAIL

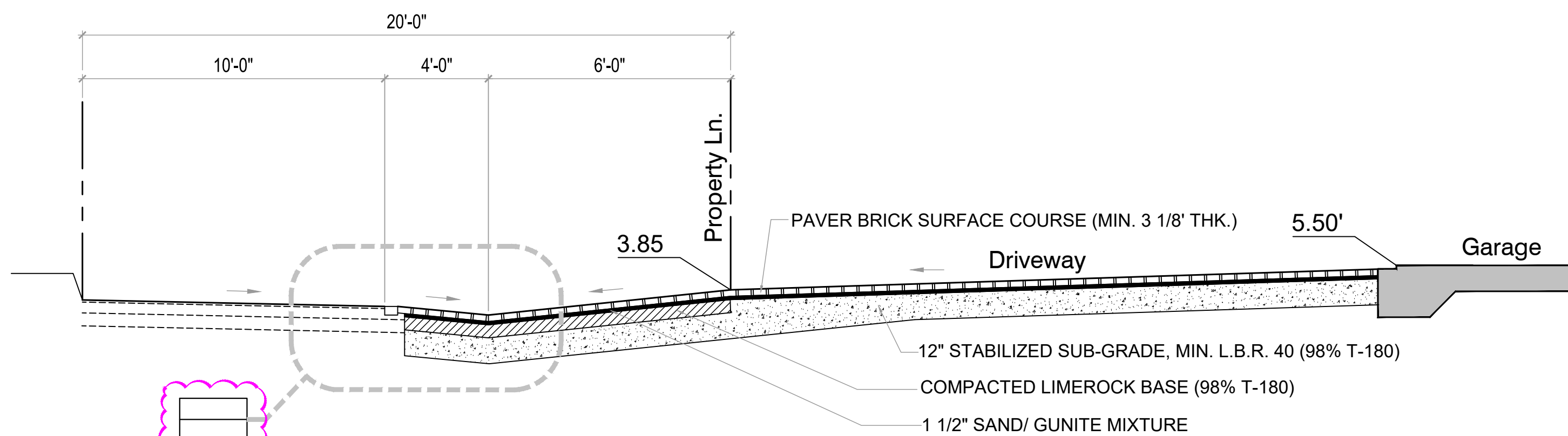
TYPICAL

Stormwater which falls on this property must be directed to retention areas in such a manner that it does not flow onto surrounding properties.

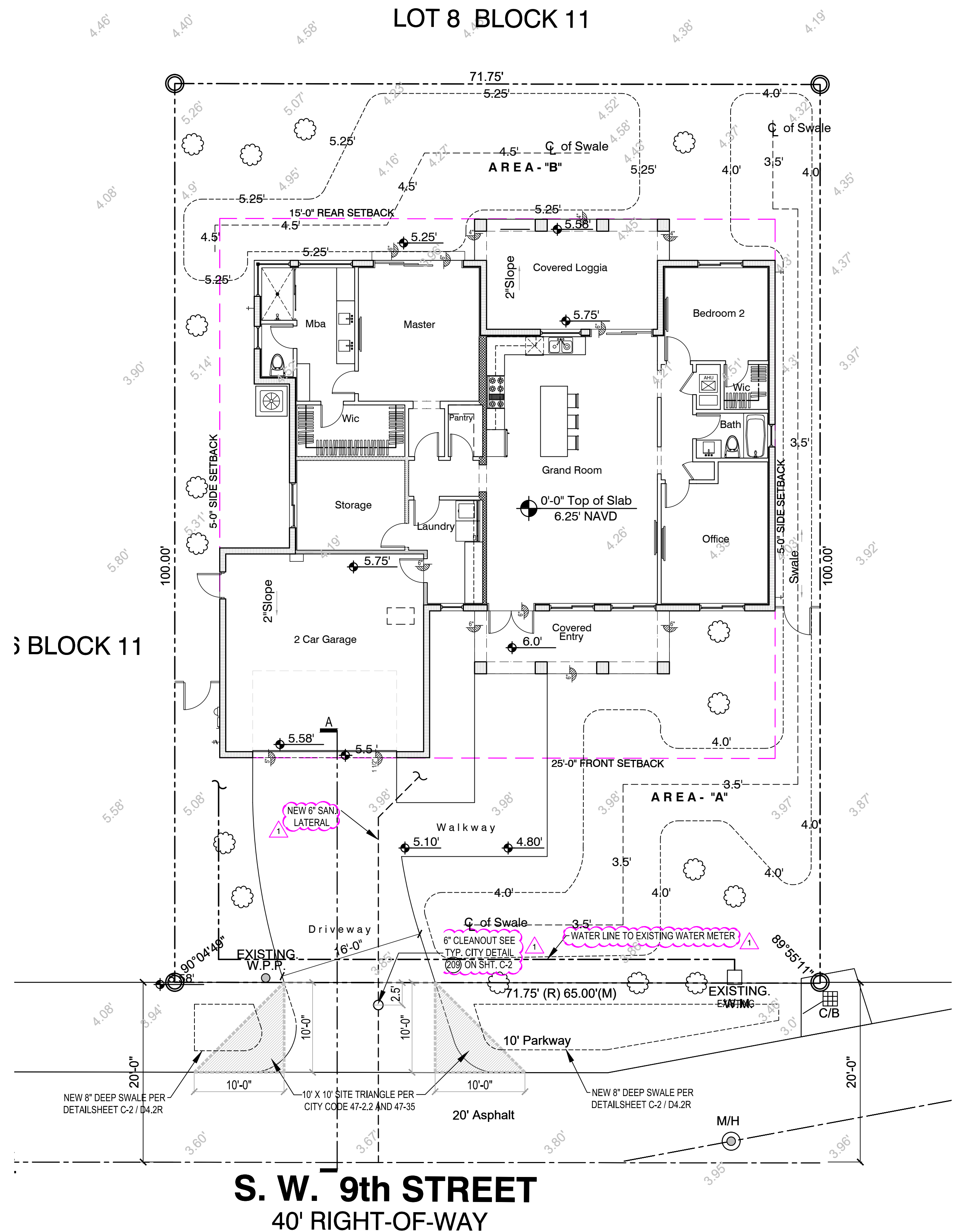
DRAINAGE CALCULATIONS	
REQUIRED RETENTION:	
1" X 1/12 X 7,175 = 595 CU. FT.	RETENTION (REQUIRED)
BUILDING COVERAGE 2,874 SQ. FT.	
FLATWORK 623 SQ. FT.	
TOTAL IMPERVIOUS AREA 3,497 SQ. FT.	
2.5" X 1/12 X 3,497 = 726 CU. FT. OF RAINWATER	
PROVIDED:	
AREA "A" 866 sq. ft. x .5 ft. average depth	= 433 CU. FT.
AREA "B" 608 sq. ft. x .75 ft.	= 456 CU. FT.
TOTAL RETENTION PROVIDED	= 889 CU. FT.

WHERE CONNECTIONS ARE TO BE MADE TO EXISTING BUILDING SEWERS, SUCH BUILDING SEWERS SHALL BE CAREFULLY EXAMINED BY TELEVISION EQUIPMENT AND INSPECTED AND CERTIFIED BY A LICENSED PLUMBER IN THE STATE OF FLORIDA AND REPORT SUPPLIED TO THE CITY'S DEVELOPMENT SERVICES DEPARTMENT (DSD) PRIOR TO ISSUANCE OF PERMIT TO CONNECT TO THE MAIN PER SECTION 28-59. THE FOLLOWING SHALL BE REQUIRED AND FOLLOW FOR SUBMITTAL:

- VIDEO SHALL BE PROVIDED VIA EMAIL OR DOWNABLE LINK PROVIDED BY ENGINEERING STAFF. PHYSICAL DEVICES SUCH AS EXTERNAL HARD DRIVES AND DISK ARE NOT ACCEPTABLE. ANY QUESTIONS OR ASSISTANCE WITH THE SUBMITTAL, PLEASE CONTACT ENGINEERING STAFF.
- VIDEO FOOTAGE SHALL BE OF SUFFICIENT QUALITY AND IDENTIFY PROPERTY ADDRESS, DATE, POINT OF ENTRY (EX. CLEAN-OUT) AND POINT OF
- INSPECTION AND CERTIFICATION REPORT SHALL IDENTIFY PIPE MATERIAL, SIZE, AND LATERAL CONDITION.



SECTION -A
NTS



- LEGEND**
- PROPOSED GRADE
 - EXISTING GRADE
 - PROPERTY LINE
 - PROPOSED PAVER BLOCK

1 DRAINAGE & GRADING PLAN
SCALE 1/8" = 1'-0"

W.P.P. - WOOD POWER POLE
W.M. - WATER METER
WH - MANHOLE

ALL IDEAS, DESIGNS, ARRANGEMENTS, & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, & THE PROPERTY OF THE ARCHITECT & WERE CREATED, DEVELOPED, & DESIGNED FOR USE ON & IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS SHALL BE USED BY, OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF BRIAN BULLOCK, ARCHITECT. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY & BE RESPONSIBLE FOR ALL DIMENSIONS & CONDITIONS ON THE JOB. THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ITEMS SO NOTED.

REV	DATE	BY	REVISIONS
1	08-21-2022	RST	CITY PLAN CHECK COMMENTS

The Benedict Bullock Group, PA
ARCHITECTURE • PLANNING
1525 NW 3RD STREET, SUITE #1
DEERFIELD BEACH, FLORIDA 33442
PHONE (954) 570-9500 FAX (954) 570-9500
www.TBGO.net

STEVENS RESIDENCE
1329 SW 9TH STREET FT. LAUDERDALE, FL.

ARCHITECT'S SEAL
BRIAN BULLOCK, ARCHITECT
AR 05754

DIGITAL SIGNATURE
DATE 11-17-2022
DRAWN BY RST
PROJECT NO. BS2282

DRAINAGE & GRADING PLAN

C-1

PERMIT 06-30-2023

GENERAL NOTES

A. APPLICABLE CODES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY, COUNTY AND STATE.
2. CONSTRUCTION SAFETY - ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER, SPECIFICALLY, THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL BE STRICTLY OBSERVED.
3. THE CONTRACTOR SHALL BE REQUIRED TO COMPLY WITH CHAPTER 90-95 OF THE LAWS OF FLORIDA (THE TRENCH SAFETY ACT) AND OSHA STANDARD 29 C.F.R. SECTION 1926.650 SUBPART P. THE CONTRACTOR SHALL SUBMIT WITH HIS CONTRACT A COMPLETED, SIGNED, AND NOTARIZED COPY OF THE TRENCH SAFETY ACT COMPLIANCE STATEMENT. THE CONTRACTOR SHALL ALSO SUBMIT A SEPARATE COST ITEM IDENTIFYING THE COST OF COMPLIANCE WITH THE APPLICABLE TRENCH SAFETY CODES.
4. NO CONSTRUCTION MAY COMMENCE UNTIL THE APPROPRIATE PERMITS HAVE BEEN OBTAINED FROM ALL LOCAL, STATE AND FEDERAL AGENCIES.

B. PRE CONSTRUCTION RESPONSIBILITIES

- 1. UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRE CONSTRUCTION CONFERENCE TO INCLUDE INVOLVED GOVERNMENTAL AGENCIES, ALL AFFECTED UTILITY OWNERS, THE OWNER, THE ENGINEER AND HIMSELF.
2. THE CONTRACTOR SHALL OBTAIN AN SUNSHINE STATE ONE CALL OF FLORIDA CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO PRIOR TO BEGINNING ANY EXCAVATION.
3. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH HE FAILS TO REQUEST LOCATIONS FROM THE UTILITY OWNER. HE IS RESPONSIBLE AS WELL FOR DAMAGE TO ANY EXISTING UTILITIES WHICH ARE PROPERLY LOCATED.
5. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.

C. INSPECTIONS

- 1. THE OWNER, ENGINEER, AND LOCAL PERMITTING AGENCIES MAY MAKE INSPECTIONS OF THE WORK AT ANY TIME. THE CONTRACTOR SHALL COOPERATE FULLY WITH ALL INSPECTIONS.

D. TEMPORARY FACILITIES

- 1. TEMPORARY UTILITIES - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY TO HIS EMPLOYEES AND SUBCONTRACTORS FOR THEIR USE DURING CONSTRUCTION.
2. TRAFFIC REGULATION - MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MUTCD AND THE FDOT STANDARD SPECIFICATIONS.
3. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC. NO HOLES SHALL BE LEFT OPEN OVERNIGHT.

E. PROJECT SITE

- 1. DURING CONSTRUCTION THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEPED BROOM CLEAN.
2. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED BY THE ENGINEER ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK, EQUIPMENT, EMPLOYEES OR THOSE OF HIS SUBCONTRACTORS TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. TO THIS END, THE CONTRACTOR SHALL DO AS REQUIRED ALL NECESSARY HIGHWAY OR DRIVEWAY, WALK, AND LANDSCAPING WORK. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.

F. PROJECT RECORD DOCUMENTS

- 1. THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF WORK ITEMS COMPLETED. INFORMATION RELATIVE TO MANHOLES, VALVES, SERVICES, FITTINGS, LENGTH OF PIPE, INVERT ELEVATIONS, FINISHED GRADE ELEVATIONS AND THE LIKE, SHALL BE ACCURATELY RECORDED BY THE CONTRACTOR. TOP ELEVATIONS @ 100' O.C.
2. ALL "AS-BUILT" INFORMATION SUBMITTED TO THE ENGINEER SHALL BE SUFFICIENTLY ACCURATE, CLEAR AND LEGIBLE TO SATISFY THE ENGINEER AND ANY APPLICABLE REVIEWING AGENCY THAT THE INFORMATION PROVIDES A TRUE REPRESENTATION OF THE IMPROVEMENTS CONSTRUCTED.
3. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD FIVE COMPLETE SETS OF "AS-BUILT" CONSTRUCTION DRAWINGS (PRINTS) AND ONE MYLAR ORIGINAL. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS AND SHALL BE SIGNED BY THE CONTRACTOR.
4. ALL "AS-BUILT" INFORMATION ON ELEVATIONS OF PAVING, DRAINAGE, WATER, AND SEWER SHALL BE CERTIFIED BY A REGISTERED LAND SURVEYOR.
5. IT IS THE INTENT THAT THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" DATED 1991 TOGETHER WITH "SUPPLEMENTAL SPECIFICATIONS TO THE 1991 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" DATED 1991 BE USED WHERE APPLICABLE FOR THE VARIOUS WORK, AND THAT WHERE SUCH WORDING THEREIN REFERS TO THE STATE OF FLORIDA AND ITS DEPARTMENT OF TRANSPORTATION AND PERSONNEL, SUCH WORDING IS INTENDED TO BE REPLACED WITH THE WORDING WHICH WOULD PROVIDE PROPER TERMINOLOGY; THEREBY MAKING SUCH "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS THE "STANDARD SPECIFICATIONS" FOR THIS PROJECT. IF WITHIN A PARTICULAR SECTION, ANOTHER SECTION, ARTICLE OR PARAGRAPH IS REFERRED TO IT SHALL BE PART OF THE STANDARD SPECIFICATIONS ALSO. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL AND STATE LAWS, REGULATIONS AND BUILDING CODES WHICH HAVE JURISDICTION IN THE AREA.

H. EARTHWORK AND COMPACTION

a. GENERAL

- 1. NONE OF THE EXISTING MATERIAL IS TO BE INCORPORATED IN THE LIMEROCK BASE.
2. ALL SUBGRADE UNDER PAVED AREAS SHALL HAVE A MINIMUM LBR VALUE OF 40 AND SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
3. ALL FILL MATERIAL IN AREAS NOT TO BE PAVED SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
4. A 2" BLANKET OF TOP SOIL SHALL BE PLACED OVER ALL AREAS TO BE SODDED.
5. SOD SHALL BE ST. AUGUSTINE, BITTER BLUE OR FLORATAM AND SHALL BE PLACED ON THE GRADED TOP SOIL AND WATERED TO INSURE SATISFACTORY CONDITION UPON FINAL ACCEPTANCE OF THE PROJECT.
6. WHEN WORKING IN AND AROUND EXISTING DRAINAGE CANALS OR LAKES, APPROPRIATE SILT BARRIERS SHALL BE INSTALLED.

b. ON-SITE:

- 1. ALL ORGANIC AND OTHER UNSUITABLE MATERIAL WITHIN THREE FEET OF AREAS TO BE PAVED SHALL BE REMOVED.
2. SUITABLE BACKFILL SHALL BE MINIMUM LBR 40 MATERIAL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180 FOR THREE (3) FEET BEYOND THE PERIMETER OF THE PAVING.

I. STORM DRAINAGE

a. CONTRACTOR MAY UTILIZE ONE OF THE FOLLOWING MATERIALS.

1. ALUMINUM:

- A. PIPE SHALL BE ALUMINUM, MANUFACTURED IN CONFORMANCE WITH ASTM B209.
B. PIPE SHALL BE SPIRAL RIB DRAINAGE PIPE WITH 3/4" BY 3/4" RIBS, APPROXIMATELY 7-1/2" ON CENTER. GAUGE THICKNESS SHALL MEET FDOT STANDARD 945-1.
C. PIPE COUPLING BANDS SHALL BE 12" WIDE STANDARD SPLIT BANDS OF THE SAME ALLOY AS THE PIPE AND MAY BE ONE GAUGE LIGHTER THAN THE PIPE.
D. POLYURETHANE OR OTHER SEALANT SHALL BE USED WITH COUPLING BANDS ON ALL NON-PERFORATED PIPE.

2. REINFORCED CONCRETE PIPE (RCP):

CONCRETE PIPE FOR STORM SEWERS SHALL CONFORM TO ASTM L70-79, TABLE III, WALL B, OR LATEST REVISION. ALL PIPE SHALL HAVE MODIFIED TONGUE AND GROOVE JOINTS, AND HAVE RUBBER GASKETS, UNLESS OTHERWISE SPECIFIED.

3. MISCELLANEOUS:

- A. BEDDING AND INITIAL BACKFILL OVER DRAINAGE PIPES SHALL BE SAND WITH NO ROCK LARGER THAN 1" DIAMETER.
B. BACKFILL MATERIAL UNDER PAVED AREAS SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
C. BACKFILL MATERIAL UNDER AREAS NOT TO BE PAVED SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
D. CATCH BASINS SHALL BE PRECAST MINIMUM 3000 PSI CONCRETE AND GRADE 40 REINFORCED STEEL.
4. INSTALLATION:
A. PIPE SHALL BE PLACED ON STABLE GRANULAR MATERIAL FREE OF ROCK FORMATION OTHER FOREIGN FORMATIONS, AND CONSTRUCTED TO UNIFORM GRADE AND LINE.
B. BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL WELL TAMPED IN LAYERS NOT TO EXCEED SIX INCHES (6").
C. PROVIDE A MINIMUM PROTECTIVE COVER OF 18 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
D. THE CONTRACTOR SHALL NOTIFY THE LOCAL WATER CONTROL DISTRICT AT LEAST 24 HOURS PRIOR TO THE START OF THE CONSTRUCTION AND INSPECTION.
5. HDPE DRAINAGE PIPE SHALL CONFORM TO AASHTO M294, STANDARD SPECIFICATION FOR CORRUGATED POLYETHYLENE PIPE, 12" TO 36" DIAMETER, SMOOTH LINED INSIDE WALLS.

J. STORM DRAINAGE PRE-TREATMENT/EXFILTRATION SYSTEM

- a. ANY CONFLICT WITH EXISTING OR PROPOSED UTILITIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER. ANY IMPERMEABLE MATERIAL ENCOUNTERED IN THE EXCAVATION FOR THE DRAIN FIELD SHALL BE REMOVED AS DIRECTED BY THE ENGINEER.
b. THE TRENCH LINER SHALL BE TYPAR SPUN BONDED POLYPROPYLENE FILTER FABRIC AS MANUFACTURED BY THE DUPONT COMPANY, OR APPROVED EQUAL. IT SHALL BE USED ON THE SIDES AND TOP OF DRAIN FIELD DITCH. THE TOP SECTION OF THE MATERIAL SHALL BE LAPPED A MINIMUM OF 24 INCHES AND THE CONTRACTOR SHALL TAKE EXTREME CARE IN BACKFILLING TO AVOID BUNCHING OF THE FABRIC.
c. PERFORATED PIPE WITHIN THE DRAIN FIELD SHALL HAVE 3/8 INCH PERFORATIONS 360° AROUND THE PIPE WITH APPROXIMATELY 120 PERFORATIONS PER FOOT OF PIPE.
d. PERFORATED PIPE SHALL TERMINATE FIVE FEET (5') FROM THE DRAINAGE STRUCTURE. THE REMAINING FIVE FEET (5') SHALL BE NON-PERFORATED PIPE.
e. PIPES SHALL TERMINATE TWO FEET (2') FROM THE END OF THE TRENCH OR CONNECT TO ADDITIONAL CATCH BASINS.

K. PAVING

a. GENERAL:

- 1. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF LIMEROCK BASE AND PRIOR TO PLACEMENT OF THE PAVEMENT.
2. ALL EXISTING PAVEMENT CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
3. WHERE PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT.
4. ALL STREET CORNER PAVEMENT RADII SHALL BE 25 FEET UNLESS OTHERWISE NOTED ON THE PLANS.
5. UPON COMPLETION OF DRAINAGE IMPROVEMENTS AND LIMEROCK BASE CONSTRUCTION (AND BEFORE PLACING ASPHALT PAVEMENT) THE CONTRACTOR SHALL FURNISH THE ENGINEER OF RECORD AND THE CITY OF FT. LAUDERDALE "AS-BUILT" PLANS FOR THESE IMPROVEMENTS, SHOWING THE LOCATIONS AND THE PERTINENT GRADES OF ALL DRAINAGE INSTALLATIONS AND THE FINISHED ROCK GRADES OF THE ROAD CROWN AND EDGE OF PAVEMENT AT 50 FEET INTERVALS. THESE "AS-BUILTS" SHALL BE APPROVED BY THE CITY PRIOR TO THE PLACEMENT OF ASPHALT.

b. MATERIALS:

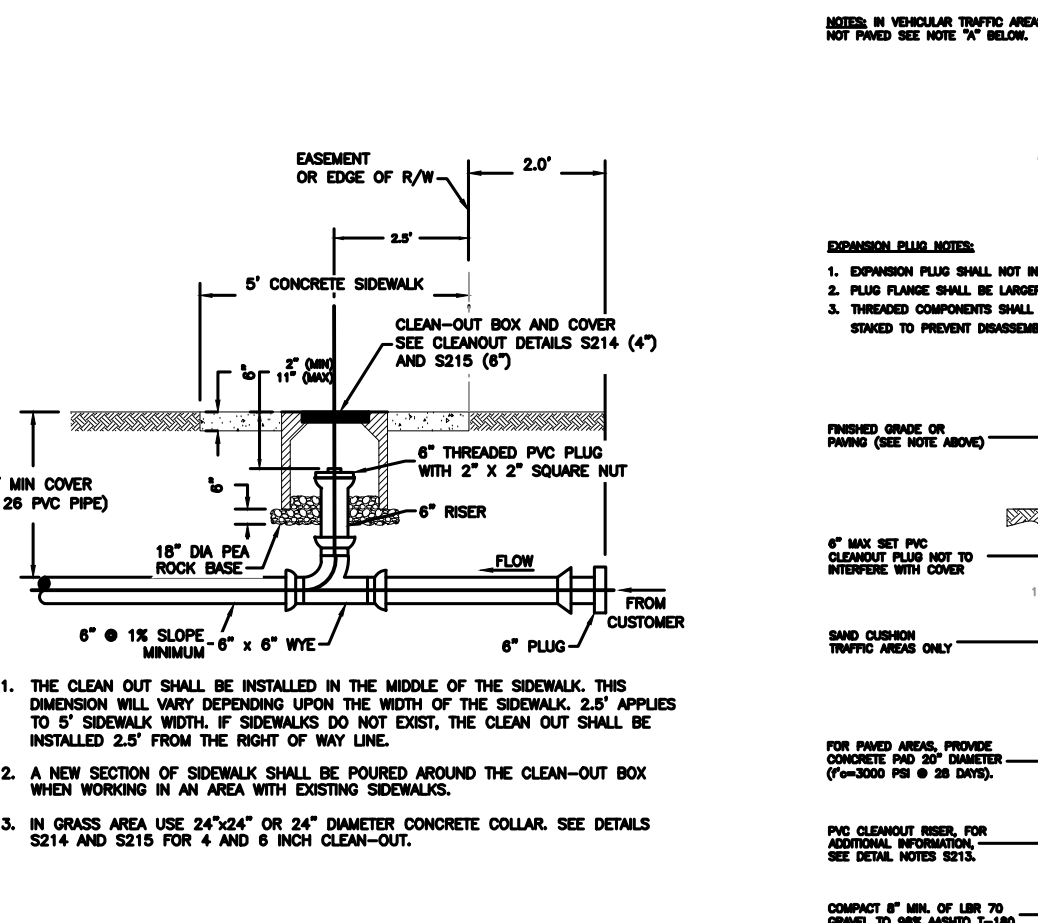
- 1. BASE COURSE SHALL BE CRUSHED LIMEROCK MIAMI OOLITE WITH A MINIMUM OF 70% CARBONATES OF CALCIUM AND MAGNESIUM (60% FOR LOCAL STREETS AND PARKING AREAS) AND A MINIMUM LIMEROCK BEARING RATIO 100.
2. PRIME COAT AND TACK COAT SHALL MEET F.D.O.T. STANDARDS.
3. SURFACE COURSE SHALL BE EQUAL TO F.D.O.T. TYPE S-3 ASPHALT.
4. REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED OF CLASS I CONCRETE WITH A MINIMUM STRENGTH OF 3,000 PSI AND SHALL BE REINFORCED WITH A 5" X 6" NO. 6 GAUGE WIRE MESH.

c. INSTALLATION:

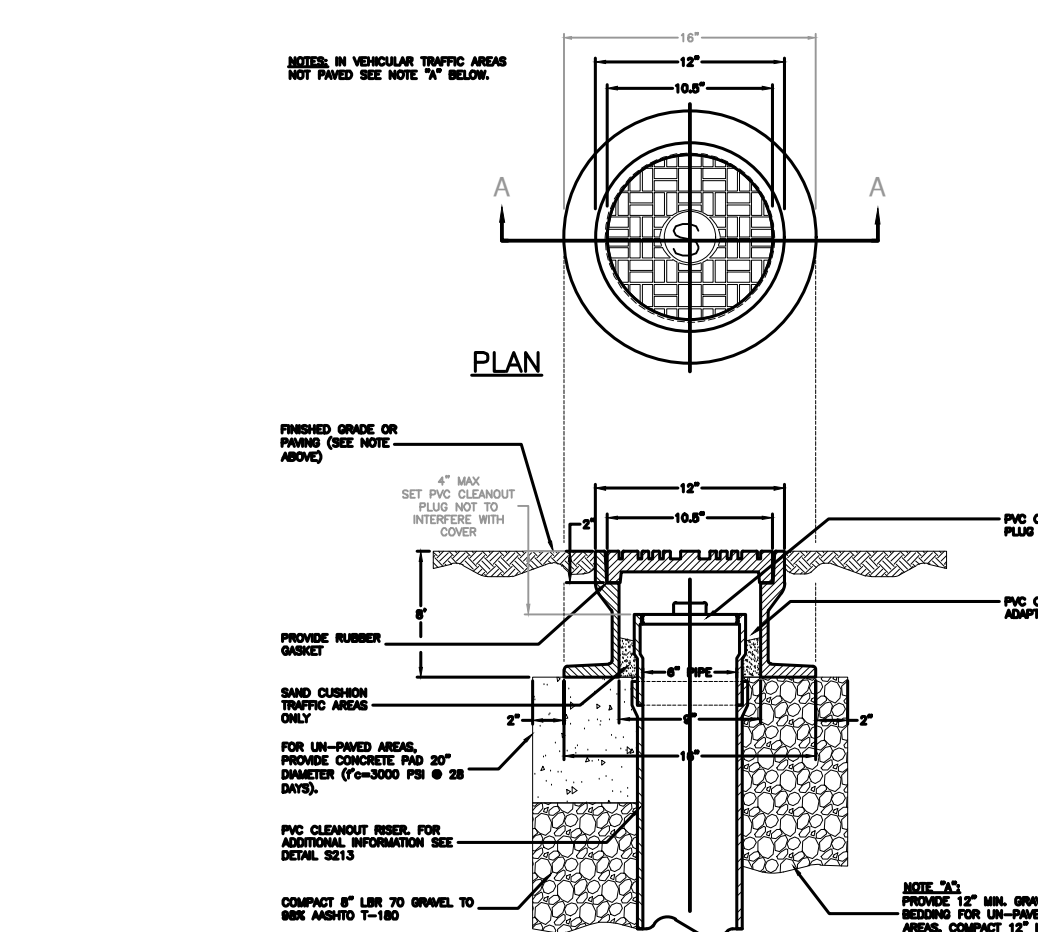
- 1. LIMEROCK BASE MATERIAL SHALL BE 6 INCHES THICK AND SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T60-C.
2. LIMEROCK BASE MATERIAL SHALL BE PLACED IN MAXIMUM 6" LIFTS. BASES GREATER THAN 6" SHALL BE PLACED IN TWO OR MORE EQUAL LIFTS.
3. ASPHALTIC CONCRETE SHALL BE A MINIMUM OF 1" THICK.
4. PRIME COAT SHALL BE PLACED ON ALL LIMEROCK BASES IN ACCORDANCE WITH F.D.O.T. STANDARDS.
5. TACK COAT SHALL BE PLACED AS REQUIRED IN ACCORDANCE WITH F.D.O.T. STANDARDS.

d. TESTING:

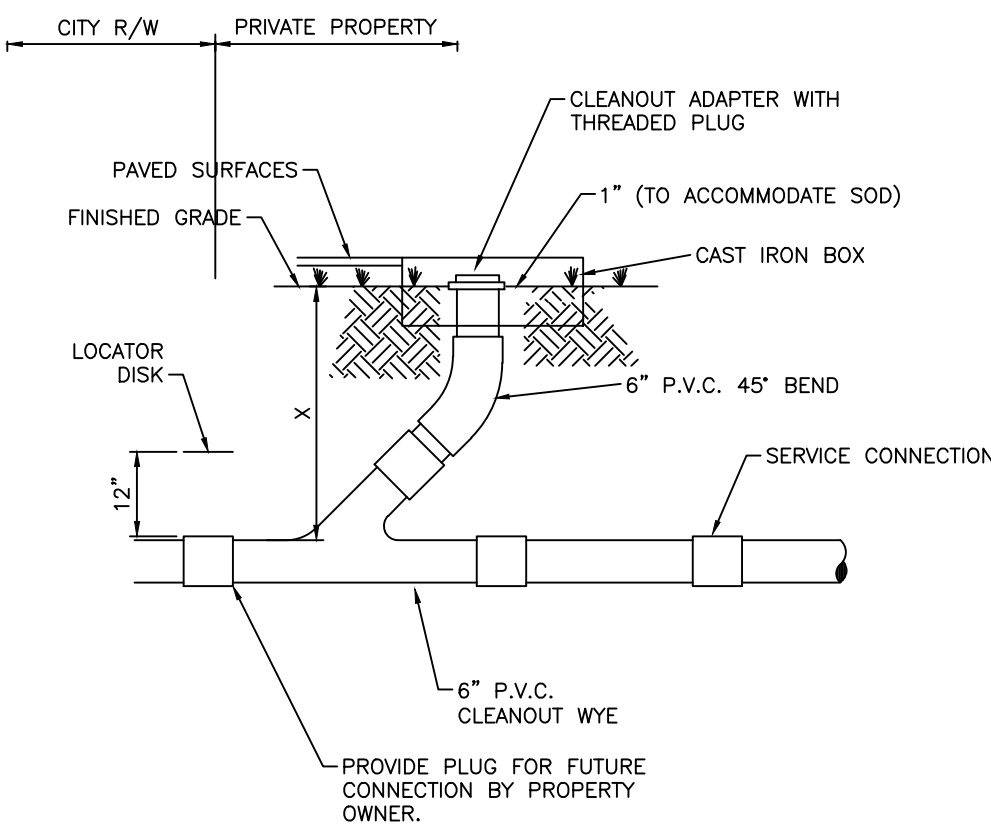
- ALL SUBGRADE, LIMEROCK AND ASPHALT TESTS REQUIRED SHALL BE TAKEN AT THE DIRECTION OF THE ENGINEER AND/OR THE CITY OF FT. LAUDERDALE.
1. THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
2. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY, CERTIFIED BY THE STATE OF FLORIDA, AND TAKEN AS DIRECTED BY THE ENGINEER AND THE CITY OF FT. LAUDERDALE.
3. ALL TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE OWNER EXCEPT THOSE TESTS FAILING TO MEET THE SPECIFIED REQUIREMENTS, WHICH ARE TO BE PAID BY THE CONTRACTOR.



SANITARY SERVICE CONNECTION AT PROPERTY LINE OR EASEMENT LINE (PROFILE)



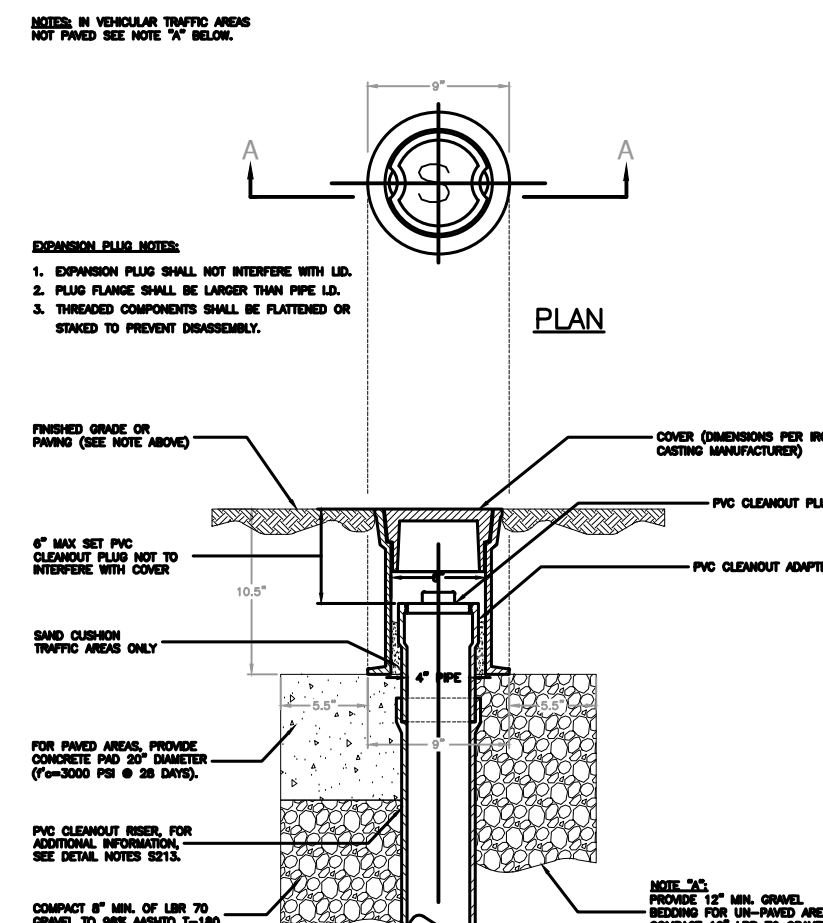
CLEAN-OUT COVER ASSEMBLY FOR 4-INCH CLEANOUTS



NOTES:

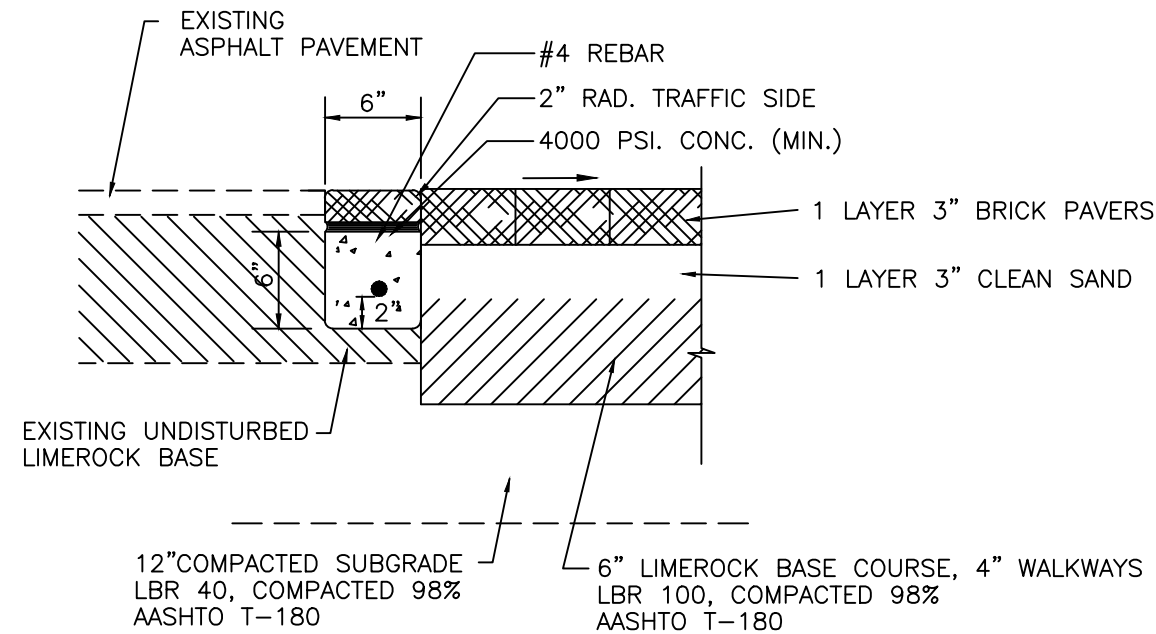
- 1. PROVIDE APPROVED PLUG OR JOINT FOR DISSIMILAR GRAVITY SEWER PIPE FOR SERVICE CONNECTION.
2. CLEAN-OUT ASSEMBLY SHALL BE INSTALLED BY PROPERTY OWNER.
3. X=30" MIN. OR 40" MAX. FOR RESIDENTIAL SERVICE UNLESS OTHERWISE SHOWN.

TYPICAL CLEANOUT INSTALLATION



CLEAN-OUT COVER ASSEMBLY FOR 4-INCH CLEANOUTS

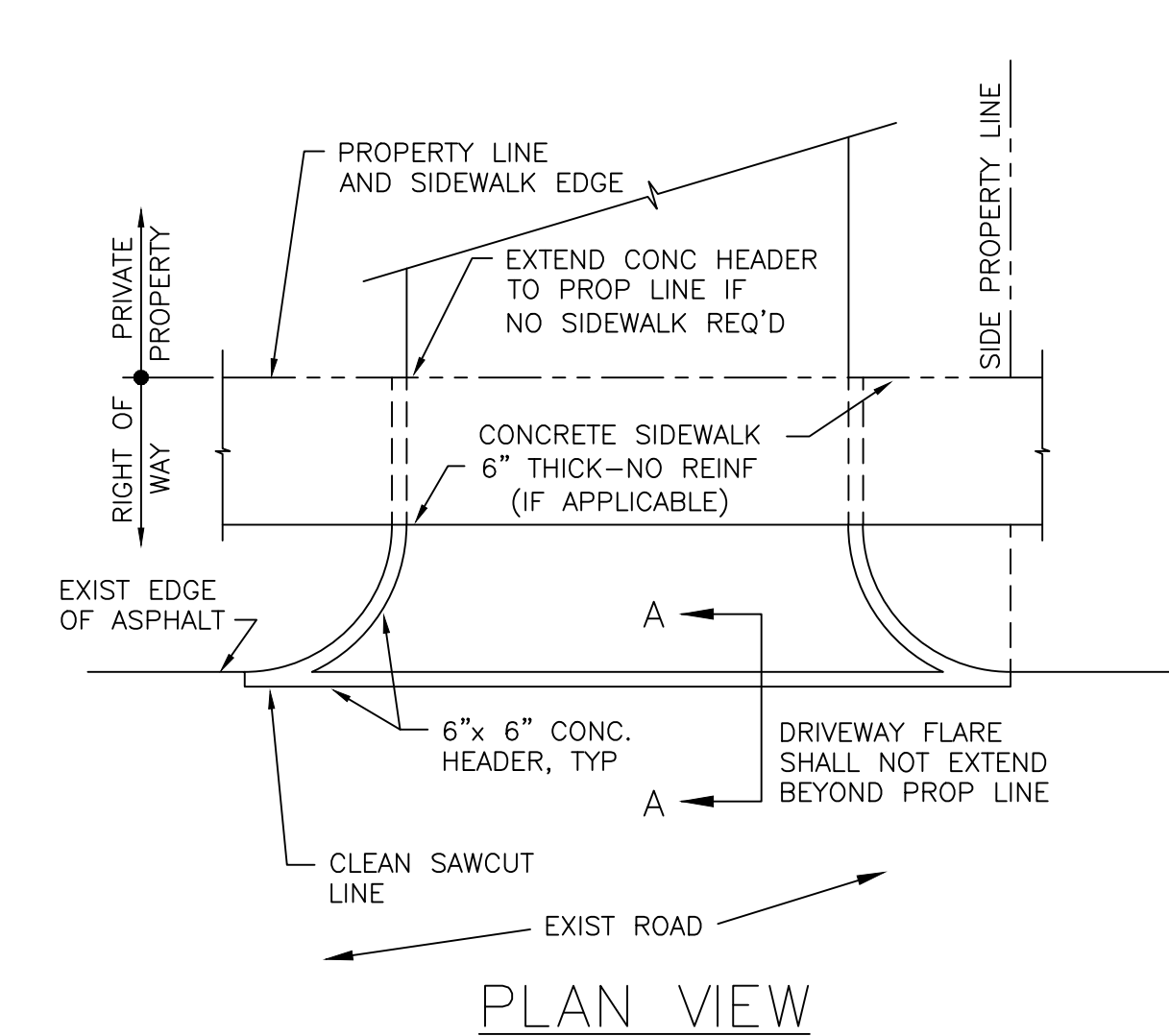
ALTERNATE HEADER CURB



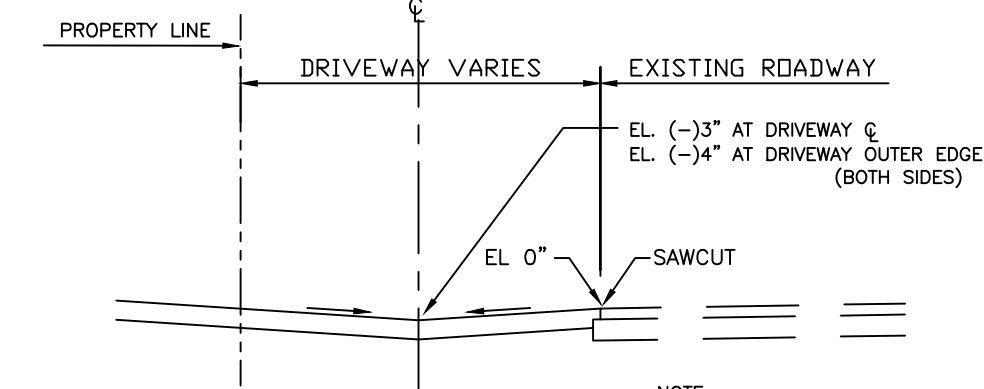
PAVER BLOCK SECTION WITH HEADER CURB

NOTES:

- 1. SIDEWALK SHALL BE CONCRETE. CONFIRM TO CITY CONSTRUCTION STANDARDS AND RUN CONTINUOUSLY THROUGH DECORATIVE DRIVEWAYS. A DETERMINATION ON IF A NEW SIDEWALK IS REQUIRED WILL BE MADE AT THE TIME OF PERMIT REVIEW.
2. ALL PAVER BLOCK MATERIALS SHALL HAVE ADEQUATE COMPRESSIVE STRENGTH, WATER ABSORPTION RATE, SKID RESISTANCE AND BE FREE OF CRACKS, SHIPS AND VOIDS. CONCRETE PAVERS SHALL CONFORM TO ASTM C-936. CLAY PAVERS SHALL BE HARD BURNED AND SHALL CONFORM TO ASTM C-902. THE MINIMUM PAVEMENT THICKNESS SHALL BE 3 3/8 INCHES. DEVIATIONS FROM THESE STANDARDS MAY BE APPROVED BY THE CITY ENGINEER IF SUFFICIENT EVIDENCE IS PROVIDED TO DEMONSTRATE THAT PUBLIC SAFETY AND THE INTEGRITY OF THE RIGHT-OF-WAY WOULD NOT BE COMPROMISED.
3. BEDDING SAND SHALL BE GRANULAR AND FINELY GRADED, TO THE SATISFACTION OF THE CITY INSPECTOR. LIMEROCK BASE SHALL BE BROUGHT UP TO GRADE BEFORE BEDDING SAND IS INSTALLED. BEDDING SAND SHALL NOT BE USED TO COMPENSATE FOR AN UNEVEN LIMEROCK BASE. PAVER GRADES SHALL BE SLOPED 2% FOR DRAINAGE.
4. PAVER JOINTS SHALL BE 3/8" WIDE, WITH A 1/8" TOLERANCE. ALL JOINTS SHALL BE SWEEPED WITH DRY SAND UP TO THE PAVER SURFACE AND COMPACTED WITH A VIBRATORY PLATE COMPACTOR. IF NEEDED, THIS PROCESS SHALL BE REPEATED TO ATTAIN DESIRED COMPACTION. PAVERS SHALL BE PROTECTED FROM CHIPPING AND OTHER DAMAGE DURING THE COMPACTION PROCESS.
5. ALL MATERIALS, WORKMANSHIP AND RESTORATION OF FEATURES IN THE RIGHT-OF-WAY SHALL BE TO THE SATISFACTION OF THE CITY INSPECTOR. MATERIAL CERTIFICATIONS, SAMPLES, SHOP DRAWINGS AND DENSITY TESTS MAY BE REQUIRED BY THE CITY INSPECTOR FOR VERIFICATION.



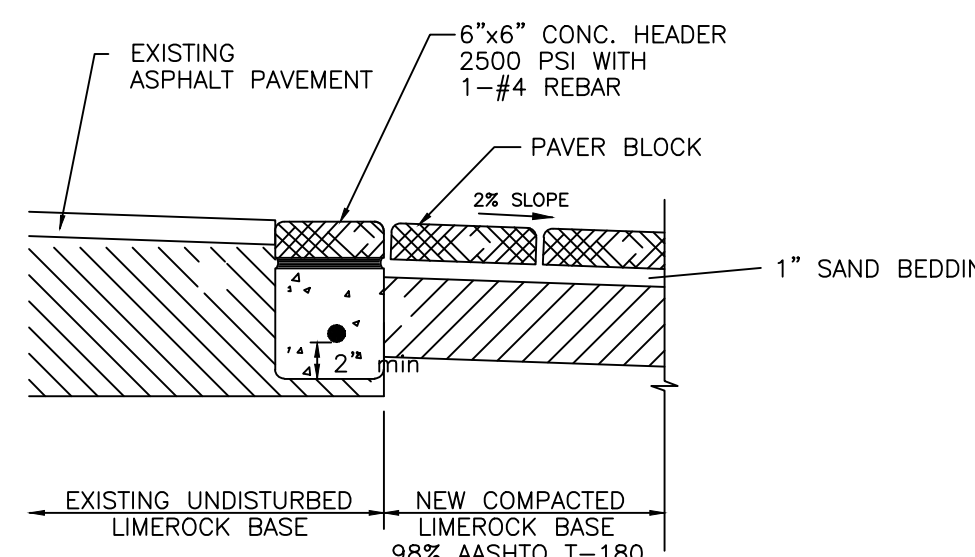
PLAN VIEW



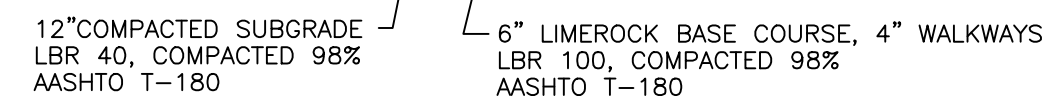
DRIVEWAY SECTION

(PER CITY OF FT. LAUDERDALE STANDARD DETAIL C1.3 PG. 2 OF 2)

NOTE: IF DRAWING IS CONCRETE, CONCRETE MUST BE 3,000 PSI @ 28 DAYS, 6" THICK WITH NO REINFORCEMENT OR WIRE MESH ALLOWED IN RIGHT-OF-WAY. 4 INCH THICK CONCRETE WITH REINFORCEMENT IS ALLOWED ON SITE ONLY.



SECTION A-A



PAVER BLOCK SECTION

ALL IDEAS, DESIGNS, ARRANGEMENTS & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY & ARE THE PROPERTY OF THE ARCHITECT & WERE CREATED, EVOLVED & DEVELOPED FOR USE ON & IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF BRIAN BULLOCK, ARCHITECT. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL PREVAIL OVER SCALE DIMENSIONS & CONDITIONS ON THE JOB. THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ITEMS SO NOTED.

Table with columns: DATE, BY, REVISIONS, CITY PLAN CHECK COMMENTS.

The Benedict Bullock Group, PA ARCHITECTURE • PLANNING
1525 NW 3RD STREET, SUITE #1
DEERFIELD BEACH, FLORIDA 33442
PHONE (561) 570-8500 FAX (561) 570-8500
www.TBGO.net

STEVEN'S RESIDENCE
1329 SW 9TH STREET FT. LAUDERDALE, FL.

ARCHITECT'S SEAL
BRIAN BULLOCK, ARCHITECT
AR 95754

Table with columns: DATE, DRAWN BY, PROJECT NO.

DIGITAL SIGNATURE
GENERAL NOTES AND MISC. DETAILS
C-2
PERMIT 06-30-2003

BEST MANAGEMENT PRACTICES

SECTION A GENERAL EROSION CONTROL

- A.1 General erosion control BMP's shall be employed to minimize soil erosion and potential lake slope cave-ins. While the various techniques required will be site and plan specific, they should be employed as soon as possible during construction activities.
- A.2 Cleared site development areas not continually scheduled for construction activities shall be covered with hay or overseeded and periodically watered sufficient to stabilize the temporary groundcover.
- A.3 Slopes of banks retention/detention ponds shall be constructed not steeper than 4H:1V from top of bank to two feet below normal water level as shown in Figure 5.
- A.4 All grass slopes constructed steeper than 4H:1V shall be sodded as soon as practical after their construction as shown in Figure 8.
- A.5 Sod shall be placed for a 3-foot wide strip adjoining all curbing and around all inlets as shown in Figure 9. Sod shall be placed before silt barriers, shown in Figure 6, are removed.
- A.6 Where required to prevent erosion from sheet flow across bare ground from entering a lake or swale, a temporary sediment sump shall be constructed as shown in Figure 10. The temporary sediment sump shall remain in place until vegetation is established on the ground draining to the sump.

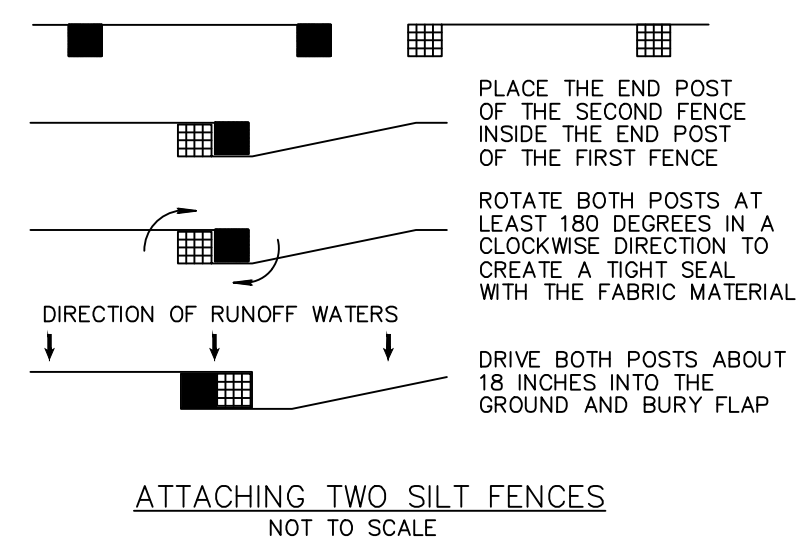
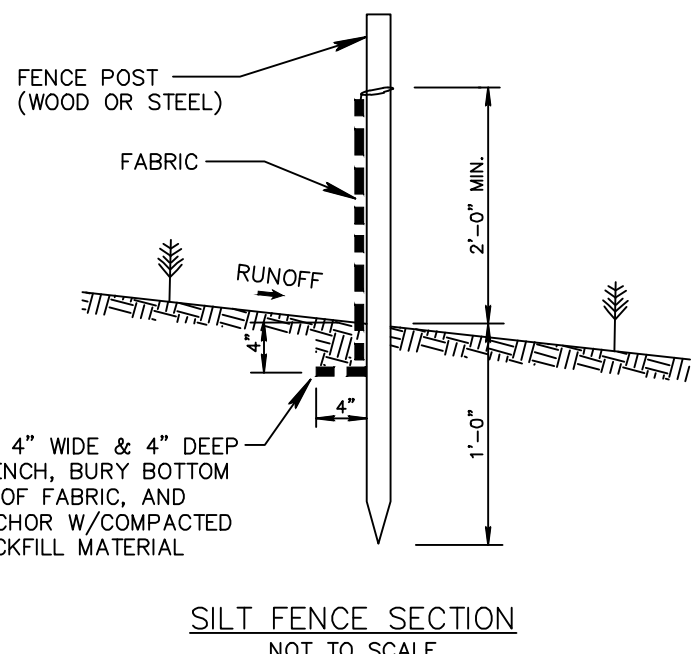
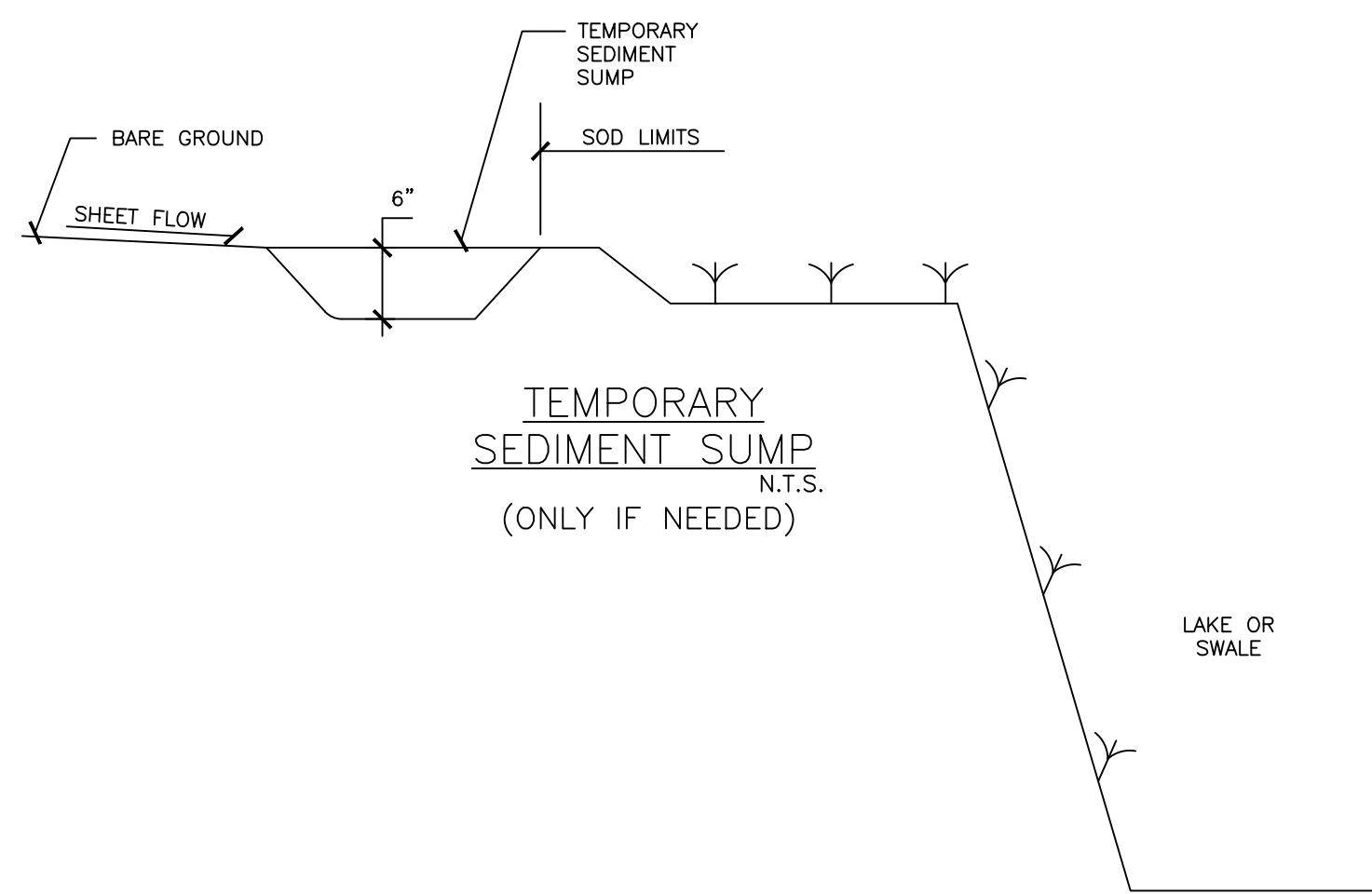
SECTION B PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION

- B.1 Surface water quality shall be maintained by employing the following BMP's in the construction planning and construction of all improvements.
- B.2 Where practical, stormwater shall be conveyed by swales. Swales shall be constructed as shown in Figure 5.
- B.3 Erosion control measures shall be employed to minimize turbidity of surface waters located downstream of any construction activity. While the various measures required will be site specific, they shall be employed as needed in accordance with the following.
 - a. In general erosion shall be controlled at the furthest practical upstream location.
 - b. Stormwater inlets shall be protected during construction as shown in Figures 6 and 7. Protection measures shall be employed as soon as practical during the various stages of inlet construction. Silt barriers shall remain in place until sodding around inlets is complete.

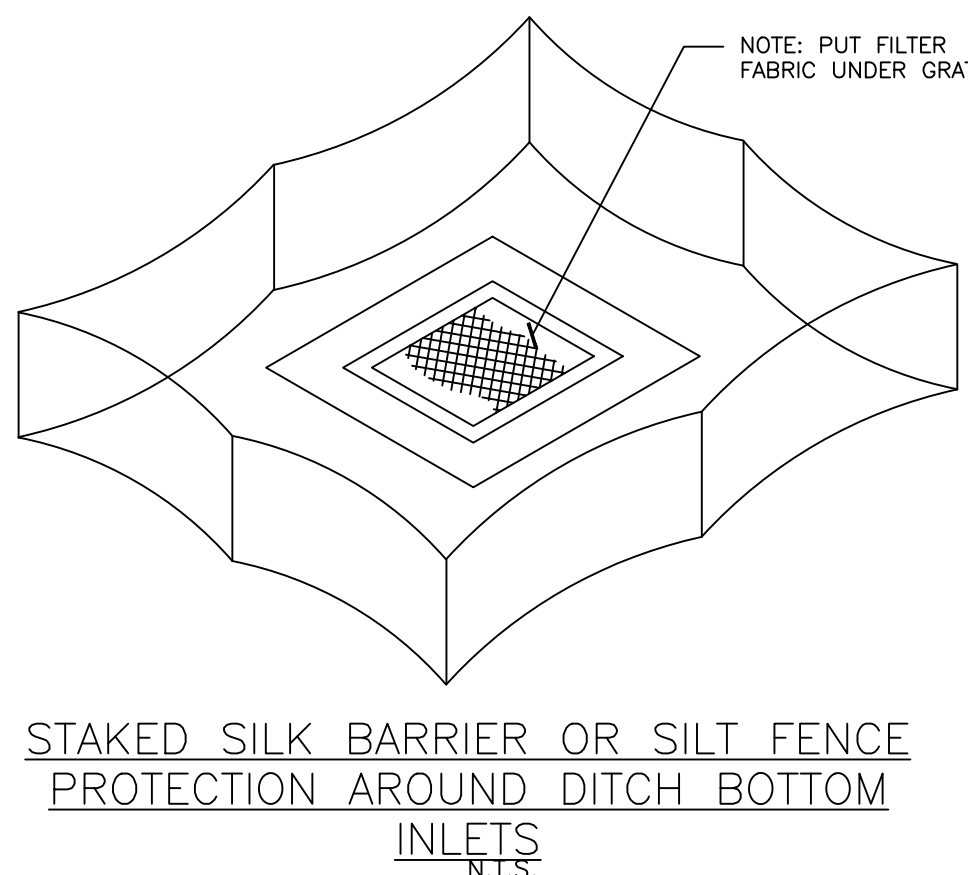
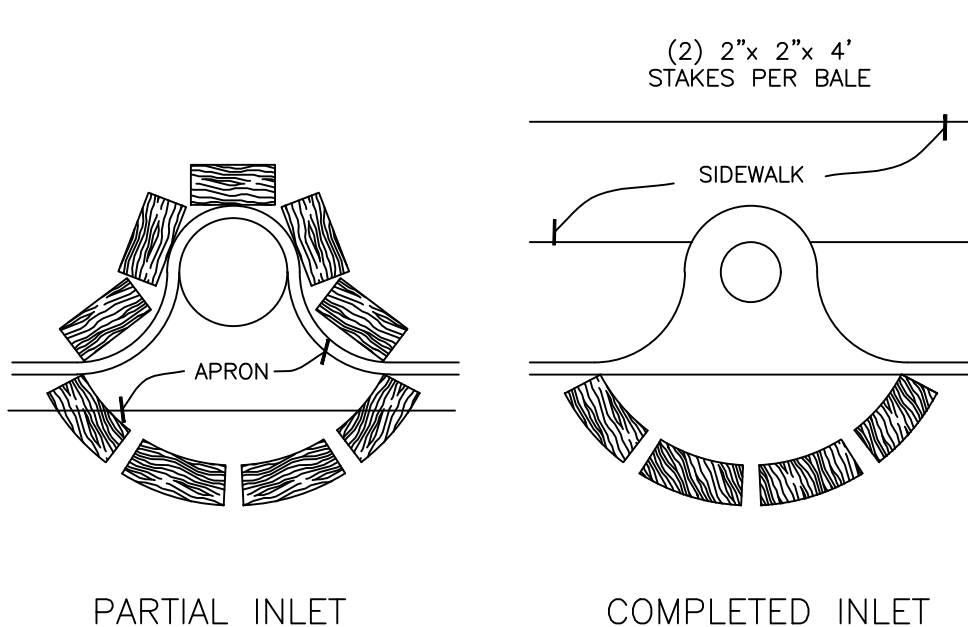
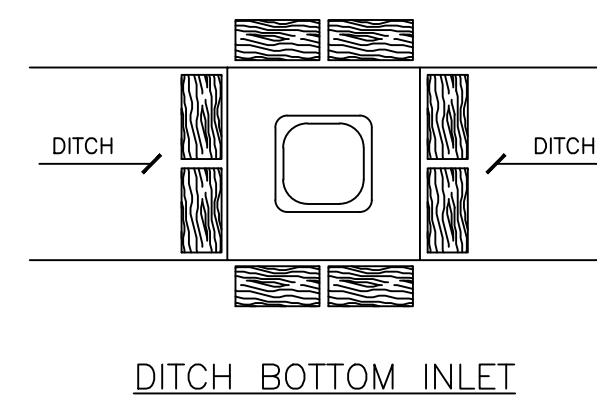
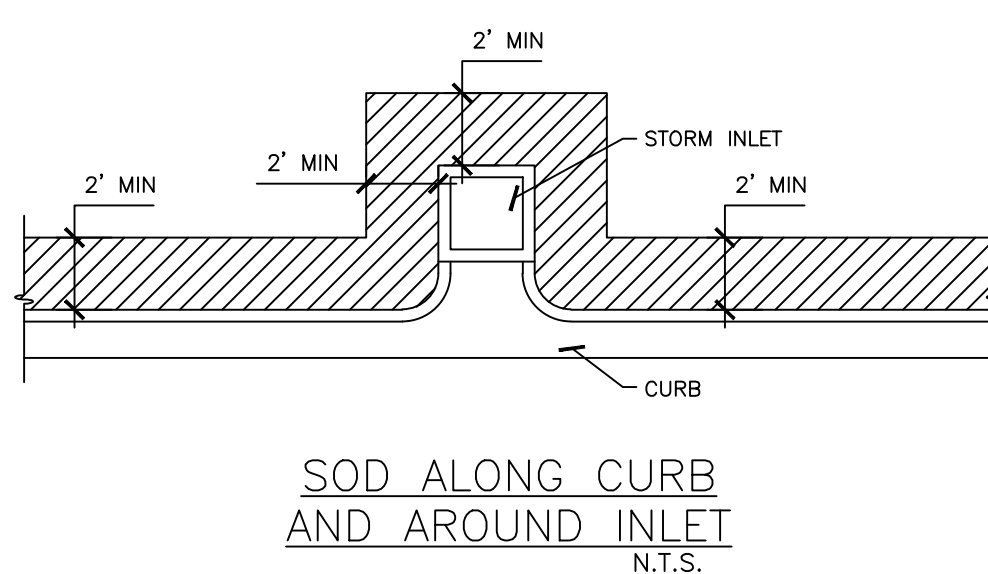
- B.4 Heavy construction equipment parking and maintenance areas shall be designed to prevent oil, grease and lubricants from entering site drainage features in cluding stormwater collection and treatment systems. Contractors shall provide broad dikes, hay bales or silt screens around, and sediment sumps within, such areas as required to contain spills of oil, grease or lubricants. Contractors shall have available, and shall use absorbent filter pods to clean up spills as soon as possible after occurrence.
- B.5 Silt barriers, any silt which accumulates behind the barriers, and any fill used to anchor the barriers shall be removed promptly after the end of the maintenance period specified for the barriers.

SECTION C CONTROL OF WIND EROSION

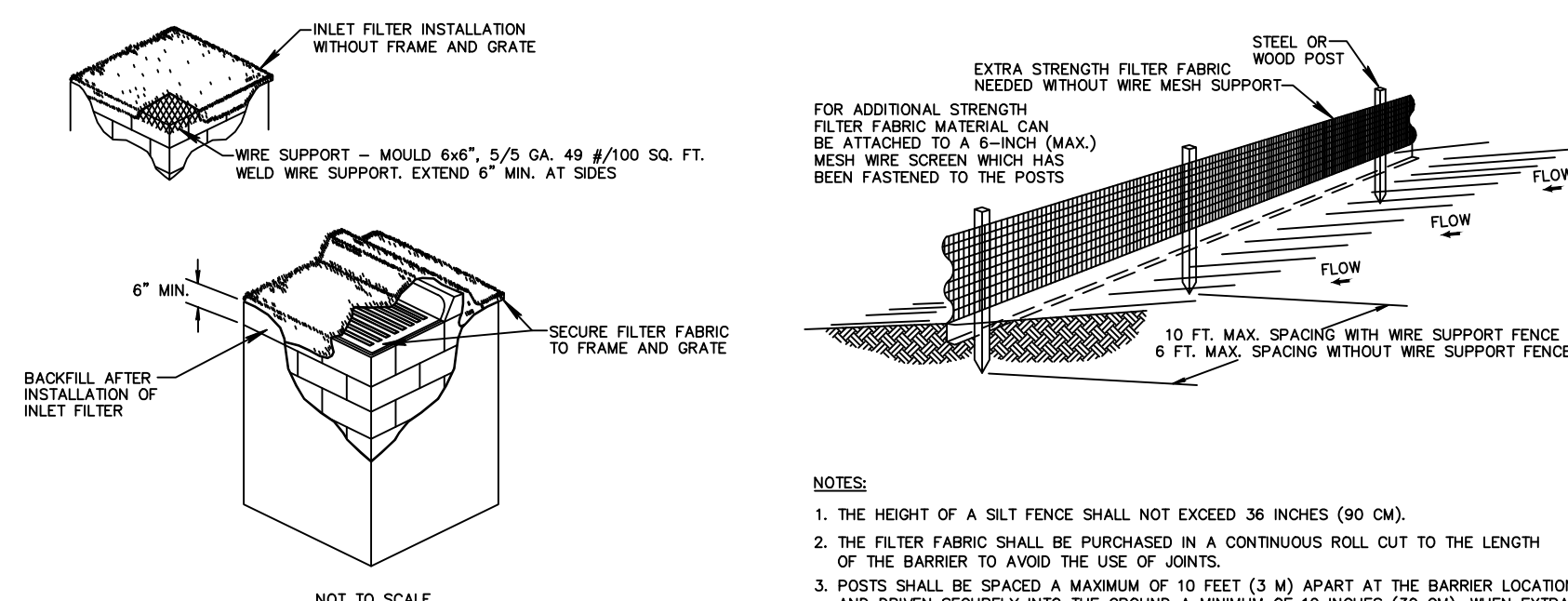
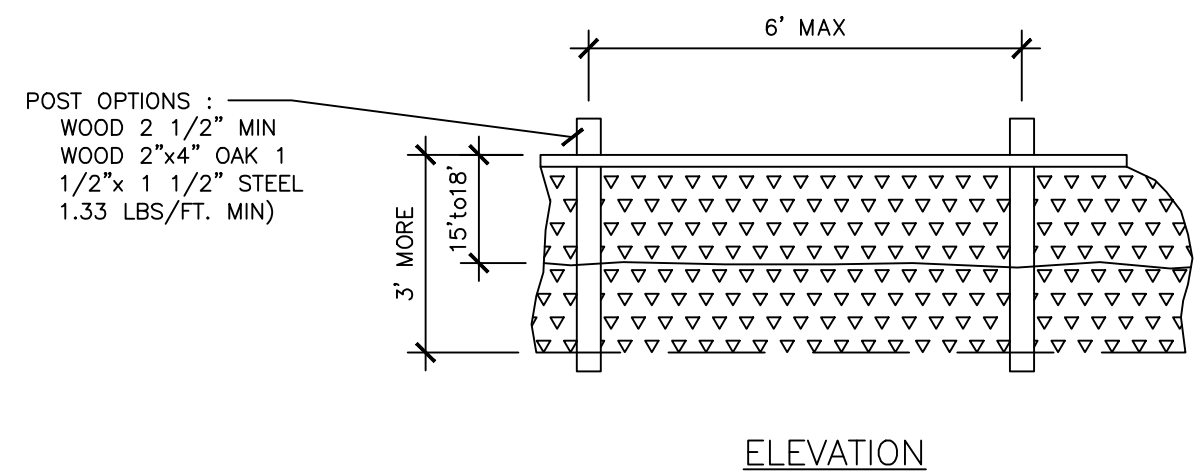
- C.1 Wind erosion shall be controlled by employing the following methods as necessary and appropriate:
 - a. Bare earth areas shall be watered during construction as necessary to minimize the transport of fugitive dust. It may be necessary to limit construction vehicle speed if bare earth has not been effectively watered. In no case shall fugitive dust be allowed to leave the site under construction.
 - b. As soon as practical after completion of construction, bare earth areas shall be vegetated.
 - c. At any time both during and after site construction that watering and/or vegetation are not effective in controlling wind erosion and/or transport of fugitive dust, other methods as are necessary for such control shall be employed. These methods may include erection of dust control fences. If required, dust control fences shall be constructed in accordance with the detail for a silt fence shown in Figure 2, except the minimum height shall be 4 feet.



SILT FENCE INSTALLATION DETAIL D 9.1b



PROTECTION AROUND INLETS OR SIMILAR STRUCTURES
N.T.S.

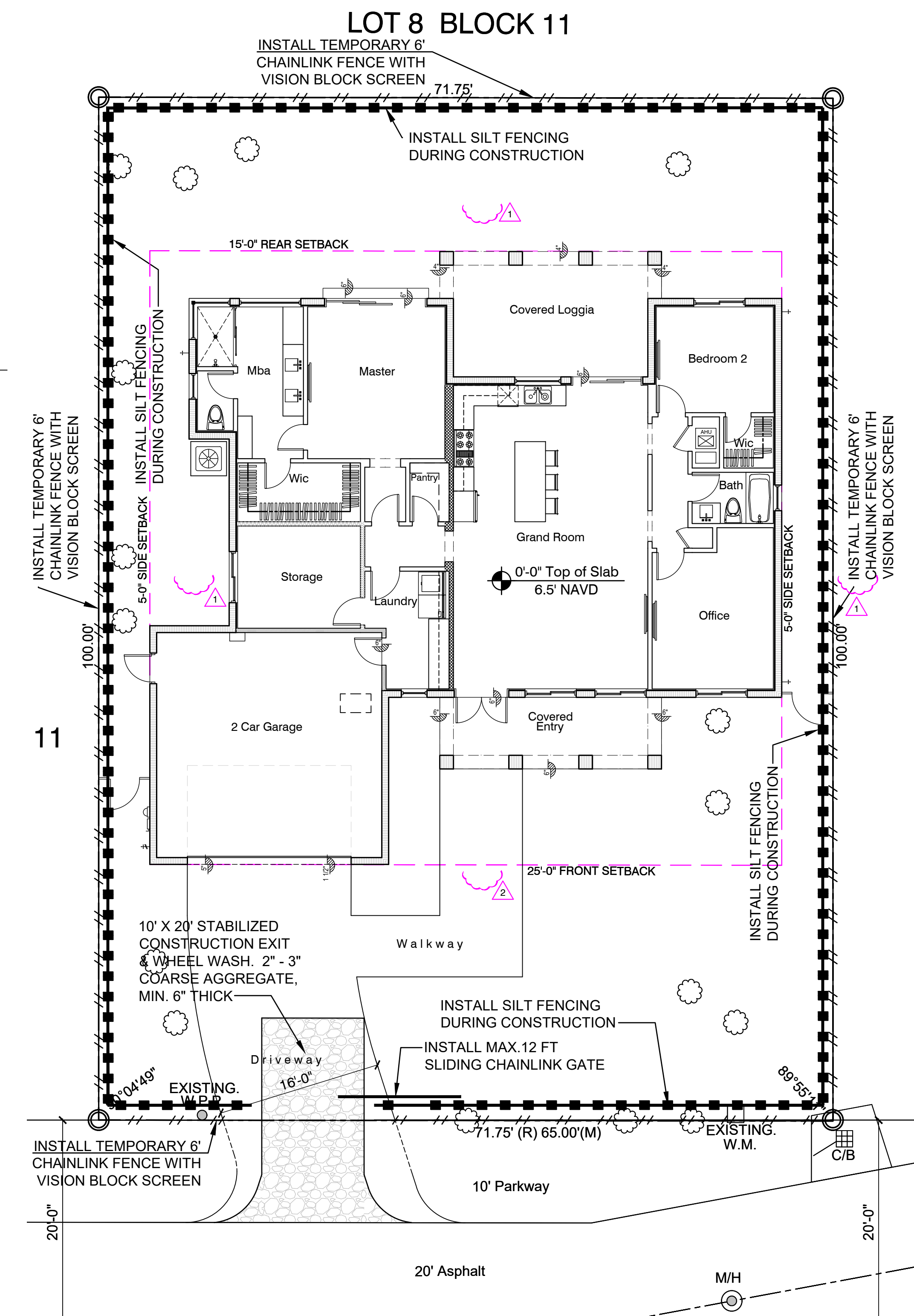


- NOTES:**
- CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
 - CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.

- NOTES:**
- THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
 - THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
 - POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
 - A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
 - WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
 - THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRE TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
 - THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.

INLET FILTER DETAIL

SILT FENCE INSTALLATION DETAIL D 9.1a



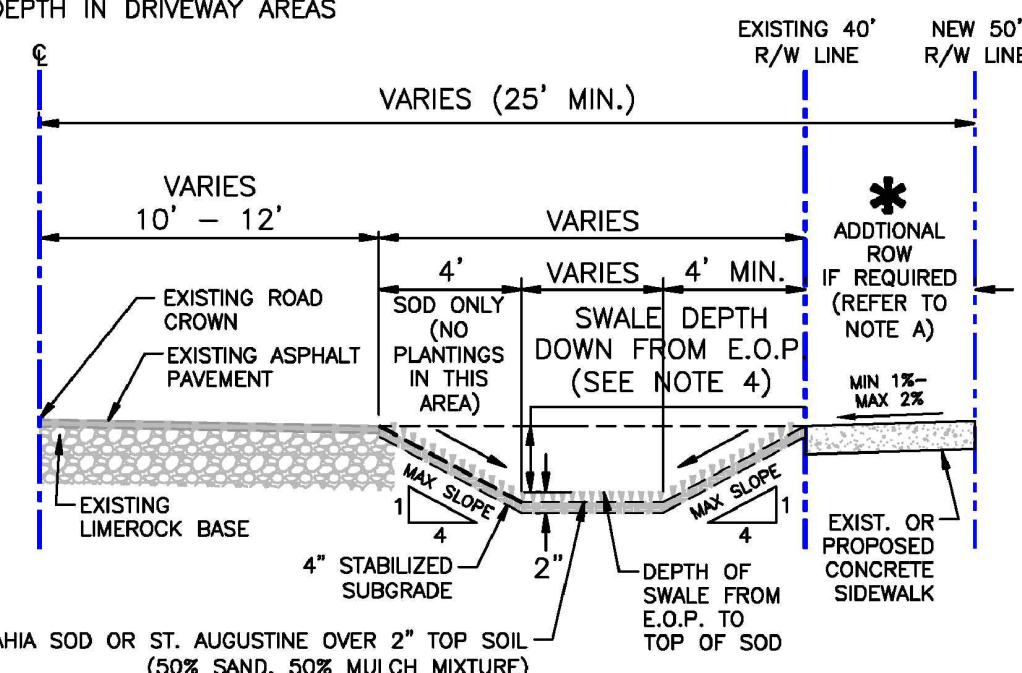
S. W. 9th STREET
40' RIGHT-OF-WAY

EROSION AND SEDIMENTATION CONTROL PLAN
SCALE 1/8"=1'-0"

BY	DATE
RST	06-30-2023
REVISIONS	
CITY PLAN CHECK COMMENTS	
REV	
The Benedict Bullock Group, PA ARCHITECTURE ■ PLANNING 1325 NW 3RD STREET, SUITE #1 DEERFIELD BEACH, FLORIDA 33442 PHONE (561) 570-8000 FAX (561) 570-9550 www.TBGG.net	
STEVEN'S RESIDENCE FT. LAUDERDALE, FL. 1329 SW 9TH STREET	
ARCHITECT'S SEAL BRIAN BULLOCK, ARCHITECT AR 95754	
DIGITAL SIGNATURE DATE 11-17-2022 DRAWN BY RST PROJECT NO. BS2282	
SEDIMENTATION AND EROSION CONTROL C-3	
PERMIT 06-30-2023	

CONSTRUCTION NOTES:

- SWALE SHALL EXTEND ENTIRE LENGTH OF PROPERTY FROM PROPERTY LINE TO PROPERTY LINE.
- ALL MATERIALS, WORKMANSHIP, AND RESTORATION OF FEATURES IN THE RIGHT-OF-WAY SHALL BE TO THE SATISFACTION OF THE CITY ENGINEER. MATERIAL CERTIFICATIONS, SAMPLES, SHOP DRAWINGS, DENSITY TESTS MAY BE REQUIRED BY THE CITY INSPECTOR FOR VERIFICATION & APPROVAL.
- ENGINEERING GROUGH SWALE INSPECTION SHALL BE CALLED, INSPECTED AND PASSED PRIOR TO PLACEMENT OF CONCRETE OR ANY LANDSCAPING OR TREE INSTALLATION.
- FINAL SWALE DEPTHS SHALL MEET THE FOLLOWING AFTER INSTALLATION OF ANY SOD OR PAVERS (INCLUDING HEADER CURBS IF APPLICABLE). DEPTHS ARE MEASURED FROM EXISTING EDGE OF PAVEMENT (E.O.P.):
 - 40' ROW SECTION - 6" MINIMUM DEPTH IN NON PAVED & LANDSCAPED OR SODDED AREAS
 - 50' ROW SECTION - 8" MINIMUM DEPTH IN NON PAVED & LANDSCAPED OR SODDED AREAS
 - REFER TO STANDARD DRIVEWAY DETAIL SHEETS FOR SWALE DEPTH IN DRIVEWAY AREAS
- MINIMUM CLEAR ZONE SHALL BE PROVIDED FROM EDGE OF PAVEMENT.
 - 4' MINIMUM CLEAR ZONE FOR PLANTINGS OR SMALL GROUNDCOVER (SHALL NOT EXCEED 30" IN FULL GROWN HEIGHT)
 - 6' MINIMUM CLEAR ZONE FOR TREES (SIGHT TRIANGLE REQUIRED ON PLANS)
- CENTER BOTTOM OF SWALE BETWEEN EDGE OF PAVEMENT AND NEW RIGHT OF WAY LINE IF NO SIDEWALK EXISTS (SPECIAL S/W WAIVER REQUIRED BY CITY ENGINEER).
- SIDEWALKS SHALL BE CONCRETE, CONFORM TO CITY ENGINEERING STD DETAIL C1.3R, AND RUN CONTINUOUSLY THROUGH ALL DRIVEWAYS.
- SITE PREPARATION AND EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ADDITIONAL EROSION CONTROL MEASURES AFTER INITIAL GROUGH INSPECTION MAY BE REQUIRED.



SPECIAL NOTE:

* A. RIGHT OF WAY SECTION REQUIRED TO BE A MINIMUM OF 25' FROM CENTER LINE OF ROADWAY. WHEN MINIMUM RIGHT OF WAY SECTION IS LESS THAN 25' ABUTTING PROPERTY, AN ADDITIONAL 5' RIGHT OF WAY EASEMENT IS REQUIRED. THIS EASEMENT SHALL BE RECORDED AT BROWARD COUNTY RECORDS, PRIOR TO CLOSE OUT OF PERMIT. INSTRUCTIONS AND CITY STANDARD EASEMENT DOCUMENTS CAN BE LOCATED AT: <http://www.fortlauderdale.gov/home/showdocument?id=1558>

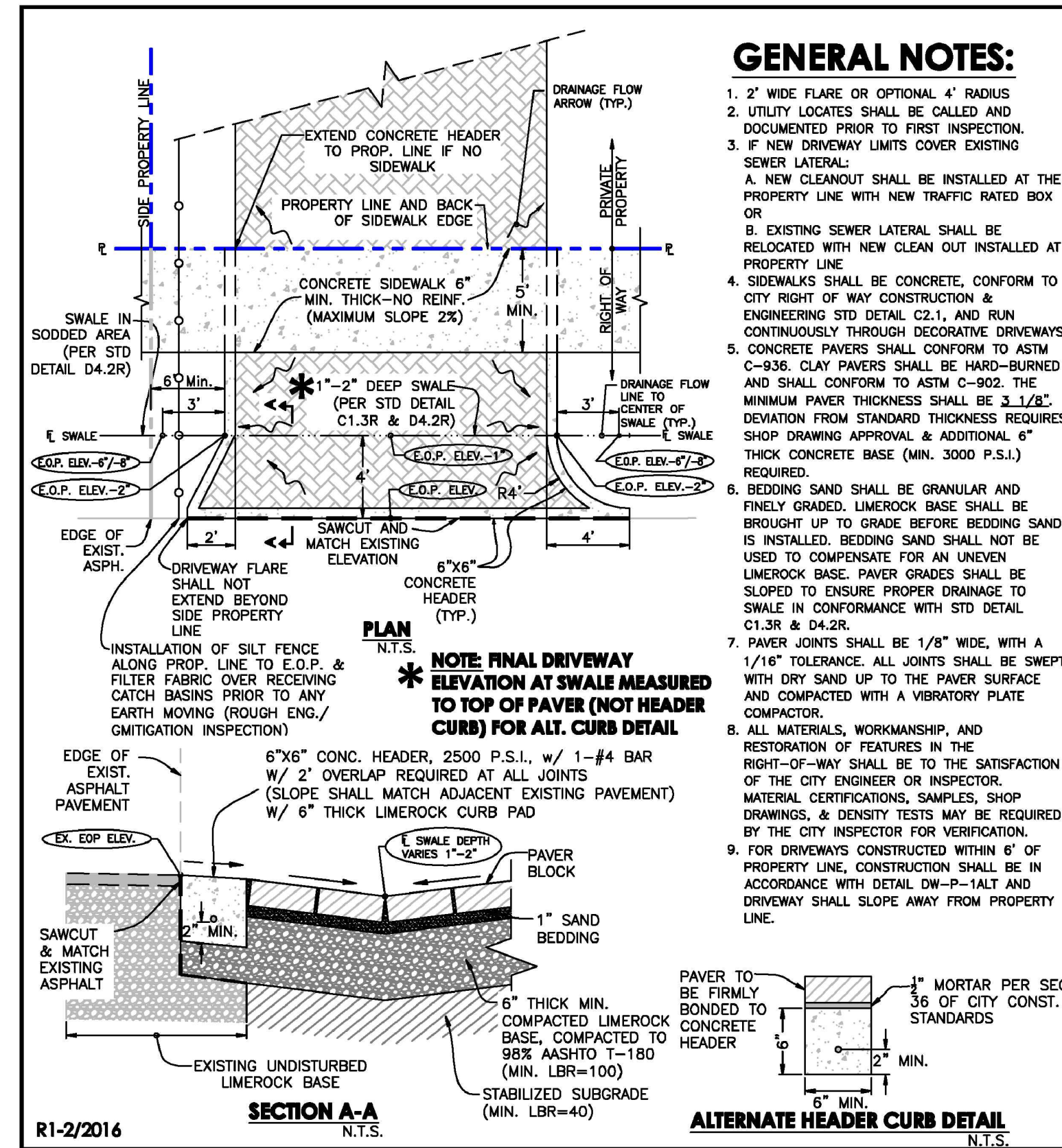
R1-2/2016



CITY OF FORT LAUDERDALE
DEPT. OF SUSTAINABLE DEVELOPMENT
RIGHT OF WAY ENGINEERING
& CONSTRUCTION

TYPICAL SWALE CROSS SECTION
CONSTRUCTION IN CITY ROW

ISSUED:
2/2016
DETAIL TITLE:
D4.2R



GENERAL NOTES:

- 2' WIDE FLARE OR OPTIONAL 4' RADIUS
- UTILITY LOCATES SHALL BE CALLED AND DOCUMENTED PRIOR TO FIRST INSPECTION.
- IF NEW DRIVEWAY LIMITS COVER EXISTING SEWER LATERAL:
 - NEW CLEANOUT SHALL BE INSTALLED AT THE PROPERTY LINE WITH NEW TRAFFIC RATED BOX OR
 - EXISTING SEWER LATERAL SHALL BE RELOCATED WITH NEW CLEAN OUT INSTALLED AT PROPERTY LINE.
- SIDEWALKS SHALL BE CONCRETE, CONFORM TO CITY RIGHT OF WAY CONSTRUCTION & ENGINEERING STD DETAIL C2.1, AND RUN CONTINUOUSLY THROUGH DECORATIVE DRIVEWAYS.
- CONCRETE PAVERS SHALL CONFORM TO ASTM C-936. CLAY PAVERS SHALL BE HARD-BURNED AND SHALL CONFORM TO ASTM C-902. THE MINIMUM PAVER THICKNESS SHALL BE 3.1/8". DEVIATION FROM STANDARD THICKNESS REQUIRES SHOP DRAWING APPROVAL & ADDITIONAL 6" THICK CONCRETE BASE (MIN. 3000 P.S.I.) REQUIRED.
- BEDDING SAND SHALL BE GRANULAR AND FINELY GRADED. LIMEROCK BASE SHALL BE BROUGHT UP TO GRADE BEFORE BEDDING SAND IS INSTALLED. BEDDING SAND SHALL NOT BE USED TO COMPENSATE FOR AN UNLIVEN LIMEROCK BASE. PAVER GRADES SHALL BE SLOPED TO ENSURE PROPER DRAINAGE TO SWALE IN CONFORMANCE WITH STD DETAIL C1.3R & D4.2R.
- PAVER JOINTS SHALL BE 1/8" WIDE, WITH A 1/16" TOLERANCE. ALL JOINTS SHALL BE SWEEPED WITH DRY SAND UP TO THE PAVER SURFACE AND COMPACTED WITH A VIBRATORY PLATE COMPACTOR.
- ALL MATERIALS, WORKMANSHIP, AND RESTORATION OF FEATURES IN THE RIGHT-OF-WAY SHALL BE TO THE SATISFACTION OF THE CITY ENGINEER OR INSPECTOR. MATERIAL CERTIFICATIONS, SAMPLES, SHOP DRAWINGS, & DENSITY TESTS MAY BE REQUIRED BY THE CITY INSPECTOR FOR VERIFICATION.
- FOR DRIVEWAYS CONSTRUCTED WITHIN 6' OF PROPERTY LINE, CONSTRUCTION SHALL BE IN ACCORDANCE WITH DETAIL DW-P-1ALT AND DRIVEWAY SHALL SLOPE AWAY FROM PROPERTY LINE.

R1-2/2016



CITY OF FORT LAUDERDALE
DEPT. OF SUSTAINABLE DEVELOPMENT
RIGHT OF WAY ENGINEERING
& CONSTRUCTION

PAVER DRIVEWAY DETAIL
CONSTRUCTION IN CITY ROW

ISSUED:
1/2016
DETAIL TITLE:
DW-P-1

ALL IDEAS, DESIGNS, ARRANGEMENTS & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, & THE PROPERTY OF THE ARCHITECT & WERE CREATED, EVOLVED & DEVELOPED FOR USE ON, & IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS SHALL BE USED BY, OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF BRIAN BULLOCK, ARCHITECT. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS & CONDITIONS SHOWN THEREON. THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

REV	BY	DATE	REVISIONS
1	RST	09-21-2022	CITY PLAN CHECK COMMENTS

The Benedict Bullock Group, PA
ARCHITECTURE • PLANNING
1525 NW 3RD STREET, SUITE #1
DEERFIELD BEACH, FLORIDA 33441
PHONE (561) 570-9500 FAX (561) 570-9500
www.TBBO.net

STEVENS RESIDENCE
1329 SW 9TH STREET FT. LAUDERDALE, FL.

ARCHITECT'S SEAL

BRIAN BULLOCK, ARCHITECT
AR 05754

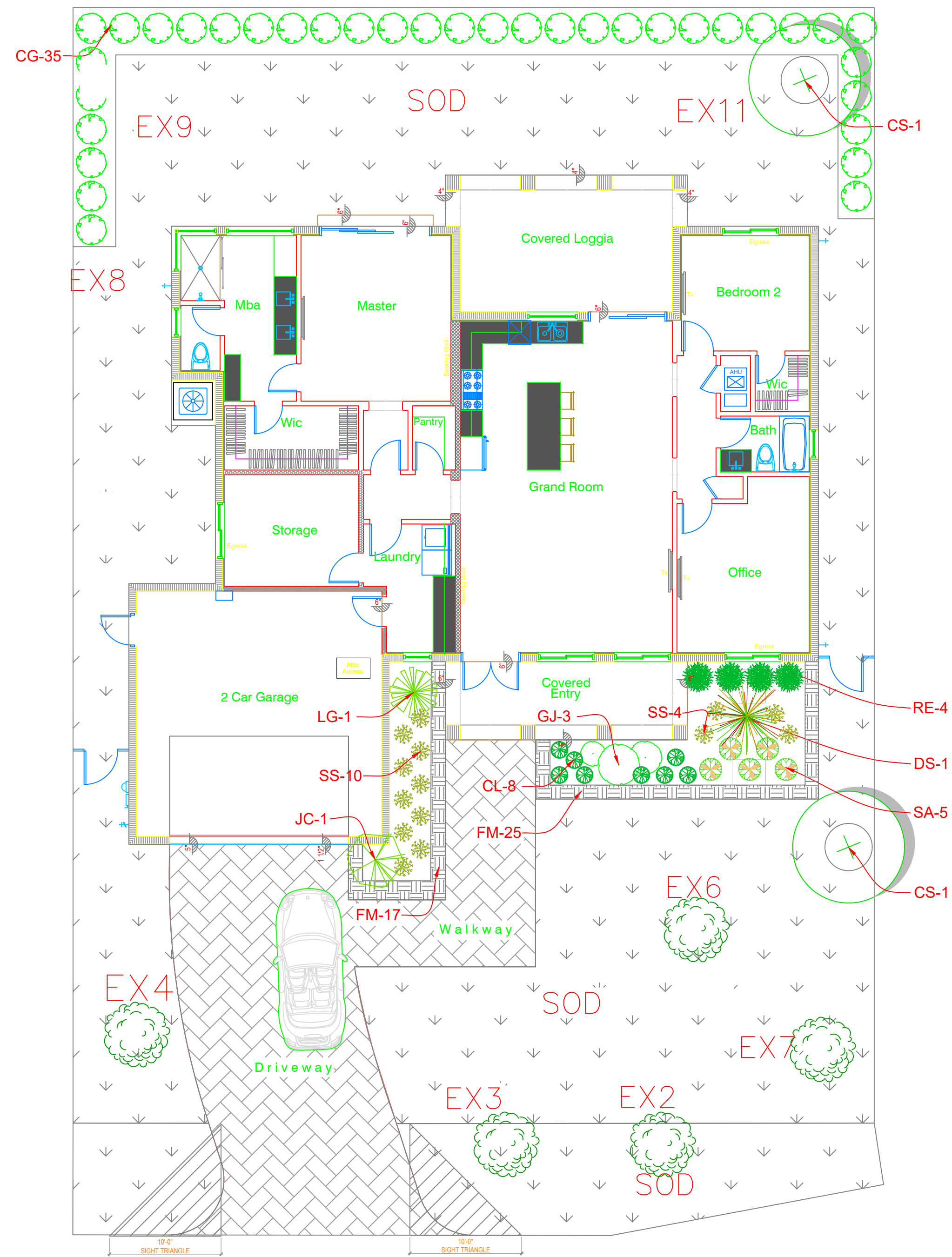
DIGITAL SIGNATURE

DATE 11-17-2022
DRAWN BY RST
PROJECT NO. BS2282

CITY OF FT. LAUDERDALE
TYPICAL SITE ENGINEERING DETAILS

C-4

PERMIT 06-30-2023

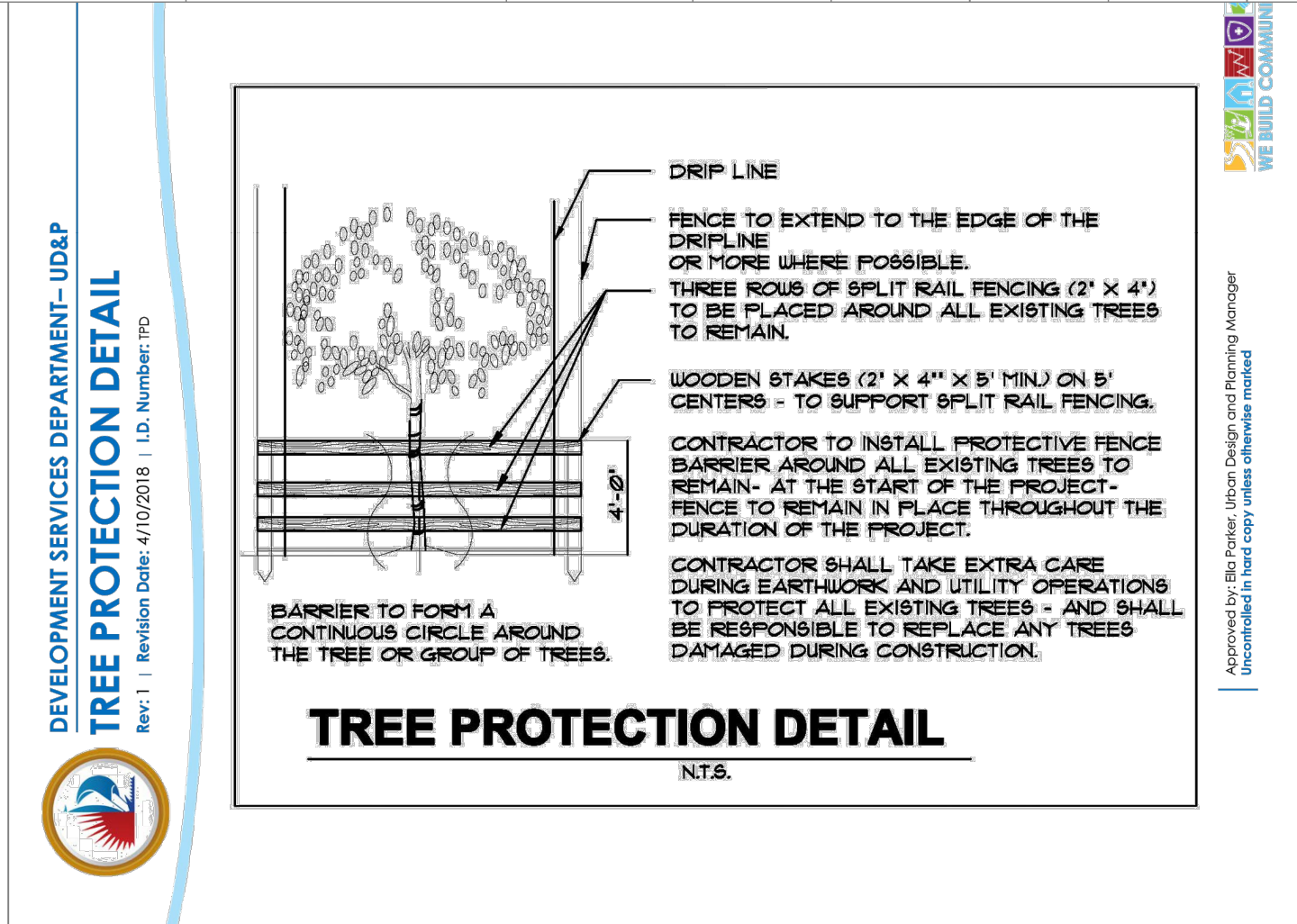


LANDSCAPE NOTES:	
SITE CALCULATIONS	
TOTAL LOT AREA	7,173 SQFT
TOTAL BUILDING AREA	2,847 SQFT
TOTAL IMPERVIOUS AREA	3,497 SQFT
TOTAL PERVIOUS AREA	3,676 SQFT
City of Fort Lauderdale LANDSCAPE REQUIREMENTS	
SITE TREES:	
(4) TREES REQUIRED / (3) IN FRONT YARD (1) IN BACKYARD	
(2) FRONT YARD TREES PROVIDED (1) Silk Floss (1) EXISTING Live Oak	
(1) EXISTING Shady Lady	
(1) BACK YARD TREE PROVIDED (1) EXISTING Live Oak (1) Silk Floss	
STREET TREES:	
(1) TREE / 40 LF FRONTAGE = TOTAL 71' LF	
(2) TREES REQUIRED / (2) EXISTING LIVE OAKS	
Site Shrubs	
(12) / 1000 SQFT.	
(96) Required/ (104) provided.	
MIN. 50% DROUGHT TOLERANT/ FLORIDA FRIENDLY PROVIDED AS REQUIRED, SEE PLANT SCHEDULE.	
TOTAL SOD AREA 41%	

PLANT MATERIAL SCHEDULE						
SYMBOL	NAME	COMMON NAME	SPECIFICATIONS	NATIVE	QUAN	Drought Tolerant
CS	<i>Celastrus speciosus</i>	Silk Floss	14' HT. X 5' Sprd. X 2" Cal	NO	2	Low
Shrubs and Groundcover						
GJ	<i>Gardenia jasminoides</i>	Miami Supreme Gardenia	36" HT. X 24" SPR. 24" O.C.	Yes	3	Medium
SA	<i>Schefflera Arboricola 'Dazzle'</i>	Dazzle	15" HT. X 12" SPR., 24" O.C.	NO	5	Low
CG	<i>Clusia guttifer</i>	CLUSIA	30" HT. X 24" SPR., 30" O.C.	Yes	35	Low
CL	<i>Calathea lancifolia</i>	Rattle Snake	10" HT. X 10" SPR.	NO	8	Low
LG	<i>Licuala grandis</i>	Licuala Palm	48" HT	NO	1	Low
FM	<i>Ficus microcarpa</i>	Green Island Ficus	12" HT. X 12" SPR. 24" O.C	NO	32	Low
JC	<i>Juniperus chinensis 'Blue Point'</i>	Juniper Cone	48" HT.	NO	1	Low
DS	<i>Dioon spinulosum</i>	Giant Dioon	48" HT.	NO	1	Low
RE	<i>Rhapis excelsa</i>	Lady Palm	36" HT.	NO	4	Low
SS	<i>Spathoglottis</i>	Ground Orchid	12" HT. X 12" Sprd.	NO	14	Low
SOD	ST. AUGUSTINE FLORATAM	SODDED AREA	CONTRACTOR SHALL VERIFY QUANTITY			APPROX. 3,356 S.F.
NOTE: 2" OF SOIL SHALL BE ADDED UNDER ALL SOD						

TREE DISPOSITION LIST Rahim Vedaae: Certified Arborist FL-9609A

KEY	COMMON NAME	BOTANICAL NAME	DIAMETER (INCHES)	HEIGHT (FT)	SPREAD (FT)	CANOPY (S.F.)	CLEAR TRUNK (FT)	CONDITION (%)	DISPOSITION	COMMENT	MITIGATION
EX2	Live Oak	<i>Quercus virginiana</i>	17.5	50	22	379.9		58%	Remain		
EX3	Live Oak	<i>Quercus virginiana</i>	18	45	35	961.6		52%	Remain		
EX4	Live Oak Multi Stem	<i>Quercus virginiana</i>	64	50	36	1017.4		60%	Remain		
EX6	African Oil Palm	<i>Elaeis guineensis</i>	18	22	20	314.0	4	Good	Relocate		
EX7	Shady lady	<i>Terminalia buceras</i>	24	55	32	803.8		47%	Remain		
EX8	Mango	<i>Mangifera indica</i>	10	30	18	254.3		50%	Remain		
EX9	Live Oak	<i>Quercus virginiana</i>	24	50	35	961.6		60%	Remain		
EX11	Christmas Palm	<i>Adonidia merrillii</i>	4	20	11	95.0	15	Fair	Remain		



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